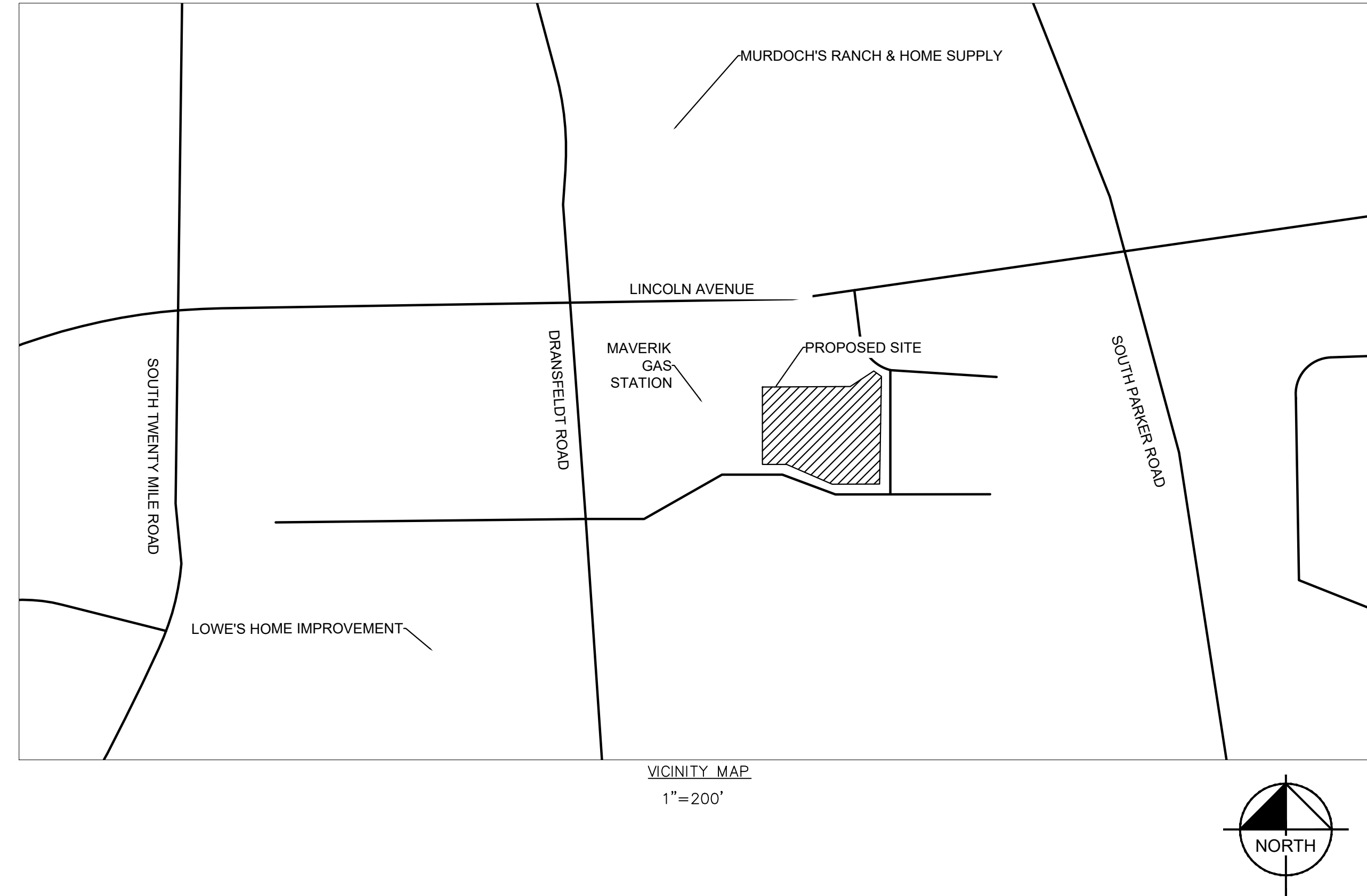


# LINCOLN PROFESSIONAL PARK FILING NO. 1 - LOT 2 SITE PLAN

BEING A PART OF THE NORTHWEST ONE-QUARTER OF SECTION 15, IN TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO



## LEGAL DESCRIPTION

LOT 2, LINCOLN PROFESSIONAL PARK, FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO

## BENCHMARK

ELEVATIONS ARE BASED UPON UDFCD 2" BRASS CAP IN HEAD WALL (BG-1) NEAR PARKER ROAD AND BALDWIN AVENUE, (ELEVATION = 5841.07 NAVD 88)

## BASIS OF BEARINGS

BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHWEST QUARTER OF THE SECTION 15, MEASURED TO BEAR SOUTH 89°29'00" WEST, A DISTANCE OF 2643.60 FEET, AS SHOWN ON LINCOLN PROFESSIONAL PARK FILING NO. 1, AND AS MONUMENTED AT THE EAST END BY A RECOVERED 3.25" ALUMINUM CAP STAMPED "JR ENG 2002 PLS 30109 T6S R66W 1/4 S10 S15", AND AT THE WEST END BY A RECOVERED 3.25" ALUMINUM CAP STAMPED "1999 LS19003 T6S SC R66W S9 S10 S15 S16".

## FLOODPLAIN NOTICE

FLOOD ZONE: ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.  
MAP NUMBER: 08035C0067G  
PANEL NO: 67 OF 495  
EFFECTIVE DATE: MARCH 16, 2016

NOTE: THIS STATEMENT IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY AND SHALL IN NO WAY CONSTITUTE A BASIS FOR A FLOOD CERTIFICATE. NO FIELD WORK WAS PERFORMED TO ESTABLISH THE BOUNDARIES OF THIS ZONE. THE INFORMATION WAS DERIVED BY SCALING THE SUBJECT PROPERTY ON THE ABOVE REFERENCED MAP.

## DISTRICT ACCEPTANCE NOTE

- UPON COMPLETION OF SANITARY AND WATER CONSTRUCTION AND TESTING, THE DEVELOPER OR CONTRACTOR SHALL CONTACT THE DISTRICT FOR PROBATIONARY ACCEPTANCE INSPECTION. A PUNCHLIST WILL BE PROVIDED FOR THE DEVELOPER AND CONTRACTOR UPON COMPLETION OF THE INITIAL WALK-THRU AND PROBATIONARY ACCEPTANCE WILL BE ISSUED FOLLOWING COMPLETION AND ACCEPTANCE OF THE WORK OUTLINED IN THE PUNCHLIST.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE PROPER FUNCTIONING OF THE LINES FOR UP TO TWO (2) YEARS FROM THE DATE OF PROBATIONARY ACCEPTANCE OF THE LINES BY THE DISTRICT. ANY MALFUNCTION DURING THIS PERIOD OF GUARANTEE SHALL BE REMEDIED BY THE CONTRACTOR TO THE SATISFACTION OF THE DISTRICT ENGINEER AT NO EXPENSE TO THE DISTRICT.
- THE DATE OF FINAL ACCEPTANCE WILL BE INDICATED IN THE CONDITION OF THE PROBATIONARY ACCEPTANCE LETTER. THE DEVELOPER SHALL BE RESPONSIBLE FOR CONTACTING THE DISTRICT FOR FINAL INSPECTION AND FINAL ACCEPTANCE.

## CLIENT:

ERC HOSPITALITY LLC  
BRIAN PYLE  
9150 COMMERCE CENTER CIRCLE SUITE 315  
HIGHLANDS RANCH, CO 80129  
PH: (720)328-3299

## SURVEYOR:

KIMLEY-HORN AND ASSOCIATES, INC.  
PLA. DARREN WOLTERSTORFF  
6200 SYRACUSE WAY UNIT 300  
GREENWOOD, CO 80111  
PH: (303)228-2300

## LANDSCAPE ARCHITECT:

KIMLEY-HORN AND ASSOCIATES, INC.  
PLA. CHRIS HEPLER  
6200 SYRACUSE WAY UNIT 300  
GREENWOOD, CO 80111  
PH: (303)228-2319

## CIVIL ENGINEER:

KIMLEY-HORN AND ASSOCIATES, INC.  
EOR. MADELEINE REINKE, PE  
6200 SYRACUSE WAY UNIT 300  
GREENWOOD VILLAGE, CO 80111  
PH: (720)464-1878

## GOVERNING AGENCY:

TOWN OF PARKER PLAN REVIEW  
20120 E MAINSTREET  
PARKER, CO 80138  
PH: (303)805-3174

## FIRE DEPARTMENT:

TOWN OF PARKER  
20120 E MAINSTREET  
PARKER, CO 80138  
PH: (303)805-3169  
CONTACT: RANDY GARCIA

## ARCHITECT:

VERITAS ARCHITECTURE + DESIGN  
JENNY SANDERS  
707 N 6TH STREET  
KANSAS CITY, KS 66101  
PH: (913)308-1280

## PARKER WATER AND SANITATION DISTRICT

PARKER WATER AND SANITATION DISTRICT  
13939 ANCESTRY DRIVE  
PARKER, CO 80134  
PH: (303) 841-4627  
CONTACT: ROBERT RAMSEY

## Sheet List Table

Sheet Number	Sheet Title
1	COVERSHEET
2	EXISTING CONDITIONS AND DEMO
3	SITE PLAN
4	SITE DETAILS
5	SITE DETAILS (2)
6	SITE DETAILS (3)
7	SITE DETAILS (4)
8	GRADING PLAN
9	OVERALL UTILITY PLAN
L1.0	LANDSCAPE PLANS
L2.0	LANDSCAPE NOTES
L2.1	LANDSCAPE DETAILS
A1.2	FLOOR PLAN
A1.6	ROOF PLAN
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A2.2	EXTERIOR ELEVATIONS
A2.3	EXTERIOR ELEVATIONS
A3.0	BUILDING SECTION
A6.0	MATERIAL COLOR BOARD
A6.1	RENDERINGS
SE1.1	PHOTOMETRIC SITE PLAN

NO.	REVISION	BY	DATE	APPR

**Kimley»Horn**

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Greenwood, Colorado 80111 (303) 228-2300

DESIGNED BY: MMR  
DRAWN BY: KNP  
CHECKED BY: KEW  
DATE: 8/4/25

LINCOLN PROFESSIONAL PARK FILING NO. 1  
LOT 2, PARKER, CO  
7 BREW - SITE PLAN  
COVERSHEET

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PROJECT NO.  
296237001

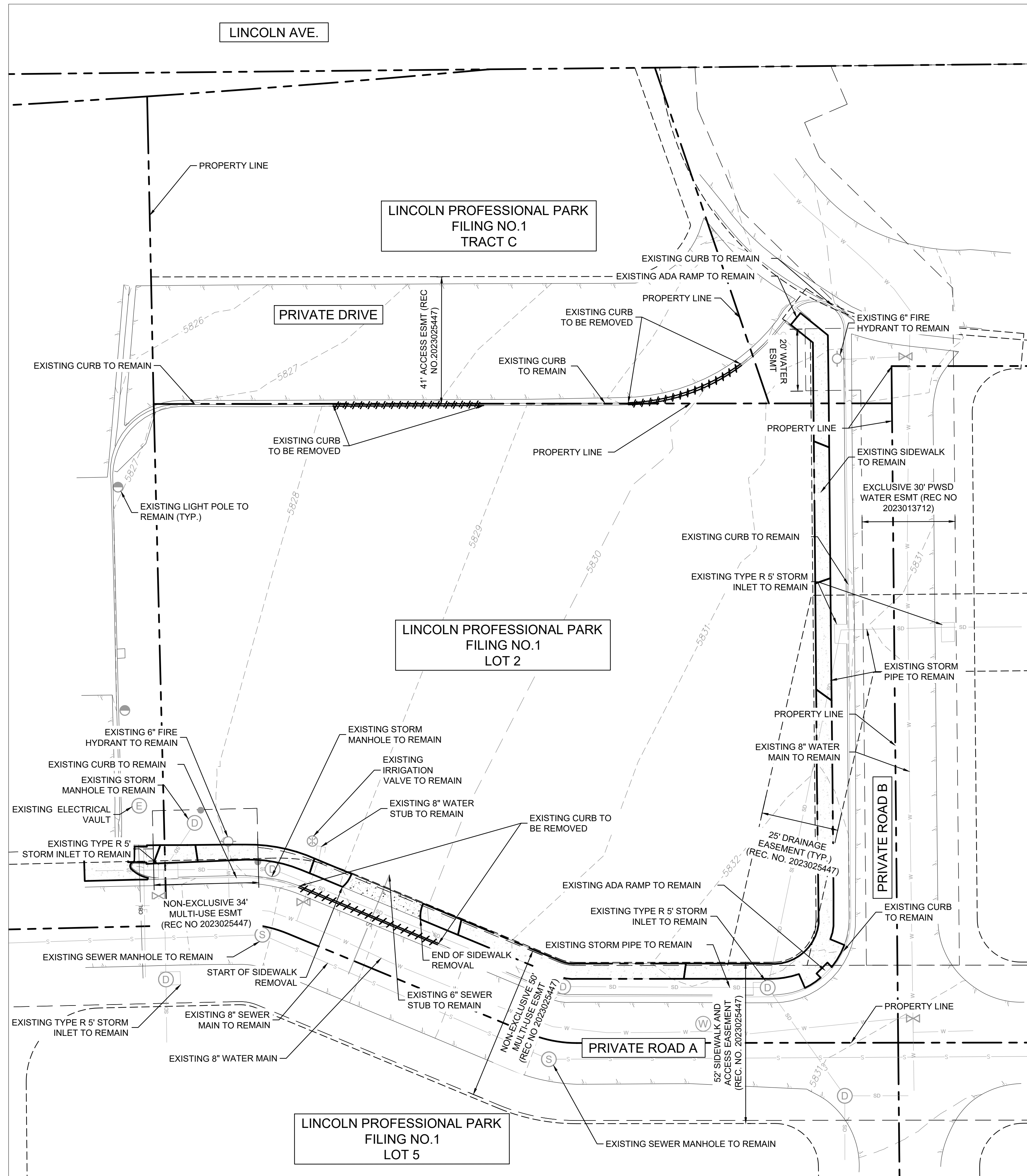
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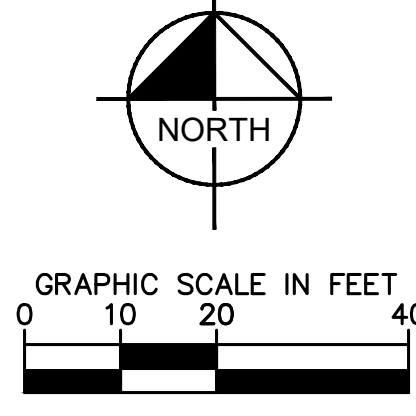


**LEGEND**

PROPERTY LINE	---
EASEMENT	- - - - -
DEMO SITE ITEM	---
EXISTING UNDERGROUND ELECTRIC LINE	E E
EXISTING SANITARY SEWER LINE	S S
EXISTING STORM DRAIN LINE	SD SD
EXISTING WATER LINE	W W
EXISTING SEWER STRUCTURE	(S)
EXISTING STORM DRAIN STRUCTURE	(D)
EXISTING FIRE HYDRANT	⊕
EXISTING WATER VALVE	⊗

**NOTES:**

1. THE CONTRACTOR SHALL CLEAR THE PROJECT SITE AREA WITHIN THE CONFINES OF THE DEMOLITION LIMIT LINE. THE CONTRACTOR SHALL CAP IN PLACE ALL EXISTING UTILITIES AT THE DEMOLITION LIMIT LINE, UNLESS NOTED ON THE PLAN. THE CONTRACTOR SHALL DEMOLISH AND REMOVE FROM THE SITE ALL EXISTING UTILITY STRUCTURES, PLANTERS, TREES, AND ALL OTHER SITE FEATURES, UNLESS OTHERWISE NOTED ON THE PLAN IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
2. KIMLEY-HORN DOES NOT REPRESENT THAT THE REPORTS AND SURVEYS REFERENCED ARE ACCURATE, COMPLETE, OR COMPREHENSIVE SHOWING ALL ITEMS THAT WILL NEED TO BE DEMOLISHED AND REMOVED.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SHOULD THERE BE ANY DISCREPANCIES OR IF THE EXISTING CONDITIONS VARY FROM THOSE SHOWN ON THESE PLANS.
4. THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. THERE MAY BE UNDERGROUND UTILITIES NOT DEPICTED ON THESE PLANS. CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO DEMOLITION. PRIOR TO COMMENCING CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES AND FIELD VERIFY ALL UNDERGROUND UTILITIES.
5. PRIOR TO DEMOLITION, PROPER PHASING OF EROSION CONTROL DEVICES AND MEASURES ARE TO BE INSTALLED.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS AND SHALL PAY ALL FEES NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION, AND DISPOSAL OF SAID MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF DEMOLITION WORK.
8. CONTRACTOR TO INSTALL CHAIN LINK FENCE WITH MESH SCREEN TO PROTECT PUBLIC FROM ENTERING CONSTRUCTION AREA.
9. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF EXISTING FACILITIES.
10. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, LIGHTING, STORM INLET STRUCTURES OR ANY OTHER APPURTENANCE, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
11. DAMAGE TO ANY EXISTING UTILITIES AND SERVICES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
12. DAMAGE TO ADJACENT PROPERTIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
13. PROVIDE FULL DEPTH SAW CUTS AT EDGES OF EXISTING PAVEMENT AND SIDEWALK REMOVAL LOCATIONS.
14. DEMOLITION AND REMOVAL OF PAVEMENT INCLUDES PAVEMENT THICKNESS AS WELL AS BASE COURSE THICKNESS.



NO.	REVISION	BY	DATE	APPR

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 Greenwood, Colorado 80111 (303) 228-2300

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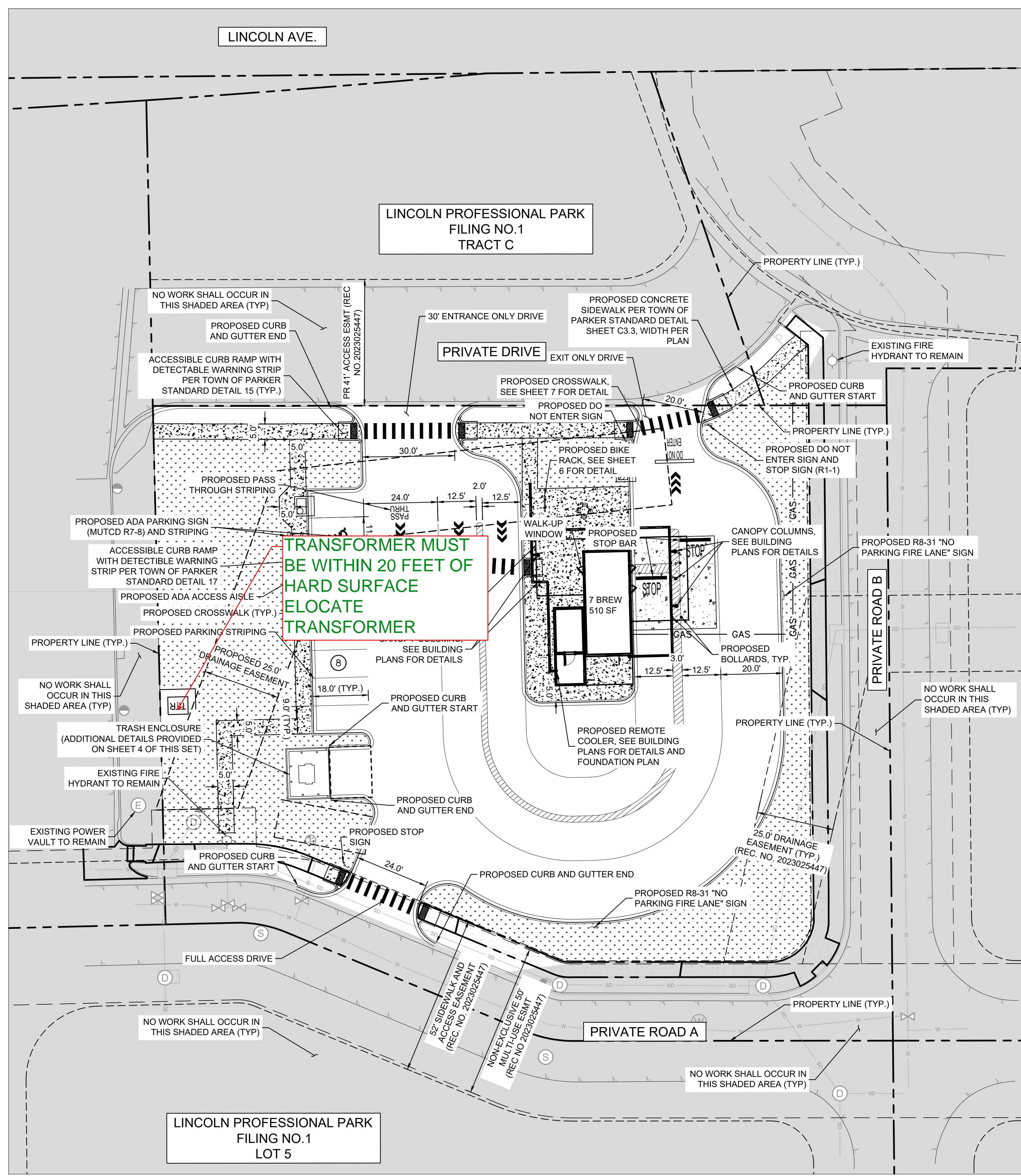
LINCOLN PROFESSIONAL PARK FILING NO. 1  
 LOT 2, PARKER, CO  
 7 BREW - SITE PLAN  
 EXISTING CONDITIONS AND DEMO

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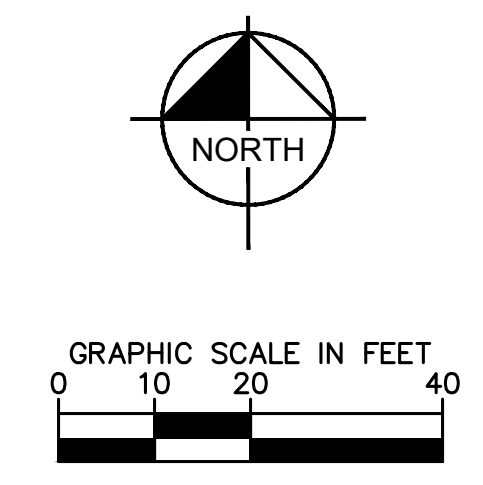
PROPERTY LINE	
CONCRETE SIDEWALK	
CURB AND GUTTER	
PROPOSED SIGNAGE	
EXISTING SANITARY SEWER MANHOLE	
PROPOSED WATER METER	
EXISTING FIRE HYDRANT	
PROPOSED STOP BAR	
PROPOSED TRAFFIC DIRECTION ARROW	
PROPOSED CROSSWALK	

- NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  2. ALL PARKING STALL STRIPING IS TO BE 4" SOLID WHITE.
  3. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
  4. BUILDING, MECHANICAL EQUIPMENT, SITE LIGHTING, AND SIGNS ARE SHOWN HEREON FOR REFERENCE ONLY. REFER TO CONSTRUCTION PLANS OF THOSE ITEMS FOR LOCATIONS AND DETAILS.
  5. A SEPARATE SIGN PERMIT TO BE PROVIDED FOR ALL SIGNAGE PROPOSED.
  6. ALL CONSTRUCTION SHALL CONFORM WITH APPLICABLE STATE AND LOCAL CONSTRUCTION STANDARDS AS IDENTIFIED IN THESE PLANS. THE CONTRACTOR SHALL MAINTAIN A CURRENT RELEASE OF THE STATE AND LOCAL LAND DEVELOPMENT STANDARDS MANUAL ON THE PROJECT SITE FOR REFERENCE DURING CONSTRUCTION OF THE PROJECT.
  7. ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". ALL NEW SIGNS SHALL BE MOUNTED ON GALVANIZED POSTS AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
  8. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY "COLORADO 811" FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.
  9. CONTRACTOR SHALL INSTALL ACCESSIBLE RAMPS PER CDOT AND ADA STANDARDS AT ALL DRIVE AND BUILDING LOCATIONS AS REQUIRED.
  10. CONTRACTOR SHALL NOTIFY ENGINEER IF EXISTING CONDITIONS DO NOT MATCH INFORMATION ON PLANS.
  11. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING PERMISSION MUST BE CONFIRMED WITH THE SITE SPECIFIC GEOTECHNICAL REPORT PAVEMENT RECOMMENDATIONS.

**LOT 2 SITE DATA TABLE**

LOT 2 SITE AREA	45,833 SQ FT / 1.05 AC	
	REQUIRED	PROVIDED
ZONING	MULTI-USE COMMUNITY	
BUILDING	SINGLE STORY - 510 SF	
LANDSCAPE AREA	SEE SHEET 10 FOR LANDSCAPE CALCULATIONS	
BUILDING SETBACK:		
INTERNAL LOT LINE (W)	5'	123'
PRIVATE DRIVE (N) (FRONT)	25'	41'
PRIVATE ROAD B (E)	10'	68'
PRIVATE ROAD A (S)	8'	94'
BUILDING HEIGHT	45' MAX	19.3'
PARKING SPACES	2	8
ACCESSIBLE SPACES	1	1
BICYCLE SPACES	1*	6

\* = BICYCLE SPACES REQUIRED IS CALCULATED AS 10% OF PARKING SPACES. THERE ARE 8 PARKING SPACES



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LINCOLN PROFESSIONAL PARK FILING NO. 1  
 LOT 2, PARKER, CO  
 7 BREW - SITE PLAN  
 SITE PLAN

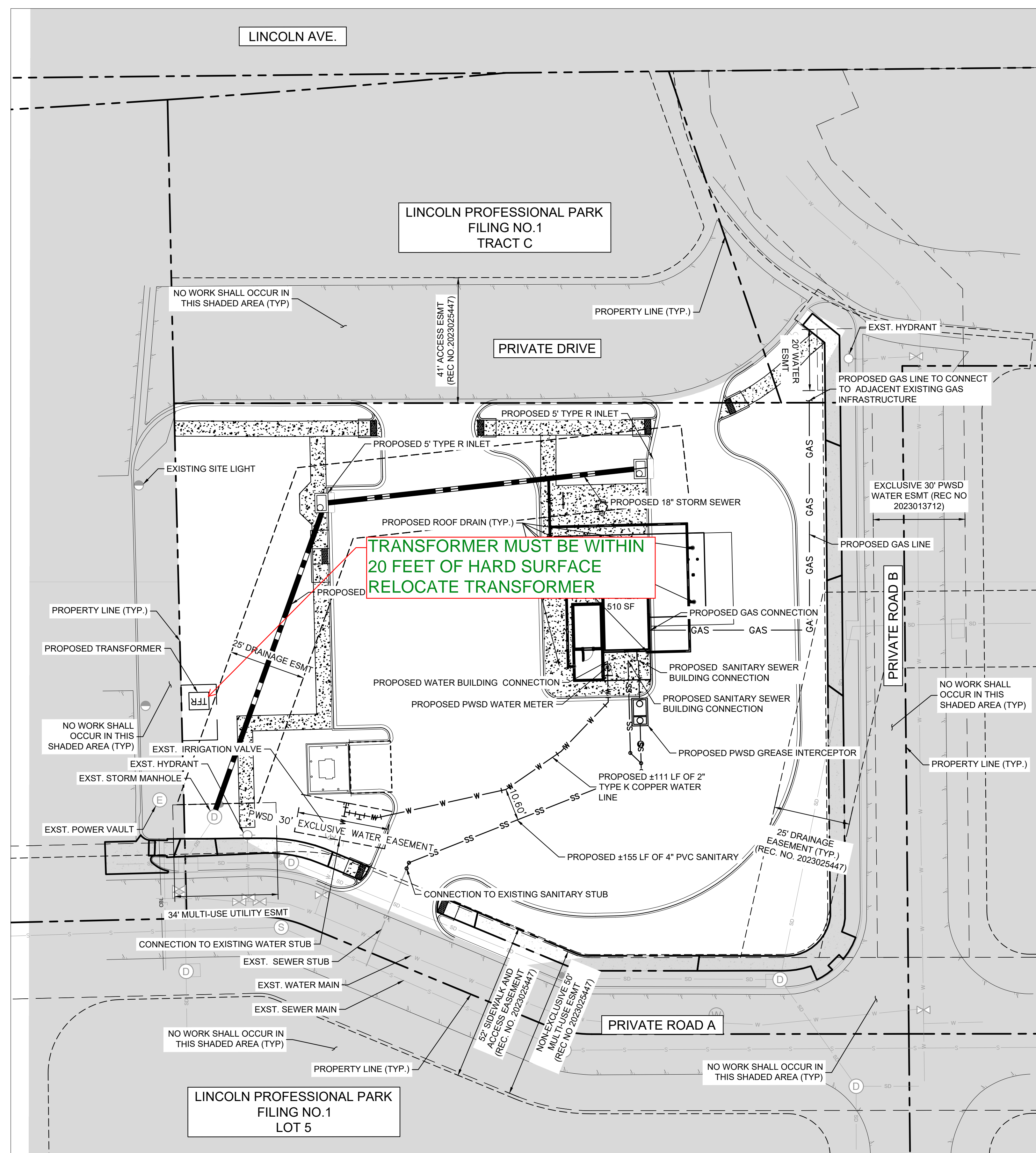
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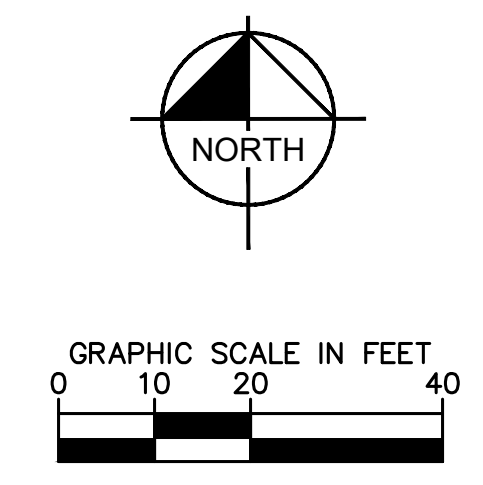
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**LEGEND**

PROPERTY LINE	---
EASEMENT	---
BUILDING OUTLINE	---
PROPOSED GAS LINE	— GAS — GAS —
PROPOSED SANITARY SEWER LINE	— S — S —
PROPOSED WATER LINE	— W — W —
PROPOSED STORM LINE	— SD — SD —
EXISTING GAS LINE	— GAS — GAS —
EXISTING SANITARY SEWER LINE	— S — S —
EXISTING WATER LINE	— W — W —
EXISTING STORM LINE	— SD — SD —
PROPOSED CONTOUR	— 100 — 99 —
EXISTING CONTOUR	— 100 —
EXISTING SANITARY SEWER MANHOLE	⊙
EXISTING STORM MANHOLE	⊙
EXISTING FIRE HYDRANT	⊙
EXISTING SEWER CLEANOUT	⊙
EXISTING WATER VALVE	⊙
EXISTING STORM DRAIN STRUCTURE	⊙
PROPOSED WATER BENDS	⌒
PROPOSED STORM CURB INLET	⊕
PROPOSED WATER METER	⊕
PROPOSED SANITARY SEWER CLEANOUT	⊕

- NOTES:**
- UTILITY CONNECTIONS TERMINATE 5' FROM BUILDING ENVELOPE. SEE ARCHITECT AND MEP PLANS FOR CONTINUATION.
  - ALL DIMENSIONS ARE SHOWN FROM CENTER OF PIPE TO CENTER OF PIPE UNLESS OTHERWISE NOTED.
  - THE CONTRACTOR MUST FIELD DETERMINE THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. REPORT DISCREPANCIES AND POTENTIAL CONFLICTS WITH PROPOSED UTILITIES TO ENGINEER PRIOR TO INSTALLATION OF ANY PIPING.
  - CONTRACTOR TO CONFIRM ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION.
  - ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICES LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
  - CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.



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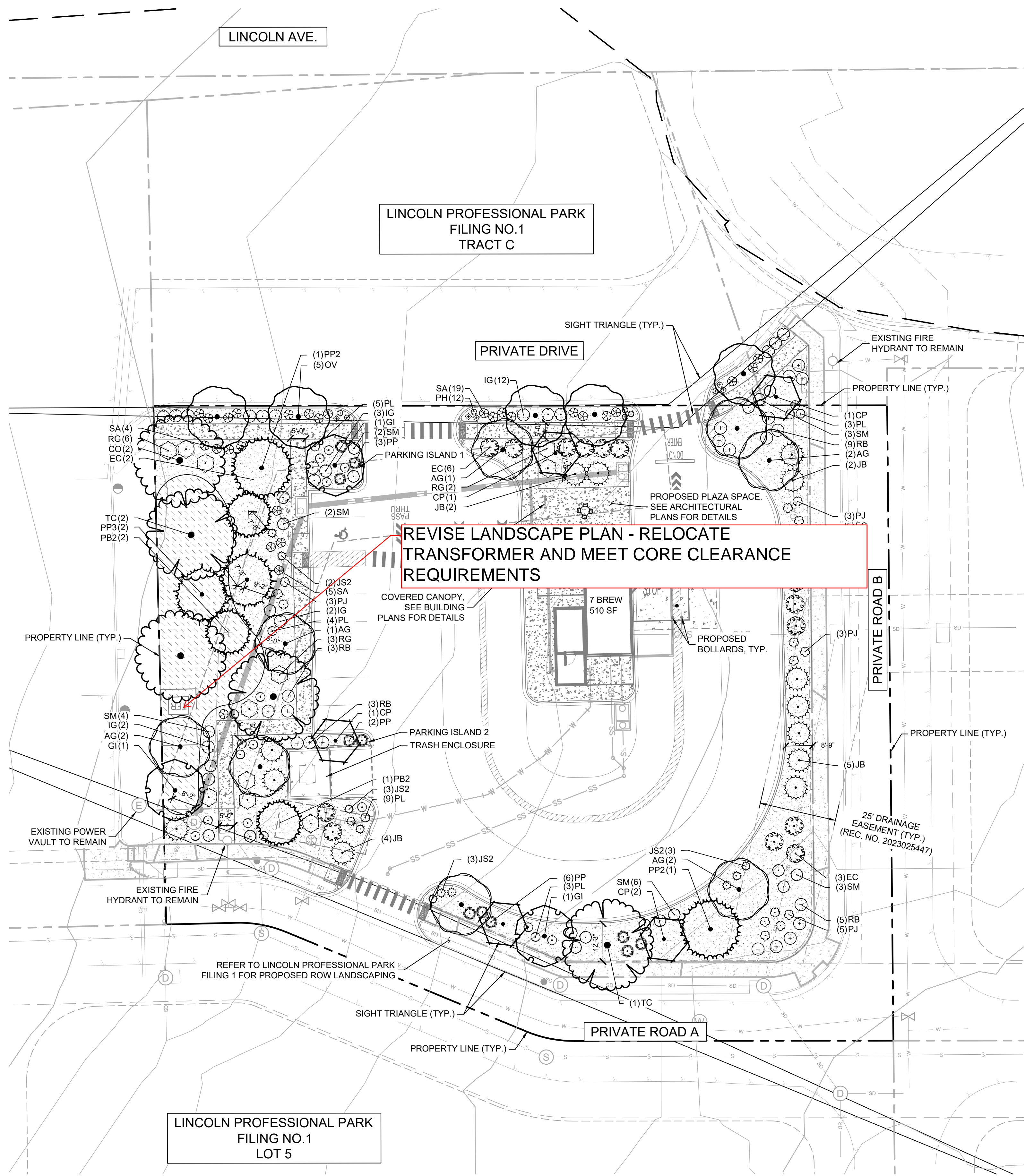
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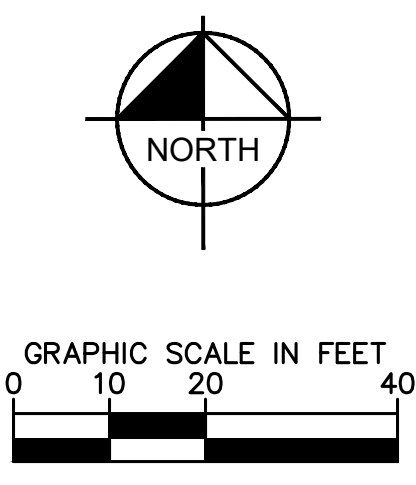


### PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	PLANTING S
<b>DECIDUOUS TREES</b>							
	AG	9	ACER GRANDIDENTATUM	BIGTOOTH MAPLE	B & B	2" CAL MIN	8' - 10' HT. MIN.
	CO	2	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	2" CAL MIN	8' - 10' HT. MIN.
	GI	3	GLEDITSIA TRIACANTHOS INERMIS 'IMPCOLE'	IMPERIAL® HONEY LOCUST	B & B	2" CAL MIN	8' - 10' HT. MIN.
	OV	5	OSTRYA VIRGINIANA	AMERICAN HOPHORNBEAM	B & B	2" CAL MIN	8' - 10' HT. MIN.
	TC	3	TILIA CORDATA	LITTLELEAF LINDEN	B & B	2" CAL MIN	8' - 10' HT. MIN.
<b>EVERGREEN TREES</b>							
	PB2	3	PICEA PUNGENS GLAUCA	COLORADO BLUE SPRUCE	B & B	-	6' HT MIN
	PP3	2	PINUS EDULIS	PINYON PINE	B & B	-	6' HT MIN
	PP2	2	PINUS PONDEROSA	PONDEROSA PINE	B & B	-	6' HT MIN
<b>ORNAMENTAL TREES</b>							
	CP	5	CORNUS FLORIDA 'PRAIRIE PINK'	PRAIRIE PINK DOGWOOD	B & B	1.5" CAL MIN	8' - 10' HT. MIN.
<b>SYMBOL CODE QTY BOTANICAL NAME COMMON NAME CONT SPACING SIZE</b>							
<b>DECIDUOUS SHRUBS</b>							
	EC	16	EUONYMUS ALATUS 'COMPACTUS'	COMPACT BURNING BUSH	5 GAL	SEE PLAN	24" HT MIN
	PL	23	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE'	LITTLE SPIRE RUSSIAN SAGE	5 GAL	SEE PLAN	12" HT MIN
	PJ	14	POTENTILLA FRUTICOSA 'JACKMANI'	JACKMAN'S BUSH CINQUEFOIL	5 GAL	SEE PLAN	18" HT MIN
	PP	11	PRUNUS BESSEYI 'P011S' TM	PAWNEE BUTTES SAND CHERRY	5 GAL	SEE PLAN	12" HT MIN
	RG	11	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	5 GAL	SEE PLAN	6" HT MIN
	RB	21	ROSA X 'MELLANDECOR'	WHITE MEIDLAND® SHRUB ROSE	5 GAL	SEE PLAN	12" HT MIN
	SA	28	SPIRAEA X BUMALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIRAEA	5 GAL	SEE PLAN	12" HT MIN
	SM	20	SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	5 GAL	SEE PLAN	36" HT MIN
<b>EVERGREEN SHRUBS</b>							
	IG	19	ILEX GLABRA	INKBERRY HOLLY	5 GAL	SEE PLAN	24" HT MIN
	JB	13	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	5 GAL	SEE PLAN	6" HT MIN
	JS2	11	JUNIPERUS SCOPULORUM 'SKYROCKET'	SKYROCKET JUNIPER	5 GAL	SEE PLAN	24" HT MIN
<b>ORNAMENTAL GRASSES</b>							
	PH	12	PENNISSETUM ALOPECUROIDES 'HAMELN'	HAMELN FOUNTAIN GRASS	1 GAL	SEE PLAN	12" FULL
<b>GROUND COVERS</b>							
	XG	2,332 SF	NATIVE GRASS SEED AREA	TOWN OF PARKER SEED MIX 3	SEED		
	XE	9,723 SF	RIVER ROCK MULCH	2"-3" BEACH PEBBLES BY PIONEER SAND			

**TOWN OF PARKER, SEED MIX 3 (LOW-GROWTH MIX)**  
 25% EPHRAIM CRESTED WHEATGRASS  
 23% SHEEP FESCUE  
 18% PERENNIAL RYEGRASS  
 13% CANADA BLUEGRASS  
 12% BARLEY OR OATS  
 9% BLUE FESCUE

**SEEDING RATE:**  
 DRILLED: 25 LBS/ACRE  
 BROADCAST: 50 LBS/ACRE



DESIGNED BY: MMR  
 DRAWN BY: KNP  
 CHECKED BY: KEW  
 DATE: 12/2/25

LINCOLN PROFESSIONAL PARK FILING NO. 1  
 LOT 2, PARKER, CO  
 7 BREW - CONSTRUCTION DOCUMENTS  
 LANDSCAPE PLANS

PRELIMINARY  
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