





**SIGNAGE AND STRIPING NOTES**

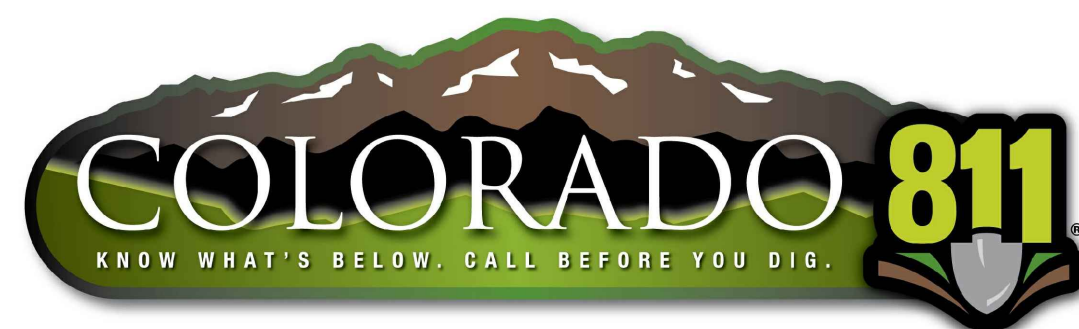
In addition to the notes in the above section of these roadway standards, the following notes shall appear on the cover sheet of all submittals containing roadways. The following notes shall be on all signage and striping plans:

1. All traffic control devices shall conform to the most recent version of the federal Manual on Uniform Traffic Control Devices (MUTCD), Colorado Supplemental MUTCD, and the Town of Parker Roadway Design and Construction Criteria Manual. Further specifications and illustrations are located in the Colorado Department of Transportation (CDOT) M and S Standards.
2. A field inspection of location and installation of all signs and markings shall be performed by the Town of Parker.
3. The contractor installing signs shall be responsible for the locating and protecting of all underground utilities.
4. Type III (lighted) barricades shall be set at the ends of roadways separating finished (and/or accepted) and unfinished construction areas and shall be maintained by the contractor/developer. A "Road Closed Ahead" and "To Be Extended" warning signs shall be installed appropriately in advance of the Type III barricades.
5. Special care shall be taken in sign locations to ensure an unobstructed view of each sign.
6. Where stop sign control is appropriate, 36 inch stop signs shall be used for approaches to any roadway that is classified as a collector or greater.
7. A 7 foot minimum post length shall be maintained from the bottom of the sign panel to the ground. This requirement for vertical clearance is for all signs.
8. Delineation of roadways shall be as specified in the Colorado Department of Transportation M and S Standards.
9. Raised median island noses shall have R4-7 signs at each end and a 4"x12" high intensity yellow sign blank located midway between the R4-7 sign and finished grade on each post.
10. Signage and striping has been determined by information available at the time of review. Prior to the initiation of any warranty period, the Town of Parker reserves the right to require modifications to existing, or installation of, additional signage and/or pavement marking if it is determined that conditions warrant such modification according to the MUTCD or the CDOT M and S Standards. All signage and striping shall fall under the requirements of the two-year warranty period for new construction. Additionally, all pavement markings shall not lift or peel during the first year after installation.
11. Diamond grade material shall be used on all stop signs and overhead signs. All other roadside traffic control devices shall use high intensity grade sheeting. No fluorescent yellow green sheeting shall be used unless specifically approved by the Town of Parker.

12. All street name signs shall be high intensity, extruded, green and white blades. Arterial and collector street name signs shall be 9 inch blades and have mixed case lettering. Local street name signs shall be 6 inches blades with mixed case lettering.
13. All layouts for internally illuminated street name signs shall be submitted to the Town for review and approval prior to fabrication.
14. All removed signs shall be returned to the Town of Parker.
15. Crosswalks: Shall be constructed using preformed thermo-plastic or an approved equal.  
 Shall be Longitudinal 2 feet by 10 feet (Continental) type or other approved by the Town of Parker.  
 Shall line up with handicap ramps.  
 Shall be centered within lanes and placed on lane and curb lines so as to avoid vehicle wheel paths.
16. All pavement marking material (including words and symbols) shall be as follows:  
**For Concrete Surface:**  
 Long line markings (channelization lines, skips, etc.) shall be epoxy paint. Other paint may be used for temporary application only when approved by the Town of Parker.  
 Words, symbols, and crosswalks/stop bars shall be methyl-mythacralate, preformed thermoplastic (90 mil), preformed plastic (90 mil), inlayed tape (STAMARK), or as specified.  
 (Sand or water blast curing compound prior to installation of markings.)  
**For Asphalt Surface:**  
 Long line markings (channelization lines, skips, etc.) shall be epoxy paint. Other paint may be used for temporary application only when approved by the Town of Parker.  
 Words, symbols, and crosswalks/stop bars shall be hot applied thermoplastic (90 mil), preformed plastic (90 mil), inlayed tape (STAMARK), Methyl-Mythacralate, or as specified.
17. Inspection and approval of striping and crosswalk layout to be done by Town of Parker Development Review Engineer (call 303-840-9546) prior to application of final striping.

THE TYPE, SIZE, LOCATION, AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ON THE SITE, AND OFFSITE IN WORK AREAS. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO DATE OF CONSTRUCTION. FOR INFORMATION CONTACT: UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) – 1-800-922-1987. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.



PREPARED UNDER THE DIRECT SUPERVISION OF JERRY W. DAVIDSON, P.E. COLORADO REG # 30226 FOR AND ON BEHALF OF PERCEPTION DESIGN GROUP, INC.

NO.	DATE	DESCRIPTION	REVISIONS
1	04/03/26	2ND SUBMITTAL	
2	09/17/25	1ST SUBMITTAL	

**TOWN GENERAL NOTES**  
**HUNTINGTON NATIONAL BANK**  
 LOT 3A, PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE NORTHEAST 1/4 OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M., TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

Design By: CLN  
 Approved By: JWD  
 Project No.: 2025-005

SHEET  
**C0.02**

# PROJECT GENERAL NOTES

## GENERAL NOTES

- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF IMPROVEMENTS SHALL MEET OR EXCEED THE CITY AND APPLICABLE UTILITY DISTRICT STANDARDS AND SPECIFICATIONS, AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS A CONFLICT BETWEEN THESE PLANS AND ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE GOVERNING AUTHORITY'S STANDARDS AND SPECIFICATIONS. ALL REFERENCES TO PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARDS, UNLESS SPECIFICALLY STATED OTHERWISE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE PLANS OR DESIGNATED TO BE PROVIDED, INSTALLED, CONSTRUCTED, REMOVED, AND RELOCATED UNLESS SPECIFICALLY NOTED OTHERWISE.
- UTILITY TRENCHES ARE TO BE SLOPED OR BRACED AND SHEETED AS NECESSARY TO FURNISH SAFE WORKING CONDITIONS FOR THE WORKMEN AND THE PROTECTION OF OTHER UTILITIES IN COMPLIANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL HEALTH AND SAFETY RULES AND REGULATIONS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT CONNECTION POINTS AND POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS AND TO COORDINATE SUCH RELOCATIONS WITH THE APPROPRIATE UTILITY PROVIDER AND ALL AFFECTED PARTIES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY COMPANY/DISTRICT TO OBTAIN TEMPORARY POWER, TELEPHONE, AND WATER SERVICE DURING CONSTRUCTION. ALL COST FOR TEMPORARY SERVICES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE CITY AND ALL UTILITY COMPANIES/DISTRICTS INVOLVED WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL UTILITY RELOCATIONS, WHETHER SHOWN OR NOT SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF PROJECT SAFETY INCLUDING, BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN CONSTRUCTION FENCE PRIOR TO, AND THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK AND INSPECTIONS AS REQUIRED BY THE CITY, STATE, OR LOCAL DISTRICTS. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COST ASSOCIATED WITH INSPECTION.
- THE CONTRACTOR SHALL NOTIFY THE CITY AND LOCAL UTILITY COMPANIES/DISTRICTS AT LEAST 48 HOURS PRIOR TO THE START OF ANY CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE CITY AND LOCAL UTILITY COMPANIES/DISTRICTS AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
- INCLUDED IN THIS PACKAGE IS THE DEMOLITION AND DISPOSAL OF ALL EXISTING UTILITIES, SITE IMPROVEMENTS AND SITE FURNISHINGS NEEDED FOR CONSTRUCTION OF THE IMPROVEMENTS SHOWN IN THIS SET OF CONSTRUCTION DRAWINGS. ALL QUESTIONS IN REGARD TO DEMOLITION SHALL BE SUBMITTED TO THE OWNER IN WRITING PRIOR TO BID.
- DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE CONSULTING ENGINEER FOR CLARIFICATION, AND ANNOTATE THE DIMENSION ON THE AS-BUILT RECORD DRAWINGS.  
  
COORDINATES PROVIDED ON THE DRAWING SHALL BE VERIFIED. ANY WORK DONE INCORRECTLY BASED UPON THE PROVIDED COORDINATES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND FIXED AT HIS OWN EXPENSE.
- RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATIONS. THE CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS, GROUT, AND STEEL SHIMS TO ADJUST THE MANHOLE FRAMES TO THE REQUIRED FINAL GRADE IN CONFORMANCE WITH THE CITY OR UTILITY COMPANY/DISTRICT STANDARD SPECIFICATIONS. ALL FRAMES SHALL BE ADJUSTED TO FINAL GRADE PRIOR TO THE FINAL LIFT OF ASPHALT.
- IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES, WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE PROJECT MANAGER FOR THE OWNER/DEVELOPER AND THE ENGINEER IMMEDIATELY.
- BENCHMARK VERIFICATION:** THE CONTRACTOR SHALL USE BENCHMARKS AND DATUMS SHOWN HEREON TO SET PROJECT BENCHMARK(S), BY RUNNING A LEVEL LOOP BETWEEN AT LEAST TWO BENCHMARKS, AND SHALL PROVIDE SURVEY NOTES OF SUCH TO PROJECT ENGINEER PRIOR TO COMMENCING CONSTRUCTION.
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE GOVERNING AUTHORITY'S STANDARDS AND SPECIFICATIONS.

## SITE/GRADING GENERAL NOTES

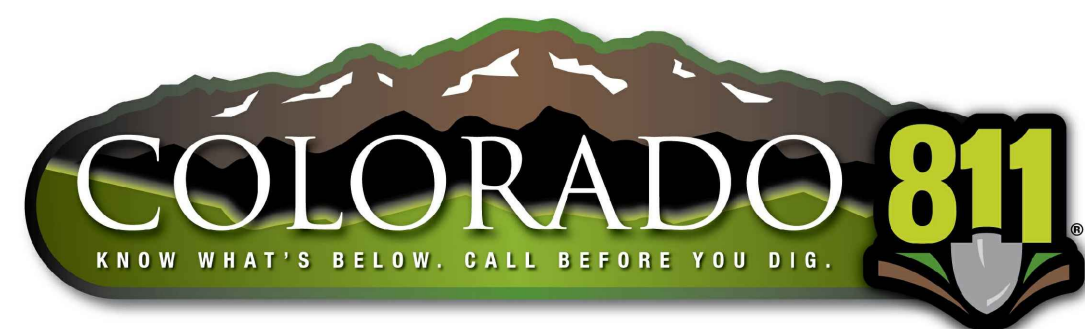
- CONTOURS SHOWN REPRESENT FINISHED ELEVATIONS. ADJUSTMENT TO SUBGRADE FOR ALL STRUCTURES (IE PAVING, SIDEWALKS, SLABS, ETC) IS THE RESPONSIBILITY OF THE CONTRACTOR. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR HIS OWN ESTIMATE OF EARTHWORK QUANTITIES.
- EXISTING SPOT ELEVATIONS AT MATCH POINTS WERE DERIVED FROM CONTOURS PROVIDED WITH THE SITE MAPPING AND ARE ANTICIPATED TO BE +/- AND SHALL BE VERIFIED PRIOR TO ANY CONSTRUCTION. ANY DEVIATION SHALL BE REPORTED TO THE ENGINEER.
- PRIOR TO PLACING ANY CONCRETE CURB, GUTTER, PANS, AND ACCESSIBLE RAMPS, THE FORMWORK ELEVATIONS SHALL BE VERIFIED AND PROVIDED TO THE PROJECT ENGINEER FOR REVIEW AND APPROVAL. ANY WORK THAT DOES NOT COMPLY WITH THIS REQUIREMENT AND IS PLACED IN ERROR WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- NO PROPOSED LANDSCAPED SLOPE SHALL EXCEED 3:1, OR AS SPECIFIED OTHERWISE BY LOCAL CODE.
- CONTRACTOR SHALL REFER TO BUILDING ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND LOCATIONS OF BUILDINGS AND APPURTENANCES. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH THE ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS AND THE GEOTECHNICAL REPORT PREPARED SPECIFICALLY FOR THIS SITE.
- ALL LANDSCAPED AREAS ARE TO BE CONDITIONED PER THE REQUIREMENTS OF THE LANDSCAPE PLANS. ALL DISTURBED AREAS THAT ARE NOT DESIGNATED TO BE PAVED SHALL BE LANDSCAPED OR SEEDED ACCORDING TO THE LANDSCAPE PLAN(S) AND GRADING, EROSION AND SEDIMENT CONTROL PLAN(S).
- ALL PROPOSED SPOT ELEVATIONS ARE FLOWLINE ELEVATIONS UNLESS OTHERWISE NOTED. SPOT ELEVATIONS TAKE PRECEDENCE OVER CONTOURS AND SLOPES SHOWN. CONTRACTOR SHALL NOTIFY ENGINEER OF SPOT ELEVATIONS WHICH DO NOT APPEAR TO BE CONSISTENT WITH THE CONTOURS AND SLOPES. SPOT ELEVATIONS AND SPECIFIC PROFILE DATA SHALL BE USED FOR SETTING ELEVATIONS OF CURB AND GUTTER AND UTILITIES. THE CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- ASPHALT GRADES SHALL NOT BE LESS THAN 2.00% IN THE DIRECTION OF FLOW. CURB AND GUTTER AND CONCRETE PAN GRADES SHALL NOT BE LESS THAN 0.50% IN THE DIRECTION OF FLOW. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL PAVEMENT AREAS AND ALONG ALL CURBS. PAVEMENT OR CURBS WHICH DO NOT PROVIDE PROPER DRAINAGE MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- HANDICAP PARKING STALLS SHALL BE PAINTED AND SIGNED IN ACCORDANCE WITH CURRENT ADA STANDARDS AND REGULATIONS.
- HANDICAP RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT ADA STANDARDS AND REGULATIONS.
- THE FOLLOWING IS APPLICABLE TO ALL CONSTRUCTION WITHIN THE LIMITS OF THIS PROJECT:
  - THE MAXIMUM CROSS SLOPE OF ANY SIDEWALK OR PEDESTRIAN ACCESS ROUTE SHALL BE 2.0%. THE SLOPE SHALL BE MEASURED PERPENDICULAR TO THE DIRECTION OF TRAVEL.
  - THE GRADE OF HANDICAP PARKING STALLS SHALL NOT EXCEED 2.0% IN ANY DIRECTION. HANDICAP PARKING SHALL HAVE AN ACCESSIBLE ROUTE TO THE BUILDING ENTRY AS SHOWN ON THE DRAWINGS.
  - HANDICAP ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM LONGITUDINAL GRADE OF 5.0%. ACCESSIBLE ROUTES EXCEEDING 5.0% SHALL BE CONSTRUCTED WITH RAMPS AND HAND RAILS HAVING A MAXIMUM SLOPE OF 8.33% FOR A MAXIMUM RISE OF 30 INCHES. A 5-FOOT BY 5-FOOT LANDING PAD (WITH A 2 PERCENT MAXIMUM SLOPE IN ANY DIRECTION) SHALL BE CONSTRUCTED AT THE BOTTOM AND TOP OF ALL RAMP.
- PRIOR TO PLACEMENT OF CURB AND PAVEMENT CONTRACTOR SHALL VERIFY COMPLIANCE WITH ADA STANDARDS.
- IF DURING THE GRADING AND CONSTRUCTION PROCESS CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE PROJECT MANAGER FOR THE DEVELOPER/OWNER, THE ENGINEER, AND THE GEOTECHNICAL ENGINEER IMMEDIATELY.
- ALL GRATES, MANHOLE RIMS, VALVE BOXES, VALVE COVERS, CLEANOUTS, AND VAULT OR BOX COVERS SHALL BE ADJUSTED TO "AS CONSTRUCTED" FINISHED GRADE PRIOR TO THE FINAL LIFT OF ASPHALT.
- ALL CONCRETE PAVEMENT, CONCRETE FLATWORK, CONCRETE STRUCTURES, AND CONCRETE UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE MATERIAL RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED SPECIFICALLY FOR THIS SITE.
- CONCRETE PAVEMENT JOINTS SHALL MEET THE REQUIREMENTS OF CDOT STANDARDS AND SPECIFICATIONS, AND CDOT STANDARD PLAN NO. M-412-1, UNLESS NOTED OTHERWISE.
- ALL SIGNING AND STRIPING WILL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND LOCAL CODES.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING SIGNAGE LOCATIONS.
- CONTRACTOR SHALL COORDINATE SIGNAGE PERMIT, INSTALLATION, AND SPECIFICATIONS WITH OWNER AND SIGNAGE MANUFACTURER.
- CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ANY AND ALL ALLOWABLE MONUMENT OR POLE SIGNAGE WITH OWNER AND SIGNAGE MANUFACTURER, AND PROVIDE SHOP DRAWINGS PRIOR TO FABRICATION TO THE OWNER FOR APPROVAL.
- REFER TO THE SITE PLAN FOR EXTENT OF PAVEMENT AND PAVEMENT SECTIONS.
- GRADES WITHIN ASPHALT PAVING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10 FEET OF THE DESIGN GRADE. HOWEVER, THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL PAVEMENT AREAS AND ALONG CURBS. CURBS OR PAVEMENT AREAS WHICH DO NOT PROVIDE PROPER DRAINAGE MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL LANDSCAPED AND PAVED AREAS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESTORATION OF ANY EXISTING IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO STREET PAVEMENT, FENCES, SOD, LANDSCAPING, SPRINKLER SYSTEMS, AND UTILITIES DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL LOCATION AND CONDITION.
- IF ANY EXISTING STRUCTURES, SIDEWALK, AND/OR CURB AND GUTTER MODIFIED OR TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER PRIOR TO PROJECT CLOSE OUT.
- THE CONTRACTOR SHALL PROTECT THE PROJECT BENCHMARK(S) THROUGHOUT CONSTRUCTION AND SET ADDITIONAL PROJECT BENCHMARKS AS NECESSARY TO MAINTAIN VERTICAL CONTROL THROUGHOUT THE DURATION OF THE PROJECT.
- THE CONTRACTOR SHALL INSPECT AND REPAIR EXISTING DRAINAGE STRUCTURES AS NEEDED, AND CLEAN OUT EXISTING PIPES TO REMOVE ALL SILT AND DEBRIS.

## STORM DRAINAGE INFRASTRUCTURE NOTES

- ALL STORM DRAINAGE IMPROVEMENTS ARE SUBJECT TO COMPLIANCE WITH THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, M & S STANDARDS, AND ALL STANDARD SPECIAL PROVISIONS CURRENTLY USED BY CDOT, WITH THE MODIFICATIONS SET FORTH IN THE TOWN OF PARKER'S STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL (SDECM), AS AMENDED.
- THE CONTRACTOR SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8 CRS), THE "PROTECTION OF FISHING STREAMS" (TITLE 33, ARTICLE 5, CRS), THE "CLEAN WATER ACT" (33 USC 1344), CHERRY CREEK RESERVOIR CONTROL REGULATION NO. 72" (5 CR 1002-72), THE REGULATION PROMULGATED, CERTIFICATION OR PERMITS ISSUES, AND THE REQUIREMENTS PRESENTED IN THE SDECM REVISION TO SECTION 107 AND THE CONSTRUCTION BMP PLAN. IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND WATER QUALITY CONTROL LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, OR STATE AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- CONSTRUCTION SHALL NOT BEGIN UNTIL A GRADING PERMIT HAS BEEN ISSUED FOR THE PROJECT. THE CONTRACTOR SHALL NOTIFY THE TOWN OF PARKER ENGINEERING DEPARTMENT (PUBLIC WORKS) TO SCHEDULE INSPECTIONS A MINIMUM OF 48 HOURS PRIOR TO THE CONSTRUCTION OF ALL DRAINAGE INFRASTRUCTURE (STORM SEWERS, INLETS, MANHOLES, ENERGY DISSIPATORS, RIPRAP, GROUDED BOULDERS, DETENTION POND OUTLET STRUCTURES, FOREBAYS, TRICKLE CHANNELS, ETC). FAILURE TO NOTIFY THE ENGINEERING DEPARTMENT FOR INSPECTIONS MAY RESULT IN NON-ACCEPTANCE OF THE INFRASTRUCTURE BY THE TOWN. URBAN DRAINAGE AND FLOOD CONTROL DISTRICT MUST ALSO BE NOTIFIED IN A SIMILAR MANNER FOR ALL MAINTENANCE ELIGIBLE DRAINAGE INFRASTRUCTURES (CONSULT WITH STORMWATER ENGINEERING DIVISION).
- AN INSPECTION OF THE STORM SEWER SYSTEM, IN ORDER TO IDENTIFY ANY REQUIRED REPAIRS FOR TOWN ACCEPTANCE, IS REQUIRED AFTER THE PROOF ROLL OF BASE MATERIAL AND PRIOR TO THE FINAL LIFT OF PAVEMENT. THE CONTRACTOR WILL BE RESPONSIBLE FOR CONTACTING THE TOWN OF PARKER ENGINEERING DEPARTMENT (PUBLIC WORKS) AT LEAST 5 BUSINESS DAYS PRIOR TO THE DESIRED INSPECTION DATE WITHIN THIS WINDOW.
- STRUCTURAL BACKFILL (CDOT CLASS 1) SHALL BE COMPACTED TO CONFORM TO CDOT STANDARD SPECIFICATION 203.03. STRUCTURAL BACKFILL (CDOT CLASS 2) SHALL CONFORM TO CDOT STANDARD SPECIFICATION 203.07. AT THE CONTRACTOR'S OPTION, STRUCTURAL BACKFILL (SQUEEGEE) MEETING THE GRADATION REQUIREMENTS CONTAINED IN REVISION OF SECTION 206 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM, MAY BE SUBSTITUTED FOR STRUCTURE BACKFILL (CLASS 1) OR CLASS 2) FOR BACKFILLING OF CULVERT PIPES, STORM SEWER PIPES, MANHOLES AND INLET STRUCTURES; HOWEVER, THE TOP 2 FEET BELOW SUBGRADE ELEVATION SHALL BE THE REQUIRED EMBANKMENT MATERIAL.
- ALL EXCAVATIONS SHALL MEET OSHA REQUIREMENTS.
- TESTING: PROBATIONARY ACCEPTANCE OF STORM DRAINAGE IMPROVEMENTS WILL BE CONTINGENT UPON SATISFACTORY TESTING RESULTS. IN ALL CASES WHERE TESTS INDICATE COMPACTION LESS THAN THAT REQUIRED BY TOWN SPECIFICATIONS, ADDITIONAL COMPACTION AND TESTS WILL BE REQUIRED UNTIL THE SPECIFICATIONS ARE MET. FREQUENCY OF TESTING WILL BE AS FOLLOWS:
  - 1 TEST FOR SUBGRADE AND 1 TEST FOR BACKFILL AT EVERY ABOVE GROUND APPURTENANCE (MANHOLES, INLETS, ETC)
  - 1 TEST EVERY 200 LF OF MAINLINE TRENCH EVERY 1 FOOT OF BACKFILL LIFT AND WITHIN 1 FOOT FROM ALL STRUCTURES.
- ALLOWABLE STORM SEWER CONDUIT MATERIAL WITHIN THE TOWN OF PARKER SHALL BE LIMITED TO REINFORCED CONCRETE PIPE (RCP) CONFORMING TO CDOT STANDARD SPECIFICATION 706.02.
- ALL RCP JOINTS SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM C443. RUBBER GASKETS SHALL BE USED ON ALL PIPE JOINTS CONFORMING TO ASTM C443. ALL RCP SECTIONS SHALL BE JOINED IN SUCH A MANNER THAT THE ENDS ARE FULLY ENTERED AND THE INNER SURFACES ARE REASONABLE FLUSH. AVERAGE JOINT GAP THAT EXCEEDS 1/8 INCH SHALL BE FILLED WITH AN APPROVED FLEXIBLE PLASTIC SEALANT.
- ALL RCP FLARED END SECTION OUTFALLS SHALL INCLUDE JOINT RESTRAINTS IN ACCORDANCE WITH CDOT M&S STANDARD PLAN NO. M-601-11 AND TOE-WALL IN CONFORMANCE WITH M-601-11, MHFD FIGURE 9-29 OR MHFD FIGURE 9-31. TOE-WALL DIMENSIONS, TYPE, AND SCOUR PROTECTION SHALL BE IDENTIFIED FOR EACH OUTFALL WITHIN THE STORM PLAN AND PROFILE SHEETS.
- EPOXY COATED REBAR SHALL BE USED AS REINFORCING STEEL ON ALL STORM INLETS AND STRUCTURES. REFERENCE CDOT M&S STANDARD PLAN NO. M-604-10, 11, 12, AND 13.
- STRUCTURAL STEEL FOR STORM STRUCTURE GRATES SHALL BE GALVANIZED IN ACCORDANCE WITH CDOT SUBSECTION 712.06. FASTENERS AND OTHER HARDWARE FOR STORM GRATES SHALL BE STAINLESS STEEL.
- CDOT CLASS D CONCRETE SHALL BE USED FOR ALL CONCRETE DRAINAGE STRUCTURES.
- ALL STORM STRUCTURES ADJACENT TO PEDESTRIAN AREAS AND WITH AN EXPOSED VERTICAL DROP OF 36" OR MORE SHALL INCLUDE GALVANIZED HANDRAIL UNLESS OTHERWISE SPECIFIED BY THE TOWN.
- ALLOWABLE MANHOLE BASES WITHIN THE TOWN OF PARKER SHALL BE LIMITED TO CAST-IN-PLACE. PRE-CAST MANHOLE BASES SHALL NOT BE USED.
- PRE-CAST INLETS SHALL NOT BE USED WITHIN THE TOWN OF PARKER RIGHT-OF-WAY, WITH THE EXCEPTION OF CDOT TYPE C AND D INLETS OUTSIDE OF PAVEMENT.
- ALL TYPE-R CURB INLETS ADJACENT TO ATTACHED SIDEWALK SHALL BE CONSTRUCTED SO THAT THE BACK OF THE INLET MATCHES THE BACK OF SIDEWALK.
- TWO-(2) MANHOLE ACCESS POINTS ARE REQUIRED ON ALL TYPE "R" CURB INLETS GREATER THAN OR EQUAL TO TEN (10) FEET IN LENGTH AS PRESENTED IN CDOT M&S STANDARD PLAN NO. M-604-12.
- FOR STORM SEWER MANHOLES, THE MAXIMUM DISTANCE BETWEEN THE TOP STEP AND THE TOP OF THE RIM SHALL BE 20-INCHES AND THE MAXIMUM ALLOWABLE NUMBER OF RISER RINGS IS THREE (3).
- FOR ALL STORM MANHOLES WITH LESS THAN 3-FEET OF CLEAR SPACE, MEASURED FROM LOWEST INVERT TO RIM ELEVATION, THE MANHOLE SHALL BE CENTERED OVER THE PIPE WITH THE LOWEST INVERT ELEVATION. IN THIS CASE, NO STEPS SHALL BE INSTALLED UNLESS OTHERWISE IDENTIFIED BY THE TOWN INSPECTORS.
- IN AREAS WHERE STORM MANHOLES ARE PLACED OUTSIDE OF PAVEMENT, THEY SHALL BE IDENTIFIED WITH A 4-INCH SCHEDULE 40 STEEL PIPE OFFSET AS DIRECTED BY THE ENGINEER AND PAINTED YELLOW, WITH THE DISTANCE TO THE MANHOLE AND THE APPROPRIATE IDENTIFYING INITIALS STENCILED IN BLACK. THIS MARKER POST SHALL BE INSTALLED IN ACCORDANCE WITH PARKER WATER AND SANITATION DISTRICT STANDARD DETAILS.
- ALL UNDERGROUND STORM SEWER FACILITIES SHALL BE ELECTRONICALLY LOCATABLE VIA GENERAL PURPOSE (PURPLE) RADIO FREQUENCY MARKER BALLS. MARKERS SHALL BE PLACED DIRECTLY ABOVE LONGITUDINAL UNDERGROUND FACILITIES AT STRUCTURES AND IN 100' INTERVALS BETWEEN STRUCTURES. MARKERS SHALL BE BURIED NO MORE THAN 4' BELOW FINISHED GRADE.
- ALL GROUTING (BOULDERS, RIPRAP) SHALL BE IN ACCORDANCE WITH THE REVISION OF SECTION 506 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM.
- ALL BOULDERS AND RIPRAP SHALL BE SELECTED AND PLACED IN ACCORDANCE WITH THE REVISION OF SECTION 506 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM.
- CONTRACTOR SHALL REFER TO THE TOWN OF PARKER'S CONSTRUCTION BEST MANAGEMENT PRACTICES DETAILS AND NOTES FOR ALL REQUIREMENTS RELATING TO RE-VEGETATION, SEDIMENT AND EROSION CONTROL REQUIREMENTS FOR CONSTRUCTION ACTIVITIES.
- PIPE BELLS SHALL NOT BE CAST INTO MANHOLE BASES OR INLETS.

THE TYPE, SIZE, LOCATION, AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ON THE SITE, AND OFFSITE IN WORK AREAS. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO DATE OF CONSTRUCTION. FOR INFORMATION CONTACT: UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) - 1-800-922-1987. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.



DESIGN GROUP, INC.  
6901 SOUTH PERCE STREET, SUITE 200, LITTLETON, CO 80120 303-232-9088  
WWW.PERCPTIONDESIGNGROUP.COM

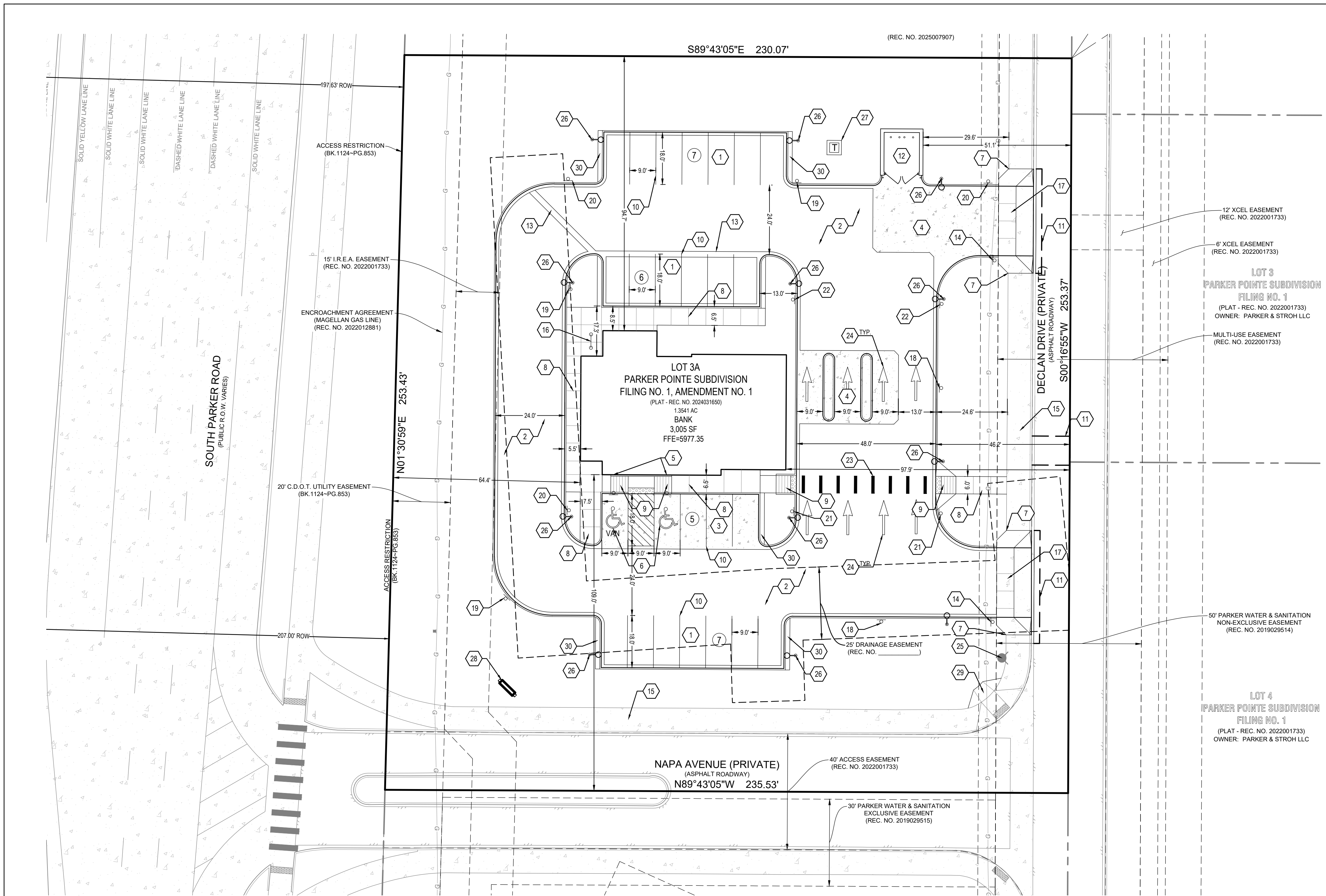
PREPARED UNDER THE DIRECT SUPERVISION OF JERRY W. DAVIDSON, P.E. COLORADO REG # 30226 FOR AND ON BEHALF OF PERCEPTION DESIGN GROUP, INC.

NO.	DATE	DESCRIPTION
1		
2		
3		
4	04/03/26	2ND SUBMITTAL
5	09/17/25	1ST SUBMITTAL

**GENERAL NOTES**  
**HUNTINGTON NATIONAL BANK**  
LOT 3A PARKER POINT SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE NORTHEAST 1/4 OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M., TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

Design By: CLN  
Approved By: JWD  
Project No.: 2025-005

SHEET  
**C0.03**



**CONSTRUCTION NOTES**

- 1) CONSTRUCT STANDARD DUTY ASPHALT PAVEMENT IN PARKING STALLS. SEE GEOTECHNICAL REPORT FOR REQUIREMENTS.
- 2) CONSTRUCT HEAVY DUTY ASPHALT PAVEMENT IN DRIVE LANES. SEE GEOTECHNICAL REPORT FOR REQUIREMENTS.
- 3) CONSTRUCT STANDARD DUTY CONCRETE PAVEMENT. SEE GEOTECHNICAL REPORT FOR REQUIREMENTS.
- 4) CONSTRUCT HEAVY DUTY CONCRETE PAVEMENT. SEE GEOTECHNICAL REPORT FOR REQUIREMENTS.
- 5) INSTALL ACCESSIBLE PARKING SIGN. INSTALL VAN PLACARD ON WEST STALL. SEE SHEET C9.10.
- 6) PAINT ACCESSIBLE SYMBOL. SEE SHEET C9.10.
- 7) MATCH EXISTING SIDEWALK.
- 8) CONSTRUCT CONCRETE SIDEWALK AT WIDTH SHOWN. SEE SHEET C9.10.
- 9) CONSTRUCT ACCESSIBLE RAMP. SEE SHEETS C9.11.
- 10) PAINT PARKING LOT STRIPING WITH WHITE TRAFFIC PAINT.
- 11) SAWCUT PAVEMENT 2' OFF PROPOSED CONCRETE LIP. DISPOSE OF OFF SITE. SEE SHEET C9.12. PATCH BACK WITH SAME DEPTH ASPHALT. MATCH EXISTING ALIGNMENT AND GRADE.
- 12) SEE BUILDING PLANS FOR TRASH ENCLOSURE CONSTRUCTION DETAILS.
- 13) CONSTRUCT 2' VALLEY PAN. SEE SHEET C9.10 FOR DETAIL.
- 14) INSTALL R1-1 STOP SIGN. SEE SHEET C9.10.
- 15) EXISTING SIDEWALK TO REMAIN.
- 16) INSTALL BIKE RACK FOR 2 BIKES. SEE SHEET C9.10.
- 17) REMOVE EXISTING SIDEWALK. INSTALL DRIVEWAY ACCESS CUT. SEE SHEET C9.11.
- 18) INSTALL NO PARKING FIRE LANE SIGN A. SEE SHEET C9.10.
- 19) INSTALL NO PARKING FIRE LANE SIGN B. SEE SHEET C9.10.
- 20) INSTALL NO PARKING FIRE LANE SIGN C. SEE SHEET C9.10.
- 21) INSTALL ONE-WAY SIGN. SEE SHEET C9.10.
- 22) INSTALL DO NOT ENTER SIGN. SEE SHEET C9.10.
- 23) PAINT CROSSWALK WITH WHITE TRAFFIC PAINT. 1' WIDE 6\"/>



PREPARED UNDER THE DIRECT SUPERVISION OF JERRY W. DAVIDSON, P.E. COLORADO REG # 30226 FOR AND ON BEHALF OF PERCEPTION DESIGN GROUP, INC.

NO.	DATE	DESCRIPTION
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2	09/17/25	1ST SUBMITTAL

**SIGNING AND STRIPING PLAN**  
**HUNTINGTON NATIONAL BANK**  
 LOT 3A PARKER POINT SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE NORTHEAST 1/4 OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M., TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

Design By: CLN  
 Approved By: JWD  
 Project No.: 2025-005

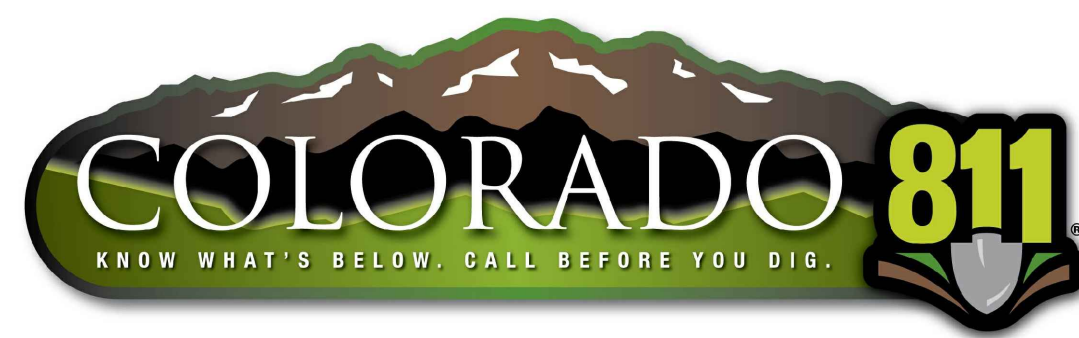
SHEET  
**C3.10**

**BASIS OF BEARINGS**

BEARINGS ARE BASED ON THE NORTH LINE OF THE NE 1/4 OF SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN HAVING A GRID BEARING OF S89°52'29\"/>

**BENCHMARK:**

BENCHMARK: DOUGLAS COUNTY GIS CONTROL MONUMENT 1060032 - 3-1/4\"/>

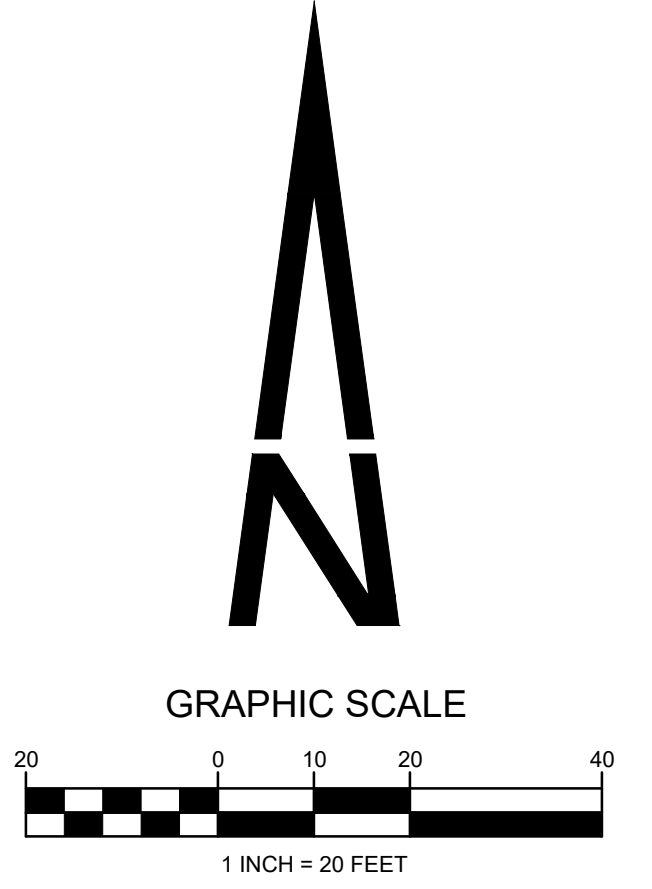


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**LEGEND**

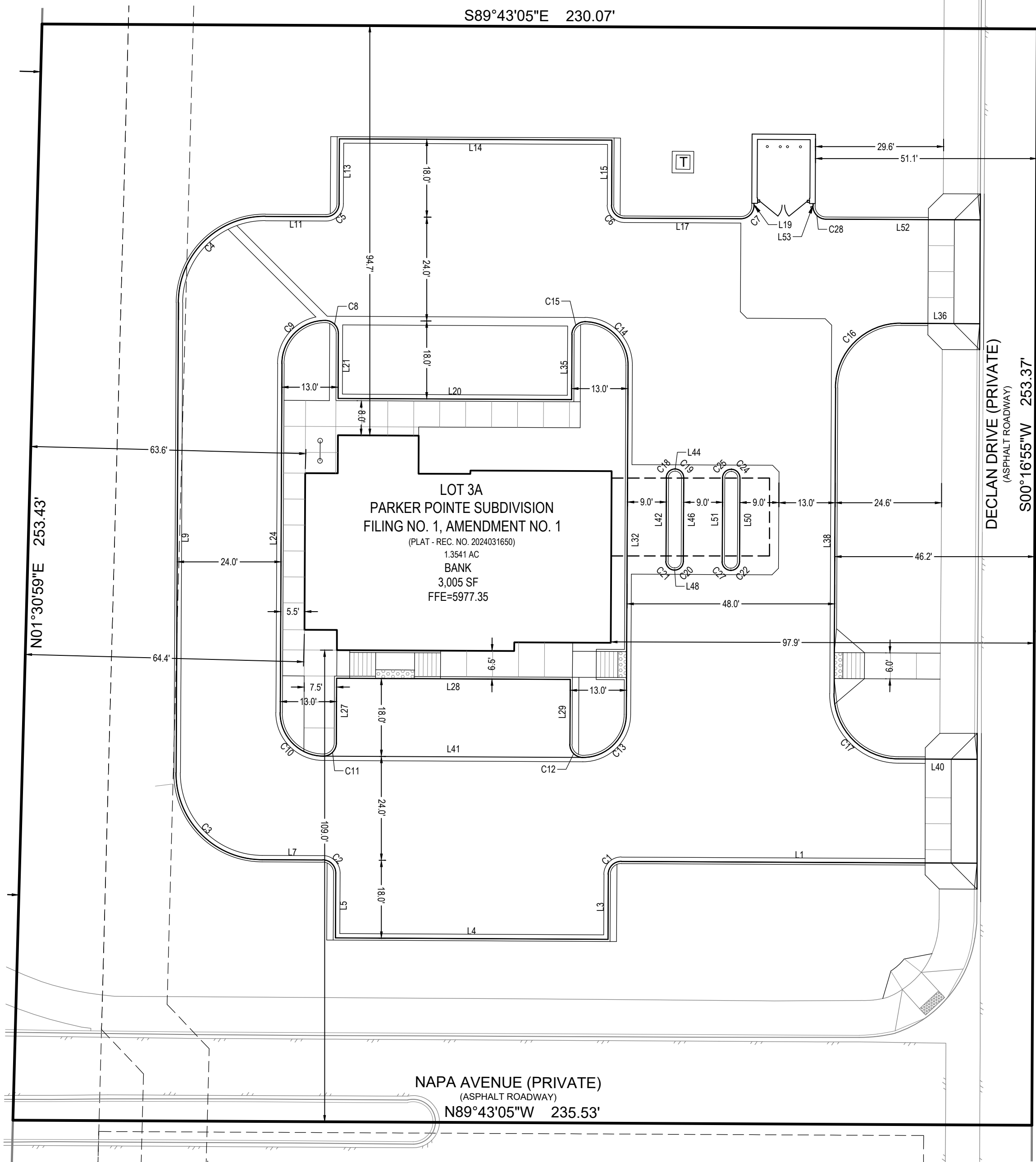
- PROPERTY LINE
- PROPOSED HANDICAP PARKING STALL
- PROPOSED PARKING COUNT PER ROW
- PROPOSED LANDSCAPED AREA
- PROPOSED SIDEWALK
- PROPOSED HANDICAP RAMP
- PROPOSED SITE SIGNAGE
- PROPOSED HEAVY-DUTY CONCRETE PAVEMENT
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER WITH SPILL PAN
- PROPOSED CURB AND GUTTER WITH CATCH PAN
- SAWCUT LINE
- EASEMENT
- TRANSFORMER



THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES. SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING \_\_\_\_\_ DATE \_\_\_\_\_



Parcel Line and Curve Table					
Line #/Curve #	Length	Bearing/Delta	Radius	CHORD BEARING	CHORD DISTANCE
C1	4.71'	90°00'00"	3.00	S45° 16' 54.55"W	S45° 16' 54.55"W
C2	4.71'	90°00'00"	3.00	N44° 43' 05.45"W	N44° 43' 05.45"W
C3	31.42'	90°00'00"	20.00	N44° 43' 05.45"W	N44° 43' 05.45"W
C4	31.42'	90°00'00"	20.00	N45° 16' 54.55"E	N45° 16' 54.55"E
C5	4.71'	90°00'00"	3.00	N45° 16' 54.55"E	N45° 16' 54.55"E
C6	4.71'	90°00'00"	3.00	S44° 43' 05.45"E	S44° 43' 05.45"E
C7	4.71'	90°00'00"	3.00	N45° 16' 54.59"E	N45° 16' 54.59"E
C8	4.71'	90°00'00"	3.00	N44° 43' 05.45"W	N44° 43' 05.45"W
C9	15.71'	90°00'00"	10.00	S45° 16' 54.55"W	S45° 16' 54.55"W
C10	15.71'	90°00'00"	10.00	S44° 43' 05.45"E	S44° 43' 05.45"E
C11	4.71'	90°00'00"	3.00	N45° 16' 54.55"E	N45° 16' 54.55"E
C12	4.71'	90°00'00"	3.00	S44° 43' 05.45"E	S44° 43' 05.45"E
C13	15.71'	90°00'00"	10.00	N45° 16' 54.55"E	N45° 16' 54.55"E
C14	15.71'	90°00'00"	10.00	N44° 43' 05.45"W	N44° 43' 05.45"W
C15	4.71'	90°00'00"	3.00	S45° 16' 54.55"W	S45° 16' 54.55"W
C16	23.56'	90°00'00"	15.00	S45° 16' 54.55"W	S45° 16' 54.55"W
C17	23.56'	90°00'00"	15.00	S44° 43' 05.45"E	S44° 43' 05.45"E
C18	3.14'	90°00'00"	2.00	N45° 16' 54.55"E	N45° 16' 54.55"E
C19	3.14'	90°00'00"	2.00	S44° 43' 05.45"E	S44° 43' 05.45"E
C20	3.14'	90°00'00"	2.00	S45° 16' 54.55"W	S45° 16' 54.55"W
C21	3.14'	90°00'00"	2.00	N44° 43' 05.45"W	N44° 43' 05.45"W
C22	3.14'	90°00'00"	2.00	N45° 16' 54.55"E	N45° 16' 54.55"E
C24	3.14'	90°00'00"	2.00	N44° 43' 05.45"W	N44° 43' 05.45"W
C25	3.14'	90°00'00"	2.00	S45° 16' 54.55"W	S45° 16' 54.55"W
C27	3.14'	90°00'00"	2.00	S44° 43' 05.45"E	S44° 43' 05.45"E
C28	4.71'	90°00'00"	3.00	S44° 43' 05.41"E	S44° 43' 05.41"E
L1	82.24	N89°43'05"W			
L3	15.00	S0°16'55"W			
L4	63.00	N89°43'05"W			
L5	15.00	N0°16'55"E			
L7	14.00	N89°43'05"W			
L9	108.66	N0°16'55"E			
L11	14.00	S89°43'05"E			
L13	15.00	N0°16'55"E			
L14	63.00	S89°43'05"E			
L15	15.00	S0°16'55"W			
L17	26.91	S89°43'05"E			
L19	0.58	N0°16'55"E			
L20	54.00	N89°43'05"W			
L21	15.00	N0°16'55"E			

Parcel Line and Curve Table					
Line #/Curve #	Length	Bearing/Delta	Radius	CHORD BEARING	CHORD DISTANCE
L24	80.66	S0°16'55"W			
L27	15.00	N0°16'55"E			
L28	54.00	S89°43'05"E			
L29	15.00	S0°16'55"W			
L32	80.66	N0°16'55"E			
L35	15.00	S0°16'55"W			
L36	18.24	N89°43'05"W			
L38	70.66	S0°16'55"W			
L40	18.15	S89°43'05"E			
L41	60.00	S89°43'05"E			
L42	19.32	N0°16'55"E			
L44	0.00	???			
L46	19.32	S0°16'55"W			
L48	0.00	???			
L50	19.32	N0°16'55"E			
L51	19.32	S0°16'55"W			
L52	35.68	N89°43'05"W			
L53	0.58	S0°16'55"W			

### BASIS OF BEARINGS

BEARINGS ARE BASED ON THE NORTH LINE OF THE NE 1/4 OF SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN HAVING A GRID BEARING OF S89°59'29"W PER COLORADO STATE PLAND COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983, MONUMENTED BY A 3-1/4" ALUMINUM CAP ON A #6 REBAR WITH APPROPRIATE MARKINGS AND STAMPED "AZTEC 2012, PLS 22561" FOUND IN A RANGE BOX AT THE NORTHEAST CORNER OF SAID SECTION 3 AND BY A 3-1/4" ALUMINUM CAP ON A #6 REBAR WITH APPROPRIATE MARKINGS AND STAMPED "2006, PLS 29761" FOUND IN A RANGE BOX AT THE NORTH 1/4 CORNER OF SAID SECTION 3, WITH BEARINGS CONTAINED HEREIN BEING RELATIVE THERETO.

### BENCHMARK:

BENCHMARK: DOUGLAS COUNTY GIS CONTROL MONUMENT 106032 - 3-1/4" ALUMINUM CAP DGCS MONUMENT FLUSH WITH GRADE, LOCATED AT THE STROH RANCH SOCCER PARK IN THE SOUTHEAST CORNER OF THE PARKING LOT. ELEVATION: 5903.17 FEET (NAVD 1988 DATUM). THE CONTOURS SHOWN HEREON ARE AT ONE (1) FOOT INTERVALS.

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### LEGEND

- PROPERTY LINE
- PROPOSED SIDEWALK
- PROPOSED HANDICAP RAMP
- PROPOSED SITE SIGNAGE
- PROPOSED HEAVY-DUTY CONCRETE PAVEMENT
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EXISTING ELECTRIC/TELEPHONE/GAS/FIBER LINE
- EASEMENT
- TRANSFORMER

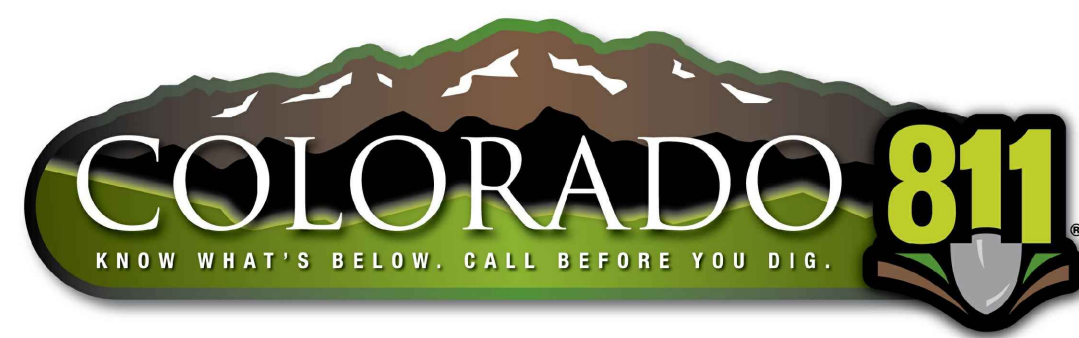
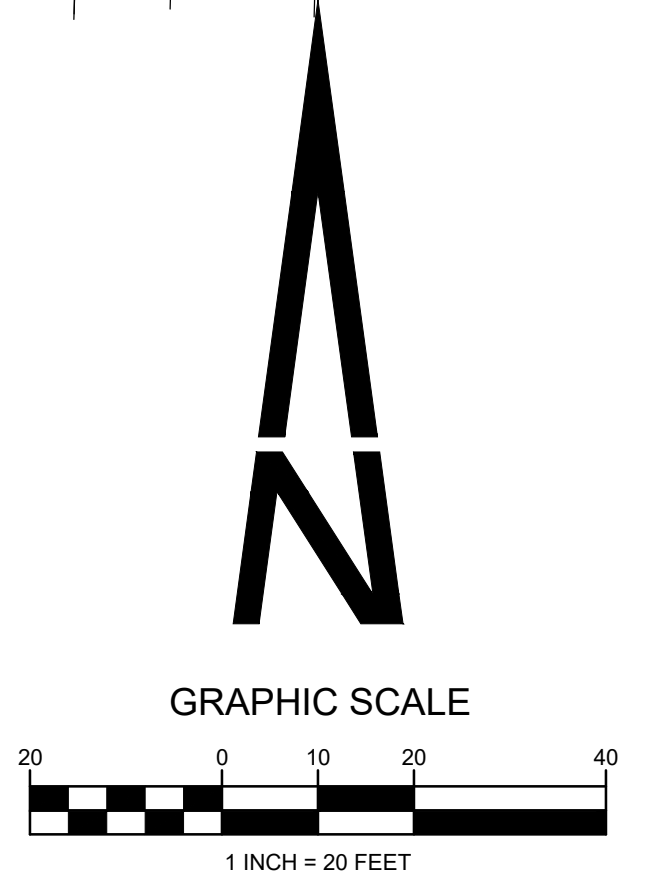
### NOTE:

CURB DIMENSIONS SHOWN ARE TO FLOW LINE.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING \_\_\_\_\_ DATE \_\_\_\_\_



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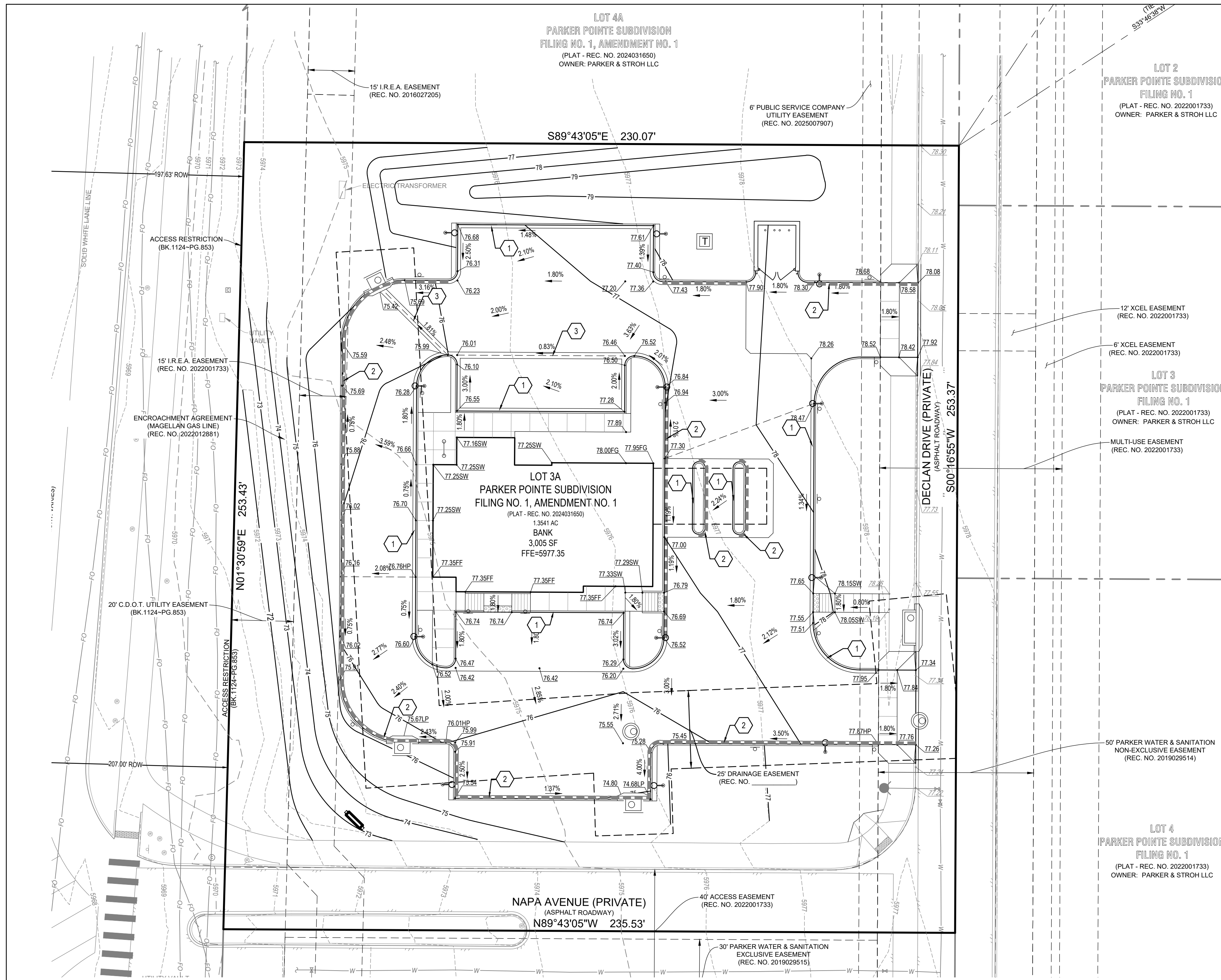
DATE	DESCRIPTION
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09/17/25	1ST SUBMITTAL

**HORIZONTAL CONTROL PLAN**  
**HUNTINGTON NATIONAL BANK**  
 LOT 3A PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE NORTHEAST 1/4 OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M., TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

Design By: CLN  
 Approved By: JWD  
 Project No.: 2025-005

SHEET  
**C3.11**





**LEGEND**

	PROPERTY LINE		EXISTING CONTOUR
	EXISTING CURB AND GUTTER		PROPOSED CONTOUR
	PROPOSED CURB AND GUTTER WITH SPILL PAN	BW	FINISHED GRADE AT BOTTOM OF WALL
	PROPOSED CURB AND GUTTER WITH CATCH PAN	TW	TOP OF WALL
	SAWCUT LINE	59.40	PROPOSED SPOT ELEVATION
	EXISTING STORM SEWER WITH MANHOLE	59.40	EXISTING SPOT ELEVATION
	PROPOSED STORM SEWER WITH MANHOLE AND INLET	TC	TOP OF CURB ELEVATION
		SW	SIDEWALK ELEVATION
		HP	HIGH POINT ELEVATION
		LP	LOW POINT ELEVATION

ALL ELEVATIONS SHOWN ARE FLOWLINE UNLESS OTHERWISE DESIGNATED.

**CONSTRUCTION NOTES**

- 1 CONSTRUCT CONCRETE CURB AND GUTTER WITH 12" SPILL PAN. SEE SHEET C9.10 FOR DETAIL.
- 2 CONSTRUCT CONCRETE CURB AND GUTTER WITH 12" CATCH PAN. SEE SHEET C9.10 FOR DETAIL.
- 3 CONSTRUCT 2' WIDE VALLEY PAN. SHEET C9.10 FOR DETAIL.



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**BASIS OF BEARINGS**

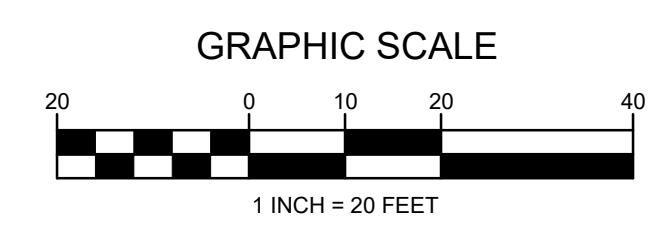
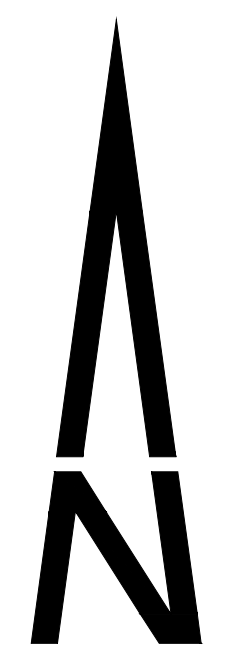
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**BENCHMARK:**

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TOWN OF PARKER, DIRECTOR OF ENGINEERING \_\_\_\_\_ DATE \_\_\_\_\_



**GRADING PLAN**

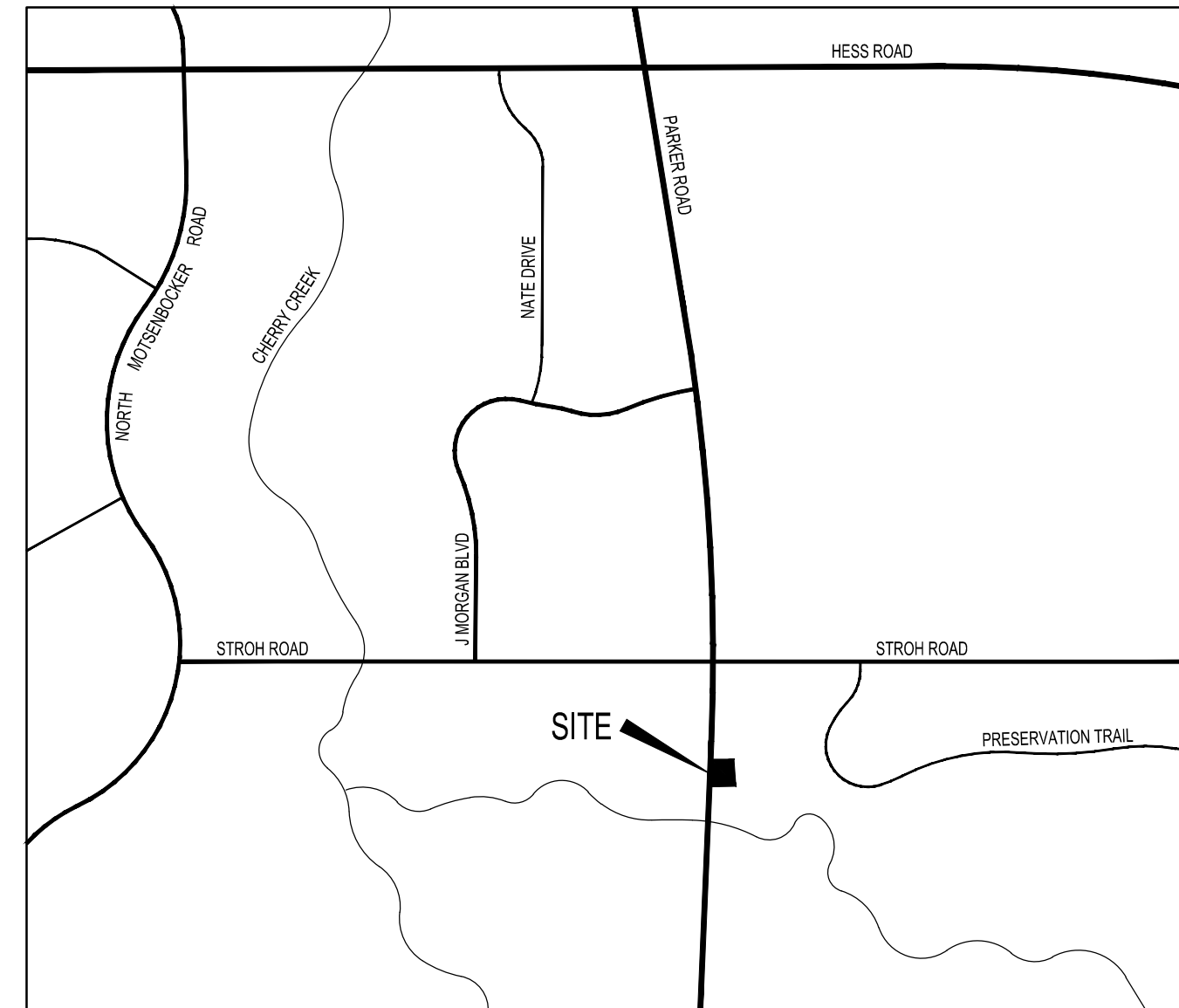
HUNTINGTON NATIONAL BANK  
 LOT 3A PARKER POINT SUBDIVISION FILING NO. 1, AMENDMENT NO. 1  
 LOCATED IN THE NORTHEAST 1/4 OF SECTION 3, TOWNSHIP 6 SOUTH,  
 RANGE 66 WEST OF THE 6TH P.M., TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

Design By: CLN  
 Approved By: JWD  
 Project No.: 2025-005

SHEET  
**C4.10**

# CBMP CONSTRUCTION PLANS HUNTINGTON NATIONAL BANK

LOT 3A, PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1  
LOCATED IN THE NE 1/4 OF SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.,  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



**VICINITY MAP**  
SCALE: 1" = 500'

## LEGEND

PROPERTY LINE  PROPOSED HANDICAP PARKING STALL  PROPOSED PARKING COUNT PER ROW  PROPOSED LANDSCAPED AREA  PROPOSED SIDEWALK  PROPOSED HANDICAP RAMP  PROPOSED SITE SIGNAGE  PROPOSED HEAVY-DUTY CONCRETE PAVEMENT  PROPOSED HEAVY DUTY ASPHALT PAVEMENT  EXISTING CURB AND GUTTER  PROPOSED CURB AND GUTTER WITH SPILL PAN  PROPOSED CURB AND GUTTER WITH CATCH PAN  SAWCUT LINE	EXISTING CONTOUR  PROPOSED CONTOUR  FINISHED GRADE AT BOTTOM OF WALL  TOP OF WALL  PROPOSED SPOT ELEVATION  EXISTING SPOT ELEVATION  FLOWLINE ELEVATION  TOP OF CURB ELEVATION  SIDEWALK ELEVATION  HIGH POINT ELEVATION  LOW POINT ELEVATION  EXISTING ELECTRIC/TELEPHONE/GAS/FIBER LINE  EXISTING STORM SEWER WITH MANHOLE  EXISTING SANITARY SEWER WITH MANHOLE  EXISTING WATERLINE WITH HYDRANT  PROPOSED STORM SEWER W/ MANHOLE AND INLET  PROPOSED SANITARY SEWER W/ MANHOLE AND CLEANOUT  PROPOSED WATERLINE AND HYDRANT  PROPOSED WATER SERVICE LINE  EASEMENT  TRANSFORMER
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### ADA NOTES:

ALL HANDICAP SPACES SHALL BE PAINTED AND SIGNED IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS.

THE FOLLOWING CRITERIA SHALL APPLY TO ALL CONSTRUCTION WITHIN THE LIMITS OF THIS PROJECT:

- A. THE MAXIMUM CROSS-SLOPE OF ANY SIDEWALK OR PEDESTRIAN ACCESS ROUTE SHALL BE 2.0 PERCENT. THE SLOPE SHALL BE MEASURED PERPENDICULAR TO THE DIRECTION OF TRAVEL.
- B. SIDEWALKS AND PEDESTRIAN ACCESS ROUTES SHALL HAVE A MAXIMUM GRADE OF 5.0 PERCENT MEASURED IN THE DIRECTION OF TRAVEL. SIDEWALKS OR PEDESTRIAN ACCESS ROUTES WHICH ARE DESIGNATED AS RAMPS MAY HAVE A MAXIMUM SLOPE OF 8.0 PERCENT FOR A MAXIMUM RISE OF 30 INCHES. A 5-FOOT BY 5-FOOT PAD (2.0 PERCENT MAXIMUM SLOPE IN ANY DIRECTION) SHALL BE CONSTRUCTED AT THE BOTTOM AND TOP OF ANY RAMP.
- C. ALL HANDICAP RAMPS SHALL HAVE A MAXIMUM SLOPE OF 8.0 PERCENT MEASURED IN THE DIRECTION OF TRAVEL. FLARED SIDES SHALL NOT BE CONSIDERED ACCESSIBLE AND ARE NOT TO BE INCLUDED IN THE DIRECTION OF TRAVEL. A 5-FOOT BY 5-FOOT AREA (2 PERCENT MAXIMUM SLOPE IN ANY DIRECTION) SHALL BE PROVIDED AT THE BOTTOM AND TOP OF ALL HANDICAP RAMPS. THE TRAVEL PORTION OF ALL RAMPS SHALL BE COLORED.
- D. THE GRADE IN A HANDICAP PARKING SPACE SHALL NOT EXCEED 2.0 PERCENT IN ANY DIRECTION. ALL HANDICAP PARKING SPACES SHALL HAVE AN ACCESSIBLE ROUTE TO THE BUILDING ENTRY AS SHOWN ON THE DRAWINGS. THE ACCESSIBLE ROUTE SHALL NOT EXCEED 2 PERCENT IN THE DIRECTION OF TRAVEL OR THE CROSS-SLOPE.

### TOWN OF PARKER

PUBLIC WORKS  
20120 E. MAIN STREET  
PARKER, CO 80138  
(303) 840-9546

### GAS PROVIDER

XCEL ENERGY  
550 15TH STREET, SUITE 700  
DENVER, CO 80202 1-800-628-2121

### WATER/SEWER PROVIDER

PARKER WATER AND SANITATION DISTRICT  
18100 E. WOODMAN DR.  
PARKER, CO 80134  
(303) 841-4627  
CONTACT: ROBERT RAMSEY

### ELECTRIC PROVIDER

CORE ELECTRIC COOPERATIVE  
5496 NORTH U.S. HIGHWAY 85  
SEDALIA, CO 80135  
(303) 688-3100  
CONTACT: BROOKS KAUFMAN

### FIRE PROTECTION

PARKER FIRE PROTECTION DISTRICT  
10235 PARKGLENN WAY  
PARKER, CO 80138  
(720) 274-3700

### CABLE PROVIDER

XFINITY STORE BY COMCAST  
18300 COTTONWOOD DR, SUITE 101  
PARKER, CO 80138  
(800) 934-6489

### DEVELOPER

HUNTINGTON NATIONAL BANK  
720-254-7258  
CONTACT: CHRIS EVANS  
CHRIS.EVANS@HUNTINGTON.COM

### CIVIL ENGINEER

PERCEPTION DESIGN GROUP, INC.  
8901 SOUTH PIERCE STREET, SUITE 315,  
LITTLETON, CO 80128  
303-232-8088  
CONTACT: JERRY DAVIDSON  
J.DAVIDSON@PERCEPTIONDESIGNGROUP.COM

### LIGHTING ENGINEER

WHS ENGINEERING  
2012 WEST 25TH STREET  
CLEVELAND, OH 44113  
216-990-2344  
CONTACT: SUE DUNMIRE  
SUE@WHS-ENG.COM

### ARCHITECT

VOCON  
3142 PROSPECT AVENUE E  
CLEVELAND, OH 44115  
216-329-9535  
CONTACT: AMY SUBA  
AMY.SUBA@VOCON.COM

### LANDSCAPE ARCHITECT

JUMP DESIGN COMPANY  
1733 S. CLARKSON STREET  
DENVER, CO 80210  
303-282-0463  
CONTACT: TOM JUMP  
TOMJ@JUMPDESIGNCO.COM

### SURVEYOR

ENGINEERING SERVICE COMPANY  
1300 SOUTH POTOMAC STREET, SUITE 126  
AURORA, CO 80012  
(303) 337-1393  
CONTACT: JEFFERY A. MILLER  
JEFFM@ENGINEERINGSERVICECO.COM

### LEGAL DESCRIPTION

PARCEL A:

LOT 3A, PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, ACCORDING TO THE PLAT THEREOF RECORDED JULY 31, 2024 AT RECEPTION NO. 2024031650, COUNTY OF DOUGLAS, STATE OF COLORADO.

PARCEL B:

THOSE BENEFICIAL EASEMENTS AS CREATED AND SET FORTH IN THE DECLARATION OF RECIPROCAL EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED NOVEMBER 12, 2024 AT RECEPTION NO. 2024048912.

THE ABOVE LEGAL DESCRIPTION DESCRIBES A PORTION OF THAT LAND CONTAINED IN SPECIAL WARRANTY DEED RECORDED ON NOVEMBER 12, 2024 AT RECEPTION NUMBER 2024048912 IN DOUGLAS COUNTY, COLORADO.

ASSURANCE NOTE: THE ABOVE LEGAL DESCRIPTION DESCRIBES ALL THAT LAND INSURED IN SCHEDULE A(S) OF TITLE COMMITMENT NUMBER NCS-265990-CO PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY WITH A COMMITMENT DATE OF JUNE 3, 2025.

### BASIS OF BEARINGS

BEARINGS ARE BASED ON THE NORTH LINE OF THE NE 1/4 OF SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN HAVING A GRID BEARING OF S89°59'29"W PER COLORADO STATE PLAND COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983, MONUMENTED BY A 3-1/4" ALUMINUM CAP ON A #6 REBAR WITH APPROPRIATE MARKINGS AND STAMPED "AZTEC, 2018, PLS 22561" FOUND IN A RANGE BOX AT THE NORTHEAST CORNER OF SAID SECTION 3 AND BY A 3-1/4" ALUMINUM CAP ON A #6 REBAR WITH APPROPRIATE MARKINGS AND STAMPED "2006, PLS 29761" FOUND IN A RANGE BOX AT THE NORTH 1/4 CORNER OF SAID SECTION 3, WITH BEARINGS CONTAINED HEREIN BEING RELATIVE THERETO.

### BENCHMARK:

BENCHMARK: DOUGLAS COUNTY GIS CONTROL MONUMENT 1060032 - 3-1/4" ALUMINUM CAP DCGIS MONUMENT FLUSH WITH GRADE, LOCATED AT THE STROH RANCH SOCCER PARK IN THE SOUTHEAST CORNER OF THE PARKING LOT.  
ELEVATION: 5903.17 FEET (NAVD 1988 DATUM).  
THE CONTOURS SHOWN HEREON ARE AT ONE (1) FOOT INTERVALS.



PREPARED UNDER THE DIRECT SUPERVISION OF JERRY W. DAVIDSON, P.E. COLORADO REG # 30226 FOR AND ON BEHALF OF PERCEPTION DESIGN GROUP, INC.

NO.	DATE	DESCRIPTION
1	04/03/26	2ND SUBMITTAL
2	09/17/25	1ST SUBMITTAL
3		
4		
5		
6		
7		
8		
9		
10		

## CBMP COVER SHEET

### HUNTINGTON NATIONAL BANK

LOT 3A, PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE NORTHEAST 1/4 OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M., TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

Design By: CLN  
Approved By: JWD  
Project No.: 2025-005

SHEET

# C5.00

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES. SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER, TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS DATE

TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS DATE

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

	CD	CHECK DAM
	CF	CONSTRUCTION FENCE
	CP	CULVERT PROTECTION
	CWA	CONCRETE WASHOUT AREA
	D	DEWATERING
	DD	DIVERSION DITCH
	DP	DETENTION POND PROTECTION
	DTC	DEBRIS TRASH CONTROL
	ECB	EROSION CONTROL BLANKET
	IPAN	INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT
	IPAP	INLET PROTECTION FOR AREA INLETS IN PAVEMENT
	IPCOG	INLET PROTECTION, CURB ON-GRADE, TYPE R INLET
	IPCOS	INLET PROTECTION, CURB ON SUMP, TYPE R INLET

**CBMP** LEGEND  
CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 3  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

	LP	LOT PROTECTION
	MWP	MASONRY WORK PROTECTION
	PTP	PORTABLE TOILET PROTECTION
	RCSC	ROUGH CUT STREET CONTROL
	RS	ROCK SOCK
	RSS	ROCK SOCK IN SWALE
	SB	STRAW BALE
	SCL	SEDIMENT CONTROL LOGS
	SF	SILT FENCE
	SMC	SEEDING, MULCHING AND CRIMPING
	SR	SURFACE ROUGHING
	SSA	STABILIZED STAGING AREA
	STP	SIDEWALK TRANSITION PROTECTION

**CBMP** LEGEND  
CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 3  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

	TI	TEMPORARY IRRIGATION
	TSB	TEMPORARY SEDIMENT BASIN
	VTC	VEHICLE TRACKING CONTROL

**CBMP** LEGEND  
CONSTRUCTION BEST MANAGEMENT PRACTICES 3 OF 3  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- GRADING, DRILLING, CLEARING, EXCAVATING, BACK-FILLING, SOIL STRIPPING, SOIL IMPORTING, EXPORTING OR ANY OTHER FORM OF SOIL DISTURBANCE SHALL NOT COMMENCE UNTIL A TOWN OF PARKER GRADING/EXCAVATION PERMIT HAS BEEN ISSUED.
- THE TOWN OF PARKER GRADING/EXCAVATION PERMIT IS VALID FOR A PERIOD OF 2 YEARS FROM THE DATE OF ISSUANCE. ANY LAPSE IN PERMIT COVERAGE MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER AND/OR FINES.
- ALL EROSION AND SEDIMENT CONTROL BMPs SHALL BE INSTALLED ACCORDING TO THE CBMP PLAN INSTALLATION NOTES AND DETAILS AND/OR PERMITTED VARIANCES. ALL MATERIALS, WORKMANSHIP AND INSTALLATION METHODS ARE SUBJECT TO INSPECTION BY THE TOWN'S INSPECTOR. THE TOWN OF PARKER RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS, WORKMANSHIP AND/OR INSTALLATION METHODS THAT DO NOT CONFORM TO THE CBMP PLAN AND/OR PERMITTED VARIANCES.
- THE EROSION CONTROL SUPERVISOR SHALL REVISE OR MODIFY THE EROSION AND SEDIMENT CONTROL MEASURES IF IT BECOMES APPARENT THAT THE ORIGINAL PLAN IS INADEQUATE, OR AS A RESULT OF DEFICIENCIES IDENTIFIED DURING INSPECTIONS PERFORMED BY THE TOWN'S INSPECTOR.
- THE INSTALLATION OF ADDITIONAL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) MAY BE REQUIRED OF THE EROSION CONTROL SUPERVISOR, PROPERTY OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS AT ANY TIME THROUGHOUT THE DURATION OF THE PROJECT CONSTRUCTION AND/OR SUBSEQUENT REVEGETATION PERIOD.
- THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE SITE REMAINS IN COMPLIANCE WITH THE NOTICE OF NUISANCE REPORTS (a.k.a. CONSTRUCTION SITE RUNOFF CONTROL INSPECTION REPORTS), APPROVED CBMP PLAN(S) AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
- THE EROSION CONTROL SUPERVISOR SHALL BE READILY AVAILABLE TO DISCUSS AND CORRECT ANY PROBLEMS THAT MAY ARISE RELATING TO GRADING, EROSION AND SEDIMENT CONTROL.
- IF IT IS ANTICIPATED THAT ALL OR A PORTION OF THE PROJECT WILL OCCUR DURING SEASONS SUSCEPTIBLE TO SNOWFALL, THE USE OF CERTAIN EROSION AND SEDIMENT CONTROL BMPs ADJACENT TO PUBLIC ROADWAYS MAY NEED TO BE RECONSIDERED DUE TO THE NATURE OF SNOW REMOVAL OPERATIONS. AN APPROVED ALTERNATIVE MAY BE NECESSARY TO MINIMIZE DAMAGE FROM THESE OPERATIONS. THE TOWN OF PARKER ASSUMES NO RESPONSIBILITY FOR DAMAGE TO ANY BMPs AS A RESULT OF SNOW PLOWING AND SNOW REMOVAL.
- AREAS OF LAND DISTURBANCE EQUAL TO 40 ACRES OR GREATER SHALL NOT BE EXPOSED FOR MORE THAN 30 CONSECUTIVE DAYS WITHOUT TEMPORARY OR PERMANENT STABILIZATION.
- AUTHORIZED EXEMPTIONS MAY BE ALLOWED TO THE 40-ACRE LIMIT FOR REMOVAL AND STORAGE OF CUT MATERIAL WHERE (A) GEOTECHNICAL LIMITATIONS RESTRICT THE USE OF TEMPORARY OR PERMANENT STABILIZATION (E.G., SWELLING SOILS, ROCK) AND (B) WHEN THE OWNER CAN DEMONSTRATE THAT THE 40-ACRE LIMIT IS PHYSICALLY AND/OR FINANCIALLY IMPRACTICABLE. FOR SITES GRANTED THIS EXEMPTION, A PHASING AND EARTHWORK QUANTITIES PLAN SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT AND APPROVED PRIOR TO THE COMMENCEMENT OF LAND DISTURBANCE ACTIVITIES. SUBMITTAL REQUIREMENTS INCLUDE:
  - PHASING PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
  - EARTHWORK QUANTITY PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
  - BMP PLAN SHOWING SPECIFIC EROSION AND SEDIMENT CONTROLS FOR EACH PHASE.

**CBMP** LEGEND  
CONSTRUCTION BEST MANAGEMENT PRACTICES GEN NOTES  
1 OF 4  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- ANY EROSION AND SEDIMENT CONTROL BMPs THAT ARE DAMAGED OR IN NEED OF MAINTENANCE OR REPLACEMENT SHALL BE CORRECTED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
- ALL DEFICIENCIES LISTED ON THE NOTICE OF NUISANCE FORM SHALL BE COMPLETED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES. ALL REQUIRED ACTIONS MUST BE IN THE CORRECTED FORM DURING THE FOLLOW-UP INSPECTION.
- THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TRICKLE CHANNELS, AND/OR OTHER IMPERVIOUS SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEAN BEFORE THE END OF THE WORK DAY.
- BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS.
- ALL TRASH RECEPTACLES ON SITE SHALL BE FREE OF HOLES, CRACKS, GAPS, AND/OR OTHER PERMEABLE AREAS THAT MAY ALLOW FOR THE DISCHARGE OF POLLUTANTS.
- ALL TRASH RECEPTACLES ON SITE SHALL BE EMPTIED AT A FREQUENCY AS TO ENSURE THAT THE TRASH REMAINS CONFINED TO THE RECEPTACLE.
- ALL LOOSE TRASH AND LITTER ASSOCIATED WITH THE PROJECT MUST BE REMOVED AND PROPERLY DISCARDED ON A DAILY BASIS.
- ALL PORTABLE TOILETS SHALL BE STAKED DOWN AT ALL TIMES USING U-SHAPED REBAR STAKES. THE PORTABLE TOILETS SHALL ALSO BE PLACED A MINIMUM DISTANCE OF 10 FEET FROM ALL IMPERVIOUS SURFACES, INCLUDING, BUT NOT LIMITED TO STREETS CURBS, GUTTERS, SIDEWALKS AND PARKING LOTS.
- THE EROSION CONTROL SUPERVISOR SHALL MAINTAIN STRICT ADHERENCE TO THE LIMITS OF CONSTRUCTION AND PROPERTY LIMITS FOR ALL MATERIALS, VEHICLES AND EQUIPMENT. FAILURE TO ABIDE BY THIS REQUIREMENT MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.
- ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE THROUGH THE APPROVED ACCESS POINT(S). A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL APPROVED ACCESS POINTS TO THE SITE. EXCEPTIONS MAY BE CONSIDERED FOR CONSTRUCTION ACTIVITY OCCURRING IMMEDIATELY ADJACENT TO PAVED AREAS AND WHERE ALTERNATIVE BMP'S ARE IMPLEMENTED. SUCH ACTIVITY MAY INCLUDE, BUT NOT BE LIMITED TO RESIDENTIAL CONSTRUCTION, UTILITY CONSTRUCTION, ETC.
- NO PERMANENT SLOPES GREATER THAN 3:1 ARE ALLOWED.
- ALL PERMANENT SLOPES STEEPER THAN 4:1 (HORIZONTAL TO VERTICAL) SHALL REQUIRE EROSION CONTROL BLANKET(S). TEMPORARY SLOPES IN TEMPORARY SEDIMENT BASINS THAT ARE STEEPER THAN 4:1 MAY REQUIRE EROSION CONTROL BLANKETS.
- THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ADVERSE IMPACTS THAT OCCUR TO NEIGHBORING PROPERTIES. THE EROSION CONTROL SUPERVISOR MUST OBTAIN PERMISSION FROM LAND OWNERS PRIOR TO ENTERING SUCH PROPERTY.
- A WATER SOURCE SHALL BE AVAILABLE ONSITE DURING CONSTRUCTION ACTIVITIES, AND UTILIZED TO MINIMIZE FUGITIVE DUST. ALTERNATIVE BMPs MAY BE REQUIRED IF INITIAL ATTEMPTS TO SUPPRESS DUST ARE UNSUCCESSFUL.

**CBMP** LEGEND  
CONSTRUCTION BEST MANAGEMENT PRACTICES GEN NOTES  
2 OF 4  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- ALL CHEMICAL OR HAZARDOUS MATERIAL SPILLS, INCLUDING CONCRETE WASHOUT WATER, WHICH MAY ENTER WATERS OF THE STATE OF COLORADO, WHICH INCLUDES BUT ARE NOT LIMITED TO, SURFACE WATER, GROUND WATER, DRY CULLETS OR STORM SEWERS LEADING TO SURFACE WATER, SHALL BE IMMEDIATELY REPORTED TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) PER 25-B-601, AND THE TOWN OF PARKER. RELEASES OF PETROLEUM PRODUCTS AND CERTAIN HAZARDOUS SUBSTANCES LISTED UNDER THE FEDERAL CLEAN WATER ACT (40 CFR PART 116) MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER AND THE CDPHE. SPILLS THAT POSE AN IMMEDIATE SAFETY HAZARD SHALL BE REPORTED TO 911.
- THE CLEANING OF CONCRETE TRUCKS AND EQUIPMENT IS RESTRICTED TO THE APPROVED CONCRETE WASHOUT LOCATION ON THE JOB SITE. CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO STATE WATERS OR STORM SEWER SYSTEMS.
- VEHICLE AND EQUIPMENT DEGREASING IS PROHIBITED ON THE JOB SITE.
- ALL DEWATERING ON SITE SHALL BE COORDINATED WITH THE TOWN'S INSPECTOR. A STATE PERMIT MAY BE REQUIRED FOR DEWATERING. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR OBTAINING AND ADHERING TO ALL APPLICABLE PERMITS.
- HYDRAULIC SEEDING AND/OR HYDRAULIC MULCHING ARE ONLY ALLOWED IN AREAS UNDER TEMPORARY OR PERMANENT IRRIGATION OR FOR THE PURPOSE OF TEMPORARY SOIL STABILIZATION.
- APPLICABLE CONSTRUCTION BMPs SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL ALL LANDSCAPING HAS BEEN INSTALLED AND THE DESIRABLE VEGETATION HAS REACHED A POINT IN WHICH EROSION AND SEDIMENTATION IS NO LONGER A CONCERN AS DETERMINED BY THE TOWN'S INSPECTOR.
- EROSION SECURITY RELEASE REQUIREMENTS:
  - DEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H OR ITEM I (BELOW).
    - ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
    - UNIFORM PERENNIAL VEGETATION COVER HAS BEEN ESTABLISHED WITH AN INDIVIDUAL PLANT DENSITY OF AT LEAST SEVENTY PERCENT (70%) OF PRE-DISTURBANCE LEVELS.
    - ALL CBMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
    - IF ANY EROSION IS PRESENT, IT IS INSIGNIFICANT AND IS NOT LEAVING THE SITE AND/OR LEADING INTO ANY ON-SITE DRAINAGE INFRASTRUCTURE THAT MAY CONVEY SURFACE WATER OFF SITE.
    - WEEDS REPRESENT NO MORE THAN FIFTY PERCENT (50%) OF THE TOTAL VEGETATION ON THE SITE.
    - NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
    - THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
    - WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
    - A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR ASSIGNMENT AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION AT THE TIME OF CLOSING TO ENSURE THAT THE NEW SITE OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.

**CBMP** LEGEND  
CONSTRUCTION BEST MANAGEMENT PRACTICES GEN NOTES  
3 OF 4  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- NONDEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H AND J, OR ITEMS I AND J (BELOW).
  - ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
  - ALL CBMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
  - EROSION IS NEGLIGIBLE, IF EVEN PRESENT.
  - THE VEGETATION REPRESENTS A PERENNIAL STAND OF A DENSE, UNIFORM SURFACE OF GRASS WITH NO AREA GREATER THAN ONE (1) SQUARE FOOT THAT IS BARREN OF DESIRABLE VEGETATION. INFREQUENT, WIDELY SCATTERED AREAS WHERE NATIVE VEGETATION HAS NOT YET TAKEN HOLD MAY QUALIFY FOR ACCEPTANCE AT THE DISCRETION OF THE TOWN.
  - WEEDS REPRESENT NO MORE THAN TEN PERCENT (10%) OF THE TOTAL VEGETATION ON SITE.
  - NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
  - THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
  - WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
  - A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR THE GRADING PERMIT HAS BEEN ASSIGNED AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION AT THE TIME OF CLOSING ON THE SALE OF A SITE THAT IS SUBJECT TO A GRADING PERMIT, TO ENSURE THAT THE NEW PROPERTY OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.
  - ALL KNOWN DRAINAGE ISSUES ASSOCIATED WITH THE PROJECT HAVE BEEN MITIGATED AND A SUFFICIENT AMOUNT OF TIME HAS PASSED TO ENSURE THAT SUCH ISSUES HAVE BEEN CORRECTED. THIS REQUIREMENT DOES NOT INCLUDE THOSE DRAINAGE ISSUES ORIGINATING ON RESIDENTIAL LOTS.
  - NOXIOUS WEEDS MUST BE CONTROLLED AS PROVIDED UNDER STATE LAW AND SECTION 6.01.260 OF THE TOWN OF PARKER MUNICIPAL CODE. FAILURE TO CONTROL NOXIOUS WEEDS ON THE SITE MAY CONSTITUTE A NUISANCE, SUBJECT TO THE PENALTIES CONTAINED IN THE CODE.
- DEFINITIONS:
 

DEVELOPABLE PROPERTY MEANS ANY LAND THAT HAS BEEN GRADED AND IS PART OF A PLATTED LOT OR PLATTED TRACT OF RECORD, THAT WAS PLATTED FOR FUTURE DEVELOPMENT, INCLUDING RESIDENTIAL HOME CONSTRUCTION OR PUBLIC IMPROVEMENTS.

NONDEVELOPABLE PROPERTY MEANS LAND THAT HAS BEEN GRADED AND WILL NOT BE FURTHER DISTURBED AS PART OF ANY FUTURE DEVELOPMENT. EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO: PARKS, OPEN SPACE, HOMEOWNER ASSOCIATION OR BUSINESS ASSOCIATION PLATTED TRACTS, DETENTION PONDS AND DRAINAGEWAYS.
- FAILURE TO COMPLY WITH ANY OF THE REQUIREMENTS DESCRIBED IN THIS SECTION MAY RESULT IN THE ISSUANCE OF: A NOTICE OF INTENT TO ISSUE A STOP WORK ORDER, A STOP WORK ORDER AND/OR THE REMEDIES/PENALTIES DESCRIBED IN CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE.
- ANY PERSON CONVICTED OF VIOLATING ANY PROVISION OF THE TOWN OF PARKER, GRADING & EARTH MOVEMENT SECTION OF THE MUNICIPAL CODE SHALL BE GUILTY OF A MISDEMEANOR AND, UPON CONVICTION, BE PUNISHED BY A FINE OF NOT MORE THAN FOUR HUNDRED NINETY NINE DOLLARS (\$499.00) FOR EACH SEPARATE OFFENSE. EACH DAY A VIOLATION CONTINUES SHALL CONSTITUTE A SEPARATE OFFENSE. THE TOWN ALSO MAY SEEK IN MUNICIPAL COURT AN INJUNCTION, ABATEMENT, RESTITUTION OR ANY OTHER REMEDY TO PREVENT, ENJOIN, ABATE OR REMOVE THE VIOLATION. A PERSON CONVICTED OF VIOLATING CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE SHALL BE LIABLE FOR THE ACTUAL COST OF REHABILITATING THE PROPERTY. THE COSTS MAY BE RECOVERED AS RESTITUTION IN MUNICIPAL COURT PROCEEDINGS OR IN A SEPARATE CIVIL ACTION.
- THE TOWN OF PARKER RESERVES THE RIGHT TO ALLOW MODIFICATIONS AND SUBSTITUTIONS TO THE CBMP NOTES AND DETAILS WHEN SUCH MODIFICATIONS AND SUBSTITUTIONS OFFER THE SAME LEVEL OF PROTECTION AS THE STANDARD REQUIREMENTS BASED UPON THE SPECIFIC SITUATION AS DETERMINED BY TOWN STAFF. DUE TO THE INSIGNIFICANCE AND REGULARITY OF SUCH MODIFICATIONS AND SUBSTITUTIONS, THE APPROVAL OF SUCH VARIATIONS MAY NOT BE DOCUMENTED BY TOWN STAFF.

**CBMP** LEGEND  
CONSTRUCTION BEST MANAGEMENT PRACTICES GEN NOTES  
4 OF 4  
Oct. 2013

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TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS DATE

PREPARED UNDER THE DIRECT SUPERVISION OF JERRY W. DAVIDSON, P.E. COLORADO REG # 30226 FOR AND ON BEHALF OF PERCEPTION DESIGN GROUP, INC.

DATE	DESCRIPTION
04/03/26	2ND SUBMITTAL
09/17/25	1ST SUBMITTAL

**CBMP NOTES**  
HUNTINGTON NATIONAL BANK  
LOT 3A- PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE NORTHEAST 1/4 OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M., TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

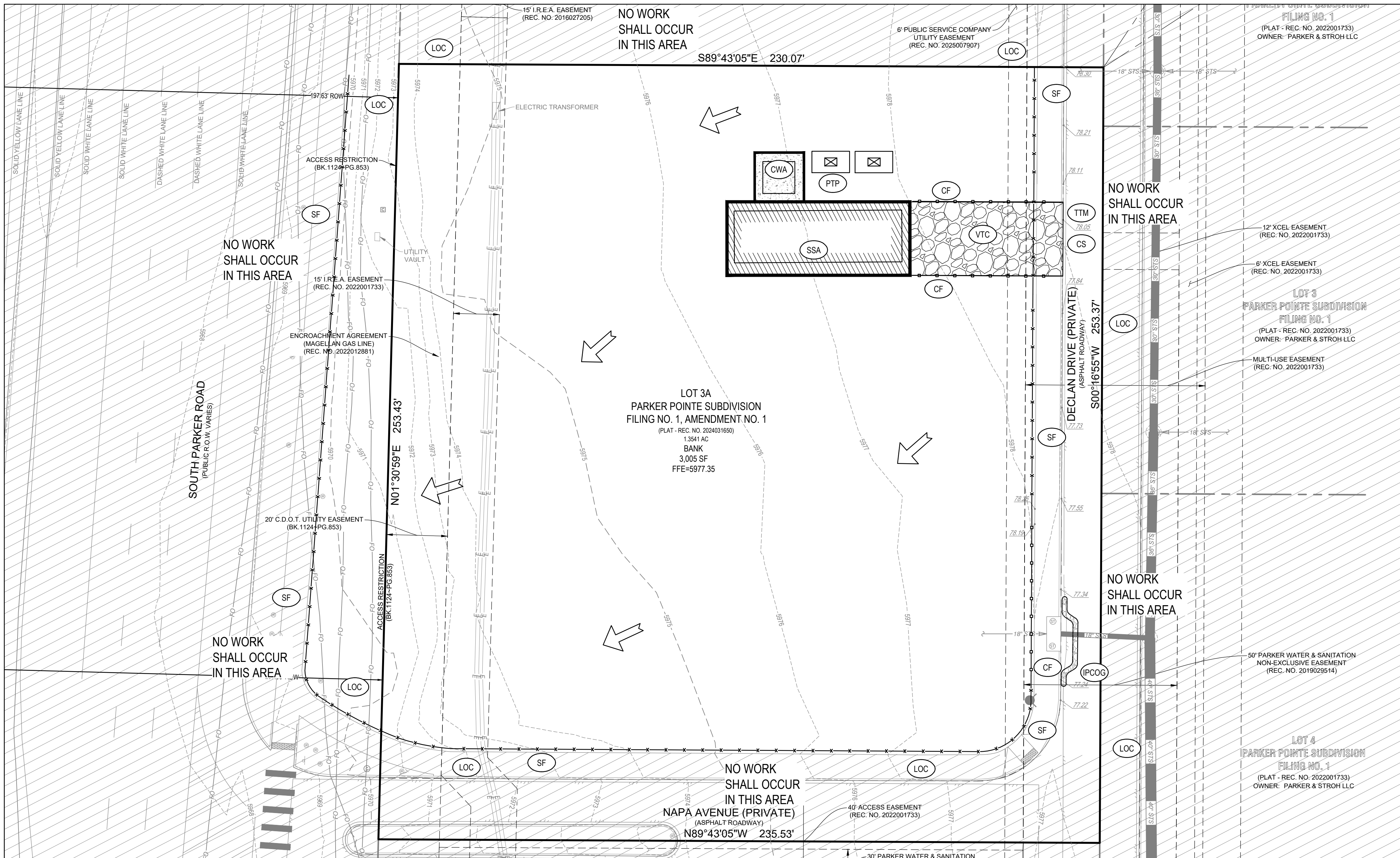
Design By: CLN  
Approved By: JWD  
Project No.: 2025-005

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6801 SOUTH PERCE STREET, SUITE 200, LITTLETON, CO 80120 303-232-0088  
WWW.PERCEPTIONDESIGNGROUP.COM



LEGEND		PROPERTY LINE
CD		CHECK DAM
CF		CONSTRUCTION FENCE
CP		CULVERT PROTECTION
CWA		CONCRETE WASHOUT AREA
DD		DIVERSION DITCH
DP		DETENTION POND PROTECTION
DTC		DEBRIS TRASH CONTROL
DW		DEWATERING
ECB		EROSION CONTROL BLANKET
IPAN		INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT
IPAP		INLET PROTECTION FOR AREA INLETS IN PAVEMENT
PCOG		INLET PROTECTION, CURB ON GRADE, TYPE R INLET
PCOS		INLET PROTECTION, CURB ON SUMP, TYPE R INLET
LP		LOT PROTECTION
MWP		MASONRY WORK PROTECTION
PTP		PORTABLE TOILET PROTECTION
RCSC		ROUGH CUT STREET CONTROL
RS		ROCK SOCK
RSS		ROCK SOCK IN SWALE
SCL		SEDIMENT CONTROL LOGS
SF		PROPOSED SILT FENCE
SMC		SEED MULCH CRIMP
SR		SURFACE ROUGHENING
SSA		STABILIZED STORAGE AREA
STP		SIDEWALK TRANSITION PROTECTION
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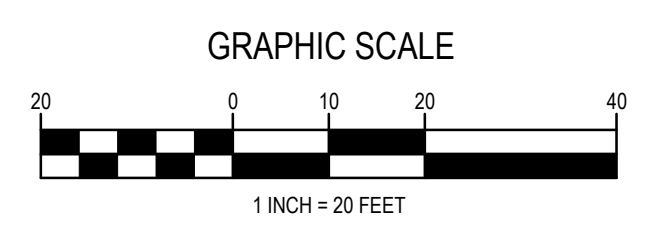
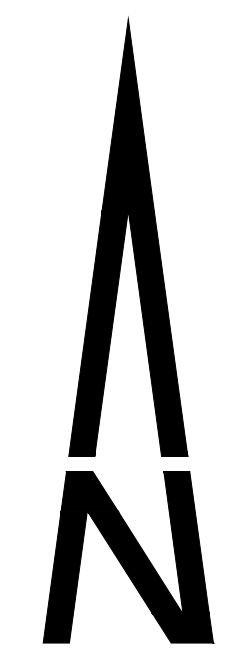
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INITIAL CBMP PLAN  
 HUNTINGTON NATIONAL BANK  
 LOT 3A PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE NORTHEAST 1/4 OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 68 WEST OF THE 6TH P.M., TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

### TOWN OF PARKER NOTES

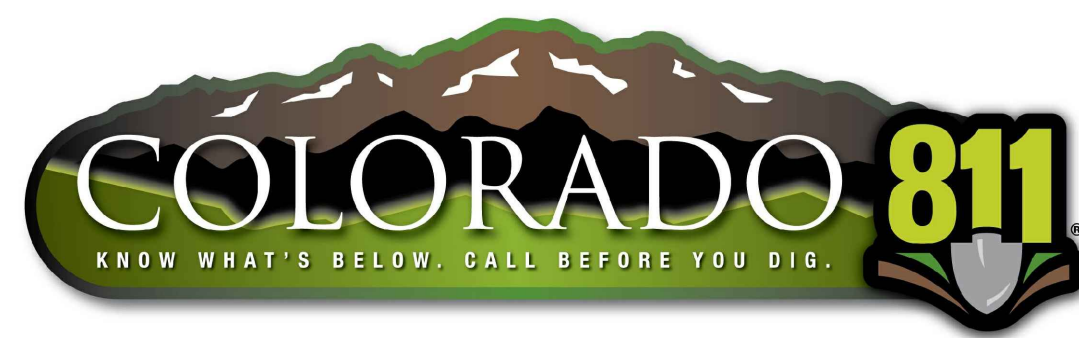
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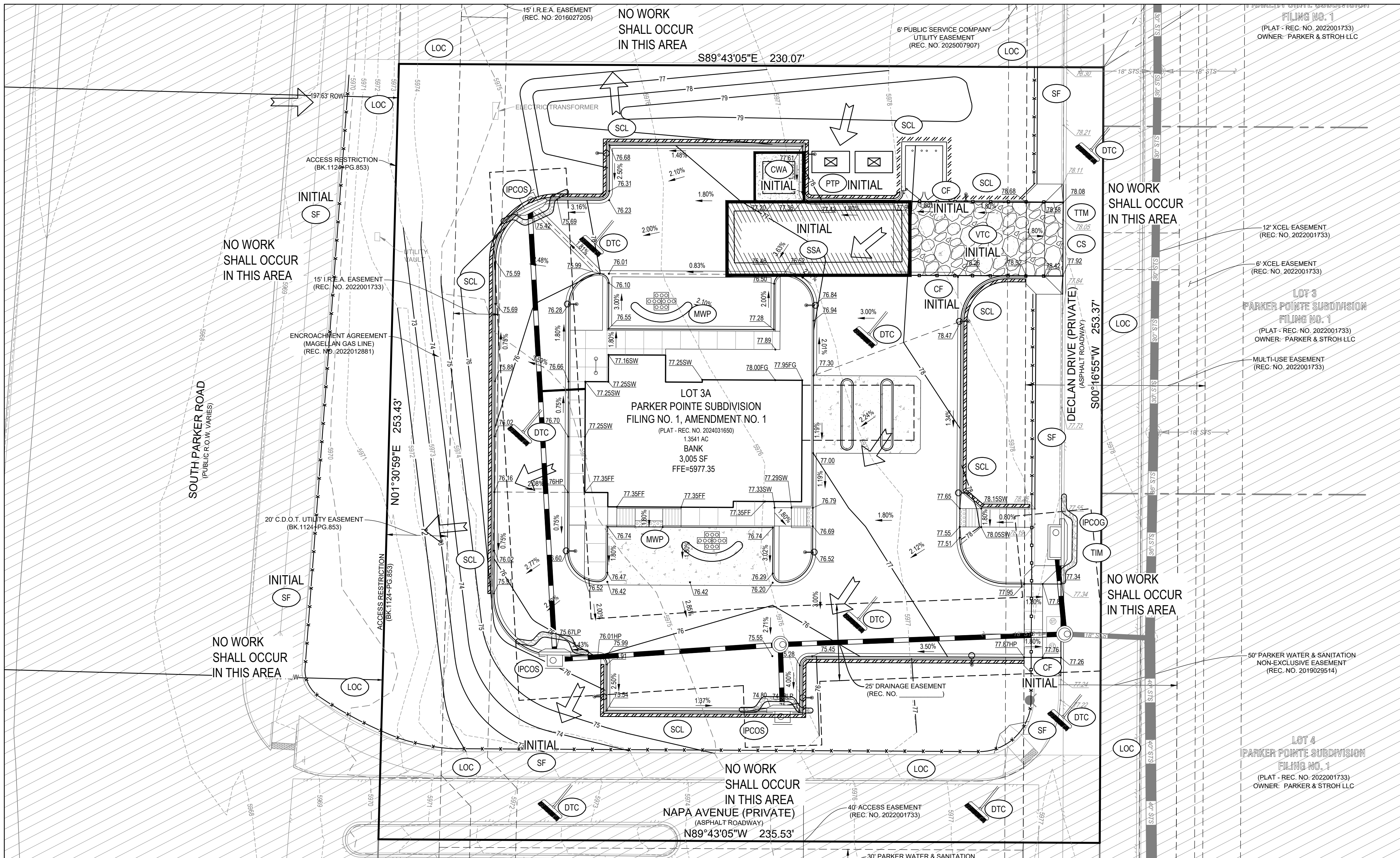
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TOWN OF PARKER, DIRECTOR OF ENGINEERING \_\_\_\_\_ DATE \_\_\_\_\_



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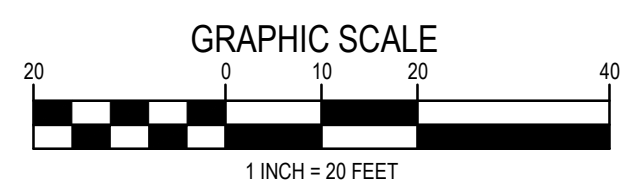
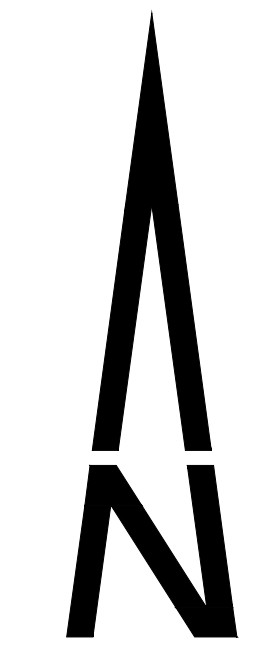
INTERIM CBMP PLAN  
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Design By: CLN  
 Approved By: JWD  
 Project No.: 2025-005

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 C5.11

### TOWN OF PARKER NOTES

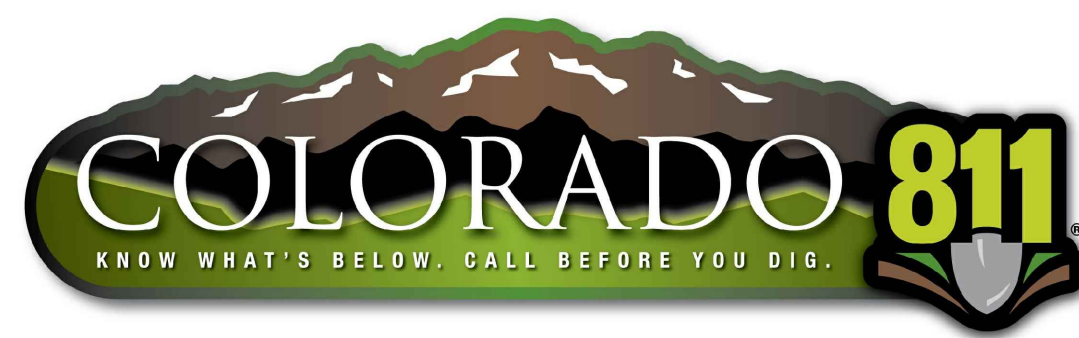
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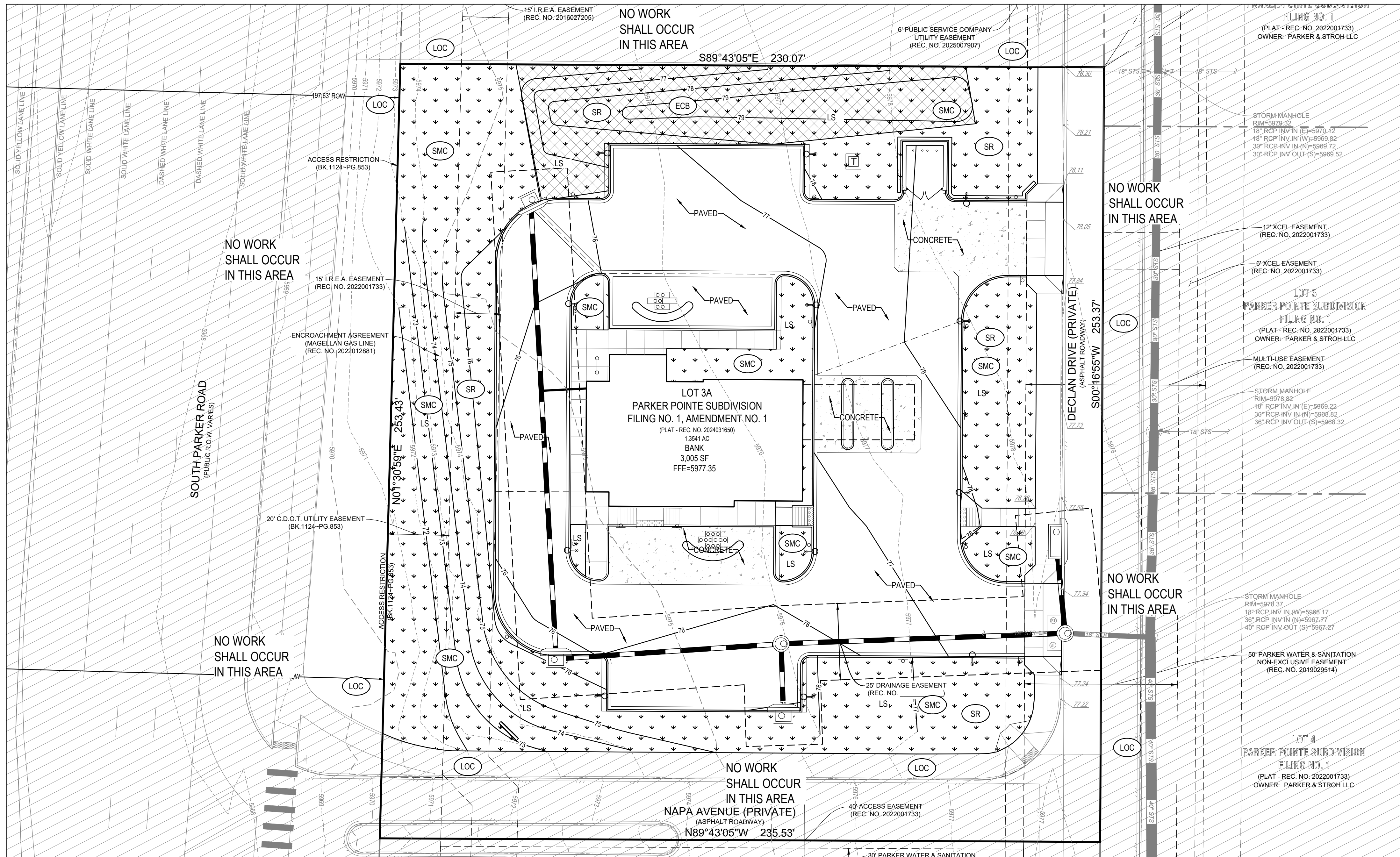
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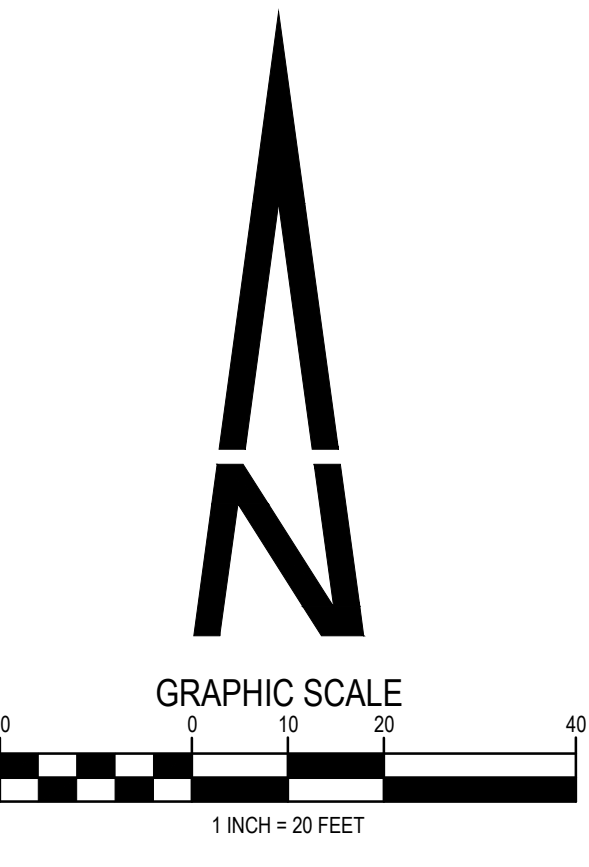
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Design By: CLN  
 Approved By: JWD  
 Project No.: 2025-005

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**C5.12**

**TOWN OF PARKER NOTES**

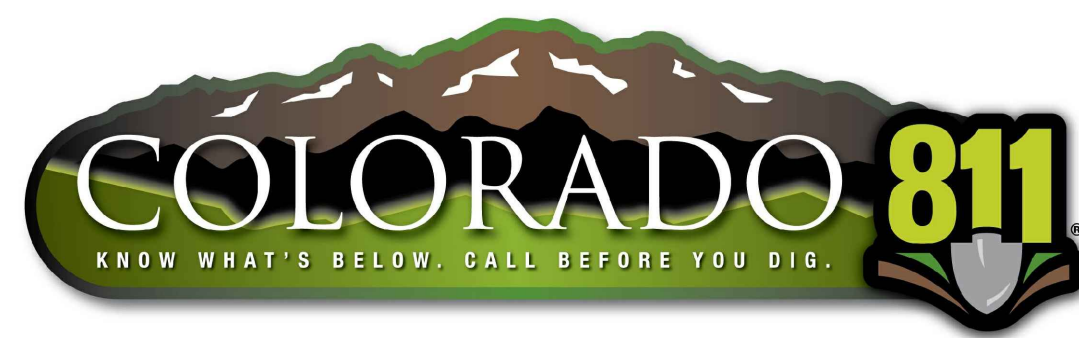
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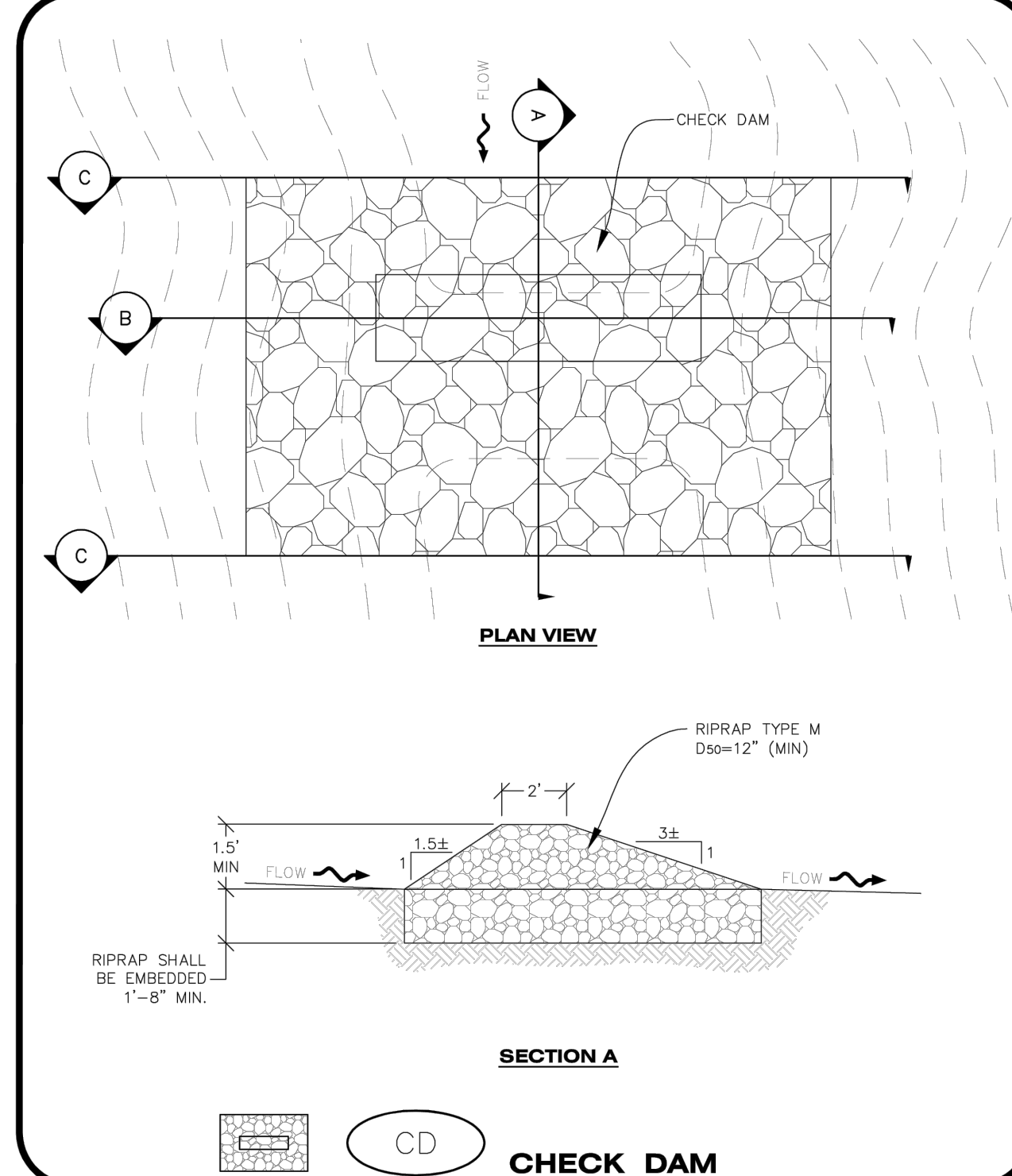
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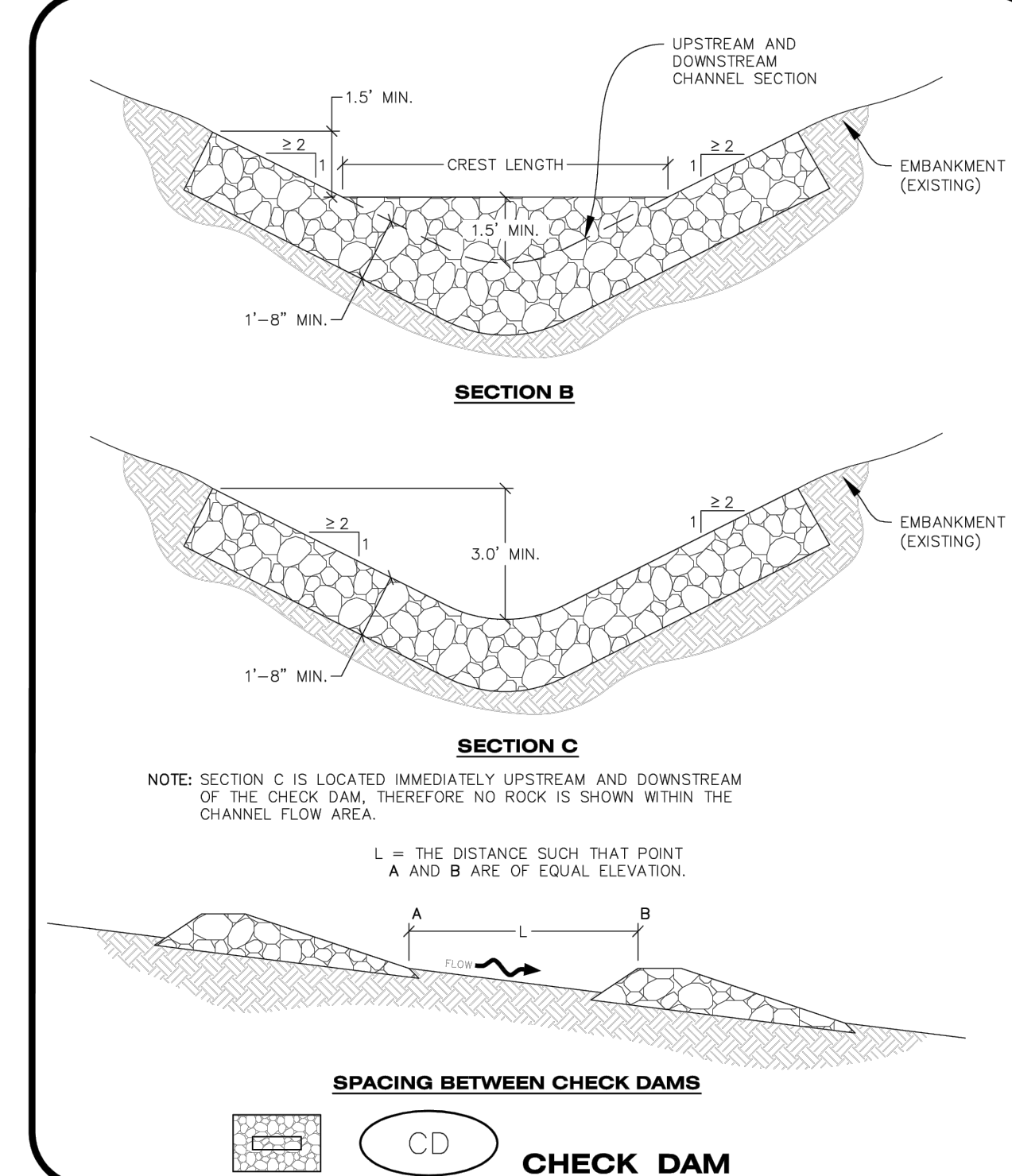
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**CBMP** | **CD**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 3  
Town of Parker COLORADO | Oct. 2013

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**CBMP** | **CD**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 3  
Town of Parker COLORADO | Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**CHECK DAM INSTALLATION NOTES**

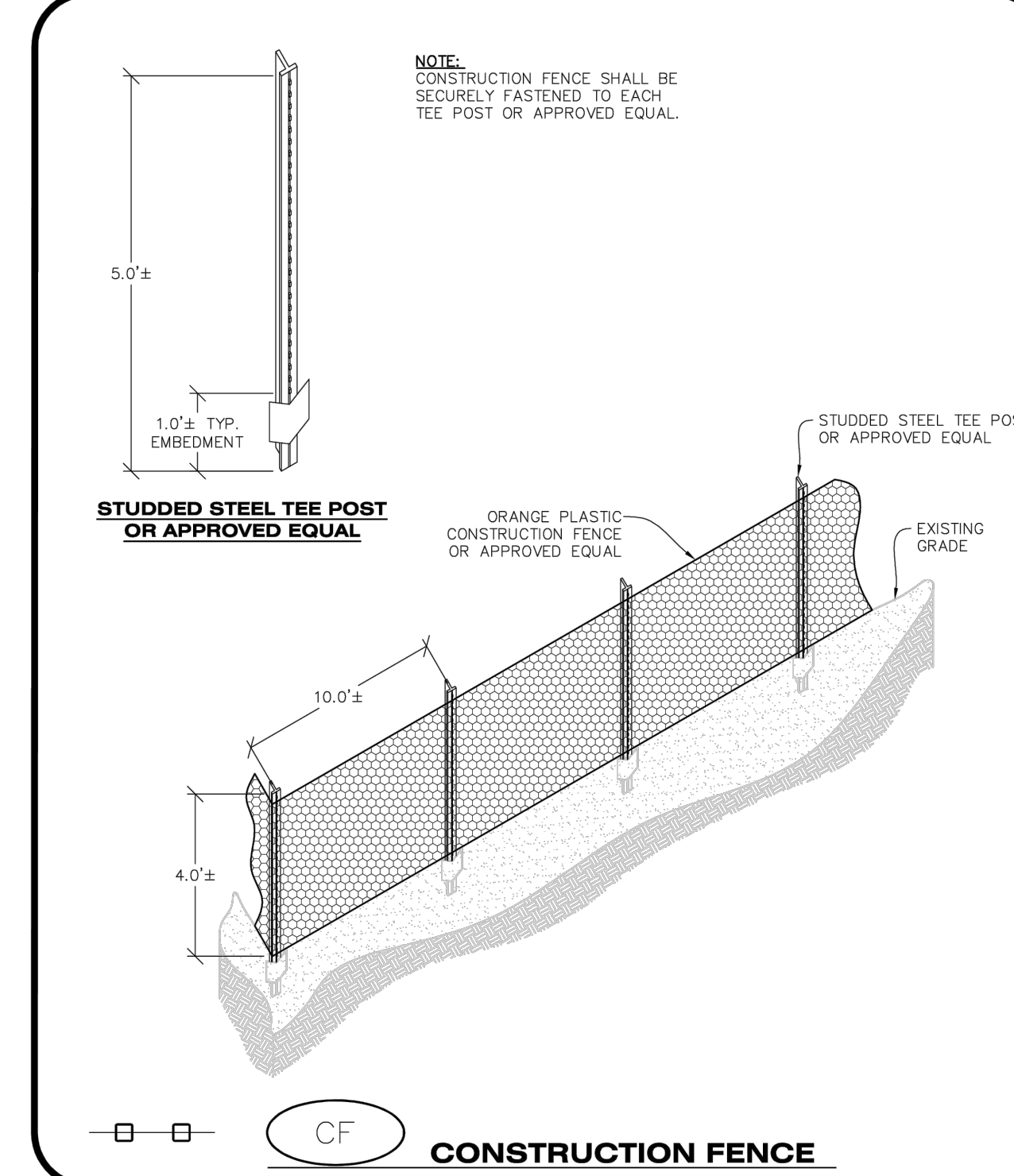
- SEE PLAN VIEW FOR LOCATION(S) OF CHECK DAMS.
- CHECK DAMS SHOWN ON CBMP PLAN SHALL BE INSTALLED WHEN DIRECTED BY THE TOWN'S INSPECTOR.
- RIPRAP UTILIZED FOR CHECK DAMS SHALL HAVE A D50 MEDIAN STONE SIZE OF 12".
- RIPRAP PAD SHALL BE TRENCHED INTO THE GROUND A MINIMUM OF 1'-8".
- THE MAXIMUM SPACING BETWEEN CHECK DAMS SHOULD BE SUCH THAT THE BOTTOM OF THE UPSTREAM DAM IS AT THE SAME ELEVATION AS THE TOP OF THE DOWNSTREAM DAM AS SHOWN IN THE DETAIL.

**CHECK DAM INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CHECK DAMS.
- ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE CREST OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- CHECK DAMS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- WHEN CHECK DAMS ARE REMOVED, THE TOWN'S INSPECTOR MAY REQUIRE EXCAVATIONS TO BE FILLED WITH SUITABLE COMPACTED TOPSOIL AND ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE CHECK DAMS BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
- IN SOME INSTANCES, CHECK DAMS MAY REMAIN IN PLACE PERMANENTLY.

**CBMP** | **CD**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 3 OF 3  
Town of Parker COLORADO | Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



**CBMP** | **CF**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2  
Town of Parker COLORADO | Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**CONSTRUCTION FENCE INSTALLATION NOTES**

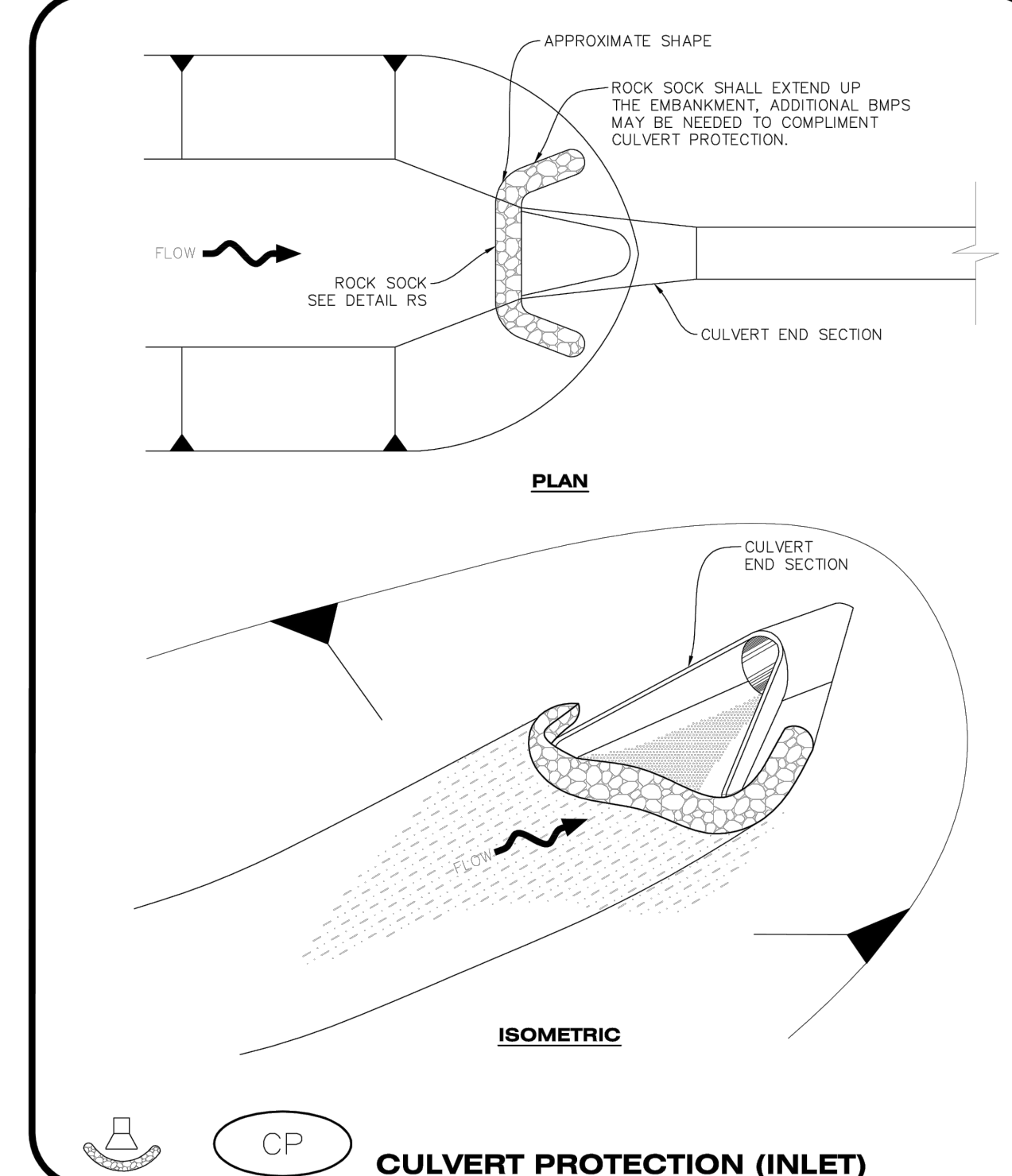
- THE CONSTRUCTION FENCE SHALL BE SECURELY FASTENED TO EACH POST OR APPROVED EQUAL.

**CONSTRUCTION FENCE INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CONSTRUCTION FENCE AND MAKE ANY NECESSARY REPAIRS.
- CONSTRUCTION FENCE SHALL BE REPAIRED WHEN THE FENCING MATERIAL FALLS OUT OF COMPLIANCE WITH THE NOTES AND DETAILS.

**CBMP** | **CF**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2  
Town of Parker COLORADO | Oct. 2013

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**CBMP** | **CP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2  
Town of Parker COLORADO | Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**CULVERT PROTECTION (INLET) INSTALLATION NOTES**

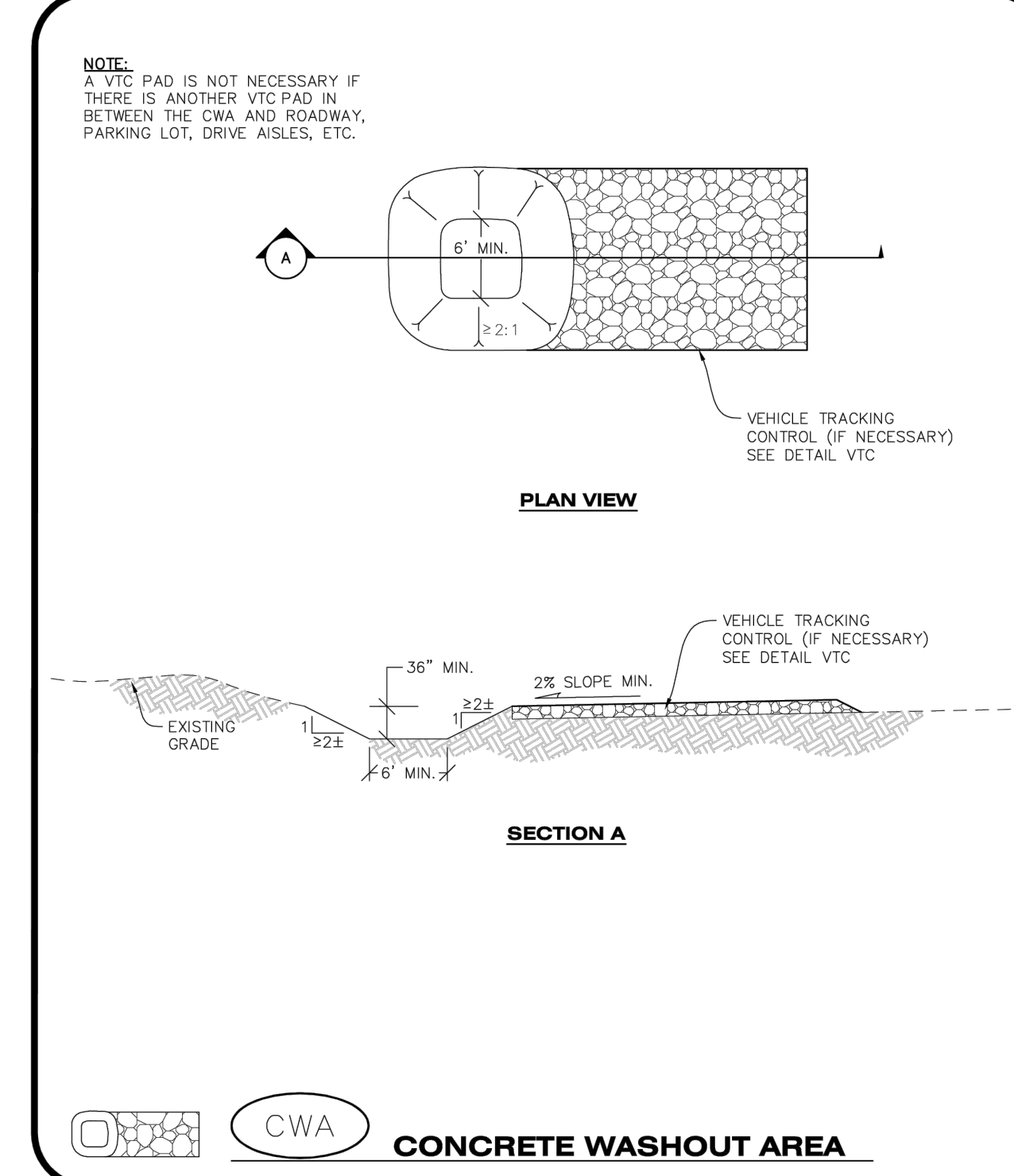
- SEE PLAN VIEW FOR LOCATION(S) OF CULVERT PROTECTION (INLET).
- ROCK SOCK SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL RS).
- ROCK SOCK SHALL BE APPROXIMATELY 12" IN DIAMETER.
- ROCK SOCK SHALL EXTEND ABOVE THE FLOW LINE ELEVATION ON BOTH SIDES OF THE CULVERT END SECTION.

**CULVERT PROTECTION (INLET) INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CULVERT PROTECTION (INLET).
- AT A MINIMUM, ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE ROCK SOCK.
- CULVERT PROTECTION (INLET) IS TO REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- WHEN THE CULVERT INLET PROTECTION IS REMOVED, THE TOWN'S INSPECTOR MAY REQUIRE ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE CULVERT INLET PROTECTION TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

**CBMP** | **CP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2  
Town of Parker COLORADO | Oct. 2013

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**CBMP** | **CWA**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2  
Town of Parker COLORADO | Oct. 2013



PREPARED UNDER THE DIRECT SUPERVISION OF JERRY W. DAVIDSON, P.E. COLORADO REG # 30226 FOR AND ON BEHALF OF PERCEPTION DESIGN GROUP, INC.

NO.	DATE	DESCRIPTION
1	04/03/26	2ND SUBMITTAL
2	09/17/25	1ST SUBMITTAL

**CBMP DETAILS**

**HUNTINGTON NATIONAL BANK**

LOT 3A - PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE NORTHEAST 1/4 OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M., TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

Design By: CLN  
Approved By: JWD  
Project No.: 2025-005

SHEET  
**C5.90**

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**CONCRETE WASHOUT AREA INSTALLATION NOTES**

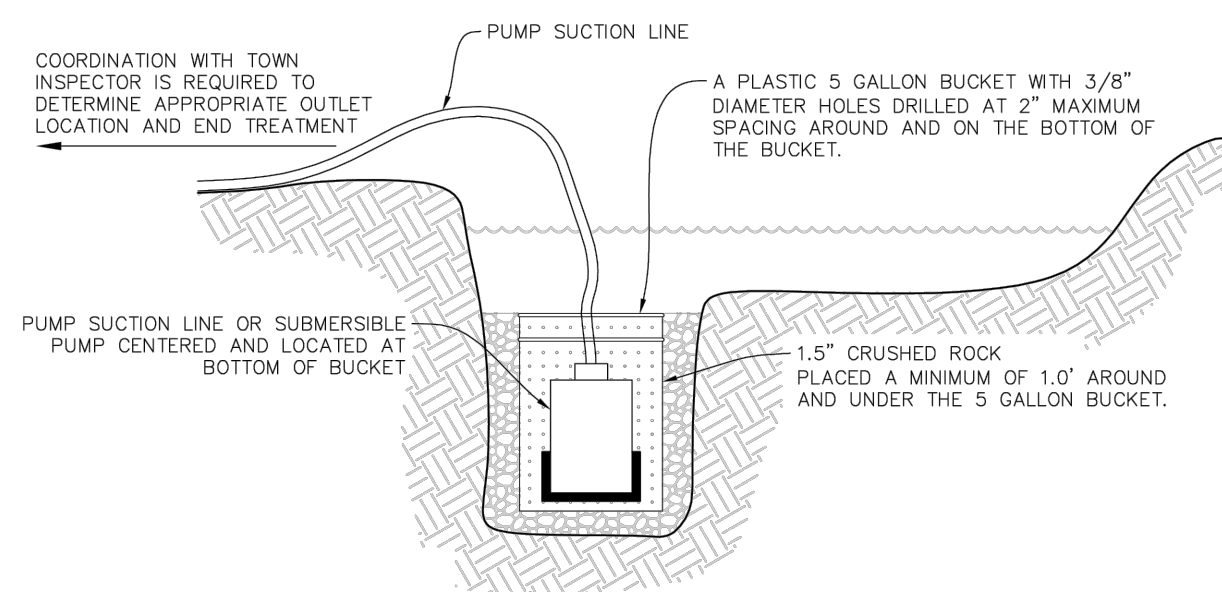
1. CONCRETE WASHOUT AREAS SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
2. A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT THE ACCESS POINT TO ALL CONCRETE WASHOUT AREAS WHEN NO OTHER VTC PAD EXISTS IN BETWEEN THE CWA AND THE ROADWAY.
3. IF GROUNDWATER IS ENCOUNTERED WHEN DIGGING THE PIT, A NEW LOCATION SHOULD BE SELECTED. IF NO OTHER LOCATION CAN BE FOUND, A ONE-PIECE IMPERVIOUS LINER SHALL BE REQUIRED ALONG THE BOTTOM AND SIDES OF THE SUBSURFACE PIT.

**CONCRETE WASHOUT AREA INSPECTION AND MAINTENANCE NOTES**

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CONCRETE WASHOUT AREA.
2. CONCRETE WASHOUT MATERIALS SHALL BE REMOVED BEFORE ITS CAPACITY HAS BEEN REACHED.
3. CONCRETE WASHOUT AREAS SHALL BE ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE AND ASSOCIATED WASH WATER.
4. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE AS NECESSARY TO ENSURE ADEQUATE CAPACITY.
5. CONCRETE WASHOUT AREAS SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
6. WHEN CONCRETE WASHOUT AREAS ARE REMOVED, THE TOWN'S INSPECTOR MAY REQUIRE EXCAVATIONS TO BE FILLED WITH SUITABLE COMPACTED BACKFILL AND TOPSOIL, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE CONCRETE WASHOUT AREAS SHALL BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **CWA** 2 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



**TYPICAL DEWATERING SUMP**

**NOTE:**  
IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE APPROPRIATE MEASURES TO PROTECT PUMPING EQUIPMENT AND MINIMIZE SEDIMENT. USE OF A PLASTIC 5 GALLON BUCKET IS SUGGESTED BUT NOT REQUIRED. THE CONTRACTOR SHALL NOT HOLD THE TOWN LIABLE FOR DAMAGE TO PUMPING EQUIPMENT REGARDLESS OF METHODS USED.

**DEWATERING**

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **D** 1 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**DEWATERING INSTALLATION NOTES**

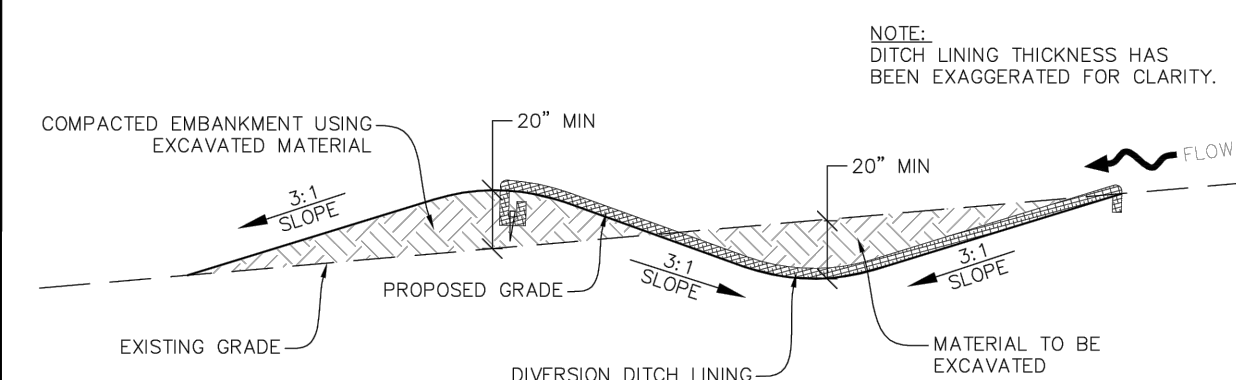
1. IT IS THE EROSION CONTROL SUPERVISOR'S RESPONSIBILITY TO ENSURE THAT ALL DEWATERING IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE).

**DEWATERING MAINTENANCE NOTES**

1. THE EROSION CONTROL SUPERVISOR SHALL INSPECT THE DEWATERING OPERATION TO ENSURE THAT THE DISCHARGE WATER IS DRAINING TO THE PROPER LOCATION(S) AND PERFORM ANY NECESSARY REPAIRS OR MAINTENANCE ON A FREQUENT BASIS.

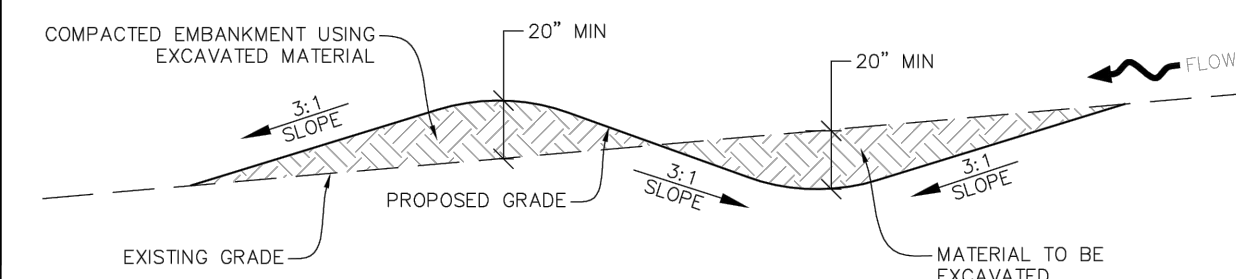
**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **D** 2 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



**DIVERSION DITCH SECTION LINED CHANNEL**

DIVERSION DITCH GEOMETRY AND REQUIRED LINING MATERIAL SHALL BE OBTAINED FROM ASSOCIATED CBMP PLANS VIA THE DESIGN ENGINEER. IF THIS INFORMATION IS NOT PROVIDED ON THE CBMP PLANS, THE CONTRACTOR SHALL NOTIFY THE TOWN PRIOR TO CONSTRUCTION.



**DIVERSION DITCH SECTION UNLINED CHANNEL**

**DIVERSION DITCH**

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **DD** 1 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**DIVERSION DITCH INSTALLATION NOTES**

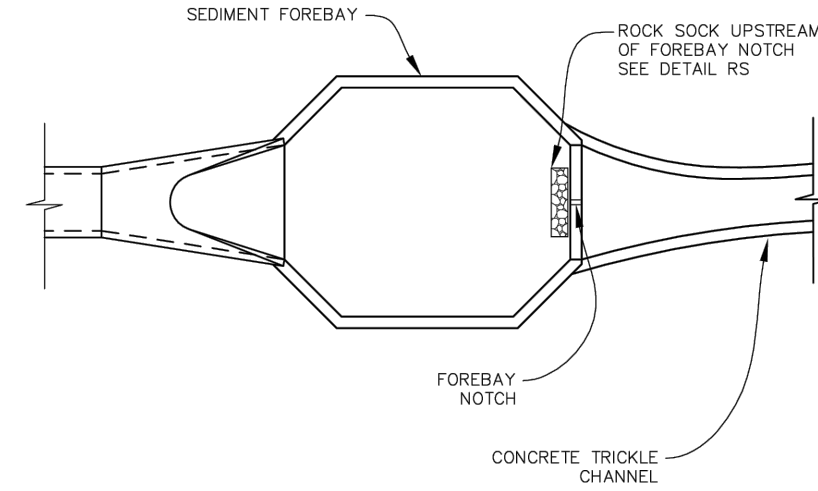
1. SEE THE PLAN VIEW FOR THE LOCATION(S) OF THE DIVERSION DITCHES.
2. A PLASTIC LINER, RIPRAP, OR EROSION CONTROL BLANKET MAY BE NECESSARY TO PROTECT THE DIVERSION DITCH. THE REQUIRED LINING MATERIAL SHALL BE OBTAINED FROM THE CBMP PLANS VIA THE DESIGN ENGINEER.
3. ALL MATERIAL EXCAVATED FROM THE DITCH MAY BE USED TO CONSTRUCT THE BERM ON THE DOWNHILL SIDE OF THE DITCH.
4. THE DIVERSION DITCH SHALL BE A MINIMUM OF 20" DEEP WITH APPROX. 3:1 SIDE SLOPES. THE ADJACENT BERM SHALL BE A MINIMUM OF 20" IN HEIGHT WITH APPROX. 3:1 SIDE SLOPES. ALL EMBANKMENTS SHALL BE FIRMLY COMPACTED.
5. THE DISCHARGE FROM THE DIVERSION DITCH SHALL BE DIRECTED TOWARDS AN APPROPRIATELY SIZED TEMPORARY SEDIMENT BASIN OR OTHER APPROVED AREA.

**DIVERSION DITCH INSPECTION AND MAINTENANCE NOTES**

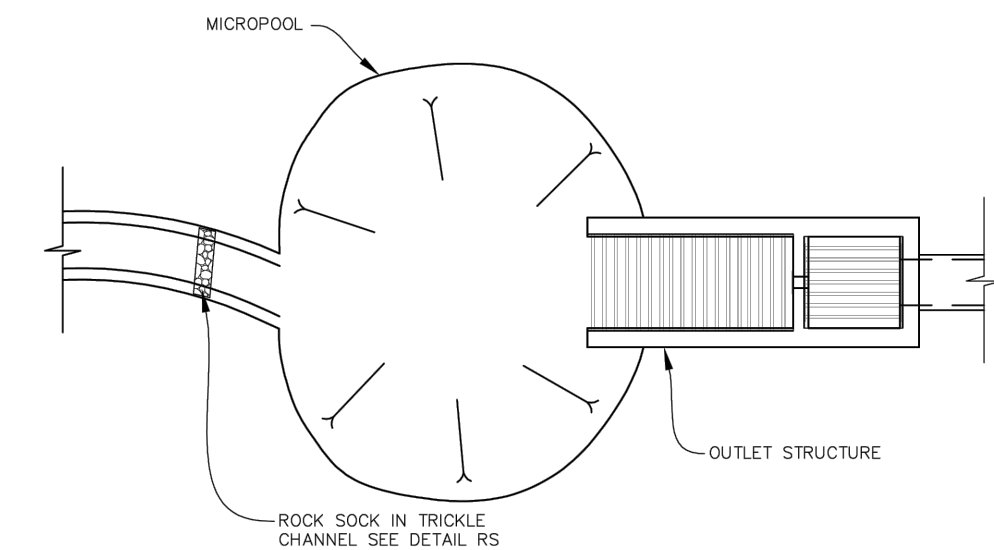
1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE DIVERSION DITCH.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 (10") THE CREST HEIGHT.
3. DIVERSION DITCHES SHALL BE RE-GRADED FOLLOWING THE SIGNS OF MODERATE OR MORE SOIL EROSION OR ANY DAMAGE.
4. DIVERSION DITCHES ARE TO REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR. ALTERNATIVELY, THE DIVERSION DITCHES MAY BE REMOVED WHEN THE SITE'S TOPOGRAPHY CHANGES SUCH THAT SIGNIFICANT RUNOFF IS NO LONGER POSSIBLE. IN SOME INSTANCES, THE DIVERSION DITCHES MAY REMAIN IN PLACE PERMANENTLY.

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **DD** 2 OF 2 Oct. 2013

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**FOREBAY**



**OUTLET / MICROPOOL**

**DETENTION POND PROTECTION**

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **DP** 1 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**DETENTION POND PROTECTION INSTALLATION NOTES**

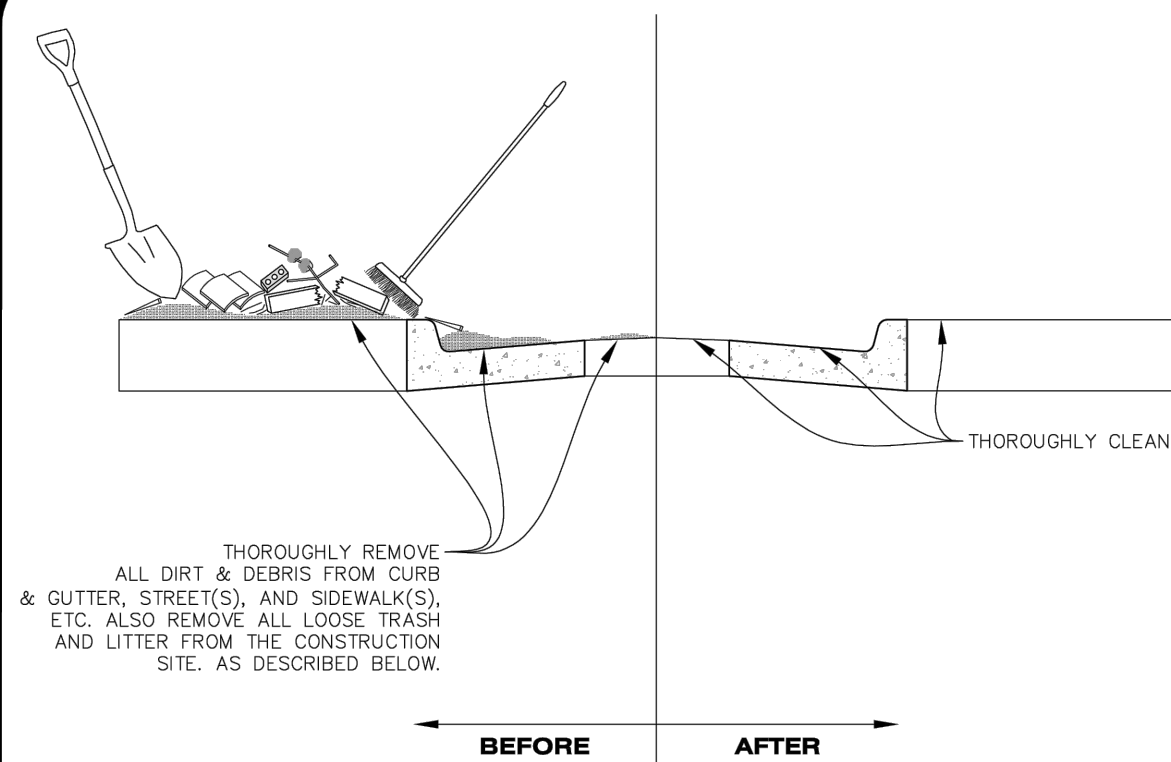
1. DETENTION POND PROTECTION SHALL BE INSTALLED IMMEDIATELY FOLLOWING THE CONSTRUCTION OF THE TRICKLE CHANNEL AND FOREBAY.
2. CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
3. ROCK SOCK FOR OUTLET STRUCTURE AND FOREBAY PROTECTION SHALL BE ONE CONTINUOUS PIECE (SEE DETAIL RS).

**DETENTION POND PROTECTION INSPECTION AND MAINTENANCE NOTES**

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE OUTLET STRUCTURE PROTECTION.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED IMMEDIATELY.
3. OUTLET STRUCTURE PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **DP** 2 OF 2 Oct. 2013

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**DEBRIS AND TRASH CONTROL**

- NOTE:**
1. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TRICKLE CHANNELS, AND/OR OTHER IMPERVIOUS SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEAN BEFORE THE END OF THE WORK DAY. FURTHERMORE, ALL LOOSE TRASH AND LITTER ASSOCIATED WITH THE PROJECT MUST BE REMOVED AND PROPERLY DISCARDED ON A DAILY BASIS.

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **DTC** 1 OF 2 Oct. 2013



PREPARED UNDER THE DIRECT SUPERVISION OF JERRY W. DAVIDSON, P.E. COLORADO REG # 30226 FOR AND ON BEHALF OF PERCEPTION DESIGN GROUP, INC.

NO.	DATE	DESCRIPTION
1	04/03/26	2ND SUBMITTAL
2	09/17/25	1ST SUBMITTAL

**CBMP DETAILS**  
HUNTINGTON NATIONAL BANK  
LOT 3A - PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE NORTHEAST 1/4 OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M., TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

Design By: CLN  
Approved By: JWD  
Project No.: 2025-005

SHEET

C5.91

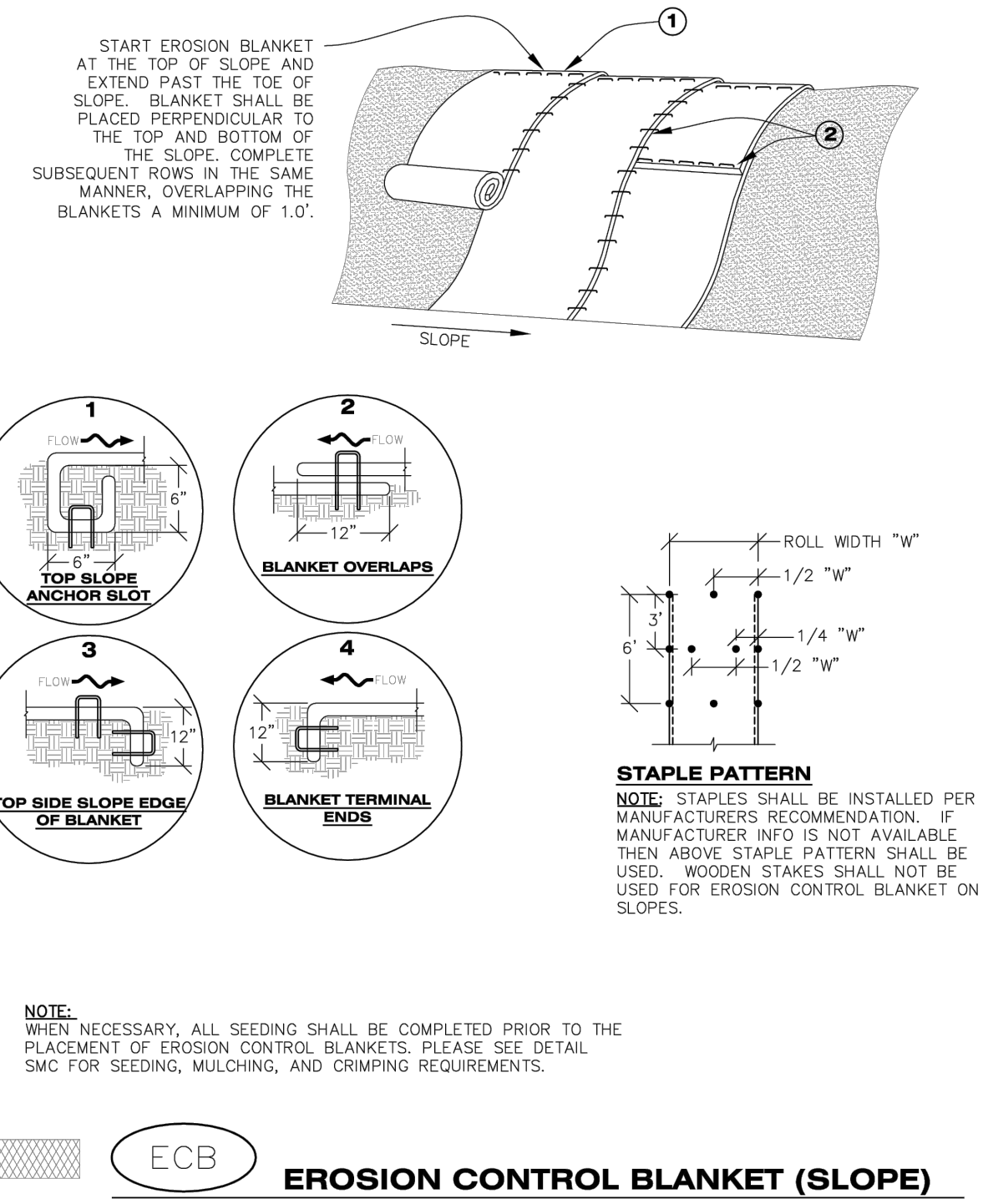
NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**DEBRIS CONTROL NOTES:**

1. A COMBINATION OF SURFACE SCRAPING AND SWEEPING MAY BE NECESSARY TO PROPERLY CLEAN THESE AREAS.
2. ALL CHEMICAL SPILLS AND/OR STAINS ON THE SITE SHALL BE CLEANED TO THE MAXIMUM EXTENT PRACTICABLE. IN SOME CASES IT MAY BE NECESSARY TO USE PRESSURIZED WATER AND A VAC-TRUCK.
3. ON-SITE PERSONNEL, DELIVERY DRIVERS, ETC., SHOULD BE EDUCATED ON THE NEED FOR CONTINUAL DEBRIS AND TRASH CONTROL.

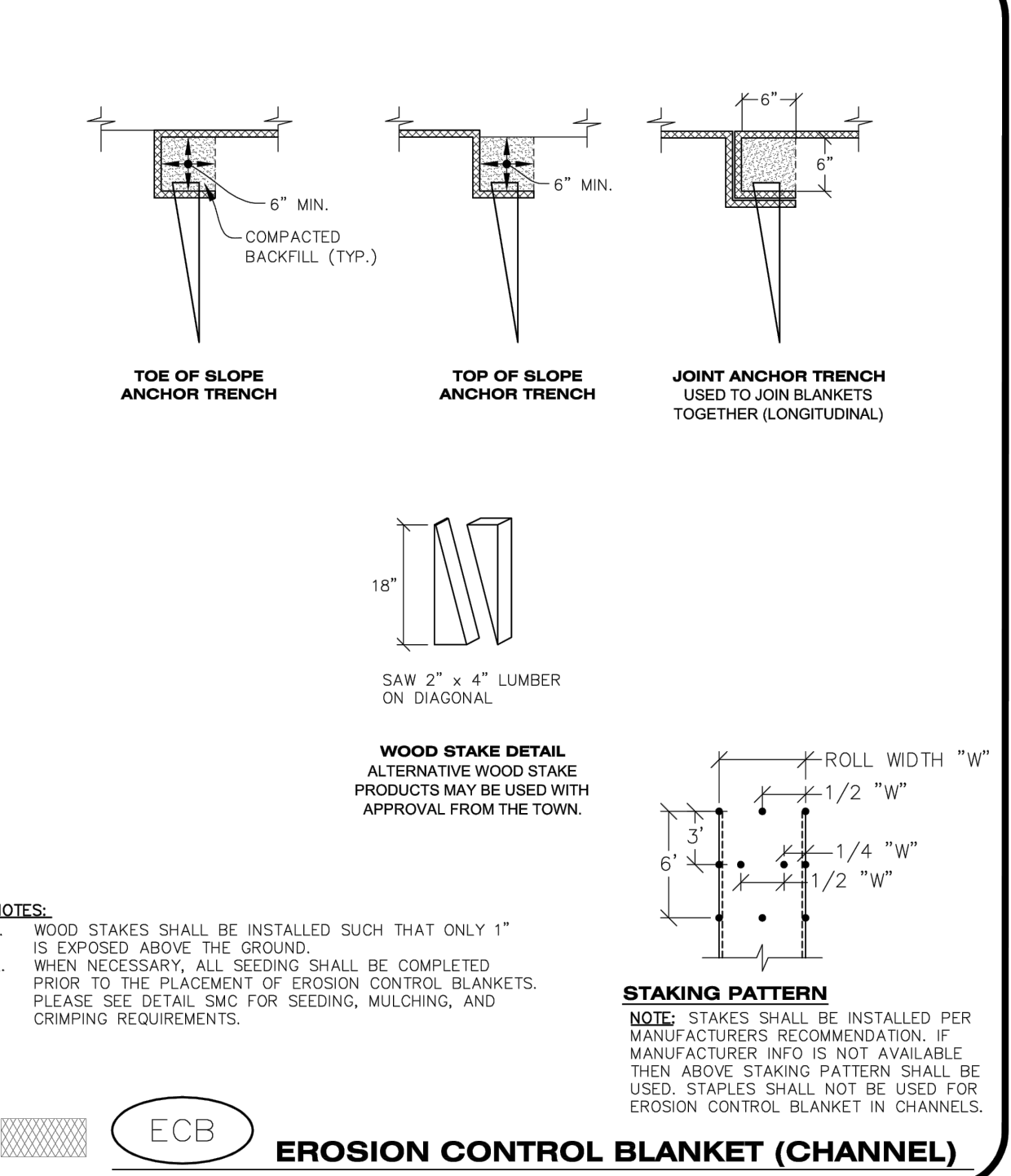
**CBMP** | **DTC**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2  
 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



**CBMP** | **ECB**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 3  
 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



**CBMP** | **ECB**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 3  
 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

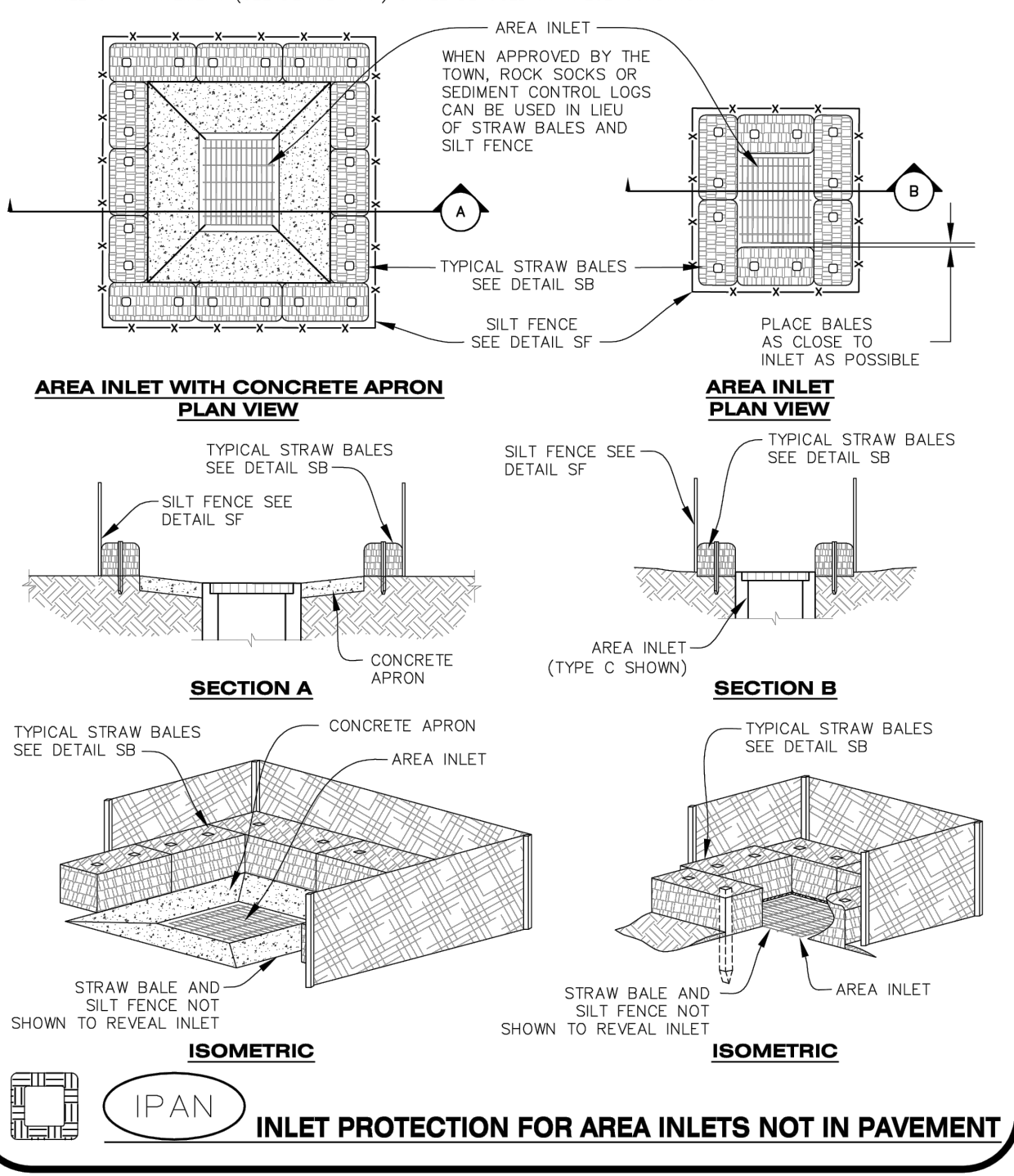
- EROSION CONTROL BLANKET INSTALLATION NOTES**
1. SEE THE PLAN VIEW FOR THE LOCATION(S) OF THE EROSION CONTROL BLANKETS.
  2. EROSION CONTROL BLANKETS USED FOR CHANNEL PROTECTION SHALL BE PROPERLY SELECTED BY THE DESIGN ENGINEER BASED ON CURRENT AND FUTURE FLOW RATES WITHIN THE CHANNEL. BASED ON THESE CALCULATIONS, TURF REINFORCEMENT MATTING OR RIPRAP MAY BE NECESSARY IN LIEU OF EROSION CONTROL BLANKETS.
  3. IMMEDIATELY PRIOR TO BLANKET INSTALLATION, SOIL SURFACE SHALL BE SMOOTH AND FREE OF ANY GAPS, VOIDS, WEEDS, ROCKS, STICKS, OR OTHER MISCELLANEOUS DEBRIS.
  4. EROSION CONTROL BLANKET SHALL THEN BE INSTALLED ACCORDING TO THE DETAILED DRAWINGS.
  5. ANY DAMAGED OR REMAINING STAPLES OR STAKES SHALL BE REMOVED FROM THE SITE.
  6. ALL EROSION CONTROL BLANKETS FOR SLOPE PROTECTION INSTALLED IN THE TOWN SHALL BE DOUBLE NET, STRAW OR EXCELSIOR.

MANUFACTURER	PRODUCT NAME
NORTH AMERICAN GREEN APPROVED EQUAL	ST50 APPROVED EQUAL

- EROSION CONTROL BLANKET MAINTENANCE NOTES**
1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE EROSION CONTROL BLANKETS AND MAKE ANY NECESSARY REPAIRS.

**CBMP** | **ECB**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 3 OF 3  
 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



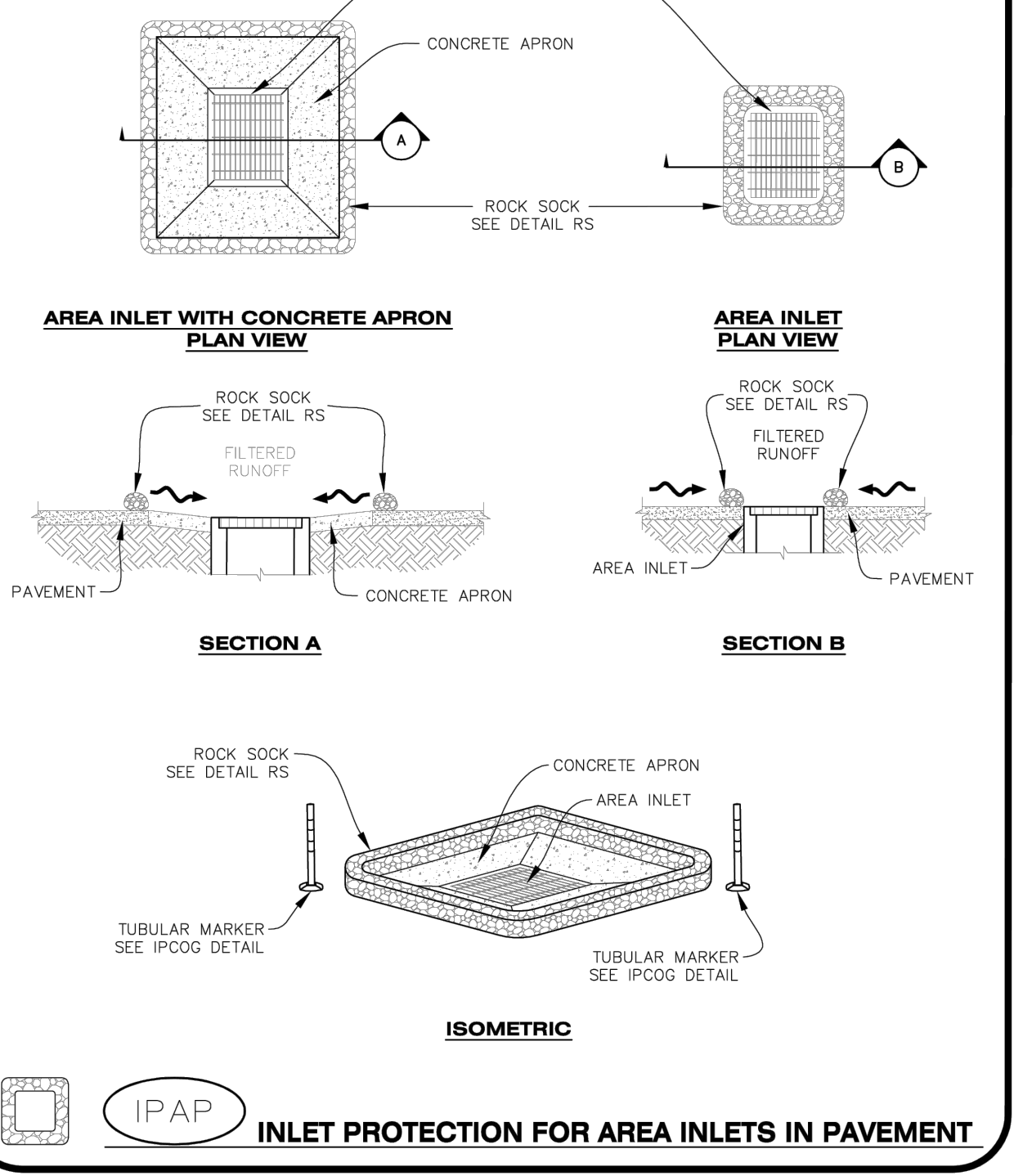
**CBMP** | **IPAN**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 1  
 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- AREA INLET PROTECTION INSTALLATION NOTES**
1. SEE PLAN VIEW FOR LOCATION(S) OF AREA INLET PROTECTION.
  2. THE AREA INLET PROTECTION SHOWN ON CBMP PLANS SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE INSTALLATION OF NEW INLETS. AN INTERIM STYLE OF INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.
- AREA INLET PROTECTION INSPECTION AND MAINTENANCE NOTES**
1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE AREA INLET PROTECTION.
  2. AREA INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
  3. WHEN THE AREA INLET PROTECTION IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE AREA INLET PROTECTION MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
  4. ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.

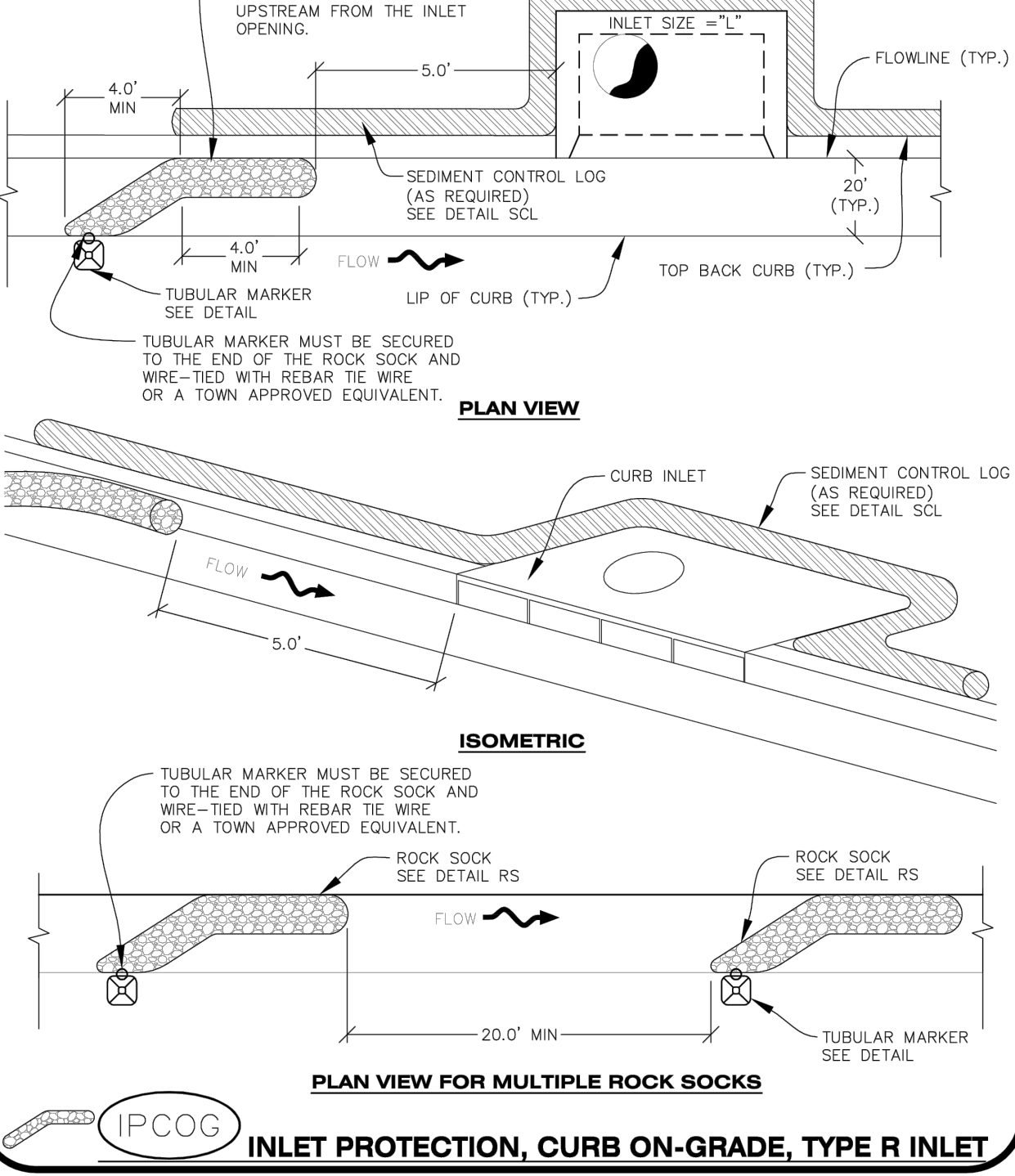
**CBMP** | **IPA**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 1  
 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



**CBMP** | **IPAP**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 1  
 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



**CBMP** | **IPCOG**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 3  
 Oct. 2013



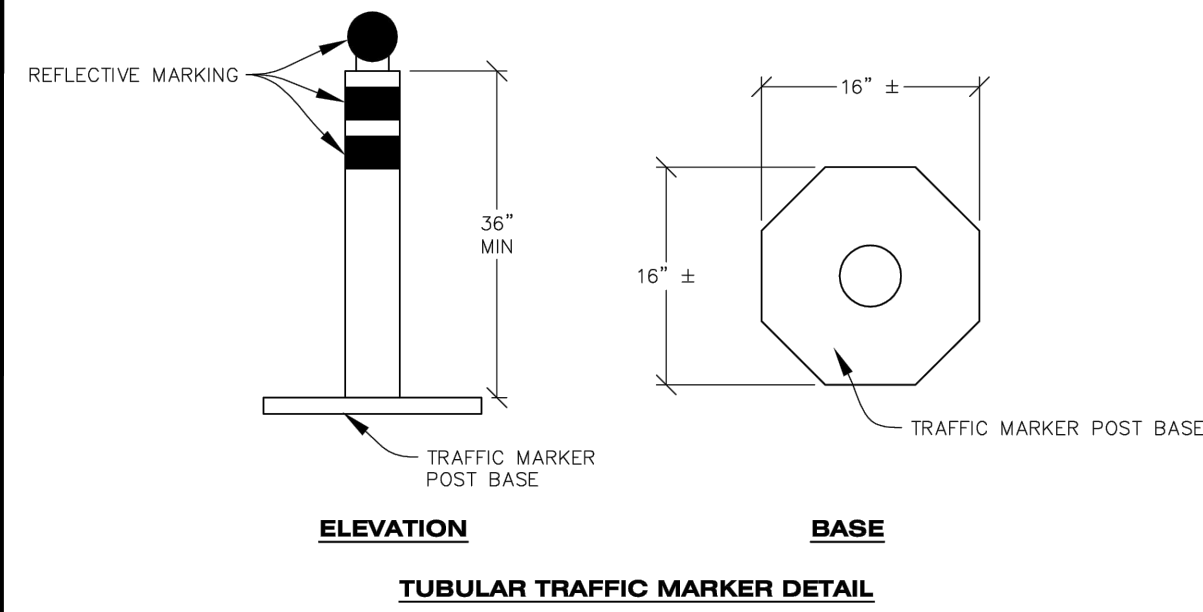
PREPARED UNDER THE DIRECT SUPERVISION OF JERRY W. DAVIDSON, P.E. COLORADO REG # 30226 FOR AND ON BEHALF OF PERCEPTION DESIGN GROUP, INC.

NO.	DATE	DESCRIPTION
1	04/03/26	2ND SUBMITTAL
2	09/17/25	1ST SUBMITTAL

**CBMP DETAILS**  
**HUNTINGTON NATIONAL BANK**  
 LOT 3A PARKER POINT SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE NORTHEAST 1/4 OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M., TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

Design By: CLN  
 Approved By: JWD  
 Project No.: 2025-005

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



**CBMP** | **IPCOG**

CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 3

Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

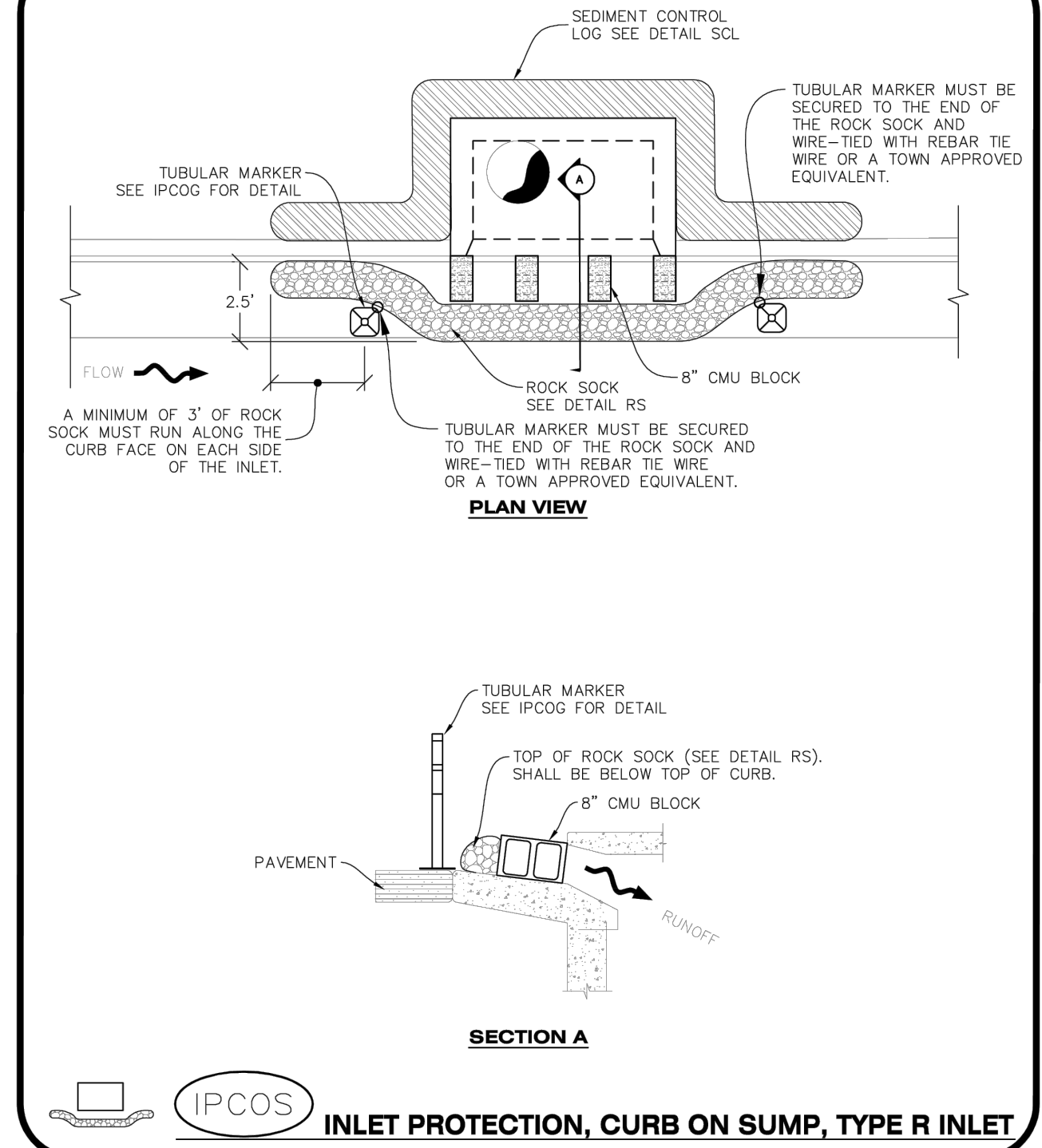
- INLET PROTECTION, CURB ON-GRADE INSTALLATION NOTES**
- SEE CBMP PLAN FOR LOCATION(S) OF ON-GRADE INLET PROTECTION.
  - CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
  - ROCK SOCK FOR ON-GRADE INLET PROTECTION SHALL BE ONE CONTINUOUS PIECE.
  - ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL, SIZED TO KEEP ROCK FROM SPILLING OUT.
  - ROCK SOCK SHALL BE PLACED 5.0' UPHILL OF THE INLET OPENING.
  - TUBULAR MARKER SHALL BE A MINIMUM OF 3.0' HIGH WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
  - THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE APPLICABLE INSTALLATION OF THE FIRST LIFT OF ASPHALT ON ROADWAYS DRAINING TO THE INLET.
- ON-GRADE INLET PROTECTION INSPECTION AND MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE ON-GRADE INLET PROTECTION.
  - ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
  - ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
  - ON-GRADE INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

**CBMP** | **IPCOG**

CONSTRUCTION BEST MANAGEMENT PRACTICES | 3 OF 3

Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



**CBMP** | **IPCOG**

CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2

Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

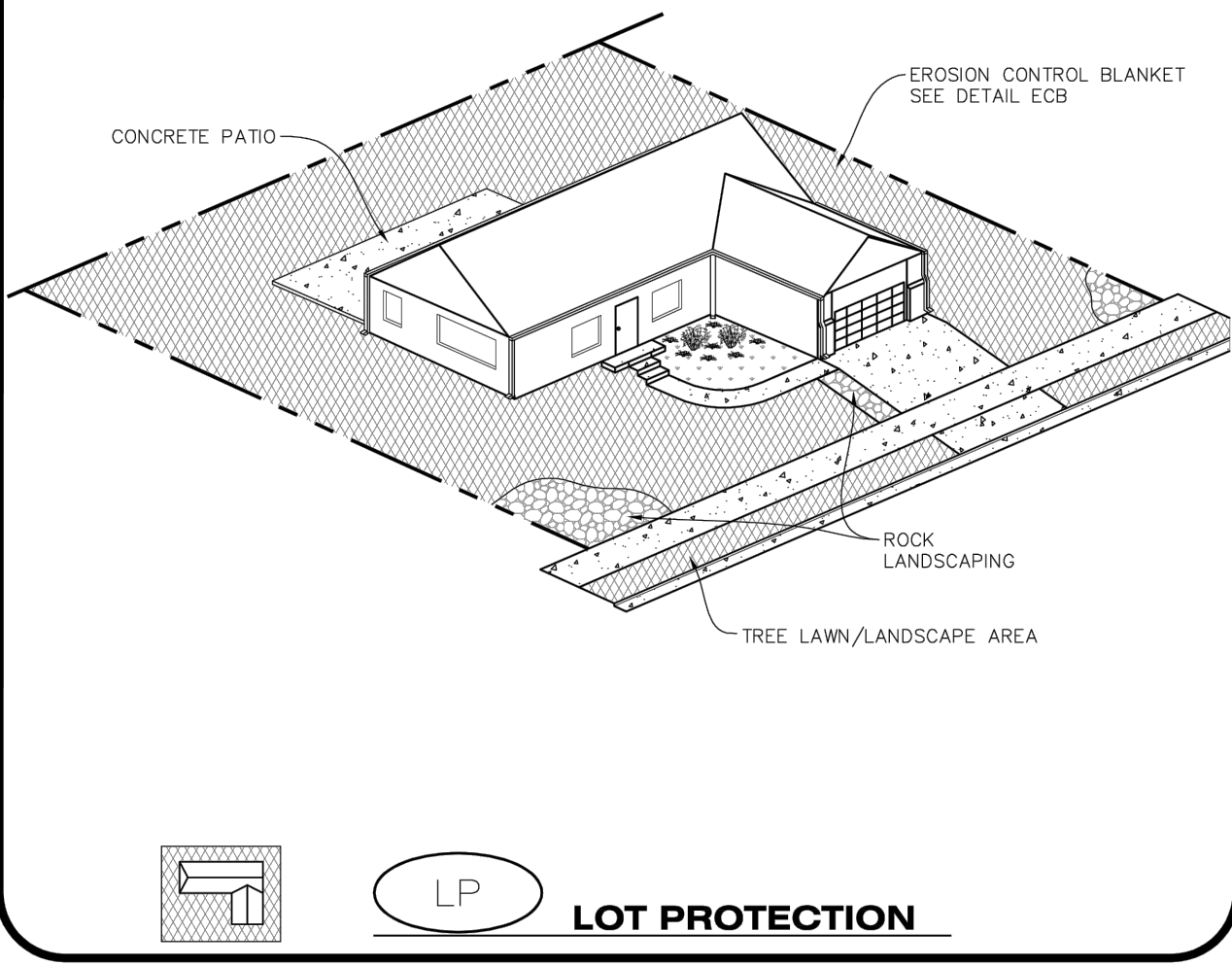
- CURB INLET PROTECTION INSTALLATION NOTES**
- SEE CBMP PLAN FOR LOCATION(S) OF CURB INLET PROTECTION.
  - CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
  - ROCK SOCK SHALL BE ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAPPED JOINTS (SEE DETAIL RS).
  - ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL SIZED TO KEEP ROCK FROM SPILLING OUT.
  - ROCK SOCK SHALL EXTEND 3.0' ALONG THE CURB BEYOND LOCATIONS WHERE IT RETURNS TO CONTACT CURB FACE.
  - TUBULAR TRAFFIC MARKERS SHALL BE A MINIMUM OF 36" IN HEIGHT WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
  - THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE INSTALLATION OF THE FIRST LIFT OF ASPHALT ON ROADWAYS DRAINING TO THE CURB INLET. CMU BLOCKS OR THE ROCK SOCK SHALL BE USED AS INTERIM PROTECTION UNTIL THE FIRST LIFT OF ASPHALT IS INSTALLED.
- CURB INLET PROTECTION INSPECTION AND MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CURB INLET PROTECTION.
  - ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
  - ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
  - CURB INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

**CBMP** | **IPCOG**

CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2

Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



**CBMP** | **LP**

CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2

Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

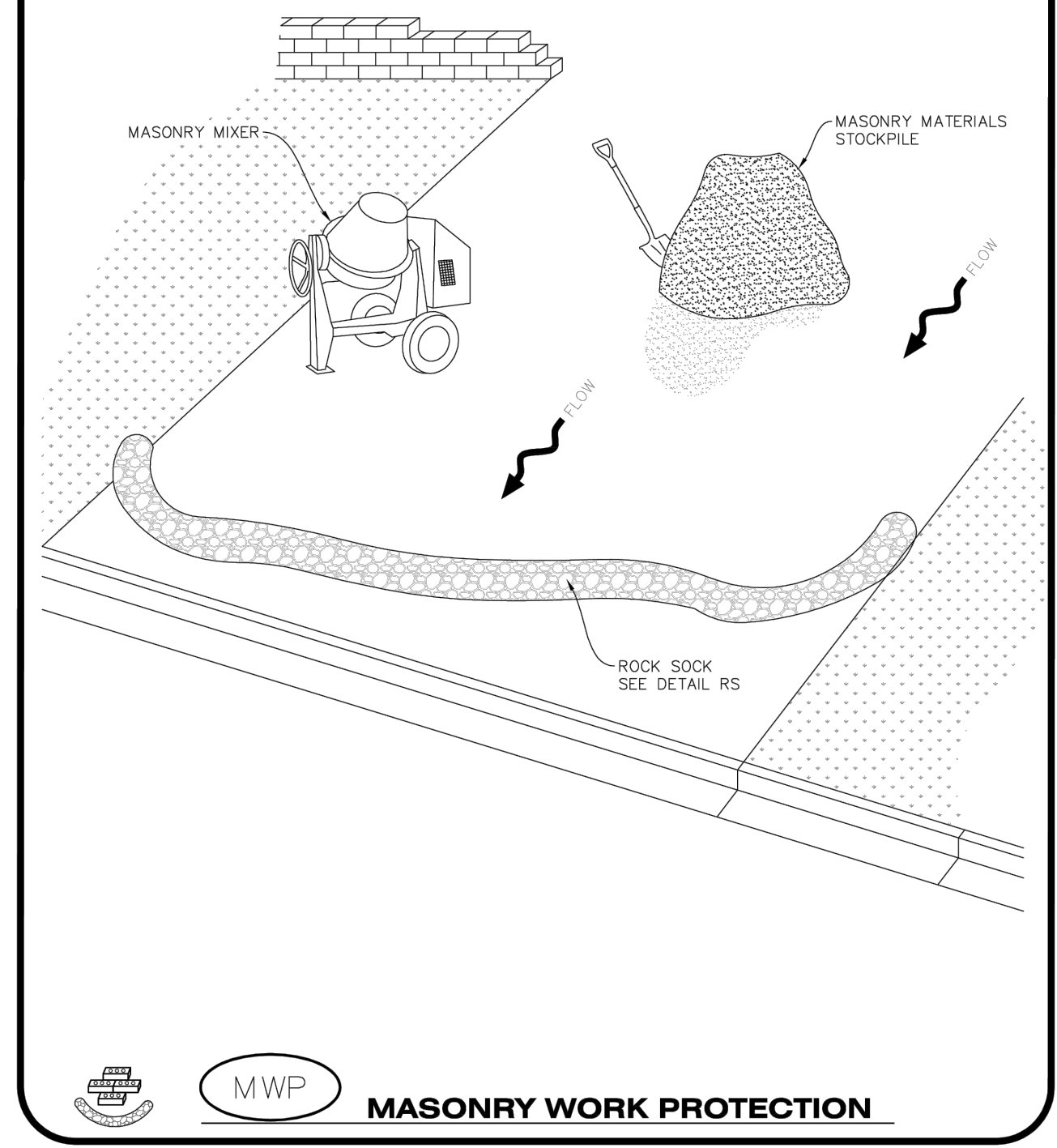
- EROSION CONTROL BLANKET FOR LOT PROTECTION INSTALLATION NOTES**
- ALL EROSION CONTROL BLANKETS FOR LOT PROTECTION INSTALLED IN THE TOWN SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:
- | MANUFACTURER         | PRODUCT NAME   |
|----------------------|----------------|
| NORTH AMERICAN GREEN | S150 BN        |
| APPROVED EQUAL       | APPROVED EQUAL |
- ALL EROSION CONTROL BLANKETS FOR LOT PROTECTION SHALL BE INSTALLED ACCORDING TO THE DETAIL DRAWINGS, WITH THE FOLLOWING ALLOWANCES AND ADDITIONS:
    - THE TOWN WILL ALLOW THE USE OF BIODEGRADABLE, EROSION CONTROL BLANKET-SPECIFIC STAPLES, IN LIEU OF TRADITIONAL METAL STAPLES.
    - ALL EROSION CONTROL BLANKET EDGES (SIDES AND ENDS) MUST OVERLAP THE ADJACENT BLANKET BY A MINIMUM OF 6-INCHES WITH THE UP-GRADIENT EDGES BEING PLACED ON TOP OF THE DOWN-GRADIENT EDGE OF THE ADJACENT BLANKET.
    - THE EDGES (SIDES AND ENDS) OF THE EROSION CONTROL BLANKETS DO NOT NEED TO BE TRENCHED INTO THE GROUND ASSUMING THE SITE CONDITIONS WILL NOT CAUSE EROSION BENEATH THE BLANKETS. THESE ASSUMPTIONS WILL BE THE RESPONSIBILITY OF THE EROSION CONTROL SUPERVISOR. ON OCCASION, THE TOWN'S INSPECTOR MAY REQUEST TRENCHING BASED UPON SITE CONDITIONS.
    - TOPSOIL PLACEMENT, SEEDING, AND MULCHING WILL NOT BE REQUIRED ON THE LOTS PRIOR TO THE INSTALLATION OF THE EROSION CONTROL BLANKET.
  - ANY DAMAGED OR EXCESS STAPLES SHALL BE REMOVED FROM THE SITE FOLLOWING INSTALLATION.
  - THE EROSION CONTROL BLANKETING REQUIRED AS PART OF THE LOT PROTECTION (LP) REQUIREMENT MUST BE INSTALLED OVER ALL UN-LANDSCAPED AREAS WITHIN EACH RESIDENTIAL, MULTI-FAMILY, AND COMMERCIAL LOT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY / TEMPORARY CERTIFICATE OF OCCUPANCY.
- EROSION CONTROL BLANKET FOR LOT PROTECTION MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE EROSION CONTROL BLANKET FOR LOT PROTECTION.
  - EROSION CONTROL BLANKETS FOR LOT PROTECTION ARE INTENDED TO REMAIN IN PLACE AND MAINTAINED UNTIL LANDSCAPING IS INSTALLED.

**CBMP** | **LP**

CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2

Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



**CBMP** | **MWP**

CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2

Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- MASONRY WORK PROTECTION INSTALLATION NOTES**
- MASONRY WORK PROTECTION MAY NEED TO BE INSTALLED WHEN MASONRY WORK AND MIXING IS OCCURRING.
  - A ROCK SOCK SHALL BE INSTALLED IN A CRESCENT SHAPE ON THE DOWNHILL SIDE OF THE MASONRY WORK AND MIXER.
  - CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
  - ROCK SOCK SHALL BE ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAPPED JOINTS (SEE DETAIL RS).
  - ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL, SIZED TO KEEP ROCK FROM SPILLING OUT.
- MASONRY WORK PROTECTION INSPECTION AND MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE MASONRY WORK PROTECTION.
  - ALL CONCRETE WASTE SHALL BE REGULARLY CLEANED AND PLACED IN THE CONCRETE WASH OUT AREA.
  - ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.

**CBMP** | **MWP**

CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2

Oct. 2013



PREPARED UNDER THE DIRECT SUPERVISION OF JERRY W. DAVIDSON, P.E. COLORADO REG # 30226 FOR AND ON BEHALF OF PERCEPTION DESIGN GROUP, INC.

NO.	DATE	DESCRIPTION
1	04/03/26	2ND SUBMITTAL
2	09/17/25	1ST SUBMITTAL
3		
4		
5		
6		
7		
8		
9		
10		

**CBMP DETAILS**

**HUNTINGTON NATIONAL BANK**

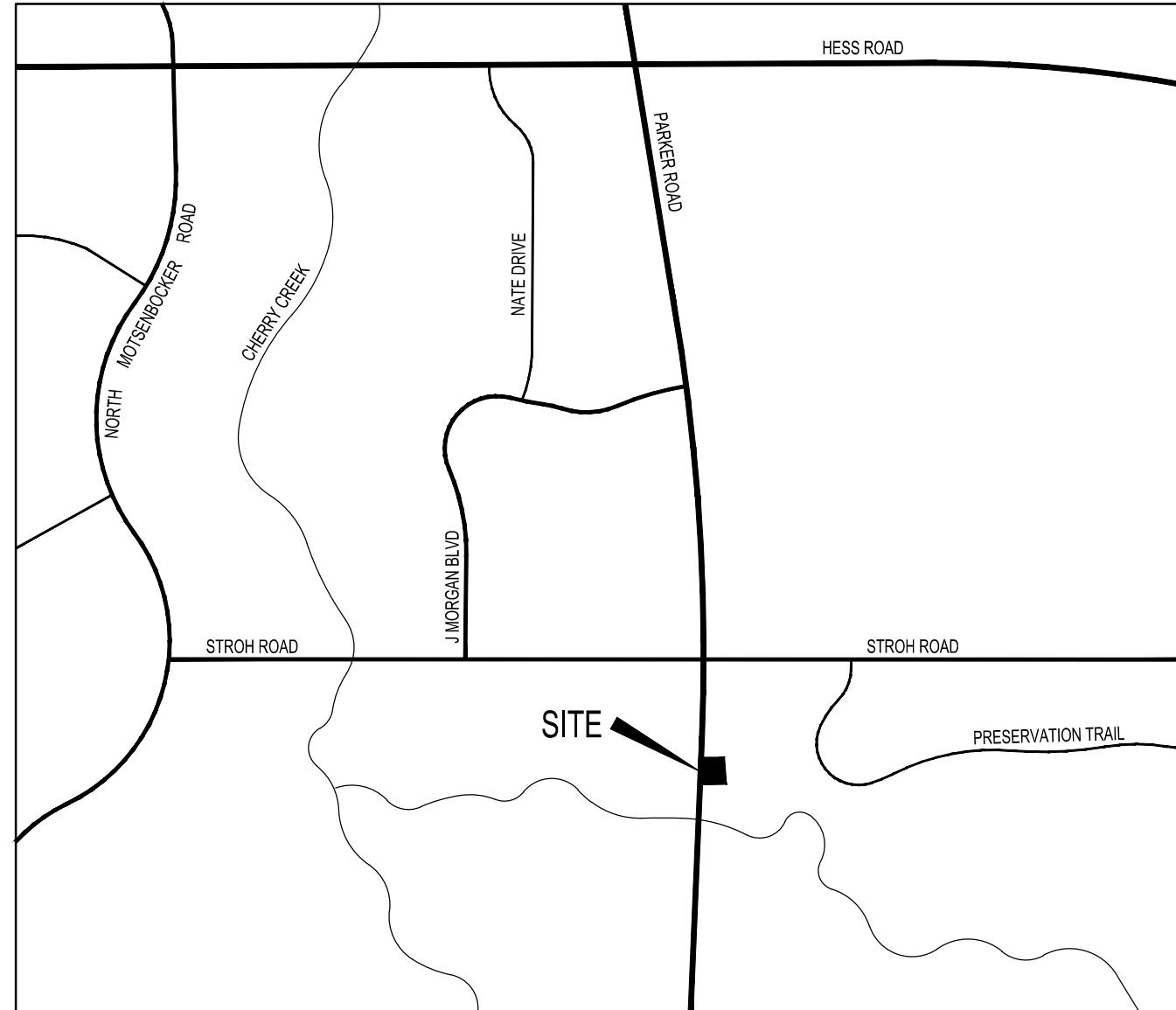
LOT 3A- PARKER POINT SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE NORTHEAST 1/4 OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M., TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

Design By: CLN  
Approved By: JWD  
Project No.: 2025-005

**GENERAL NOTES:**

- TOPOGRAPHIC MAPPING AS OF 07/14/21 PREPARED BY ENGINEERING SERVICE COMPANY, INC. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN HE SHALL, AT HIS EXPENSE, HAVE NEW MAPPING PREPARED BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR ACCEPTANCE AND APPROVAL.
- CONTRACTOR SHALL REFER TO THE GRADING, EROSION AND SEDIMENT CONTROL (GESC) PLAN FOR ADDITIONAL REQUIREMENTS. NO WORK SHALL OCCUR UNTIL THE BMPs DEPICTED ON THE GESC HAVE BEEN INSTALLED AND ARE APPROVED BY THE CITY. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- EXISTING CONTOURS ARE SHOWN AT 1-FOOT INTERVALS; PROPOSED OVERLOT CONTOURS ARE SHOWN AT 1-FOOT INTERVALS.
- ALL EARTHWORK, GRADING, OVERLOT GRADING, BACKFILLING, FILLING, EXCAVATION, COMPACTION, PAVEMENT, AND FLATWORK SHALL BE IN CONFORMANCE WITH THE GEOTECHNICAL REPORT PREPARED BY XXXXXXXX INC. TITLED XXXXX, DATED XXXX. THE CONTRACTOR IS REQUIRED TO HAVE A SIGNED AND SEALED COPY OF THE REPORT AT THE SITE AT ALL TIMES. DURING CONSTRUCTION, IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED, THE GEOTECHNICAL ENGINEER SHALL BE CONTACTED BY THE CONTRACTOR FOR RECOMMENDATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR:
  - VERIFYING ALL UTILITIES, WHETHER SHOWN OR NOT SHOWN, AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION. ALL UTILITIES TO REMAIN (MANHOLES, VALVE COVERS, CLEANOUTS, VAULTS, BOXES, ETC.) SHALL BE PROTECTED FROM DAMAGE AND ADJUSTED TO FINAL GRADE.
  - PREPARING ANY TRAFFIC CONTROL PLANS, AS MAY BE REQUIRED TO PERFORM THE WORK, AND PROVIDING ALL NECESSARY TRAFFIC CONTROL (SIGNS, BARRICADES, FLAGMEN, LIGHTS, ETC) IN ACCORDANCE WITH THE MUTCD, CURRENT EDITION, AS REQUIRED FOR THE WORK. THE PLAN FOR TRAFFIC CONTROL SHALL BE SUBMITTED TO THE CITY FOR APPROVAL PRIOR TO COMMENCING ANY WORK IN THE RIGHTS-OF-WAY.
  - OBTAINING ALL NECESSARY PERMITS AND APPROVALS REQUIRED TO PERFORM THE WORK AND TO OBTAIN A COPY OF ALL APPLICABLE CODES, LICENSES, SPECIFICATIONS, AND STANDARDS NECESSARY TO PERFORM THE WORK, AND BE FAMILIAR WITH THEIR CONTENTS PRIOR TO COMMENCING ANY WORK.
  - KEEPING ONE COPY OF THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS ON THE JOB SITE AT ALL TIMES. PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR TO VERIFY WITH PROJECT ENGINEER THE LATEST REVISION DATE OF THE APPROVED CONSTRUCTION PLANS.
  - COORDINATING PRIOR TO CONSTRUCTION WITH THE GEOTECHNICAL ENGINEER, THE CITY, AND UTILITY AND STORMWATER DISTRICT INSPECTORS TO IDENTIFY PROJECT INSPECTION AND TESTING REQUIREMENTS.
  - KEEPING TRACK OF ALL APPROVED DEVIATIONS FROM THE PLANS AND PROVIDING THE PROJECT ENGINEER WITH AS-BUILT DRAWINGS OF ALL IMPROVEMENTS REQUIRED FOR THE WORK.
  - COMPLYING WITH CITY GENERAL REQUIREMENTS, STANDARDS, AND SPECIFICATIONS.
  - PROVIDING AS-BUILT DRAWINGS OF CONSTRUCTED UTILITIES UPON COMPLETION OF THE WORK.

**SITE DEVELOPMENT CONSTRUCTION PLANS**  
**HUNTINGTON NATIONAL BANK**  
 LOT 3A, PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1  
 LOCATED IN THE NE 1/4 OF SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.,  
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



**VICINITY MAP**  
 SCALE: 1" = 500'

**UTILITY NOTES**

- ROADWAY DIMENSIONS ARE FROM FL-FL, 1-FOOT PAN IS PROPOSED ONSITE.
- ALL UTILITY CONSTRUCTION SHALL CONFORM TO PARKER WATER AND SANITATION DISTRICT AND CRITERIA REFERENCE. LOCAL AGENCY INFRASTRUCTURE DESIGN AND CONSTRUCTION STANDARDS.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE PARKER WATER AND SANITATION DISTRICT. THE DISTRICT RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY THE TOWN OF PARKER PUBLIC WORKS AND PARKER WATER AND SANITATION DISTRICT A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES. EXISTING UTILITIES SHOWN ON THIS PLANS ARE BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME OF DESIGN AND DO NOT REFLECT A COMPLETE SURVEY OF EXISTING UTILITIES. CONTACT THE ENGINEER WITH DISCREPANCIES.
- CONTRACTOR SHALL VERIFY THE STUB TIE IN ELEVATION PRIOR TO START OF CONSTRUCTION. THE ELEVATION OF THE STUB SHALL BE COORDINATED WITH THE ENGINEER PRIOR TO SANITARY SEWER CONSTRUCTION.
- SAWCUT OF EXISTING STREETS SHALL BE IN CONFORMANCE WITH TOWN STANDARDS. CUTS SHALL STRAIGHT WITH CLEAN EDGES. REMOVE EXISTING CURB AND GUTTER TO NEAREST JOINT RETURN ALONG EXISTING LINE AND GRADE.
- THE OWNER AND OR THEIR REPRESENTATIVE SHALL BE RESPONSIBLE FOR COORDINATION WITH EXISTING FRANCHISE UTILITIES TO INCLUDE COMCAST, XCEL, CENTURY LINK OR OWNERS OF EXISTING DRY UTILITY LINES.
- EXISTING UTILITY SURFACE APPURTENANCES SHALL BE RAISED TO FINISHED GRADE, THIS INCLUDES BUT IS NOT LIMITED TO MANHOLE LIDS, VALVE COVERS.
- SITE SURVEY IS PROVIDED BY ESC DATED 2-8-2016.
- THE CONTRACTOR SHALL HAVE AN APPROVED SET OF CONSTRUCTION PLANS ON SITE AT ALL TIMES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR THE CONSTRUCTION, NOTIFYING AND SCHEDULING LOCAL AGENCIES INSPECTIONS.
- ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF FITTING TO CENTER OF FITTING. STATIONING IS ALIGN DRIVE CENTERLINE AND CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
- ELEVATIONS ARE FINISHED GRADE ELEVATION UNLESS OTHERWISE NOTED.

**WATER QUANTITIES**

1" TYPE K COPPER WATER SERVICE LINE	93	LF
1" TAP	1	EA
1" METER	1	EA

**SANITARY SEWER QUANTITIES**

SAN. TWO-WAY CLEANOUT	1	EA
4" SADDLE TAP	1	EA
4" PVC	31	LF

FIRE FLOW REQUIREMENTS ARE 1,500 GPM.  
 THIS BUILDING REQUIRES 1 FIRE HYDRANT TO MEET FIRE-FLOW REQUIREMENTS. EACH FIRE HYDRANT MUST SUPPLY 1500 GPM MINIMUM @ 20 PSI RESIDUAL PRESSURE.

CODE USED FOR ANALYSIS: 2015 IFC WITH 2016 AMENDMENTS

CONSTRUCTION TYPE: V-B  
 FIRE AREA: 3,000 S.F.  
 THIS BUILDING IS NOT SPRINKLERED

**LEGAL DESCRIPTION**

PARCEL A:  
 LOT 3A, PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, ACCORDING TO THE PLAT THEREOF RECORDED JULY 31, 2024 AT RECEPTION NO. 2024031650, COUNTY OF DOUGLAS, STATE OF COLORADO.

PARCEL B:  
 THOSE BENEFICIAL EASEMENTS AS CREATED AND SET FORTH IN THE DECLARATION OF RECIPROCAL EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED NOVEMBER 12, 2024 AT RECEPTION NO. 2024048912.

THE ABOVE LEGAL DESCRIPTION DESCRIBES A PORTION OF THAT LAND CONTAINED IN SPECIAL WARRANTY DEED RECORDED ON NOVEMBER 12, 2024 AT RECEPTION NUMBER 2024048912 IN DOUGLAS COUNTY, COLORADO.

ASSURANCE NOTE: THE ABOVE LEGAL DESCRIPTION DESCRIBES ALL THAT LAND INSURED IN SCHEDULE A(S) OF TITLE COMMITMENT NUMBER NCS-265990-CO PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY WITH A COMMITMENT DATE OF JUNE 3, 2025.

**BASIS OF BEARINGS**

BEARINGS ARE BASED ON THE NORTH LINE OF THE NE 1/4 OF SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN HAVING A GRID BEARING OF S89°59'29"W PER COLORADO STATE PLAND COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983, MONUMENTED BY A 3-1/4" ALUMINUM CAP ON A #6 REBAR WITH APPROPRIATE MARKINGS AND STAMPED "AZTEC, 2018, PLS 22561" FOUND IN A RANGE BOX AT THE NORTHEAST CORNER OF SAID SECTION 3 AND BY A 3-1/4" ALUMINUM CAP ON A #6 REBAR WITH APPROPRIATE MARKINGS AND STAMPED "2006, PLS 29761" FOUND IN A RANGE BOX AT THE NORTH 1/4 CORNER OF SAID SECTION 3, WITH BEARINGS CONTAINED HEREIN BEING RELATIVE THERETO.

**BENCHMARK:**

BENCHMARK: DOUGLAS COUNTY GIS CONTROL MONUMENT 1060032 - 3-1/4" ALUMINUM CAP DCGIS MONUMENT FLUSH WITH GRADE, LOCATED AT THE STROTH RANCH SOCCER PARK IN THE SOUTHEAST CORNER OF THE PARKING LOT. ELEVATION: 5903.17 FEET (NAVD 1988 DATUM). THE CONTOURS SHOWN HEREON ARE AT ONE (1) FOOT INTERVALS.

**PARKER WATER AND SANITATION PLAN SET**

C6.00	WATER AND SEWER COVER SHEET
C6.01	WATER AND SEWER GENERAL NOTES
C6.10	OVERALL UTILITY PLAN
C6.90-C6.91	WATER DETAILS
C6.92	SANITARY SEWER DETAILS

**ENGINEER**

HEREBY AFFIRM THAT THESE CONSTRUCTION PLANS FOR HUNTINGTON NATIONAL BANK CONSTRUCTION PLANS WERE PREPARED BY ME (OR UNDER MY DIRECT SUPERVISION) IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AGENCY STANDARDS AND SPECIFICATIONS. FOR AND ON BEHALF OF PERCEPTION DESIGN GROUP.

JERRY W. DAVIDSON, P.E.  
 PROFESSIONAL ENGINEER REGISTRATION NO. 30226  
 PERCEPTION DESIGN GROUP, INC.

**PARKER WATER AND SANITATION DISTRICT**

THE DISTRICT INSPECTOR MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION. CALL PARKER WATER AND SANITATION DISTRICT AT 303-841-4627. THE DISTRICT WILL PROVIDE PERIODIC INSPECTIONS OF THE WORK. 24 HOUR NOTICE TO THE INSPECTOR IS REQUIRED FOR SCHEDULING INSPECTIONS. ANY WORK ACCOMPLISHED WITHOUT THE APPROVAL OF THE INSPECTOR WILL BE SUBJECT TO REJECTION. REVIEWED FOR CONFORMANCE TO PARKER WATER AND SANITATION DISTRICT STANDARDS.

BY: \_\_\_\_\_  
 (DISTRICT REPRESENTATIVE)

DATE: \_\_\_\_\_

APPROVED FOR CONSTRUCTION:  
 PARKER WATER AND SANITATION DISTRICT  
 BY: \_\_\_\_\_  
 (DISTRICT ENGINEER)

DATE: \_\_\_\_\_

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATION OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

FIRE CODE OFFICIAL OR DESIGNATED REPRESENTATIVE \_\_\_\_\_ DATE \_\_\_\_\_  
 (NOTE - UNDERGROUND FIRE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENTS OF NFPA 24 WHEN SUBMITTING FOR REVIEW.)

**TOWN OF PARKER**

PUBLIC WORKS  
 20120 E. MAIN STREET  
 PARKER, CO 80138  
 (303) 840-9546

**GAS PROVIDER**

XCEL ENERGY  
 550 15TH STREET, SUITE 700  
 DENVER, CO 80202 1-800-628-2121

**WATER/SEWER PROVIDER**

PARKER WATER AND SANITATION DISTRICT  
 18100 E. WOODMAN DR.  
 PARKER, CO 80134  
 (303) 841-4627  
 CONTACT: ROBERT RAMSEY

**ELECTRIC PROVIDER**

CORE ELECTRIC COOPERATIVE  
 5496 NORTH U.S. HIGHWAY 85  
 SEDALIA, CO 80135  
 (303) 688-3100  
 CONTACT: BROOKS KAUFMAN

**FIRE PROTECTION**

PARKER FIRE PROTECTION DISTRICT  
 10235 PARKGLENN WAY  
 PARKER, CO 80138  
 (720) 274-3700

**CABLE PROVIDER**

XFINITY STORE BY COMCAST  
 18300 COTTONWOOD DR, SUITE 101  
 PARKER, CO 80138  
 (800) 934-6489

**DEVELOPER**

HUNTINGTON NATIONAL BANK  
 720-254-7258  
 CONTACT: CHRIS EVANS  
 CHRIS.EVANS@HUNTINGTON.COM

**CIVIL ENGINEER**

PERCEPTION DESIGN GROUP, INC.  
 6901 SOUTH PIERCE STREET, SUITE 315,  
 LITTLETON, CO 80128  
 303-232-8088

CONTACT: JERRY DAVIDSON  
 J.DAVIDSON@PERCEPTIONDESIGNGROUP.COM

**LIGHTING ENGINEER**

WHS ENGINEERING  
 2012 WEST 25TH STREET  
 CLEVELAND, OH 44113  
 216-990-2344  
 CONTACT: SUE DUNMIRE  
 SUE@WHS-ENG.COM

**ARCHITECT**

VOCON  
 3142 PROSPECT AVENUE E  
 CLEVELAND, OH 44115  
 216-329-9535  
 CONTACT: AMY SUBA  
 AMY.SUBA@VOCON.COM

**LANDSCAPE ARCHITECT**

JUMP DESIGN COMPANY  
 1733 S. CLARKSON STREET  
 DENVER, CO 80210  
 303-282-0463  
 CONTACT: TOM JUMP  
 TOM.J@JUMPDESIGNCO.COM

**SURVEYOR**

ENGINEERING SERVICE COMPANY  
 1300 SOUTH POTOMAC STREET, SUITE 126  
 AURORA, CO 80012  
 (303) 337-1393  
 CONTACT: JEFFERY A. MILLER  
 JEFFM@ENGINEERINGSERVICECO.COM



PREPARED UNDER THE DIRECT SUPERVISION OF JERRY W. DAVIDSON, P.E. COLORADO REG # 30226 FOR AND ON BEHALF OF PERCEPTION DESIGN GROUP, INC.

NO.	DATE	DESCRIPTION
1	04/03/26	2ND SUBMITTAL
2	09/17/25	1ST SUBMITTAL

**WATER & SEWER COVER SHEET**

**HUNTINGTON NATIONAL BANK**

LOT 3A, PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE NORTHEAST 1/4 OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M., TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

Design By: CLN  
 Approved By: JWD  
 Project No.: 2025-005

SHEET

**C6.00**

**PARKER WATER AND SANITATION DISTRICT**

**GENERAL NOTES**

- ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE PWSO ENGINEERING STANDARDS AND SPECIFICATIONS, LATEST VERSION.
- THE CONTRACTOR SHALL CONTACT ALL APPROPRIATE UTILITY COMPANIES AND THE TOWN OF PARKER, DOUGLAS COUNTY AND OTHER NEIGHBORING CITIES AND TOWNS PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ANY EXISTING UTILITY (INCLUDING DEPTHS) WHICH MAY CONFLICT WITH THE PROPOSED CONSTRUCTION. ALL EXISTING UTILITIES SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. DAMAGED UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- ALL ITEMS SHOWN ON THE PLANS AS EXISTING ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE ACTUAL LOCATIONS MAY VARY FROM THE PLANS, ESPECIALLY IN THE CASE OF UNDERGROUND UTILITIES. WHENEVER THE CONTRACTOR DISCOVERS A DISCREPANCY IN LOCATIONS CONTACT THE PWSO IMMEDIATELY.
- PWSO ENGINEER AND OTHER APPROVING AGENCIES ARE TO BE NOTIFIED 48 HOURS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN, AT HIS EXPENSE, ALL PERMITS NECESSARY TO PERFORM THE PROPOSED WORK.
- ALL CONCRETE SHALL BE A MINIMUM OF CLASS A, 6 SACK, TYPE II, 3000-POUND COMPRESSION STRENGTH.
- THE DESIGN ENGINEER SHALL SUBMIT ONE (1) SET OF "AS-BUILT" DRAWINGS AND ELECTRONIC FILES TO THE DISTRICT ENGINEER FOR APPROVAL BY DISTRICT. AFTER APPROVAL HAS BEEN GRANTED BY THE DISTRICT ENGINEER, FULL SIZE PRINTS SHALL BE TRANSMITTED TO THE PWSO OFFICE.
- NO WORK SHALL BE BACKFILLED UNTIL THE CONSTRUCTION HAS BEEN INSPECTED AND APPROVED FOR BACKFILLING BY THE DISTRICT ENGINEER OR REPRESENTATIVE OF THE DISTRICT ENGINEER. ALL BACKFILL MATERIAL SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY. COMPACTION TESTS MUST BE SUBMITTED TO DISTRICT ENGINEER PRIOR TO PROBATIONARY ACCEPTANCE.
- TRENCHES SHALL BE EXCAVATED AND THE PIPE EXPOSED FOR THE INSPECTION AT ANY LOCATION ON THE PROJECT IF SO ORDERED BY THE INSPECTOR.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE PROPER FUNCTIONING OF LINES (WATER AND SEWER) FOR UP TO TWO (2) YEARS FROM THE DATE OF PROBATIONARY ACCEPTANCE OF THE LINES BY THE DISTRICT. ANY MALFUNCTION DURING THIS PERIOD OF GUARANTEE SHALL BE REMEDIED BY THE CONTRACTOR TO THE SATISFACTION OF THE DISTRICT ENGINEER AT NO EXPENSE TO THE DISTRICT.
- SURFACE GRADES ARE TO BE WITHIN PLUS OR MINUS ONE FOOT OF FINISHED GRADE AND VERIFICATION OF COMPACTION RESULTS OBTAINED PRIOR TO THE INSTALLATION OF WATER AND SEWER LINES. RESULTS MUST BE SUBMITTED TO THE DISTRICT ENGINEER.
- ALL SERVICES WILL BE PERMANENTLY MARKED ON CURB FACE AS FOLLOWS:  
"X" FOR SANITARY SERVICE SEWERS  
"V" FOR WATER SERVICES
- NO TREES ALLOWED IN EASEMENTS OR WITHIN 8' OF WATER OR SANITARY SEWER MAINS IN RIGHT OF WAY.
- THE CONTRACTOR SHALL HAVE IN HIS POSSESSION AT ALL TIMES ONE (1) SIGNED COPY OF THE PLANS WHICH HAVE BEEN APPROVED BY THE PWSO AND THE DISTRICT ENGINEER AND ONE (1) COPY OF THE LATEST PWSO SPECIFICATION MANUAL.

**PARKER WATER AND SANITATION DISTRICT**

**WATER SYSTEM NOTES**

- ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE PWSO ENGINEERING STANDARDS AND SPECIFICATIONS, LATEST REVISION.
- ALL WATER MAINS SHALL BE PER PWSO MATERIALS SPECIFICATIONS. ALL MATERIALS IN CONTACT WITH POTABLE WATER SHALL BE SUITABLE FOR CHLORINATED AND CHLORAMINATED WATER.
- ALL BENDS, PLUGS, REDUCERS, AND FIRE HYDRANTS TO BE RODDED OR MEGA-LUGGED. ALL FITTINGS SHALL BE WRAPPED PER PWSO MATERIALS SPECIFICATIONS.
- THERE SHALL BE A MINIMUM COVER OF 4.5 FEET OVER ALL WATER MAINS.
- FIRE HYDRANTS SHALL CONFORM TO AWWA C-502 "DRY BARREL FIRE HYDRANTS" PIPE HYDRANT ASSEMBLIES PER PWSO SPECIFICATIONS.
- ALL BENDS, TEES, FIRE HYDRANTS, BLOW-OFFS, AND PLUGS AT DEAD-END MAINS SHALL BE PROTECTED FROM THRUST WITH CONCRETE THRUST BLOCKS.
- PRECAUTIONS SHALL BE TAKEN TO PROTECT THE INTERIOR OF PIPES, FITTINGS, AND VALVES AGAINST CONTAMINATION. ALL OPENINGS IN THE PIPELINE SHALL BE CLOSED WITH WATERTIGHT PLUGS WHEN PIPE LAYING IS STOPPED AT THE CLOSE OF THE DAY'S WORK OR FOR OTHER REASONS, SUCH AS REST BREAKS OR MEAL PERIODS.
- VALVES IN STREETS ARE TO BE LOCATED AT PROPERTY LINE EXTENSIONS EXCEPT FOR TAPPING TEES; WHERE AN ADDITIONAL VALVE SHALL BE PLACED ON THE TAPPING TEE. OTHER LOCATIONS SHOWN ON THE PLANS.
- WHEN NECESSARY TO LOWER OR RAISE WATER LINES AT STORM DRAINS AND OTHER UTILITY CROSSING, A MINIMUM CLEARANCE OF 1.5 FEET SHALL BE MAINTAINED BETWEEN OUTSIDE OF PIPES.
- THE CONTRACTOR SHALL NOTIFY THE PWSO AT LEAST 48 HOURS PRIOR TO ANY CONSTRUCTION. IF WORK IS SUSPENDED FOR ANY PERIOD OF TIME AFTER INITIAL START-UP, THE CONTRACTOR MUST NOTIFY THE DISTRICT ENGINEER 48 HOURS PRIOR TO RE-START.
- PIPE BEDDING SHALL BE A CLEAN, WELL-GRADED SAND OR SQUEEGEE SAND IN ACCORDANCE WITH PWSO STANDARDS AND SPECIFICATIONS, LATEST REVISION.
- THE CONTRACTOR SHALL NOTIFY THE PUBLIC UTILITY COMPANIES AND DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO PROCEEDING WITH THE EXCAVATION. ALL WORK PERFORMED IN THE AREA OF THE PUBLIC UTILITIES SHALL BE PERFORMED ACCORDING TO THE REQUIREMENTS OF THESE AGENCIES.
- COMPACTION OF ALL TRENCHES MUST BE ATTAINED IN ACCORDANCE WITH THE SOILS REPORTS AND COMPACTION TEST RESULTS SUBMITTED TO THE DISTRICT ENGINEER PRIOR TO PROBATIONARY ACCEPTANCE.
- AT LEAST FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION, A PRE-CONSTRUCTION MEETING WILL BE HELD AT THE OFFICE OF THE DISTRICT ENGINEER AND ATTENDED BY THE CONTRACTOR, DESIGN ENGINEER, AND REPRESENTATIVE OF OTHER APPROVING AGENCIES.

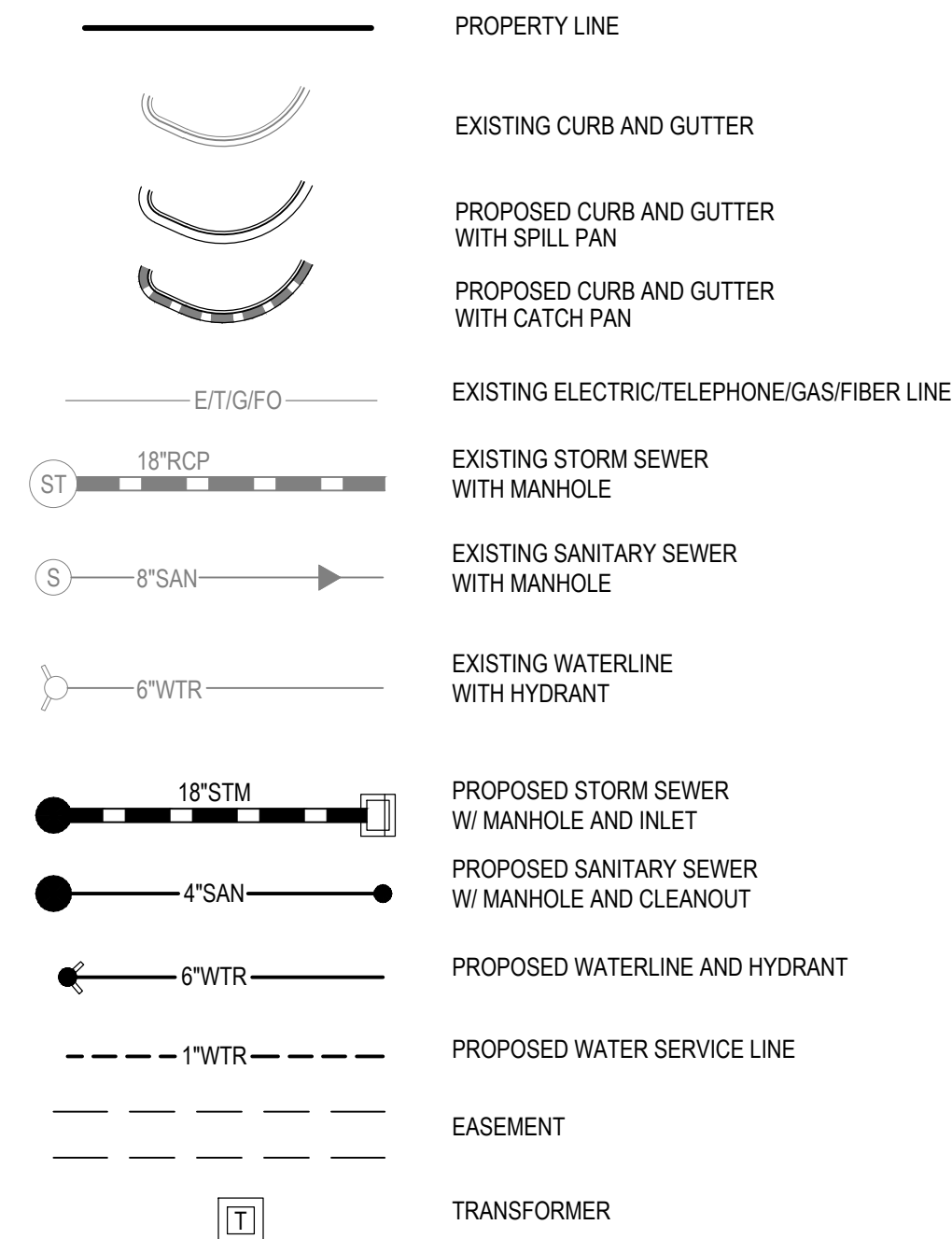
- CHLORINATION AND FLUSHING: ALL WATER MAINS SHALL BE INSTALLED AND CHLORINATED PER PWSO SPECIFICATIONS. CHLORINATION OF FINISHED PIPELINE COMPLETED BEFORE HYDROSTATIC TESTING.
- HYDROSTATIC TESTING: ALL WATER MAINS SHALL BE TESTED PER THE REQUIREMENTS OF THE PWSO SPECIFICATIONS UP TO MINIMUM OF 150 PSI IN THE PRESENCE OF A PWSO INSPECTOR/ENGINEER.

**PARKER WATER AND SANITATION DISTRICT**

**SANITARY SEWER SYSTEM NOTES**

- ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE PWSO ENGINEERING STANDARDS AND SPECIFICATIONS, LATEST VERSION.
- ALL SEWER MAINS SHALL BE PVC, ASTM D-3034, SDR 35 OR APPROVED EQUAL. ALL SEWER MAIN SIZE IS 8" IN DIAMETER UNLESS OTHERWISE NOTED.
- SEWER LINES SHALL BE INSTALLED 5.0 FEET SOUTH OR WEST OF STREET CENTERLINE, UNLESS OTHERWISE SHOWN ON PLANS. SEWER LINES SHALL BE 10.00 FEET FROM WATER LINES EXCEPT WHEN CROSSING EACH OTHER. SEWER LINES WHICH CROSS LESS THAN 1.50 FEET VERTICALLY FROM THE WATER MAIN SHALL BE ENCASED IN CONCRETE AS PER PWSO SPECIFICATIONS. USE RUBBER GASKETS FOR PVC ENCASEMENT.
- SEWER RIM ELEVATIONS SHOWN ARE APPROPRIATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATIONS. RING AND COVER SHALL BE SET IN CENTERED CONCRETE RINGS WITH RAM-NECK FOR ADJUSTMENT TO MATCH FINAL PAVEMENT ELEVATIONS.
- THE CONTRACTOR AND SURVEY CREW SHALL VERIFY ELEVATIONS OF EXISTING SEWER LINES AND MANHOLES TO BE TIED TO PRIOR TO CONSTRUCTION OR STAKING OF SANITARY SEWER.
- NO UNDERDRAIN SYSTEM WILL BE ALLOWED TO BE PLACED IN MAINLINE OR SEWER SERVICE TRENCHES.
- SEWER SERVICE TEES FOR EACH UNIT SHALL BE STAKED BY A SURVEY CREW AND FURNISHED AND INSTALLED BY THE CONTRACTOR. THE CONTRACTOR SHALL FURNISH TO THE ENGINEER "AS CONSTRUCTED" LOCATION OF TEES. SEWER WYES SHALL BE USED RATHER THAN TEES.
- ALL MANHOLES SHALL BE 48-INCHES IN DIAMETER WITH 24-INCH RING AND COVER, ECCENTRIC CONE UNLESS OTHERWISE SPECIFIED. ALL MANHOLES SHALL HAVE SHAPED INVERTS.
- PIPE BEDDING SHALL BE CLASS "B" AND SHALL CONFORM TO ASTM C-33 OR D-448 GRADATION NO. 6 OR NO. 67.
- AT LEAST FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION, A PRE-CONSTRUCTION MEETING WILL BE HELD AT THE OFFICE OF THE DISTRICT ENGINEER AND ATTENDED BY THE CONTRACTOR AND REPRESENTATIVES OF THE OTHER APPROVING AGENCIES. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE DISTRICT ENGINEER TO SCHEDULE THIS MEETING.
- THE CONTRACTOR SHALL HAVE IN HIS POSSESSION AT ALL TIMES ONE (1) SIGNED COPY OF THE PLANS WHICH HAVE BEEN APPROVED BY THE PWSO AND THE DISTRICT ENGINEER AND ONE (1) COPY OF THE LATEST PWSO SPECIFICATION MANUAL.
- ALL SEWER LINES SHALL BE TESTED IN ACCORDANCE WITH THE PWSO STANDARDS AND SPECIFICATIONS PRIOR TO ACCEPTANCE OR ANY CONNECTION TO AN EXISTING SEWER LINE.
- PRIOR TO STARTING WORK WHERE SEWER MAIN IS TO BE CONNECTED TO EXISTING PWSO SEWER SYSTEMS, THE NEAREST MANHOLE TO THE POINT OF TIE-IN SHALL BE PLUGGED WITH A PLUMBER'S PLUG ON THE INLET SIDE BY THE CONTRACTOR. THIS PLUG SHALL REMAIN IN PLACE UNTIL FINAL PROBATIONARY ACCEPTANCE BY PWSO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PUMPING AND CLEANING THESE MANHOLES AND REMOVING THE PLUG WHEN INSTRUCTED BY THE DISTRICT.
- PRIOR TO PROBATIONARY ACCEPTANCE WALK-THROUGH, THE CONTRACTOR SHALL JET CLEAN THE ENTIRE SANITARY SEWER SYSTEM AND PUMP OUT AT THE PLUGGED MANHOLE.

**LEGEND**



**ABBREVIATIONS**

ASSY	ASSEMBLY
BP	BOTTOM OF PIPE
ESMT	EASEMENT
ELEV	ELEVATION
EX	EXISTING
DIP	DUCTILE IRON PIPE
FG	FINISHED GRADE
FH	FIRE HYDRANT
FL	FLOWLINE
FU	FUTURE
GV	GATE VALVE
INV	INVERT
KB	KICK BLOCK / THRUST BLOCK
PR	PROPOSED
PVC	POLYVINYL CHLORIDE PIPE
TP	TOP OF PIPE
WI	WITH



PREPARED UNDER THE DIRECT SUPERVISION OF JERRY W. DAVIDSON, P.E. COLORADO REG # 30226 FOR AND ON BEHALF OF PERCEPTION DESIGN GROUP, INC.

NO.	DATE	DESCRIPTION
1	09/17/25	1ST SUBMITTAL
2	04/03/26	2ND SUBMITTAL

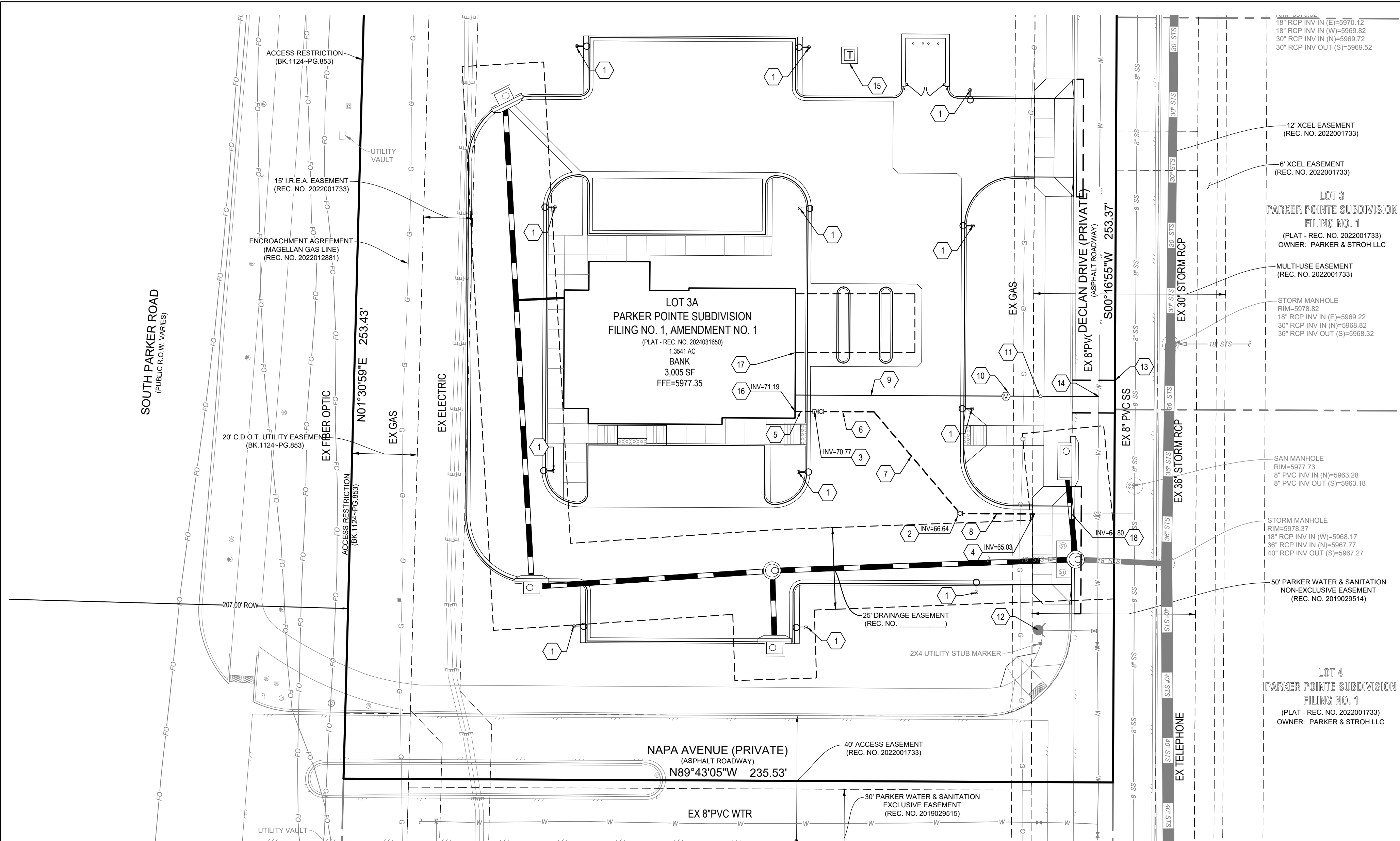
**WATER & SEWER GENERAL NOTES**

**HUNTINGTON NATIONAL BANK**

LOT 3A PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE NORTHEAST 1/4 OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 68 WEST OF THE 6TH P.M., TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

Design By: CLN  
Approved By: JWD  
Project No.: 2025-005

SHEET  
**C6.01**



### CONSTRUCTION NOTES

- 1 INSTALL LIGHT POLE. SEE PHOTOMETRIC PLAN FOR LOCATION AND DETAILS.
- 2 CONSTRUCT CLEANOUT. SEE SHEET C6.92.
- 3 CONSTRUCT TWO-WAY CLEANOUT. SEE SHEET C6.92.
- 4 CONNECT 4" SAN SERVICE TO EXISTING STUB. VERIFY DEPTH AND LOCATION PRIOR TO ANY SANITARY SEWER CONSTRUCTION.
- 5 INSTALL 6 LF 4" SAN SERVICE AT 7.0%.
- 6 INSTALL 18 LF 4" SAN SERVICE AT 7.0%.
- 7 INSTALL 41 LF 4" SAN SERVICE AT 7.0%.
- 8 INSTALL 23 LF 4" SAN SERVICE AT 7.0%.
- 9 INSTALL 93 LF 1" TYPE K COPPER WATER SERVICE LINE.
- 10 INSTALL 1" WATER METER.
- 11 INSTALL 1" CURB STOP.
- 12 EXISTING FIRE HYDRANT.
- 13 SAWCUT PAVEMENT ON BOTH SIDES OF PROPOSED SERVICE LINE. DISPOSE OF OFF SITE. CONSTRUCT SERVICE LINE. PATCH BACK WITH SAME DEPTH ASPHALT. MATCH EXISTING ALIGNMENT AND GRADE.
- 14 INSTALL 1" SERVICE TAP.
- 15 CONCEPTUAL LOCATION FOR SITE TRANSFORMER. SEE SITE ELECTRICAL PLAN FOR EXACT LOCATION.
- 16 CONNECT TO BUILDING SEWER SERVICE. VERIFY LOCATION AND DEPTH WITH BUILDING PLANS.
- 17 VERIFY WATER ENTITY LOCATION WITH BUILDING PLANS.
- 18 EXISTING SANITARY SERVICE LINE CROSSING WITH PROPOSED 18" RCP STORM SEWER. MINIMUM 18" CLEARANCE.



PREPARED UNDER THE DIRECT SUPERVISION OF JERRY W. DAVIDSON, P.E. COLORADO REG # 30226 FOR AND ON BEHALF OF PERCEPTION DESIGN GROUP, INC.

NO.	DATE	DESCRIPTION
1	04/03/26	2ND SUBMITTAL
2	09/17/25	1ST SUBMITTAL

**OVERALL UTILITY PLAN**  
**HUNTINGTON NATIONAL BANK**  
 LOT 3A PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE NORTHEAST 1/4 OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M., TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

Design By: CLN  
 Approved By: JVD  
 Project No.: 2025-005

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**C6.10**

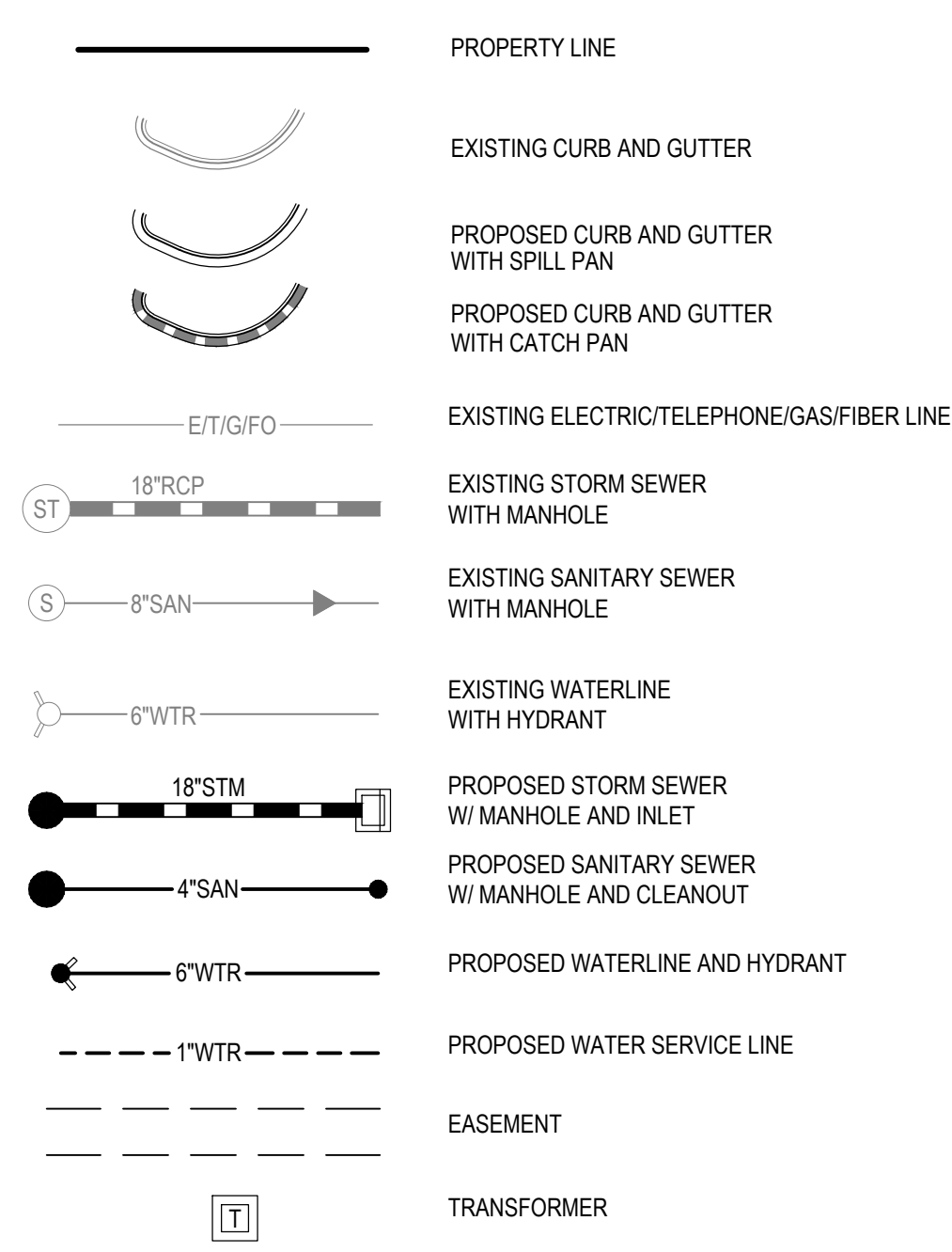
### UTILITY NOTES

1. ALL UTILITY CONSTRUCTION SHALL CONFORM TO PARKER WATER AND SANITATION DISTRICT AND CRITERIA REFERENCE. LOCAL AGENCY INFRASTRUCTURE DESIGN AND CONSTRUCTION STANDARDS.
2. NOMINAL DEPTH OF WATER MAIN SHALL BE 4.5' FROM FINISHED GRADE TO TOP OF PIPE.
3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE PARKER WATER AND SANITATION DISTRICT THE DISTRICT RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
4. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES. EXISTING UTILITIES SHOWN ON THIS PLANS ARE BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME OF DESIGN AND DO NOT REFLECT A COMPLETE SURVEY OF EXISTING UTILITIES. CONTACT THE ENGINEER WITH DISCREPANCIES.
5. SAWCUT OF EXISTING STREETS SHALL BE IN CONFORMANCE WITH TOWN STANDARDS. CUTS SHALL STRAIGHT WITH CLEAN EDGES. REMOVE EXISTING CURB AND GUTTER TO NEAREST JOINT RETURN ALONG EXISTING LINE AND GRADE.
6. THE OWNER AND OR THEIR REPRESENTATIVE SHALL BE RESPONSIBLE FOR COORDINATION WITH EXISTING FRANCHISE UTILITIES TO INCLUDE COMCAST, XCEL, CENTURY LINK OR OWNERS OF EXISTING DRY UTILITY LINES.
7. EXISTING UTILITY SURFACE APPURTENANCES SHALL BE RAISED TO FINISHED GRADE, THIS INCLUDES BUT IS NOT LIMITED TO MANHOLE LIDS, VALVE COVERS.
8. ANY PROPOSED UTILITY CONNECTION WITHIN AN EXISTING ROADWAY WITHIN PUBLIC RIGHT OF WAY WILL REQUIRE A TOWN RIGHT-OF-WAY PERMIT PRIOR TO COMMENCING WORK. THE TOWN REQUIRES CONNECTIONS TO BE BORED TO THE EXTENT POSSIBLE, AND ANY STREET CUT ALLOWED BY THE TOWN WILL BE REQUIRED TO BE PATCHED ACCORDING TO THE TOWN'S CONSTRUCTION STANDARDS AND DETAILS. THE LIMITS OF PATCHING WILL BE DETERMINED BY THE TOWN AT THE TIME OF CONSTRUCTION. THE TOWN OF PARKER DOES NOT ALLOW ROADWAY CLOSURES FOR UTILITY WORK.

### ABBREVIATIONS

- ARV AIR RELEASE VALVE
- ASSY ASSEMBLY
- BP BOTTOM OF PIPE
- ESMT EASEMENTPS
- ELEV ELEVATION
- EX EXISTING
- DIP DUCTILE IRON PIPE
- FG FINISHED GRADE
- FH FIRE HYDRANT
- FL FLOWLINE
- FU FUTURE
- GV GATE VALVE
- INV INVERT
- KB KICK BLOCK / THRUST BLOCK
- M METER
- MH MANHOLE
- PR PROPOSED
- PVC POLYVINYL CHLORIDE PIPE
- T TEE
- TP TOP OF PIPE
- VAC AIRVAC VALVE
- W WITH
- 45B 45° BEND

### LEGEND



### PARKER WATER AND SANITATION DISTRICT

THE DISTRICT INSPECTOR MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION. CALL PARKER WATER AND SANITATION DISTRICT AT 303-841-4627. THE DISTRICT WILL PROVIDE PERIODIC INSPECTIONS OF THE WORK. 24 HOUR NOTICE TO THE INSPECTOR IS REQUIRED FOR SCHEDULING INSPECTIONS. ANY WORK ACCOMPLISHED WITHOUT THE APPROVAL OF THE INSPECTOR WILL BE SUBJECT TO REJECTION. REVIEWED FOR CONFORMANCE TO PARKER WATER AND SANITATION DISTRICT STANDARDS.

BY: \_\_\_\_\_  
 (DISTRICT REPRESENTATIVE)

DATE: \_\_\_\_\_

APPROVED FOR CONSTRUCTION:  
 PARKER WATER AND SANITATION DISTRICT

BY: \_\_\_\_\_  
 (DISTRICT ENGINEER)

DATE: \_\_\_\_\_

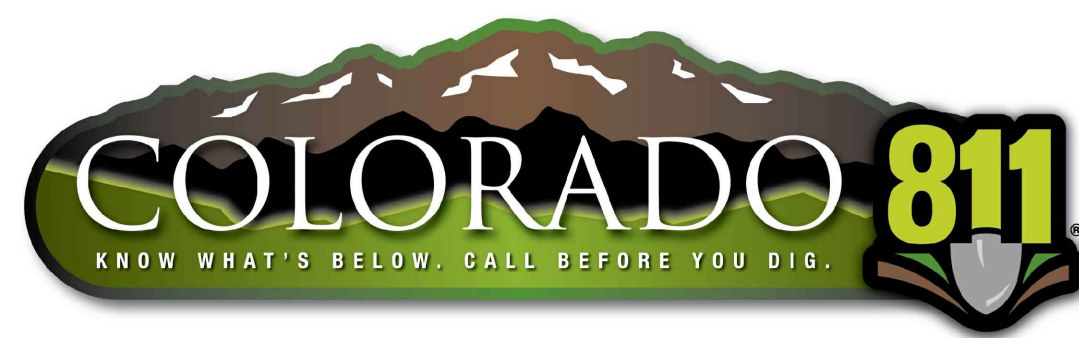
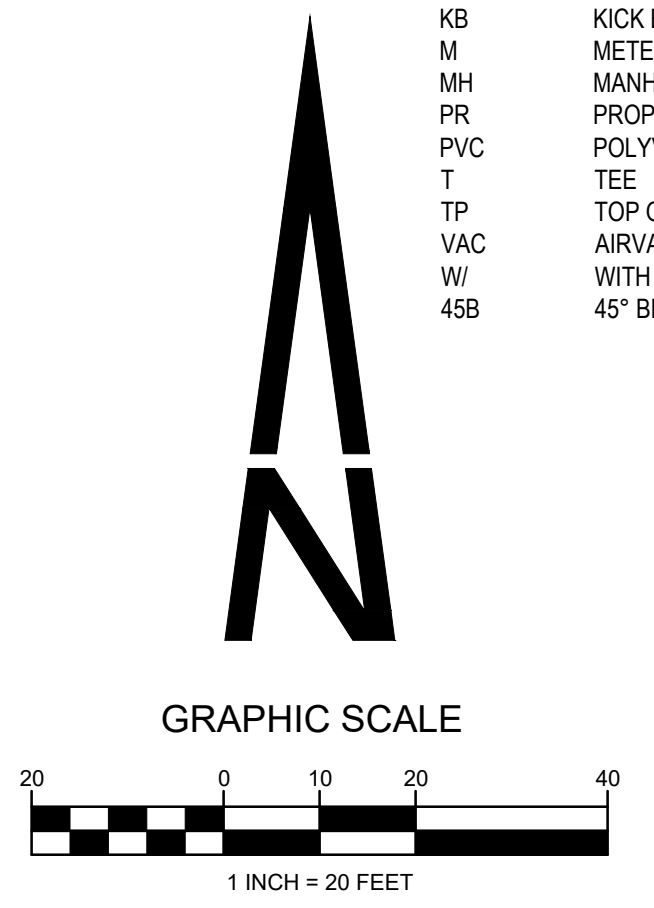
ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATION OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

\_\_\_\_\_  
 FIRE CODE OFFICIAL OR DESIGNATED REPRESENTATIVE  
 (NOTE - UNDERGROUND FIRE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENTS OF NFPA 24 WHEN SUBMITTING FOR REVIEW.)

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER

TOWN OF PARKER, DIRECTOR OF ENGINEERING



THE TYPE, SIZE, LOCATION, AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ON THE SITE, AND OFFSITE IN WORK AREAS. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO DATE OF CONSTRUCTION. FOR INFORMATION CONTACT: UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) - 1-800-922-1987. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.

**INSPECTION POLICY:**

1. ALL SERVICE INSPECTIONS MUST BE SCHEDULED AT LEAST 24 HOURS IN ADVANCE OF THE REQUESTED INSPECTION.
2. SERVICE INSPECTIONS WILL OCCUR BETWEEN 1:00 P.M. AND 3:00 P.M. SPECIFIC INSPECTION TIMES ARE NOT AVAILABLE.
3. IF THE CONTRACTOR IS NOT READY FOR INSPECTION WHEN THE INSPECTOR ARRIVES AT THE SITE OR SERVICE FAILS, A RE-INSPECTION WILL HAVE TO BE SCHEDULED IN ACCORDANCE WITH NOTES 1 AND 2 ABOVE AND A RE-INSPECTION FEE CHARGED.
4. SHOULD THE SERVICE LINES BE DAMAGED BY LATER CONSTRUCTION, AN INSPECTION OF THE REPAIR WILL BE REQUIRED IN ACCORDANCE WITH NOTES 1 AND 2 ABOVE.
5. THE CONTRACTOR SHALL LEAVE ALL PIPE AND FITTINGS EXPOSED FOR THE INSPECTOR TO OBSERVE. INSPECTORS WILL NOT ENTER ANY EXCAVATIONS TO CHECK MATERIALS. THE TOP LAYER OF BEDDING CAN BE ADDED AFTER THE INSPECTION HAS BEEN COMPLETED.
6. ALL EXCAVATIONS SHALL BE IN ACCORDANCE WITH OSHA STANDARDS.
7. LOTS WITHOUT BUILDING ADDRESSES BEFORE DISTRICT INSPECTION OR METER SET WILL FAIL AUTOMATICALLY.
8. CONTRACTOR MUST BE PRESENT AT TIME OF INSPECTION. UNLESS COORDINATED WITH DISTRICT INSPECTOR.

**INSTALLATION NOTES:**

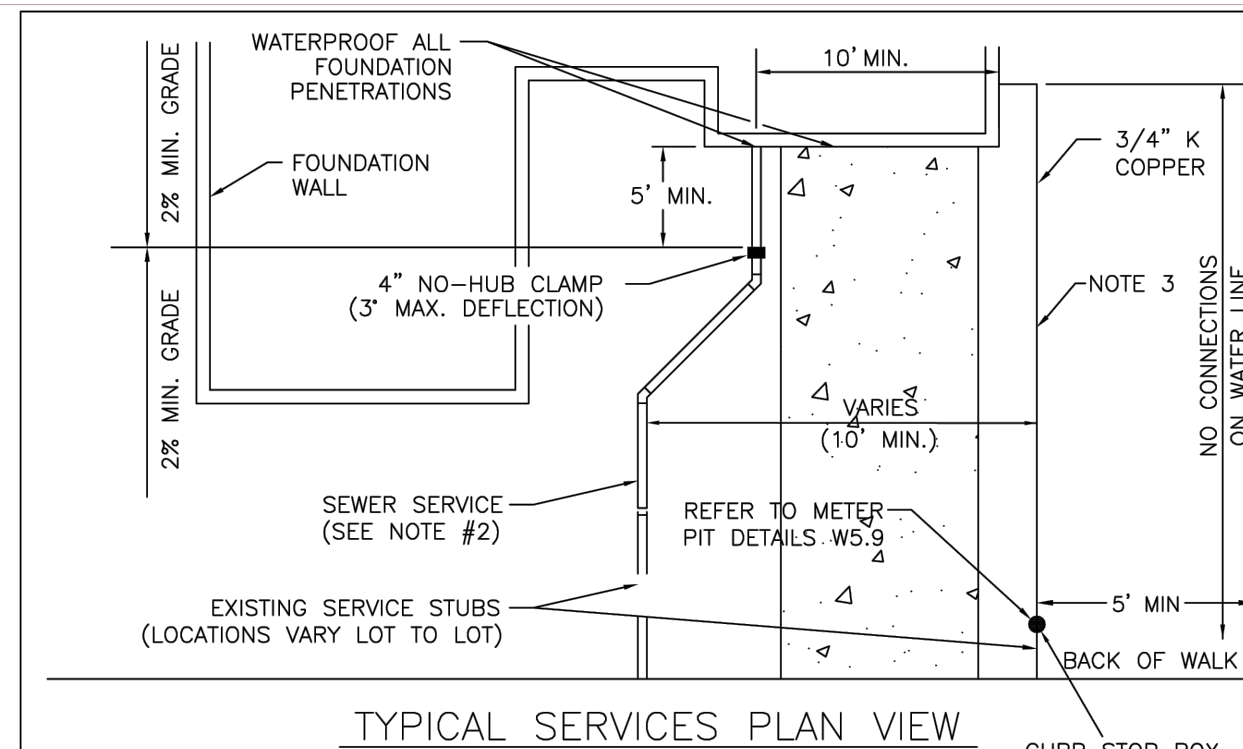
- WATER**
1. ACCEPTABLE PIPE MATERIALS SHALL BE K-COPPER TUBING. (3/4" MIN.)
  2. APPROVED BEDDING TO BE SQUEEGEE.
  3. ONLY ONE COUPLING WILL BE ALLOWED BETWEEN THE STUB-IN AND BUILDING. COMPRESSION COUPLINGS WILL NOT BE ALLOWED ON NEW CONSTRUCTION. SILVER SOLDERED JOINTS MUST BE USED ON SERVICES LARGER THAN 3/4". SILVER SOLDERED JOINTS MUST BE INSPECTED BY PWS BEFORE BURIAL. FLARED COUPLINGS WILL BE ALLOWED ON ALL SERVICES 3/4" AND SMALLER.
  4. A WATER SERVICE WHICH CROSSES A SEWER SERVICE CAN DO SO ONLY AT A 45-90° ANGLE. WATER SERVICES SHALL BE LOCATED A MINIMUM OF 18" ABOVE SEWER SERVICE.
  5. WATER SERVICE FOUNDATION PENETRATIONS SHALL BE WATERPROOFED USING MASTIC OR OTHER APPROVED METHOD. CRAWL SPACE REQUIRES CONTINUOUS COPPER WITH A 1" BURY.
  6. CURB STOP MUST BE PLUMB AND CENTERED OVER THE NUT. IT SHOULD BE STRAPPED TO THE METER PIT (RESIDENTIAL INSTALLATIONS) OR CENTERED OVER THE EASEMENT LINE (COMMERCIAL INSTALLATIONS). THE ASSEMBLY MUST BE AT OR SLIGHTLY ABOVE FINISHED GRADE.
  7. MOVED CURB BOXES MUST BE INSPECTED BY PWS BEFORE BURIAL.
  8. WATERLINE MUST BE ATTACHED TO A SUPPORT BOARD THAT IS MOUNTED TO THE WALL.
  9. NO VOIDS ALLOWED UNDER WATERLINES FROM STOP BOX TO FOUNDATION.
  10. CURBSTOP BOXES AND METER PITS CANNOT BE IN DRIVEWAYS.
  11. ONLY 3/4" (JUMPER) PIPES (RESIDENCES) ARE ALLOWED. (JUMPER) PIPES WILL BE REMOVED PRIOR TO METER SET DATE.
  12. ALL SERVICES WILL BE PERMANENTLY MARKED ON CURB FACE AS FOLLOWS:  
"X" FOR SANITARY SEWER SERVICE  
"V" FOR WATER SERVICES
  13. NO SPLICES OR FLARED COUPLINGS ALLOWED ON SERVICES LARGER THAN 3/4". SILVER SOLDERED JOINTS MUST BE USED IN MOVING STOPBOXES ON SERVICES LARGER THAN 3/4". SILVER SOLDERED JOINTS MUST BE INSPECTED BY PWS BEFORE BURIAL. FLARED COUPLINGS WILL BE ALLOWED ON ALL SERVICES 3/4" AND SMALLER.

**PARKER WATER & SANITATION DISTRICT**  
**DISTRICT POLICIES & INSTALLATION NOTES FOR WATER SERVICES**

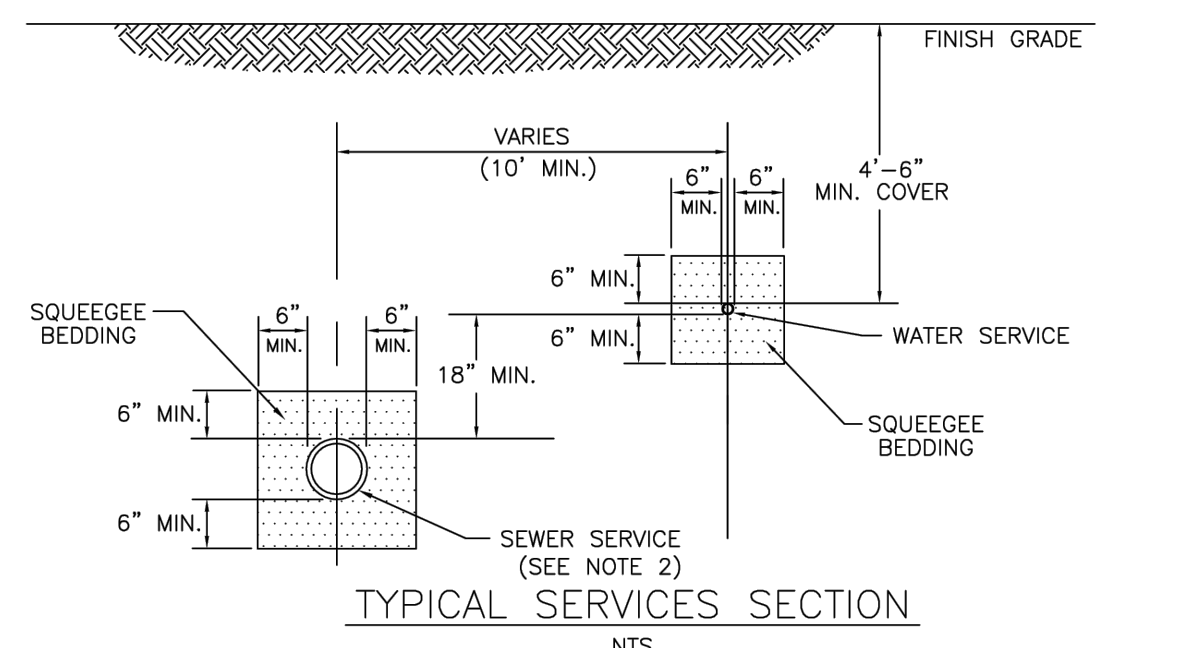
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APPROVED: PVR	1/04 1/16 10/16
DIRECTOR OF ENGINEERING	

2016 REVISION

SHEET W1.1



TYPICAL SERVICES PLAN VIEW



TYPICAL SERVICES SECTION

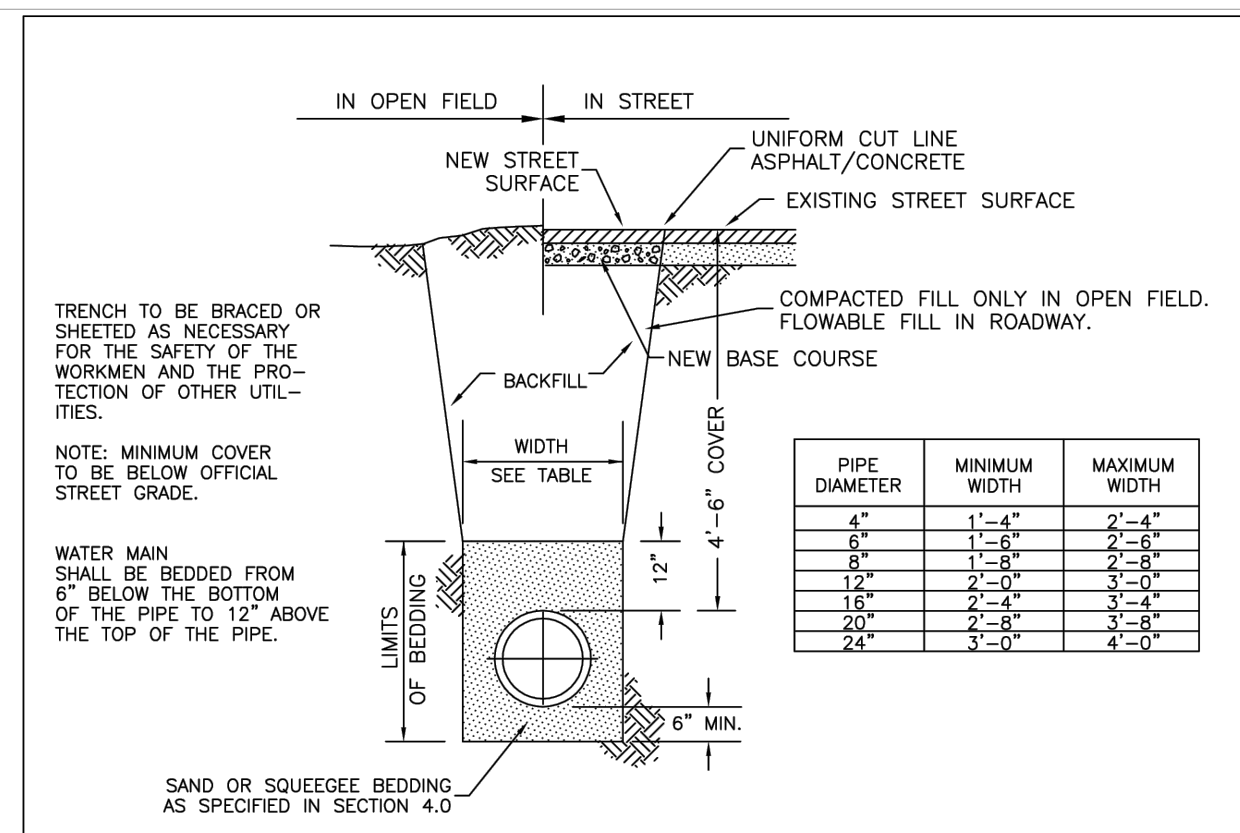
NOTE:  
1. SEE SHEET W1.1 FOR DISTRICT POLICIES AND INSTALLATION NOTES.  
2. REFER TO SEWER SERVICES DETAIL SHEET S1.2.  
3. 4" PVC SLEEVES REQUIRED FOR SERVICE LINES UNDER CONCRETE SURFACE.

**PARKER WATER & SANITATION DISTRICT**  
**TYPICAL WATER SERVICES**

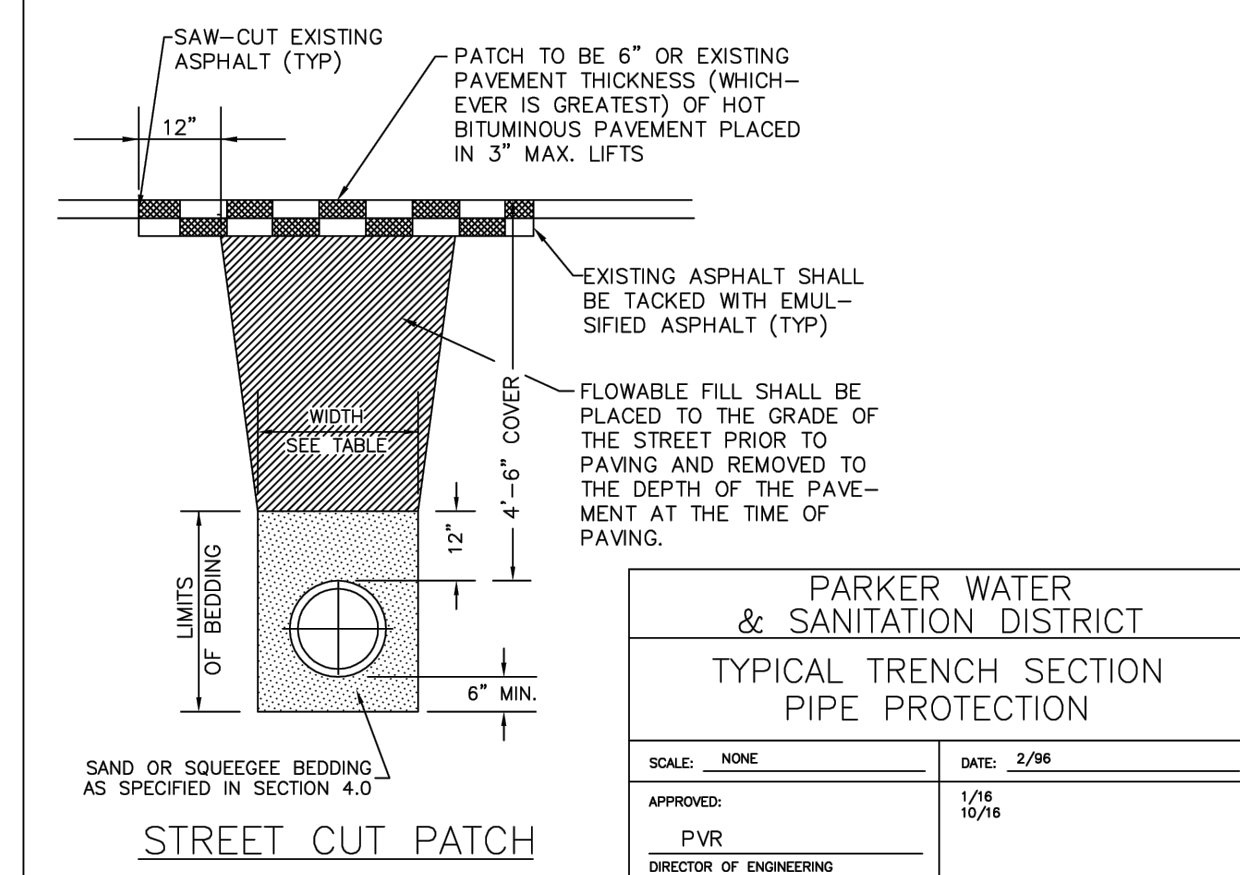
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APPROVED: PVR	1/04 10/16 06/05 12/07 1/16
DIRECTOR OF ENGINEERING	

2016 REVISION

SHEET W1.2



STANDARD TRENCH SECTION



2016 REVISION

SHEET W4.1

**PIPE BEDDING:**

(a) Installation of Bedding and Base: After completion of the trench excavation and proper preparation of the foundation, six inches (6") of bedding material shall be placed on the trench bottom for support under the pipe. Bell holes shall be dug deep enough to provide a minimum of two inches (2") of clearance between the bell and bedding material. All pipe shall be installed in such a manner as to insure full support of the pipe barrel over its entire length. After the pipe is adjusted for line and grade, and the joint is made, the bedding material shall be carefully placed and tamped under the haunches of the pipe and in the previously dug bell holes.

Tamping is herein defined as the act of placing approved bedding material under the haunches of the pipe, paying particular attention to voids, bell holes, and sling holes. The purpose of tamping is to ensure uniform support for the pipe.

The limits of bedding shall be from six inches (6") below the bottom of the pipe to twelve inches (12") above the top of the pipe. Approved backfill may then be installed to the groundline. See Sheet W4.1 of the Standard Details for a typical trench cross section.

Compaction of bedding is not required. The only requirement is sufficient tamping to achieve uniform support under the pipe. See Sheet W4.1 of the Standard Details for a typical trench cross section.

(b) Bedding Material: The bedding material shall be a clean well-graded sand or squeegee sand and shall conform to the following limits when tested by means of laboratory sieves:

**Well-Graded Sand for (24-inch or large diameter)**

Sieve Size	Total Percent Passing by Weight
3/8 inch	100
No. 4	70-100
No. 8	36-93
No. 16	20-80
No. 30	8-65
No. 50	2-30
No. 100	1-10
No. 200	0-3

**Squeegee Sand**  
for use with 20-inch or smaller

Sieve Size	Total Percent Passing by Weight
3/8 inch	100
No. 200	0-3

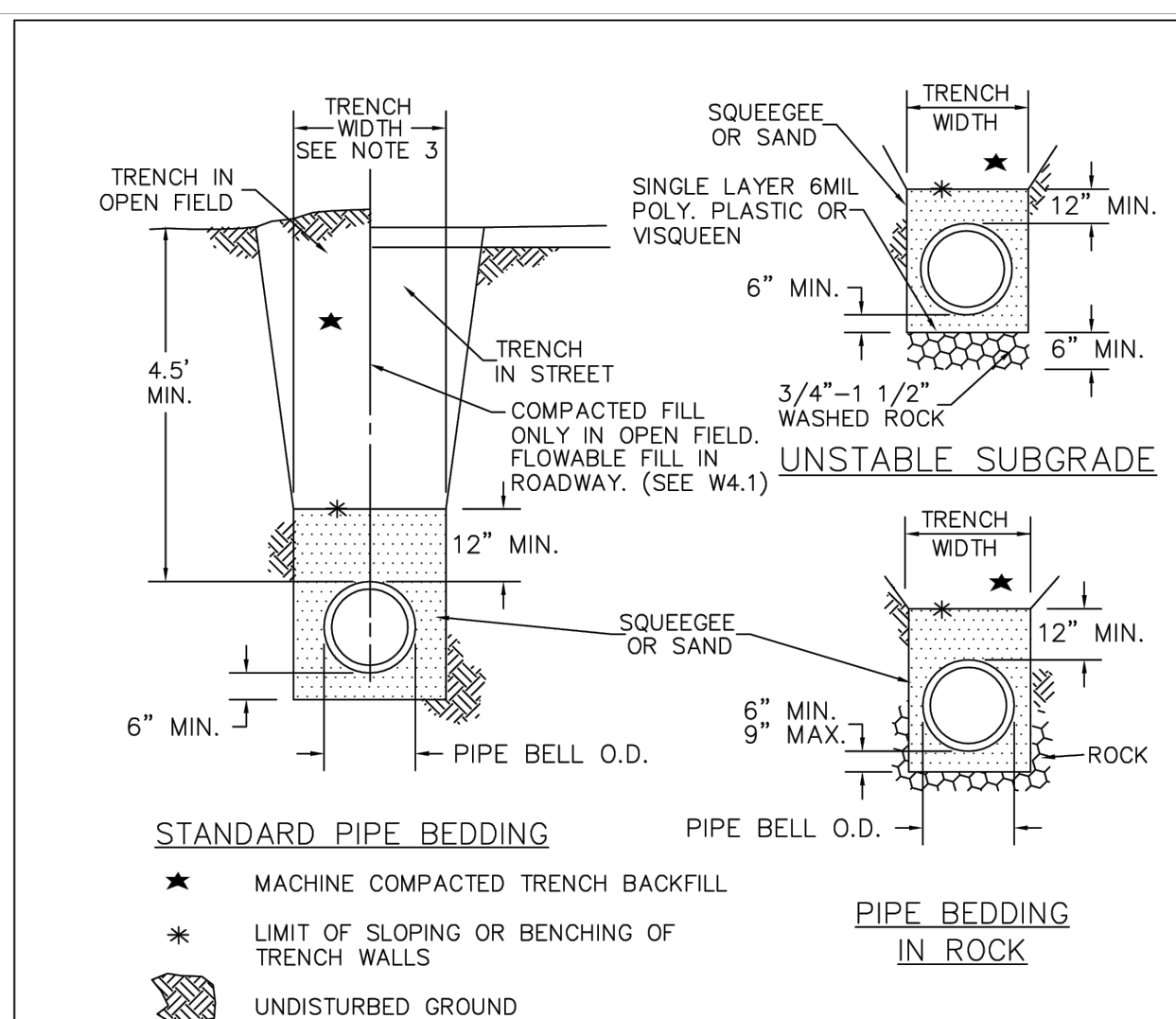
If approved by the District, fines from the trench walls and spoils pile may be used to provide uniform support for the pipe. No rock or stone larger than that allowed by the sieve analysis, or any other detrimental substance, shall be placed closer to the pipe than six inches (6"). Approved bedding materials shall be stockpiled on the jobsite to be used in the event natural materials become unsatisfactory. The District reserves the right to require the use of the specified bedding material at any time.

**PARKER WATER & SANITATION DISTRICT**  
**PIPE BEDDING**

SCALE: NONE	DATE: 2/98
APPROVED: PVR	5/98 2/00 1/16 10/16
DIRECTOR OF ENGINEERING	

2016 REVISION

SHEET W4.2



- NOTES:
1. MIN. COVER TO BE BELOW FINAL STREET GRADE. CONSTRUCTION OF WATER MAIN MAY NOT START UNTIL FINAL GRADE WITHIN 1 FOOT.
  2. TRENCH TO BE BRACED OR SHEETED AS NECESSARY FOR THE PROTECTION OF OTHER UTILITIES AND TO MEET OSHA SAFETY REQUIREMENT.
  3. TRENCH WIDTH SHALL NOT BE MORE THAN 16" NOR LESS THAN 12" WIDER THAN THE LARGEST OUTSIDE DIAMETER OF THE PIPE LAID THEREIN (BELL OR COUPLING O.D. IF APPLICABLE). REFER TO SHEET W4.1 FOR DIMENSIONS.

**PARKER WATER & SANITATION DISTRICT**  
**BEDDING DETAILS**

SCALE: NONE	DATE: 2/98
APPROVED: PVR	1/16 10/16
DIRECTOR OF ENGINEERING	

2016 REVISION

SHEET W4.8



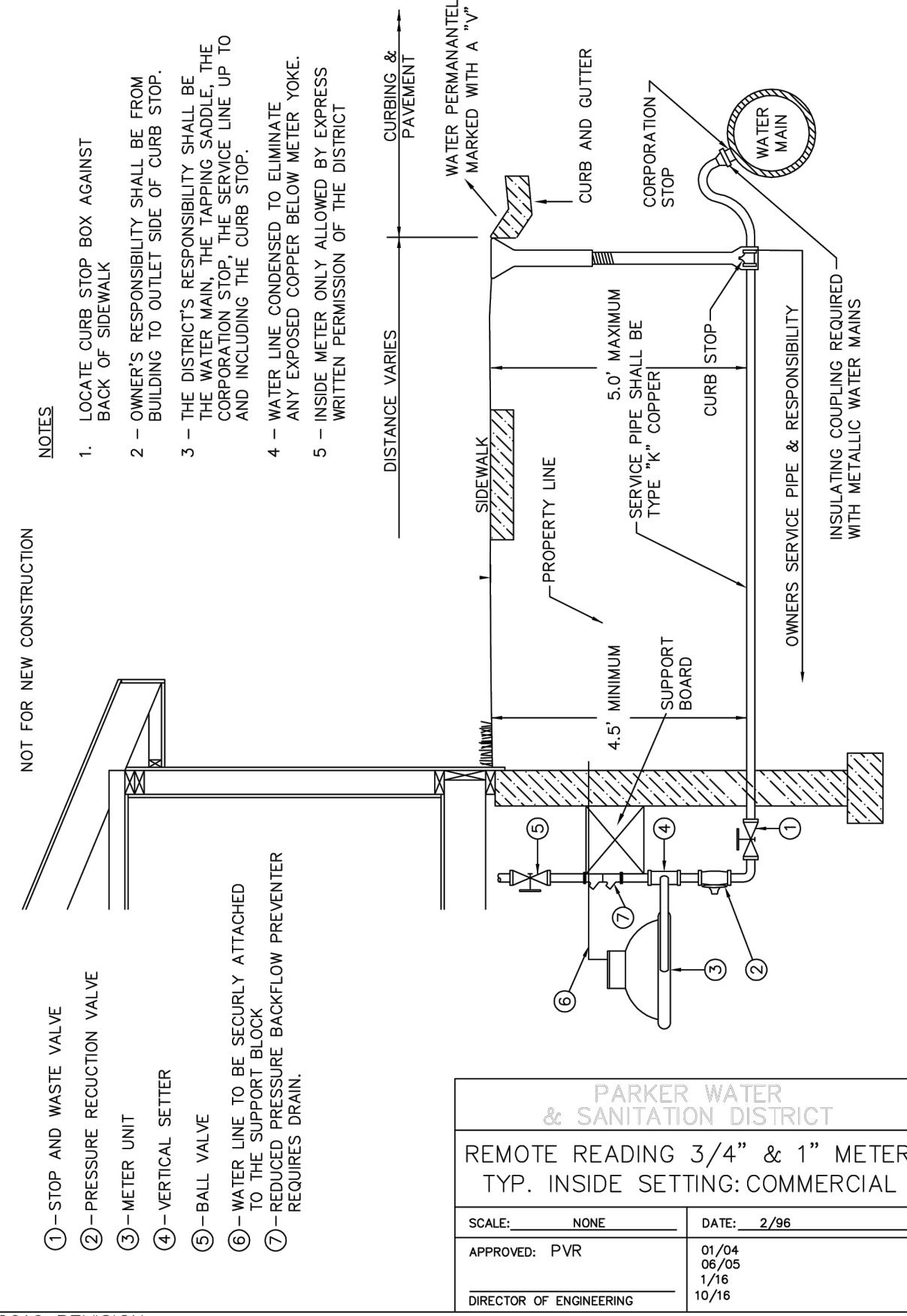
PREPARED UNDER THE DIRECT SUPERVISION OF JERRY W. DAVIDSON, P.E. COLORADO REG # 30226 FOR AND ON BEHALF OF PERCEPTION DESIGN GROUP, INC.

NO.	DATE	DESCRIPTION
1	04/03/26	2ND SUBMITTAL
2	09/17/25	1ST SUBMITTAL

**WATER & SEWER DETAILS**  
**HUNTINGTON NATIONAL BANK**  
LOT 3A PARKER POINT SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE NORTHEAST 1/4 OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M., TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

Design By: CLN  
Approved By: JWD  
Project No.: 2025-005

SHEET  
**C6.90**

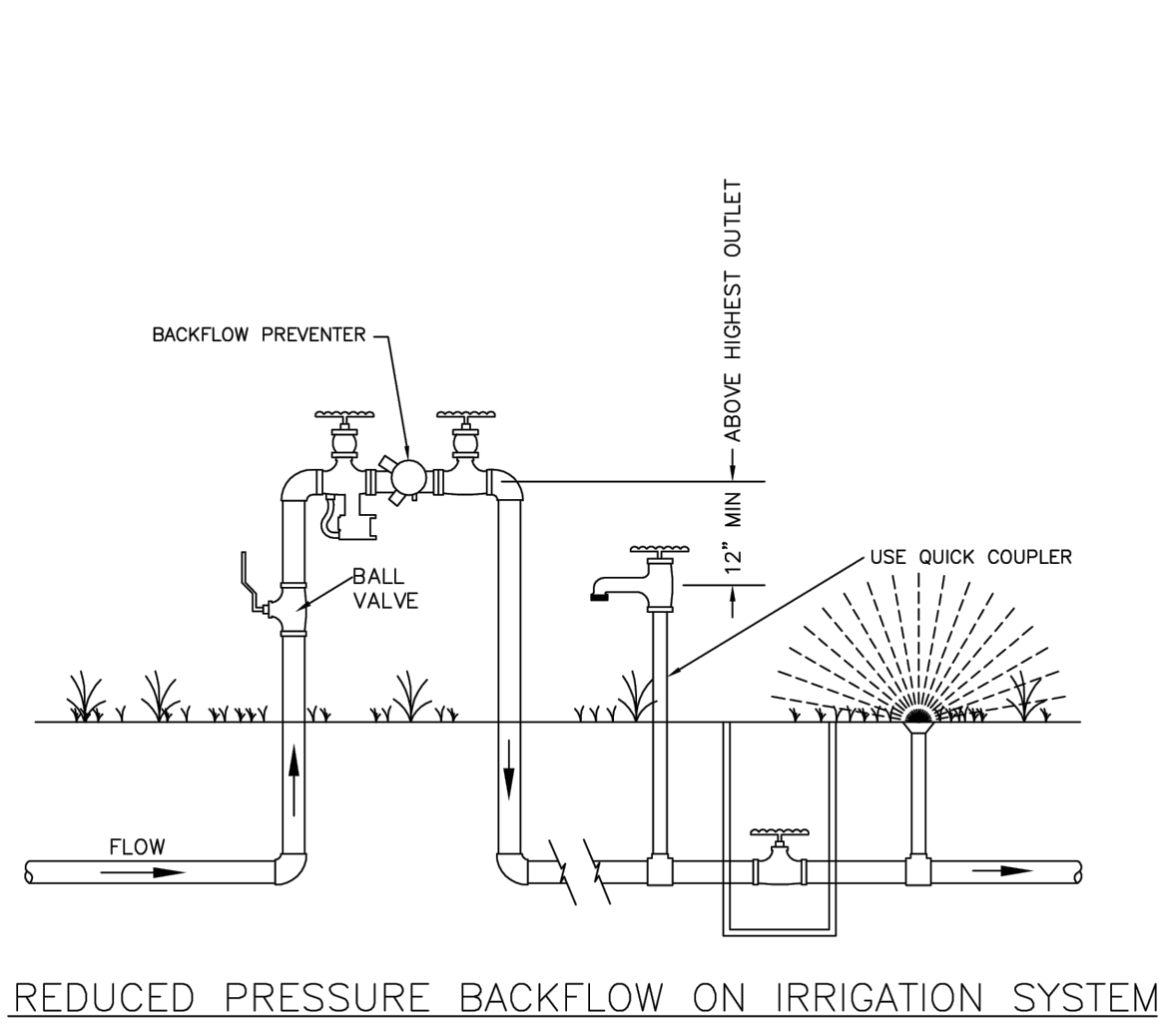


PARKER WATER & SANITATION DISTRICT  
 REMOTE READING 3/4" & 1" METER  
 TYP. INSIDE SETTING: COMMERCIAL

SCALE: NONE	DATE: 2/96
APPROVED: PVR	01/04 01/16 06/05 10/16 1/16
DIRECTOR OF ENGINEERING	

2016 REVISION

SHEET W5.13



REDUCED PRESSURE BACKFLOW ON IRRIGATION SYSTEM

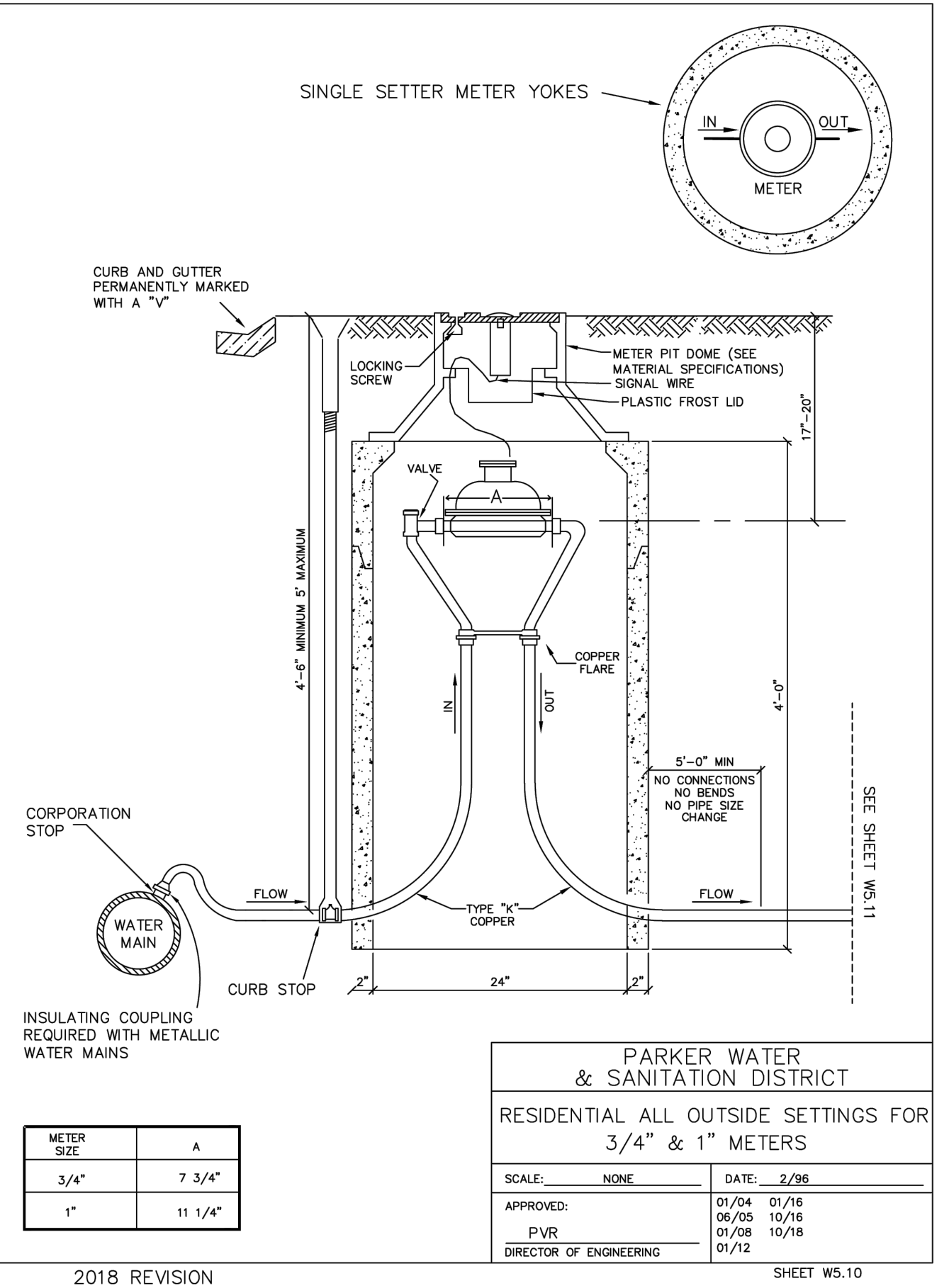
PARKER WATER & SANITATION DISTRICT  
 REDUCED PRESSURE BACKFLOW

NOTE:  
 1. ALL IRRIGATION SYSTEMS MUST BE CONNECTED DOWN STREAM OF METER.  
 2. PROVIDE ENCLOSURE.

SCALE: NONE	DATE: 2/96
APPROVED: PVR	2004 08/05 1/16
DIRECTOR OF ENGINEERING	10/16

2016 REVISION

SHEET W6.1



2018 REVISION

SHEET W5.10

WATER & SEWER DETAILS

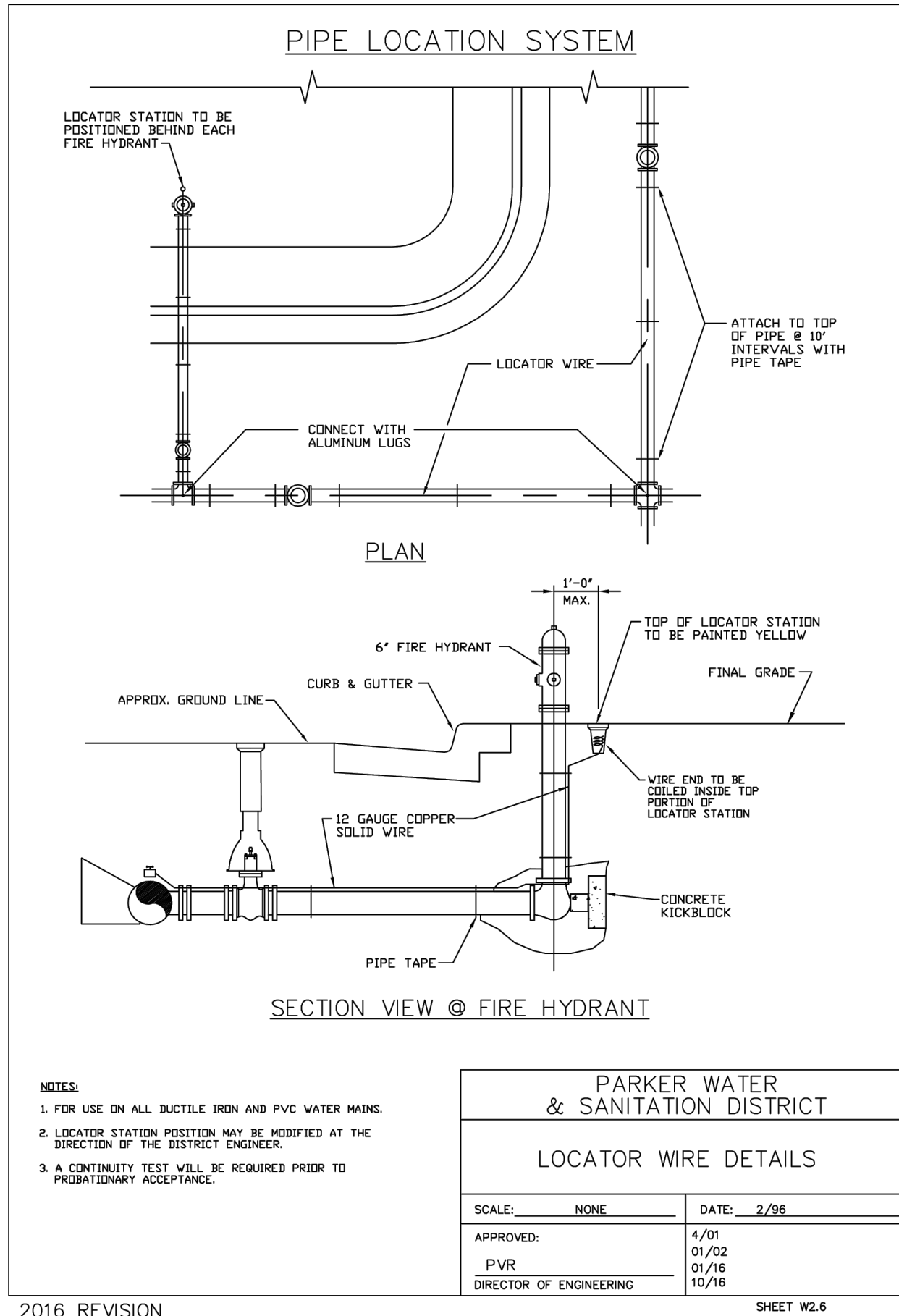
HUNTINGTON NATIONAL BANK  
 LOT 3A PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1  
 LOCATED IN THE NORTHEAST 1/4 OF SECTION 3, TOWNSHIP 6 SOUTH,  
 RANGE 66 WEST OF THE 6TH P.M., TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

Design By: CLN  
 Approved By: JWD  
 Project No.: 2025-005

SHEET  
 C6.91

PREPARED UNDER THE DIRECT SUPERVISION OF JERRY W. DAVIDSON, P.E. COLORADO REG # 30226 FOR AND ON BEHALF OF PERCEPTION DESIGN GROUP, INC.

NO.	DATE	DESCRIPTION
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PARKER WATER & SANITATION DISTRICT	
LOCATOR WIRE DETAILS	
SCALE: NONE	DATE: 2/96
APPROVED: PVR	4/01 01/02 01/16 10/16
DIRECTOR OF ENGINEERING	

2016 REVISION

**INSPECTION POLICY:**

1. ALL SERVICE INSPECTIONS MUST BE SCHEDULED WITH THE DISTRICT OFFICE AT LEAST 24 HOURS IN ADVANCE OF THE REQUESTED INSPECTION.
2. IF THE CONTRACTOR IS NOT READY FOR INSPECTION WHEN THE INSPECTOR ARRIVES AT THE SITE, A RE-INSPECTION WILL HAVE TO BE SCHEDULED IN ACCORDANCE WITH NOTE 1 ABOVE AND A RE-INSPECTION FEE CHARGED.
3. SHOULD THE SERVICE LINES BE DAMAGED BY LATER CONSTRUCTION, AN INSPECTION OF THE REPAIR WILL BE REQUIRED IN ACCORDANCE WITH NOTES 1 AND 2 ABOVE.
4. THE CONTRACTOR SHALL LEAVE ALL PIPE AND FITTINGS EXPOSED FOR THE INSPECTOR TO OBSERVE. INSPECTORS WILL NOT ENTER ANY EXCAVATIONS TO CHECK MATERIALS. THE TOP LAYER OF BEDDING CAN BE ADDED AFTER THE INSPECTION HAS BEEN COMPLETED.
5. ALL EXCAVATIONS SHALL BE IN ACCORDANCE WITH OSHA STANDARDS.
6. LOTS WITHOUT BUILDING ADDRESSES OR LOT AND BLOCK NUMBERS BEFORE DISTRICT INSPECTION OR METER SET WILL FAIL AUTOMATICALLY.
7. CONTRACTOR MUST BE PRESENT AT TIME OF INSPECTION UNLESS COORDINATED WITH DISTRICT INSPECTOR.

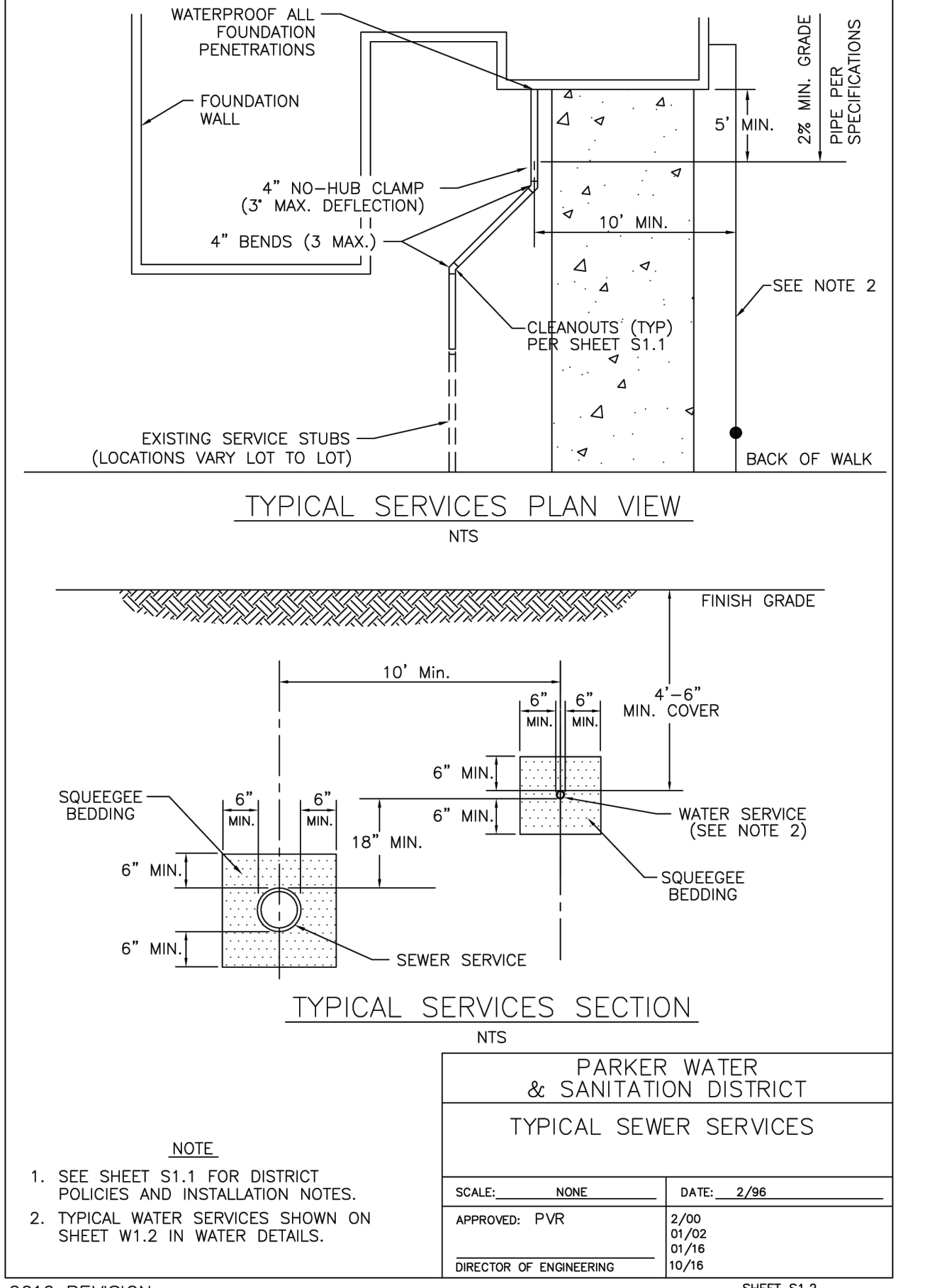
**INSTALLATION NOTES:**

**SEWER**

1. ACCEPTABLE PIPE MATERIALS ARE TO BE SDR 35 PVC PIPE, ABS PIPE AND PVC SCHED 40 PIPE. APPROVED BEDDING IS TO BE SQUEEGEE.
2. NO-HUB CLAMPS SHALL BE USED TO JOIN 2 MALE PIPE ENDS WITH A MAXIMUM DEFLECTION OF 3".
3. MINIMUM GRADE SHALL BE 2%.
4. INSTALLATION SHALL INCLUDE NO MORE THAN 3 BENDS. 90° BENDS ARE NOT ALLOWED. SOLVENT WELDED PIPE WILL NOT BE ALLOWED.
5. CLEAN-OUTS SHALL BE INSTALLED AT 100' INTERVALS AND EVERY CHANGE IN DIRECTION. CLEAN-OUTS ARE NOT REQUIRED FOR SERVICES LESS THAN 100' UNLESS THERE ARE CHANGES IN DIRECTION. PROVIDE DUAL CLEAN-OUT WITHIN 5 FEET OF FOUNDATION.
6. STRESSING OF THE PIPE BETWEEN FITTINGS WILL NOT BE ALLOWED.
7. SEWER SERVICE LINE SHALL NOT BE LOCATED UNDER CONCRETE SURFACE.
8. ALL SERVICES WILL BE PERMANENTLY MARKED ON CURB FACE AS FOLLOWS:  
"X" FOR SANITARY SEWER SERVICE  
"V" FOR WATER SERVICES

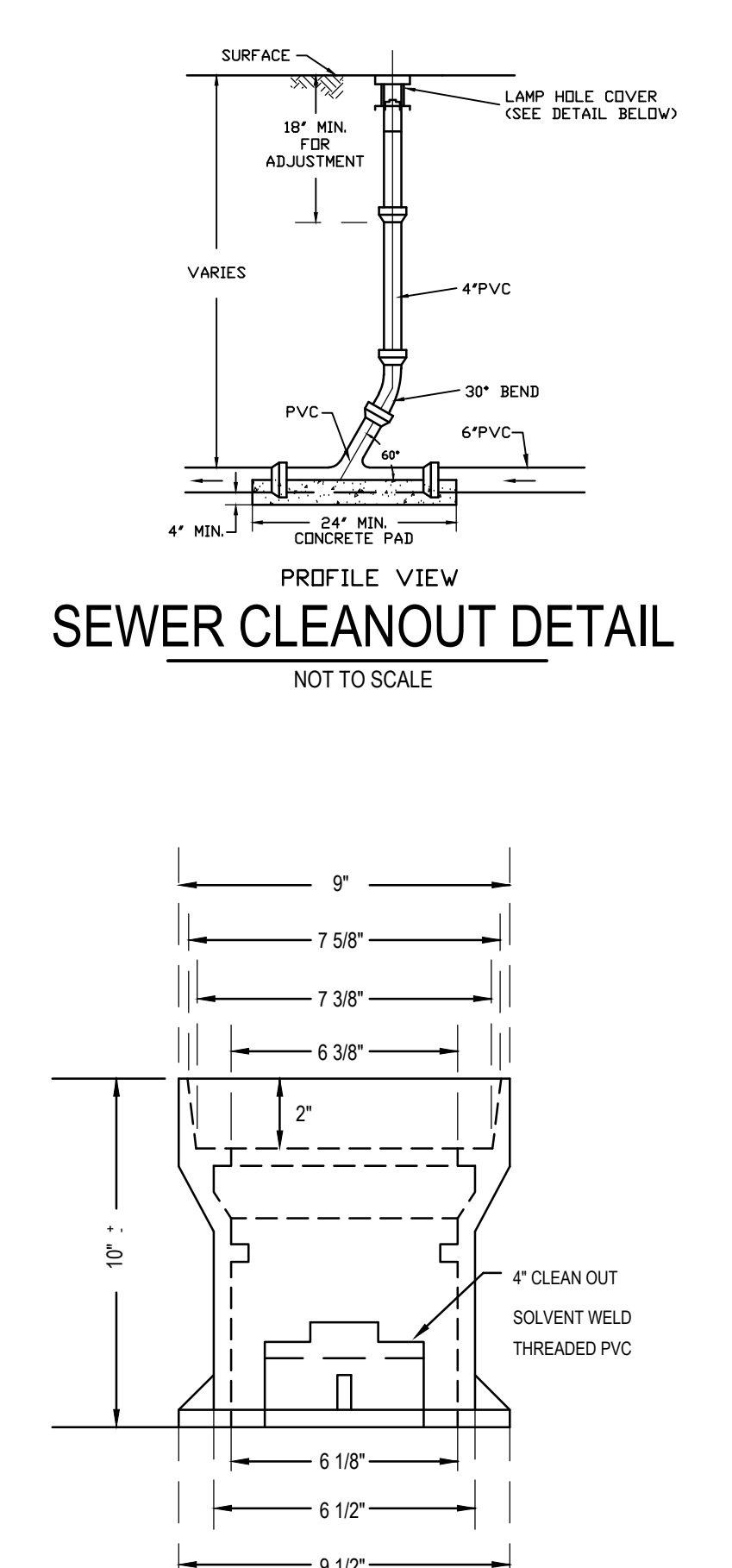
PARKER WATER & SANITATION DISTRICT	
DISTRICT POLICIES & INSTALLATION NOTES FOR SEWER SERVICES	
SCALE: NONE	DATE: 2/96
APPROVED: PVR	01/02 10/16 1/08 1/16
DIRECTOR OF ENGINEERING	

2016 REVISION



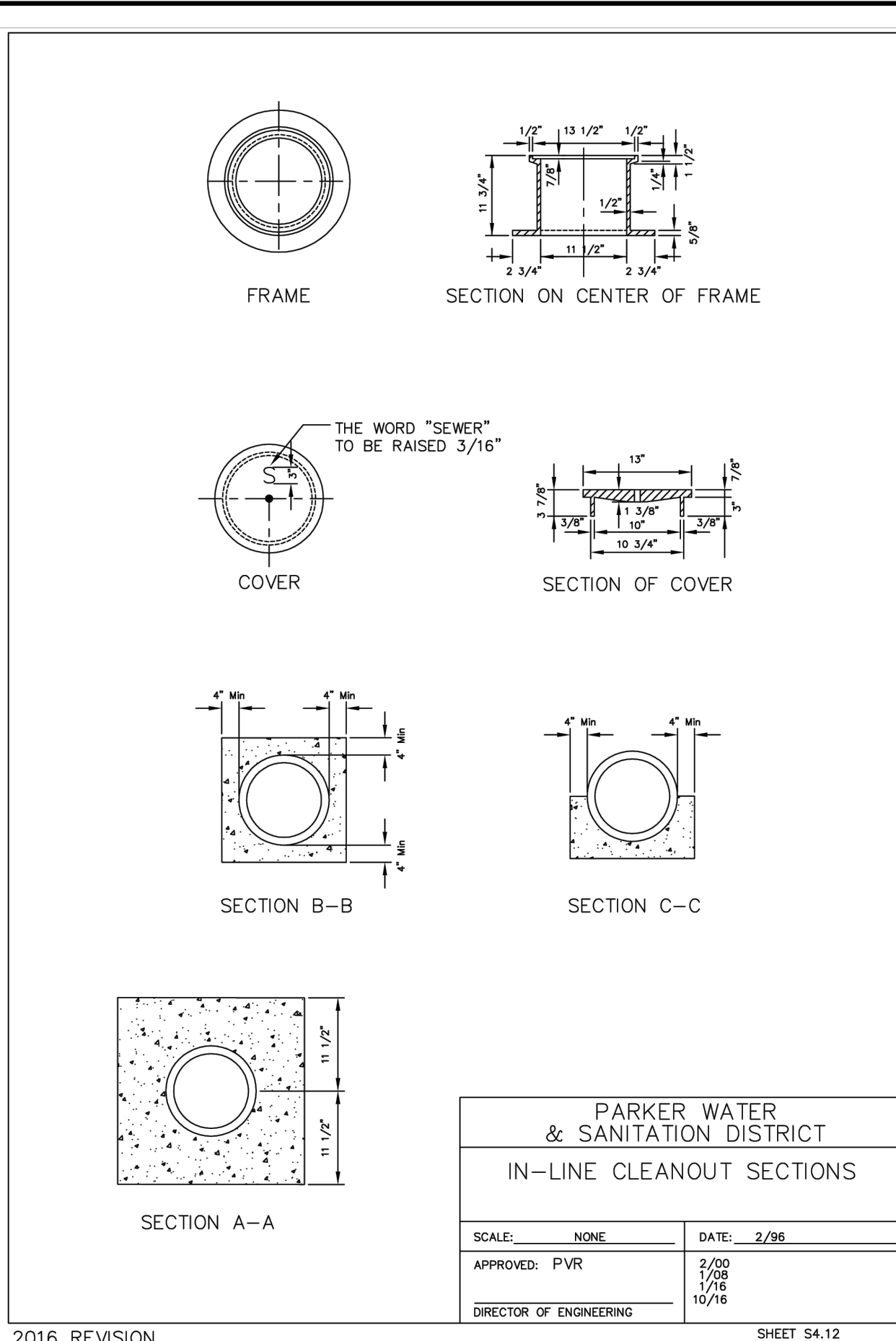
PARKER WATER & SANITATION DISTRICT	
TYPICAL SEWER SERVICES	
SCALE: NONE	DATE: 2/96
APPROVED: PVR	2/00 01/02 01/16 10/16
DIRECTOR OF ENGINEERING	

2016 REVISION



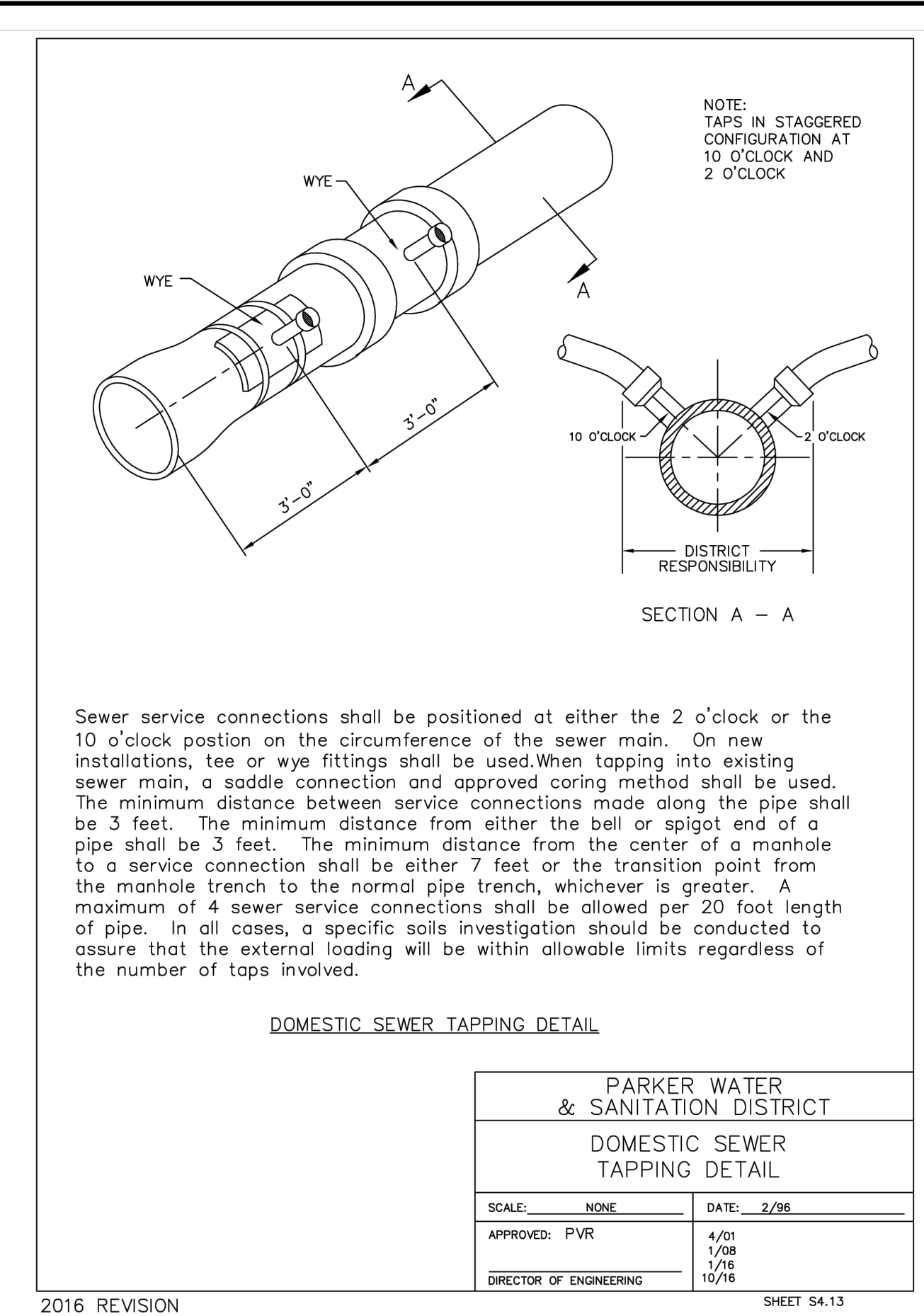
PARKER WATER & SANITATION DISTRICT	
TYPICAL SEWER SERVICES	
SCALE: NONE	DATE: 2/96
APPROVED: PVR	2/00 01/02 01/16 10/16
DIRECTOR OF ENGINEERING	

2016 REVISION



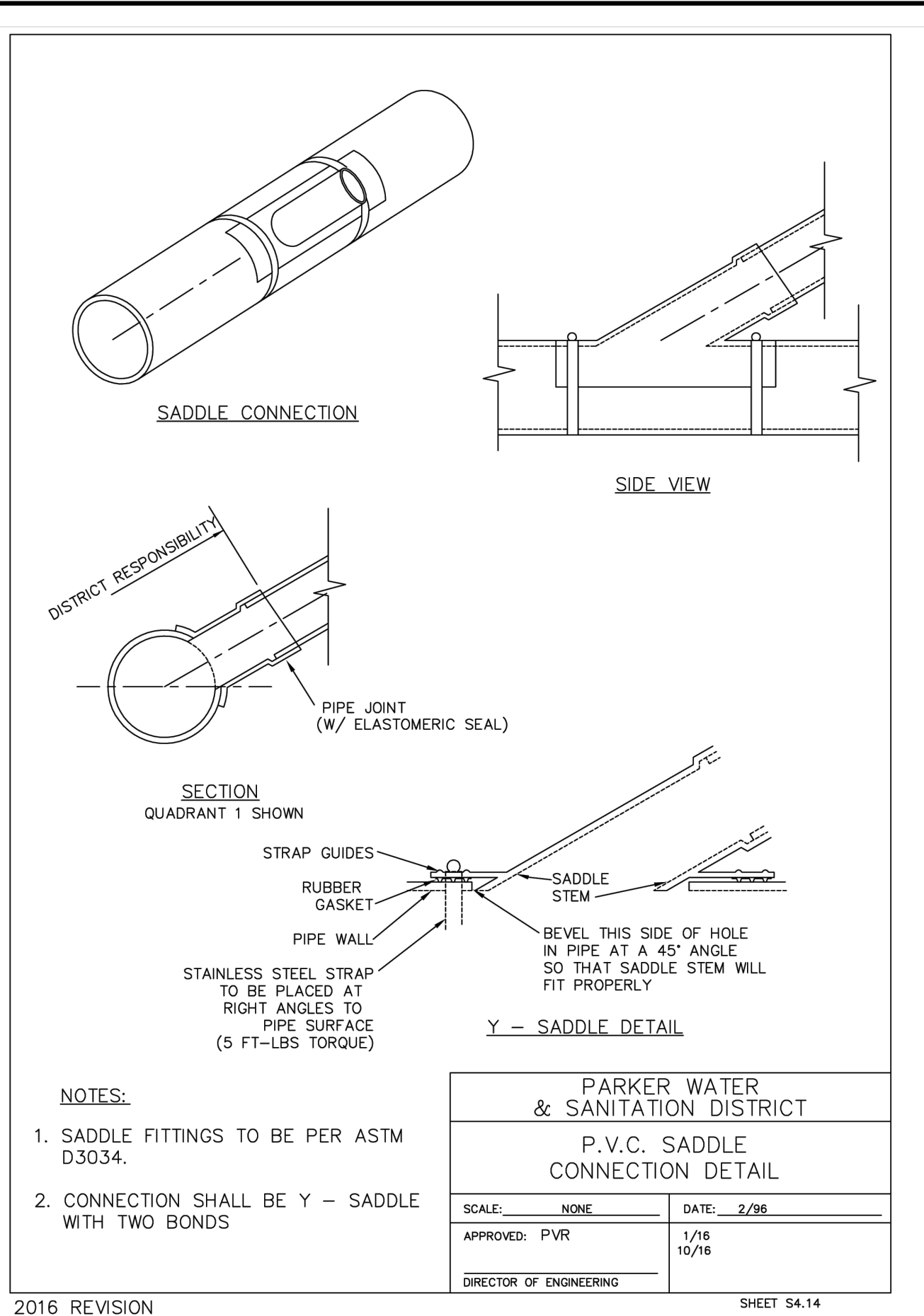
PARKER WATER & SANITATION DISTRICT	
IN-LINE CLEANOUT SECTIONS	
SCALE: NONE	DATE: 2/96
APPROVED: PVR	2/00 1/16 10/16
DIRECTOR OF ENGINEERING	

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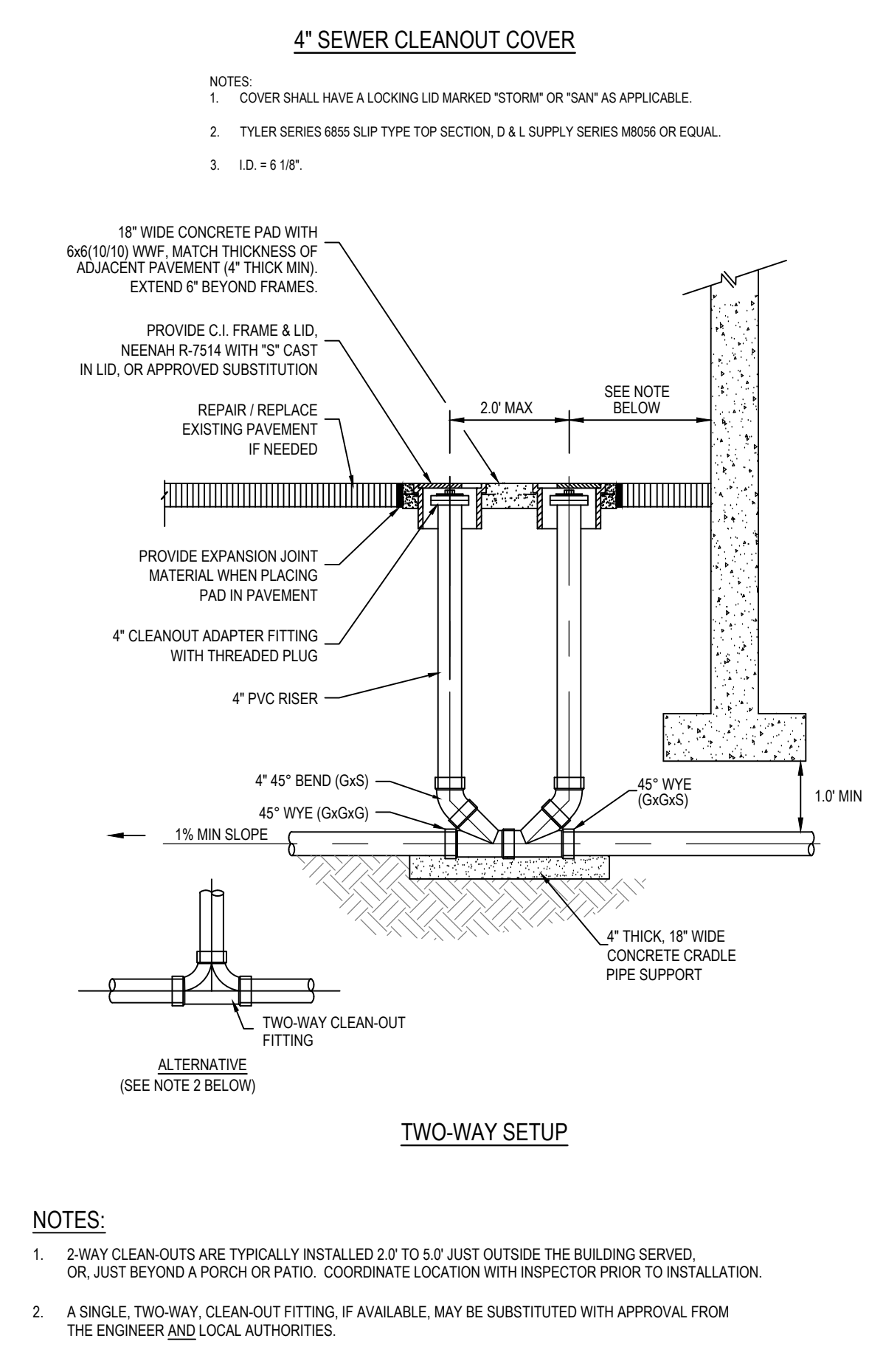
PARKER WATER & SANITATION DISTRICT	
DOMESTIC SEWER TAPPING DETAIL	
SCALE: NONE	DATE: 2/96
APPROVED: PVR	4/01 1/08 1/16 10/16
DIRECTOR OF ENGINEERING	

2016 REVISION



PARKER WATER & SANITATION DISTRICT	
P.V.C. SADDLE CONNECTION DETAIL	
SCALE: NONE	DATE: 2/96
APPROVED: PVR	1/16 10/16
DIRECTOR OF ENGINEERING	

2016 REVISION



PARKER WATER & SANITATION DISTRICT	
2 WAY CLEANOUT DETAIL	
SCALE: NONE	DATE: 2/96
APPROVED: PVR	1/16 10/16
DIRECTOR OF ENGINEERING	

2016 REVISION

**PERCEPTION DESIGN GROUP, INC.**  
6801 SOUTH PERCE STREET, SUITE 200, LITTLETON, CO 80120 303-232-8088  
WWW.PERCEPTIONDESIGNGROUP.COM

PREPARED UNDER THE DIRECT SUPERVISION OF JERRY W. DAVIDSON, P.E. COLORADO REG # 30226 FOR AND ON BEHALF OF PERCEPTION DESIGN GROUP, INC.

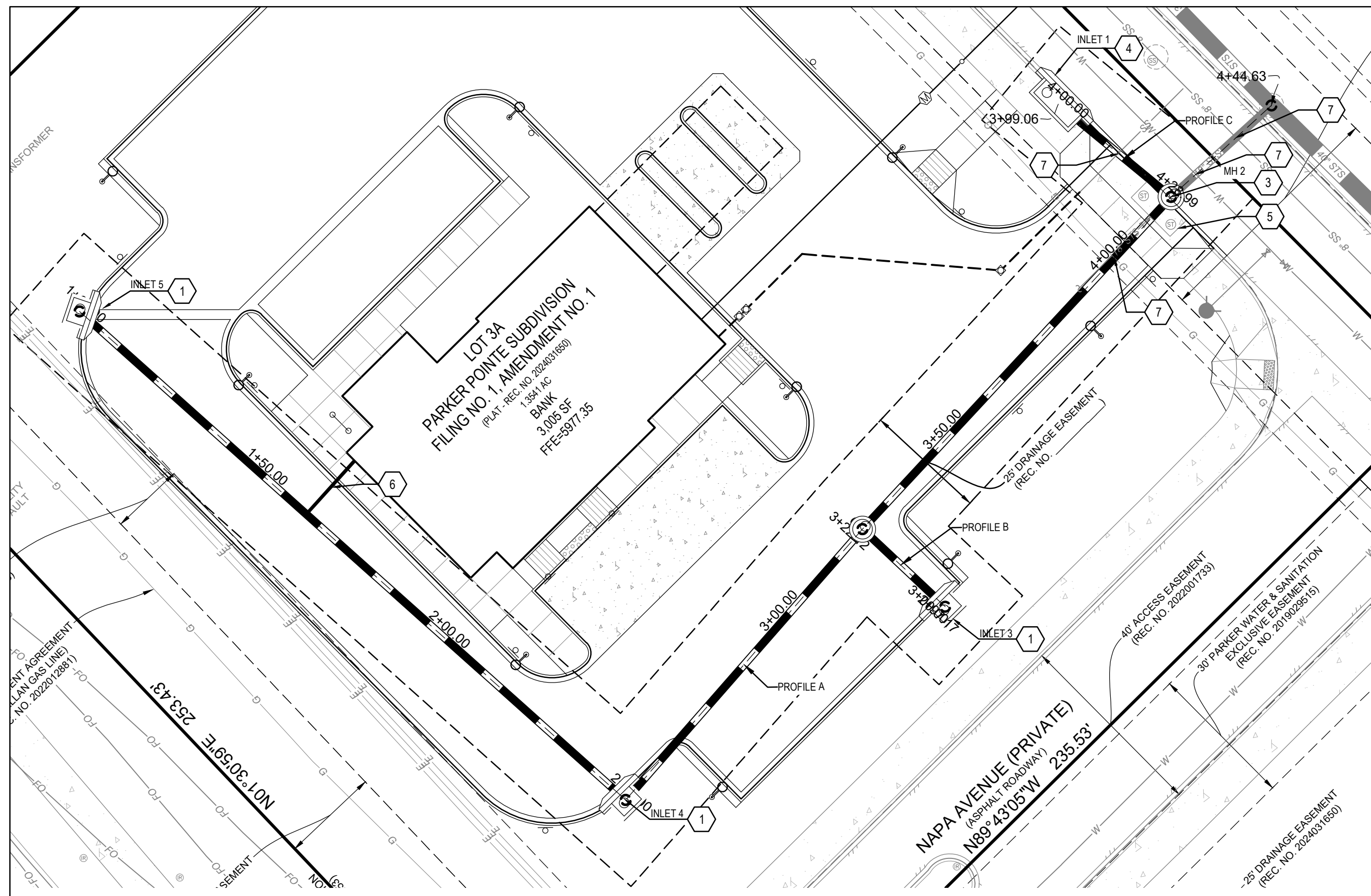
REVISIONS	DATE	DESCRIPTION
1	04/03/26	2ND SUBMITTAL
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**WATER & SEWER DETAILS**

**HUNTINGTON NATIONAL BANK**  
LOT 3A PARKER POINT SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE NORTHEAST 1/4 OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M., TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

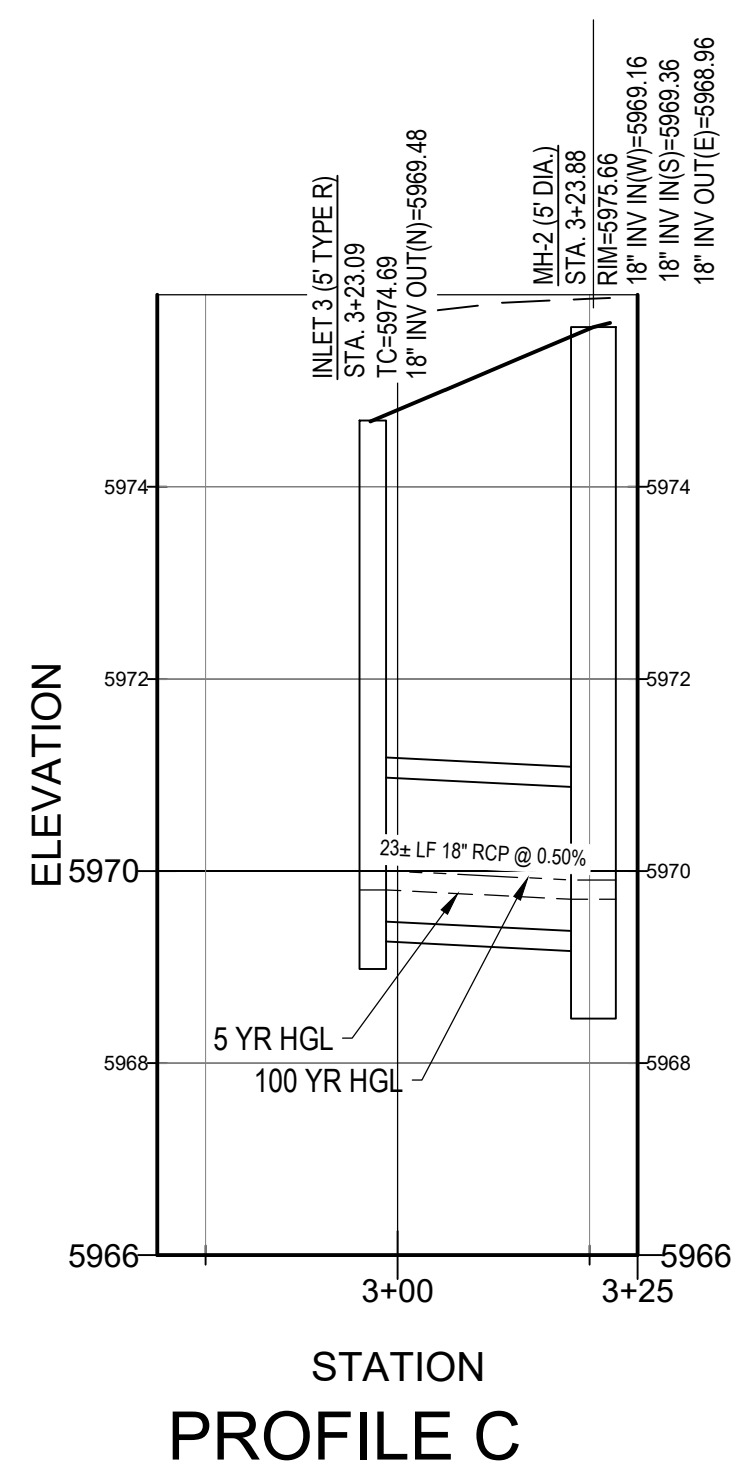
Design By: CLN  
Approved By: JWD  
Project No.: 2025-005

SHEET  
**C6.92**



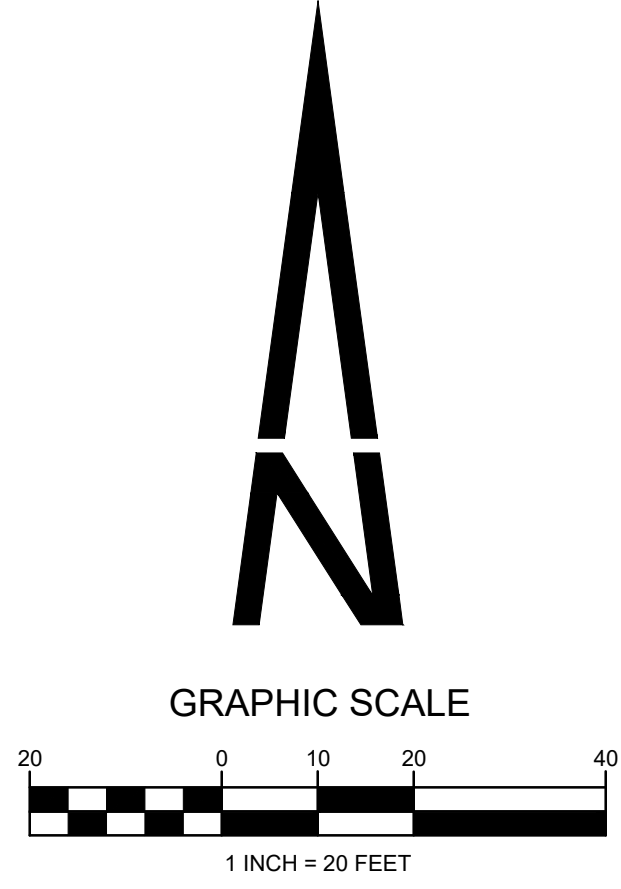
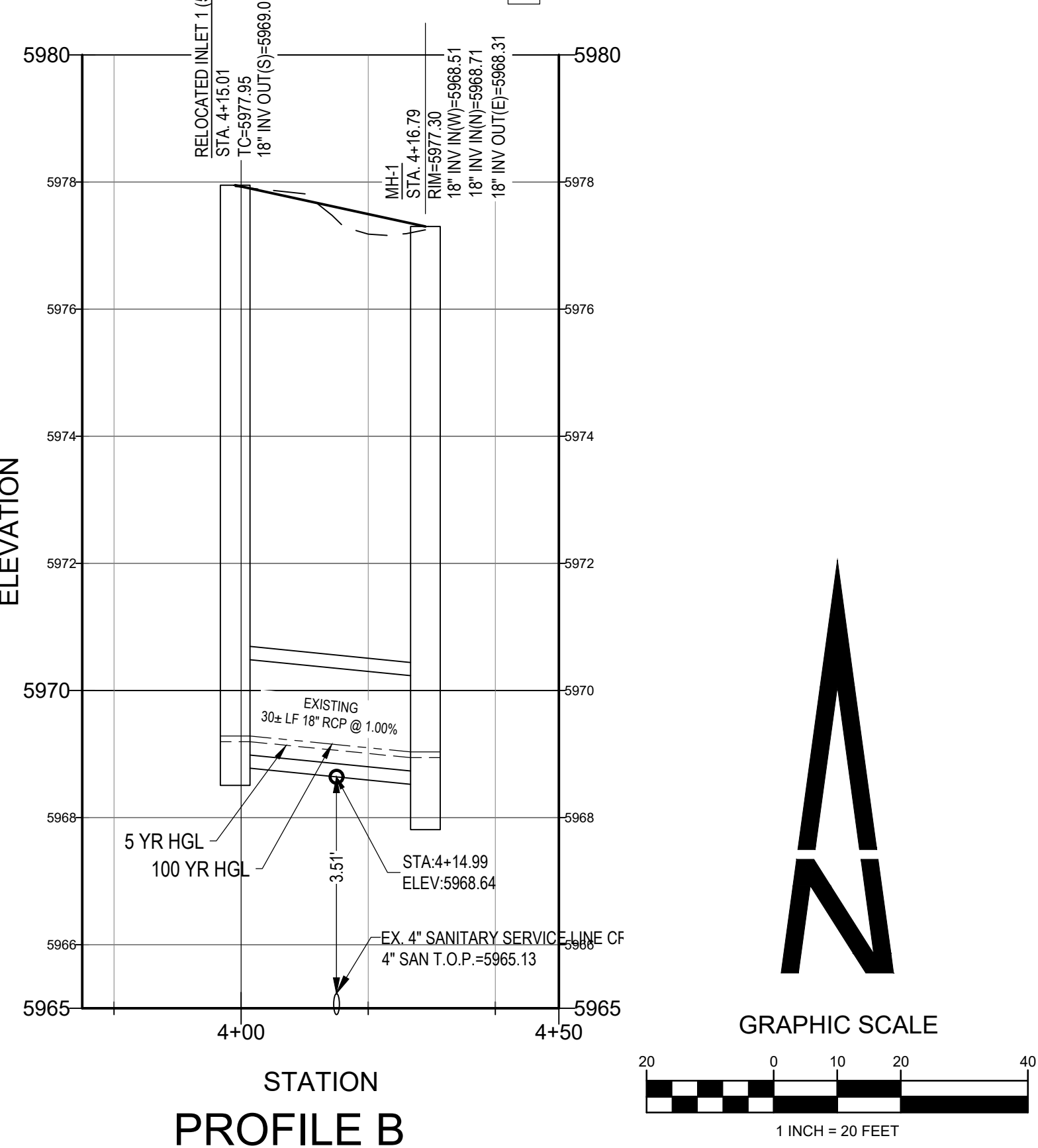
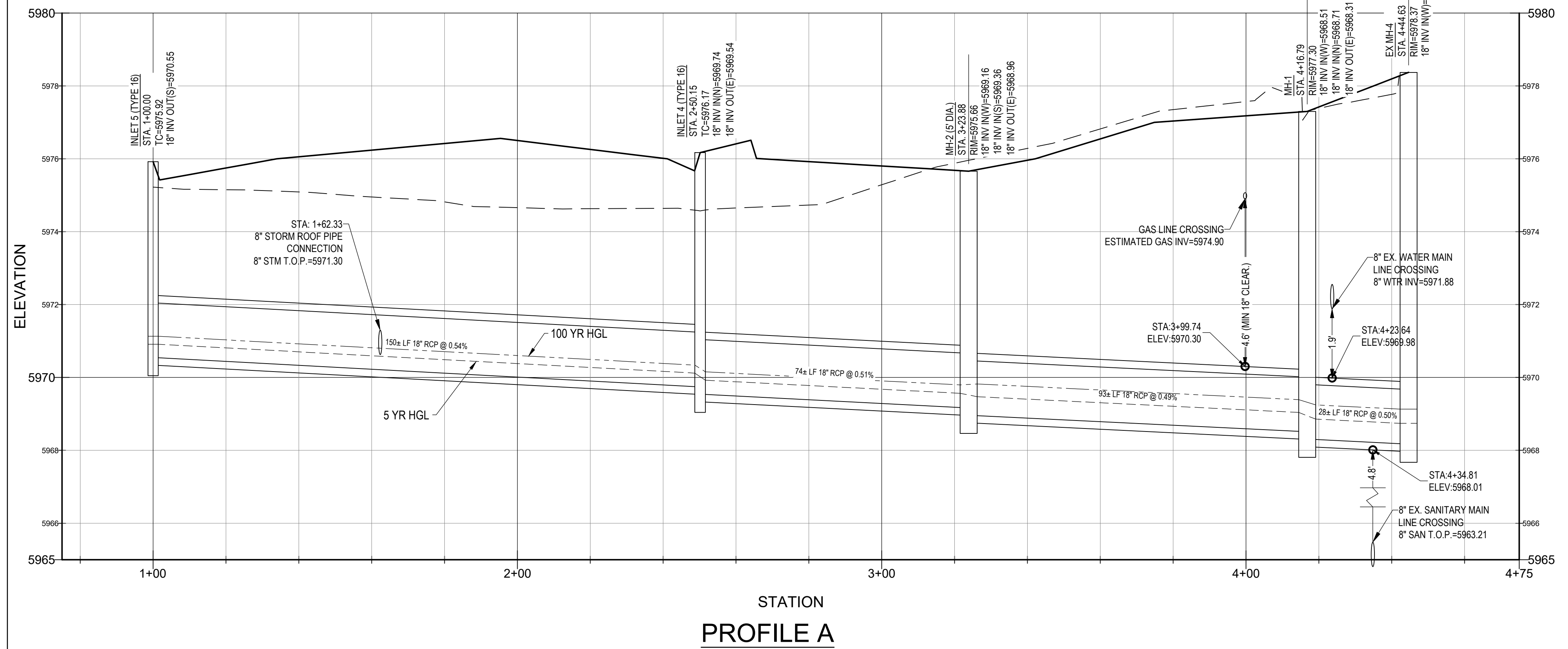
**CONSTRUCTION NOTES**

- 1 CONSTRUCT 5' TYPE R INLET. SEE DETAIL ON SHEET C7.90.
- 2 CONNECT ROOF DRAIN LINE TO STORM MAIN WITH INSERT-A-TEE FITTING. 45° DOWN TO STORM MAIN LINE.
- 3 CONSTRUCT 4' MANHOLE AND CONNECT TO EXISTING 18" RCP STM PIPE. ROTATE CONE SECTION TO PLACE RING AND COVER IN ASPHALT. SEE DETAIL ON SHEET C7.91.
- 4 CONSTRUCT 10' TYPE R INLET. SEE DETAIL ON
- 5 REMOVE EXISTING INLET.
- 6 INSTALL 14 FT - 6" PVC ROOF DRAIN CONNECTION @ 2% SLOPE. BURY A MIN. 2.5' DEEP.
- 7 UTILITY CROSSING. MIN. 18" CLEARANCE.



**LEGEND**

- PROPERTY LINE
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER WITH SPILL PAN
- PROPOSED CURB AND GUTTER WITH CATCH PAN
- SAWCUT LINE
- EXISTING STORM SEWER WITH MANHOLE
- PROPOSED STORM SEWER W/ MANHOLE AND INLET
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING ELECTRIC/TELEPHONE/GAS/FIBER LINE
- EXISTING SANITARY SEWER WITH MANHOLE
- EXISTING WATERLINE WITH HYDRANT
- PROPOSED SANITARY SEWER W/ MANHOLE AND CLEANOUT
- PROPOSED WATERLINE AND HYDRANT
- PROPOSED WATER SERVICE LINE
- EASEMENT
- TRANSFORMER



**BASIS OF BEARINGS**

BEARINGS ARE BASED ON THE NORTH LINE OF THE NE 1/4 OF SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN HAVING A GRID BEARING OF S89°52'29"W PER COLORADO STATE PLAND COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983, MONUMENTED BY A 3-1/4" ALUMINUM CAP ON A #6 REBAR WITH APPROPRIATE MARKINGS AND STAMPED "AZTEC, 2018, PLS 22651" FOUND IN A RANGE BOX AT THE NORTHEAST CORNER OF SAID SECTION 3 AND BY A 3-1/4" ALUMINUM CAP ON A #6 REBAR WITH APPROPRIATE MARKINGS AND STAMPED "2006, PLS 23761" FOUND IN A RANGE BOX AT THE NORTH 1/4 CORNER OF SAID SECTION 3, WITH BEARINGS CONTAINED HEREIN BEING RELATIVE THERETO.

**BENCHMARK:**

BENCHMARK: DOUGLAS COUNTY GIS CONTROL MONUMENT 1060032 - 3-1/4" ALUMINUM CAP DCGIS MONUMENT FLUSH WITH GRADE, LOCATED AT THE STROH RANCH SOCCER PARK IN THE SOUTHEAST CORNER OF THE PARKING LOT. ELEVATION: 5903.17 FEET (NAVD 1988 DATUM). THE CONTOURS SHOWN HEREON ARE AT ONE (1) FOOT INTERVALS.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES. SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD, REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER

TOWN OF PARKER, DIRECTOR OF ENGINEERING \_\_\_\_\_ DATE \_\_\_\_\_



PREPARED UNDER THE DIRECT SUPERVISION OF JERRY W. DAVIDSON, P.E. COLORADO REG # 30226 FOR AND ON BEHALF OF PERCEPTION DESIGN GROUP, INC.

NO.	DATE	DESCRIPTION
1	04/03/26	2ND SUBMITTAL
2	09/17/25	1ST SUBMITTAL

**STORM PLAN AND PROFILE**

**HUNTINGTON NATIONAL BANK**

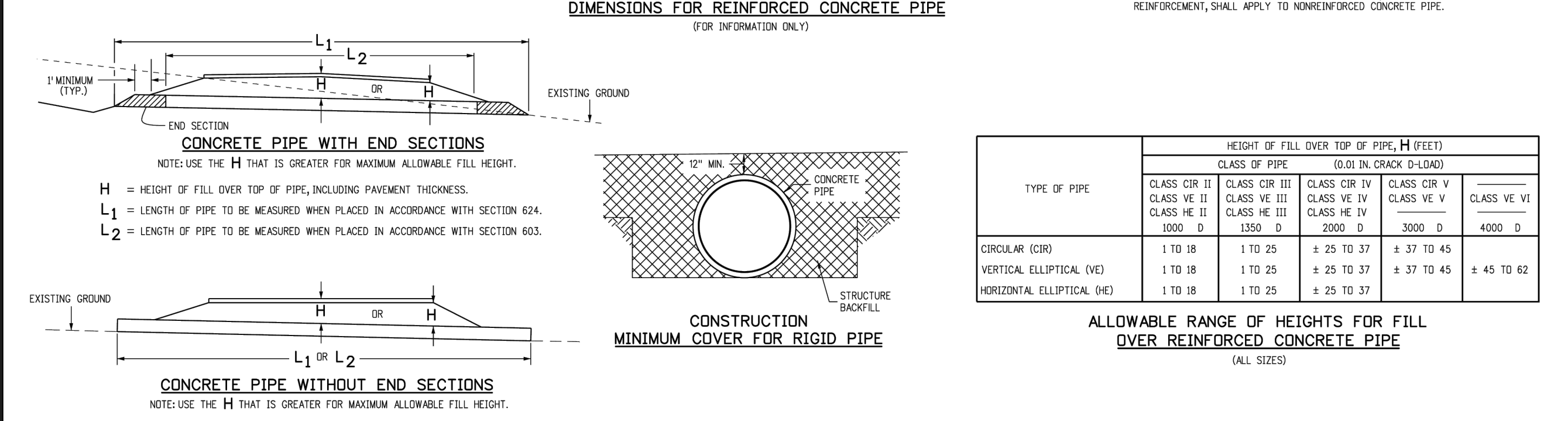
LOT 3A- PARKER POINT SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE NORTHEAST 1/4 OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M., TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

Design By: CLN  
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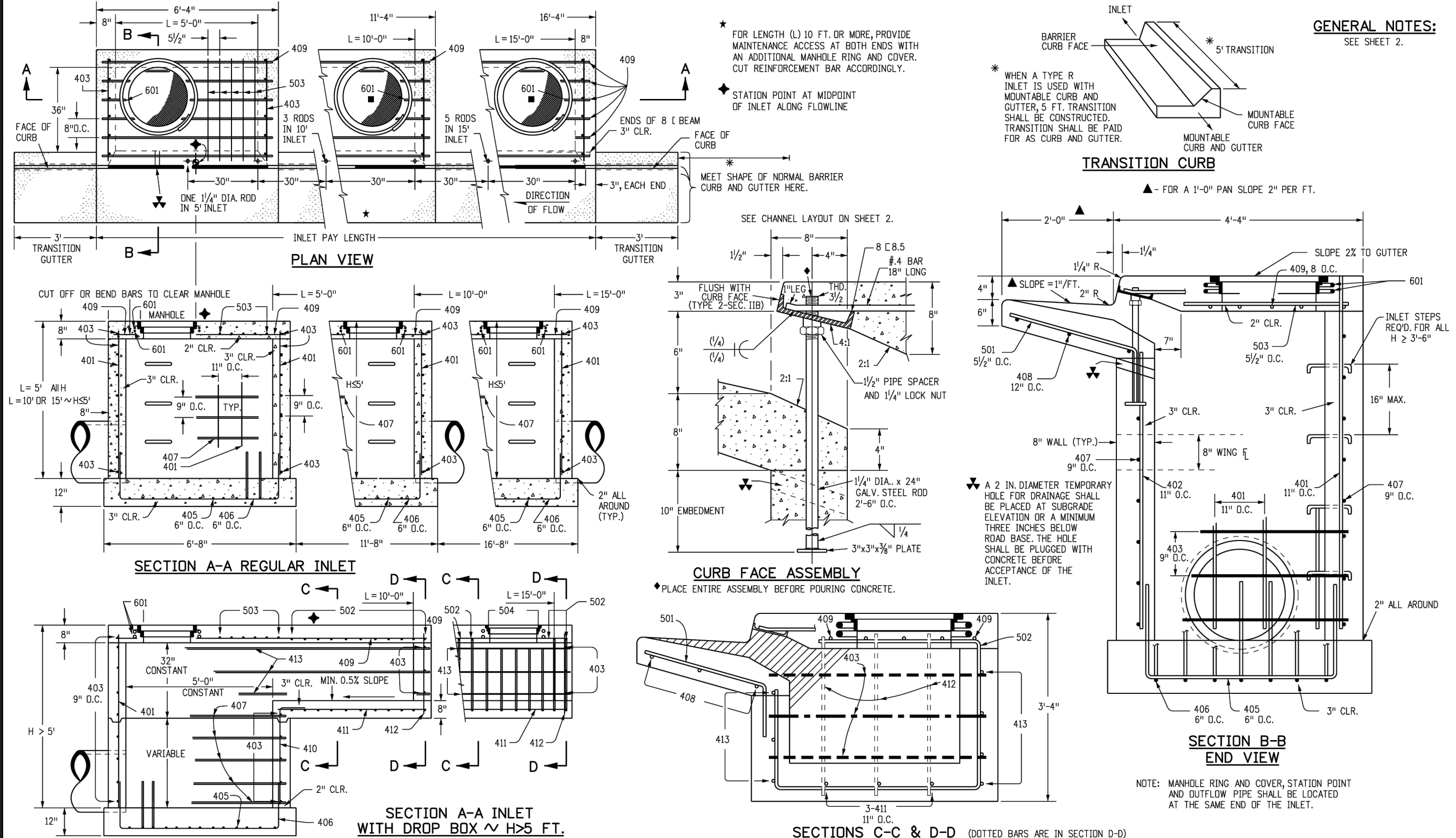
SHEET

**C7.10**

CIRCULAR (CR)				VERTICAL ELLIPTICAL (VE)				HORIZONTAL ELLIPTICAL (HE)			
PIPE SIZE - B <sub>o</sub> (INSIDE DIA) IN.	WALL THICKNESS IN.	0.3 B <sub>o</sub> (OUTSIDE DIA) FT.		SPAN IN.	RISE IN.	WALL THICKNESS IN.	0.3 OUTSIDE RISE FT.	SPAN IN.	RISE IN.	WALL THICKNESS IN.	0.3 OUTSIDE RISE FT.
12	2	0.40						23	14	2-3/4	0.49
15	2-1/4	0.58									
18	2-3/4	0.84									
21	3-1/4	1.01									
24	3	0.75						30	19	3-1/4	0.86
27	3-1/4	0.84						34	22	3-3/4	0.93
30	3-3/4	0.92						38	24	3-3/4	0.79
33	3-3/4	1.01									
36	4	1.10		29	45	4-1/2	1.35	45	29	4-1/2	0.95
42	4-1/2	1.28		34	53	5	1.58	53	34	5	1.10
48	5	1.45		38	60	5-1/2	1.78	60	38	5-1/2	1.23
54	5-1/2	1.62		43	68	6	2.03	68	43	6	1.38
60	6	1.80		48	76	6-1/2	2.20	76	48	6-1/2	1.53
66	6-1/2	1.97		53	83	7	2.43	83	53	7	1.68
72	7	2.15		58	91	7-1/2	2.65	91	58	7-1/2	1.83
78	7-1/2	2.32		63	98	8	2.85	98	63	8	1.98
84	8	2.50		68	106	8-1/2	3.08	106	68	8-1/2	2.13
90	8-1/2	2.68		72	113	9	3.28	113	72	9	2.25
96	9	2.85		77	121	9-1/2	3.50	121	77	9-1/2	2.40
102	9-1/2	3.02		82	128	9-3/4	3.69	128	82	9-3/4	2.54
108	10	3.20		87	136	10	3.90	136	87	10	2.68



TYPE OF PIPE	HEIGHT OF FILL OVER TOP OF PIPE, H (FEET)					
	CLASS CIR II	CLASS CIR III	CLASS CIR IV	CLASS CIR V	CLASS VE VI	CLASS VE VII
CIRCULAR (CR)	1 TO 18	1 TO 25	± 25 TO 37	± 37 TO 45	± 45 TO 62	
VERTICAL ELLIPTICAL (VE)	1 TO 18	1 TO 25	± 25 TO 37	± 37 TO 45	± 45 TO 62	
HORIZONTAL ELLIPTICAL (HE)	1 TO 18	1 TO 25	± 25 TO 37	± 37 TO 45	± 45 TO 62	



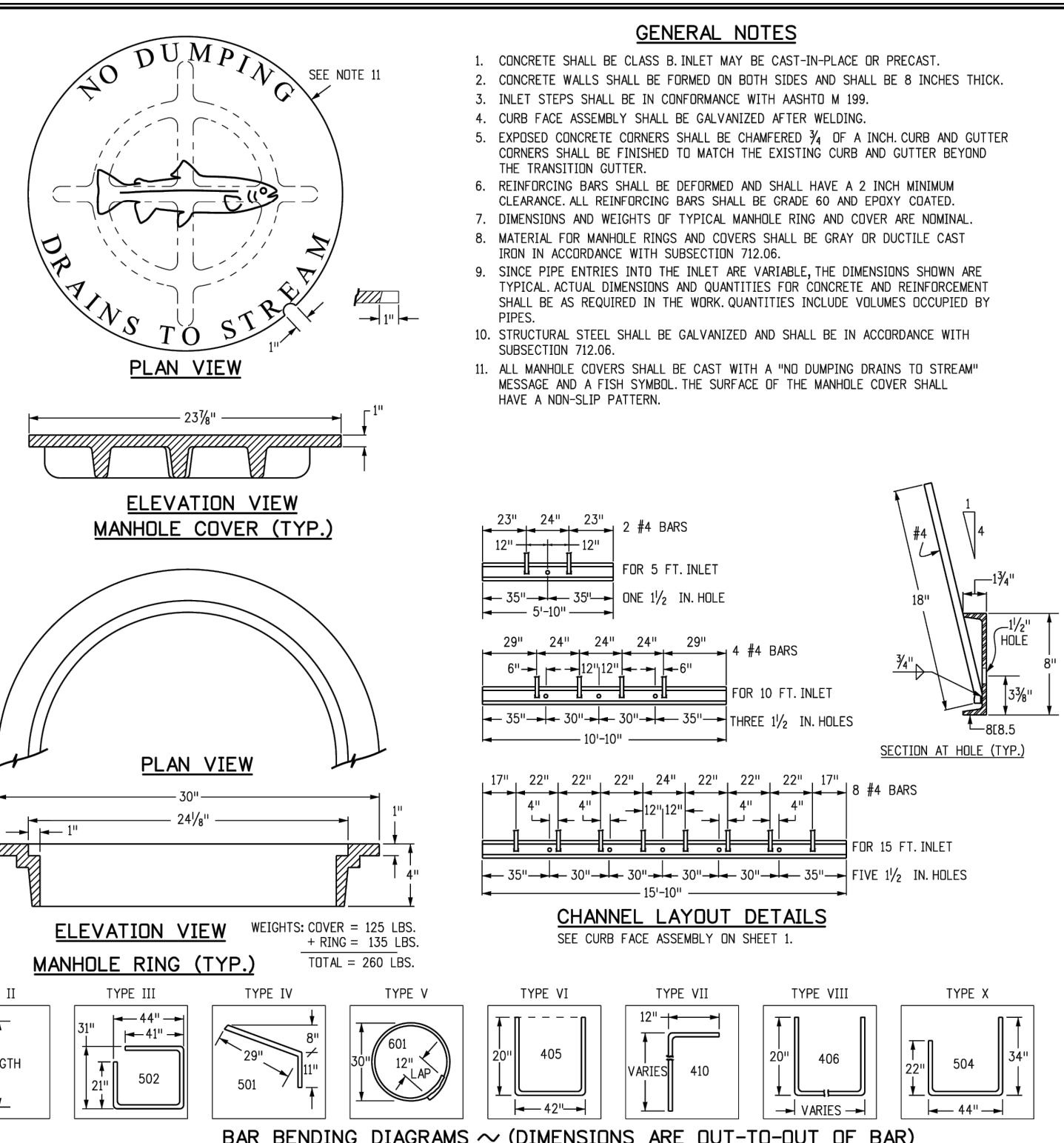
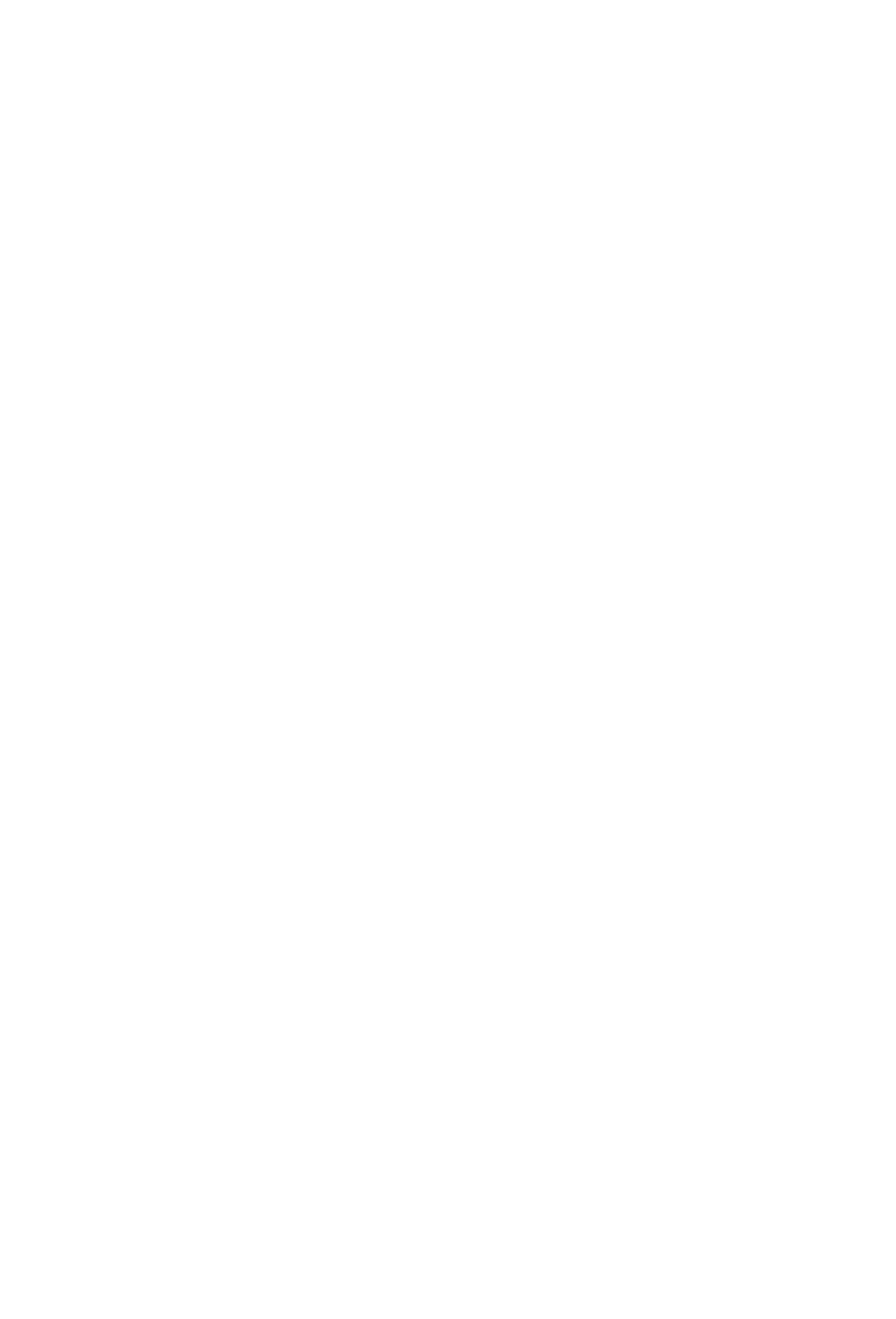
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Creation Date: 07/31/19	Date:	Comments:		2829 West Howard Place	M-604-12		
Designer Initials: JBK				CDOT HQ, 3rd Floor	Standard Sheet No. 1 of 2		
Last Modification Date: 07/31/19				Denver, CO 80204			
Detaller Initials: LTA				Phone: 303-757-9021 FAX: 303-757-9868			
CAD Ver: MicroStation V8	Scale: Not to Scale	Units: English		Project Development Branch	JBK		

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Creation Date: 07/31/19	Date:	Comments:		2829 West Howard Place	M-604-12		
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MARK	BAR OR SIZE	D.C. SPACING	TYPE	ALL INLETS			INLETS: H ≤ 5 FT.			INLETS: H > 5 FT.			
				L = 5 FT.	L = 10 FT.	L = 15 FT.	L = 5 FT.	L = 10 FT.	L = 15 FT.	L = 5 FT.	L = 10 FT.	L = 15 FT.	
401	4	11"	II	15	*	21	*	26	*	11	*	11	*
402	4	11"	II	7	*	13	*	18	*	7	*	7	*
403	4	9"	II	*	4'-0"	*	4'-0"	*	4'-0"	*	4'-0"	*	4'-0"

H <sup>1/4</sup>	LENGTH	NO. REOD.			L = 5 FT.			L = 10 FT.			L = 15 FT.		
		REGULAR	DROP BOX	CONC. STEEL	CONC. CU. YDS.	STEEL LBS.	CONC. CU. YDS.	STEEL LBS.	CONC. CU. YDS.	STEEL LBS.			
3'-0"	2'-8"	1-8"	10	7	3.2	285	5.3	497	7.4	706			
3'-6"	3'-2"	2'-2"	10	7	3.4	305	5.7	528	7.9	747			
4'-0"	3'-8"	2'-8"	12	9	3.7	326	6.0	559	8.4	786			
4'-6"	4'-2"	3'-2"	12	9	3.9	354	6.4	571	8.8	803			
5'-0"	4'-8"	3'-8"	14	11	4.1	354	6.7	602	9.3	844			

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Designer Initials: JBK				CDOT HQ, 3rd Floor	Standard Sheet No. 2 of 2		
Last Modification Date: 07/31/19				Denver, CO 80204			
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**PERCEPTION**  
DESIGN GROUP, INC.  
WWW.PERCEPTIONDESIGNGROUP.COM

690 SOUTH PIERCE STREET, SUITE 200, LITTLETON, CO 80120 303-232-0088

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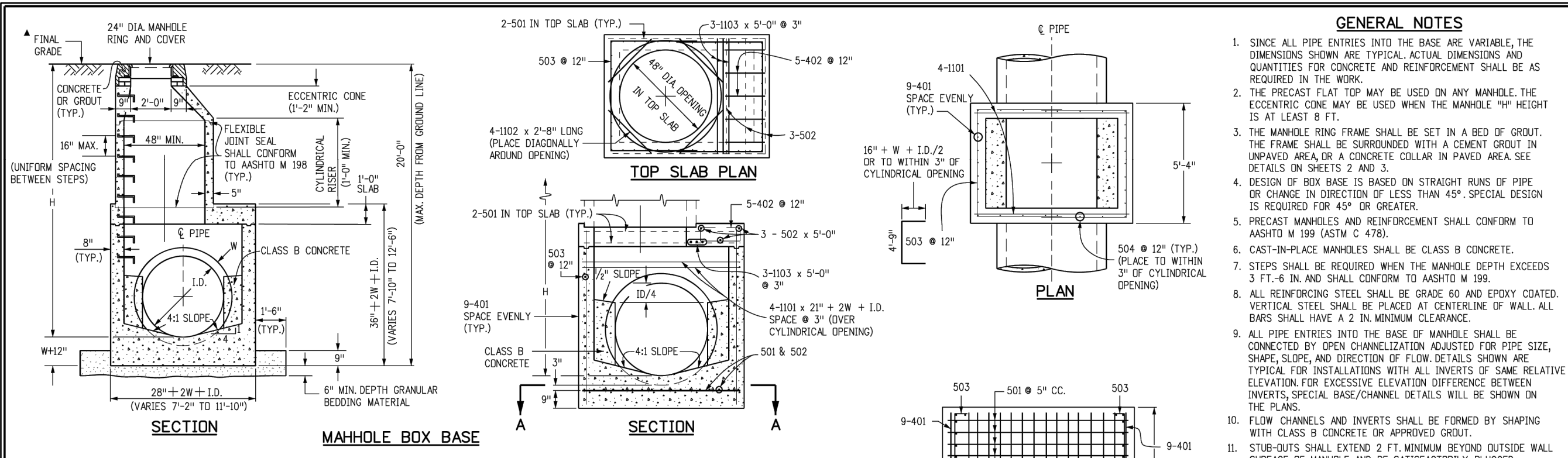
**STORM SEWER DETAILS**

**HUNTINGTON NATIONAL BANK**  
LOT 3A PARKER POINT SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE NORTHEAST 1/4 OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M., TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

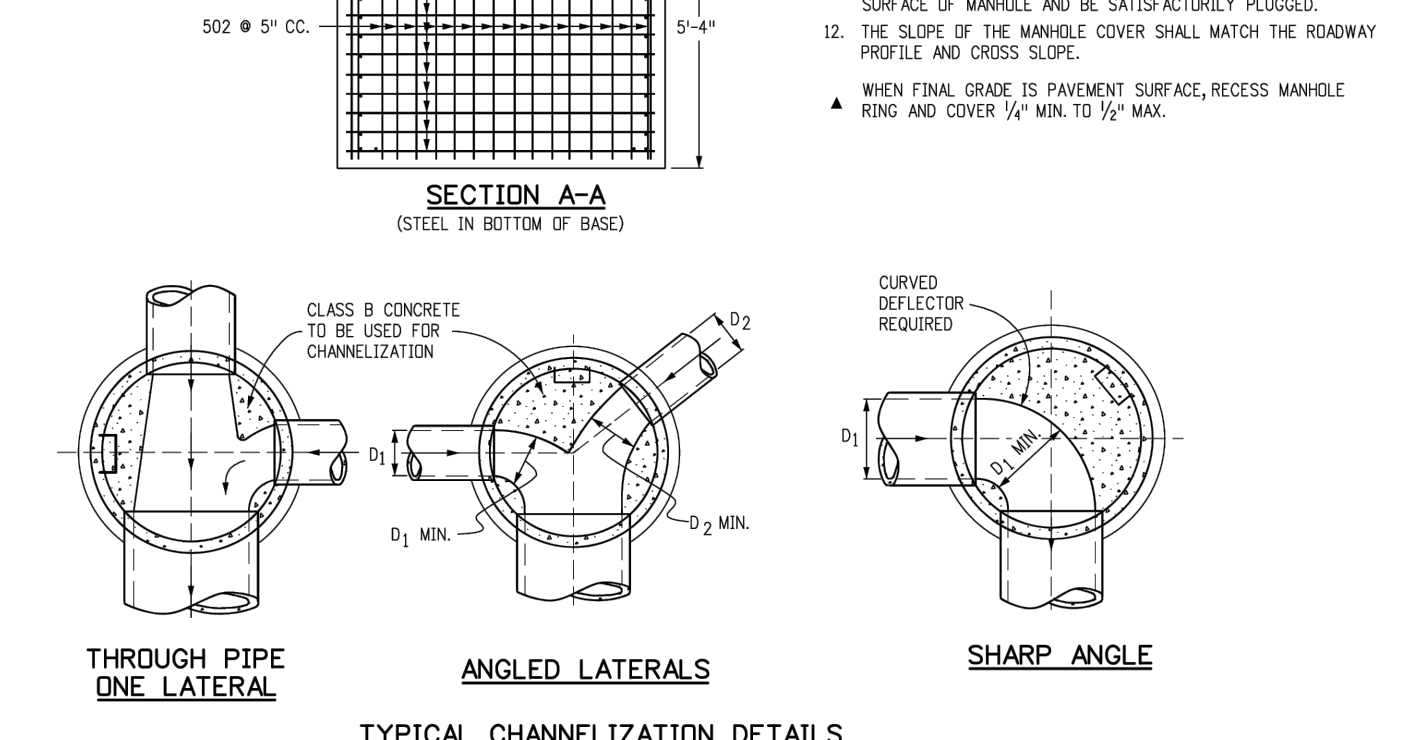
Design By: CLN  
Approved By: JWD  
Project No.: 2025-005

SHEET

**C7.90**



QUANTITIES FOR CONCRETE MANHOLE BOX BASE										
MARK	SIZE	TYPE	WT. #/FT.	54"	60"	66"	72"	84"	96"	FORMULAS
401	4	I	0.668	18	18	18	18	18	18	401 BAR LENGTH = 32" + 2W + I.D.
402	4	III	0.668	2-5/4	6-7/8	7-2/8	8-1/4	9-5/8	11-1/4	402 BAR LENGTH = I.D. + 2W
501	5	I	1.043	17	17	17	17	17	17	501 BAR LENGTH = 24" + I.D. + 2W
502	5	I	1.043	2-5/4	6-7/8	7-2/8	8-1/4	9-5/8	11-1/4	502 NUMBER BARS REQ. = 3 + (24(I.D.+2W)/4)
503	5	II	1.043	17	17	17	17	17	17	503 BAR LENGTH = 4-1/2(I.D.+2W)/2
504	5	I	1.043	12	14	14	16	18	20	504 NUMBER BARS REQ. = 2 + (2W(I.D.+4)/2)
1101	11	I	5.313	4	4	4	4	4	4	1101 BAR LENGTH = 21" + I.D. + 2W
1102	11	I	5.313	4	4	4	4	4	4	TYPE I STRAIGHT
1103	11	I	5.313	3-0/8	3-0/8	3-0/8	3-0/8	3-0/8	3-0/8	TYPE II BENDING
REINFORCING STEEL TOTAL				965.6	1,037.5	1,177.2	1,204.0	1,380.2	1,601.6	
CONCRETE - CUBIC YARDS - TOTAL				8.0	8.6	12.3	8.0	9.5	11.7	



Computer File Information	
Creation Date: 07/31/19	Designer Initials: JBK
Last Modification Date: 07/31/19	Detailer Initials: LTA
CAD Ver: MicroStation V8	Scale: Not to Scale

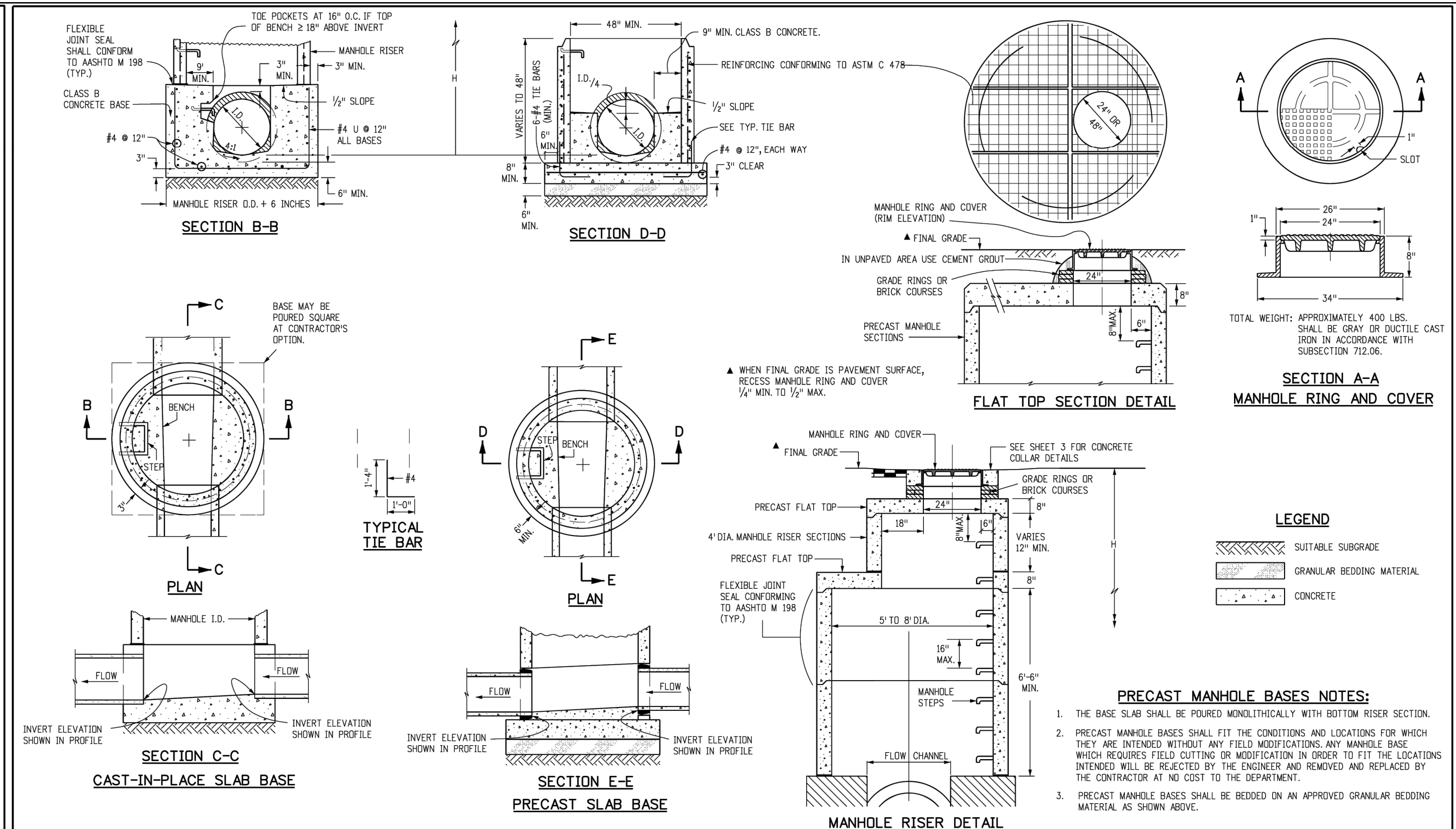
Sheet Revisions	
Date:	Comments:

Colorado Department of Transportation  
 2829 West Howard Place  
 CDOT HQ, 3rd Floor  
 Denver, CO 80204  
 Phone: 303-757-9021 FAX: 303-757-9868  
 Project Development Branch JBK

**MANHOLES**

STANDARD PLAN NO. M-604-20  
 Standard Sheet No. 1 of 3

Issued by the Project Development Branch: July 31, 2019 Project Sheet Number:



Computer File Information	
Creation Date: 07/31/19	Designer Initials: JBK
Last Modification Date: 07/31/19	Detailer Initials: LTA
CAD Ver: MicroStation V8	Scale: Not to Scale

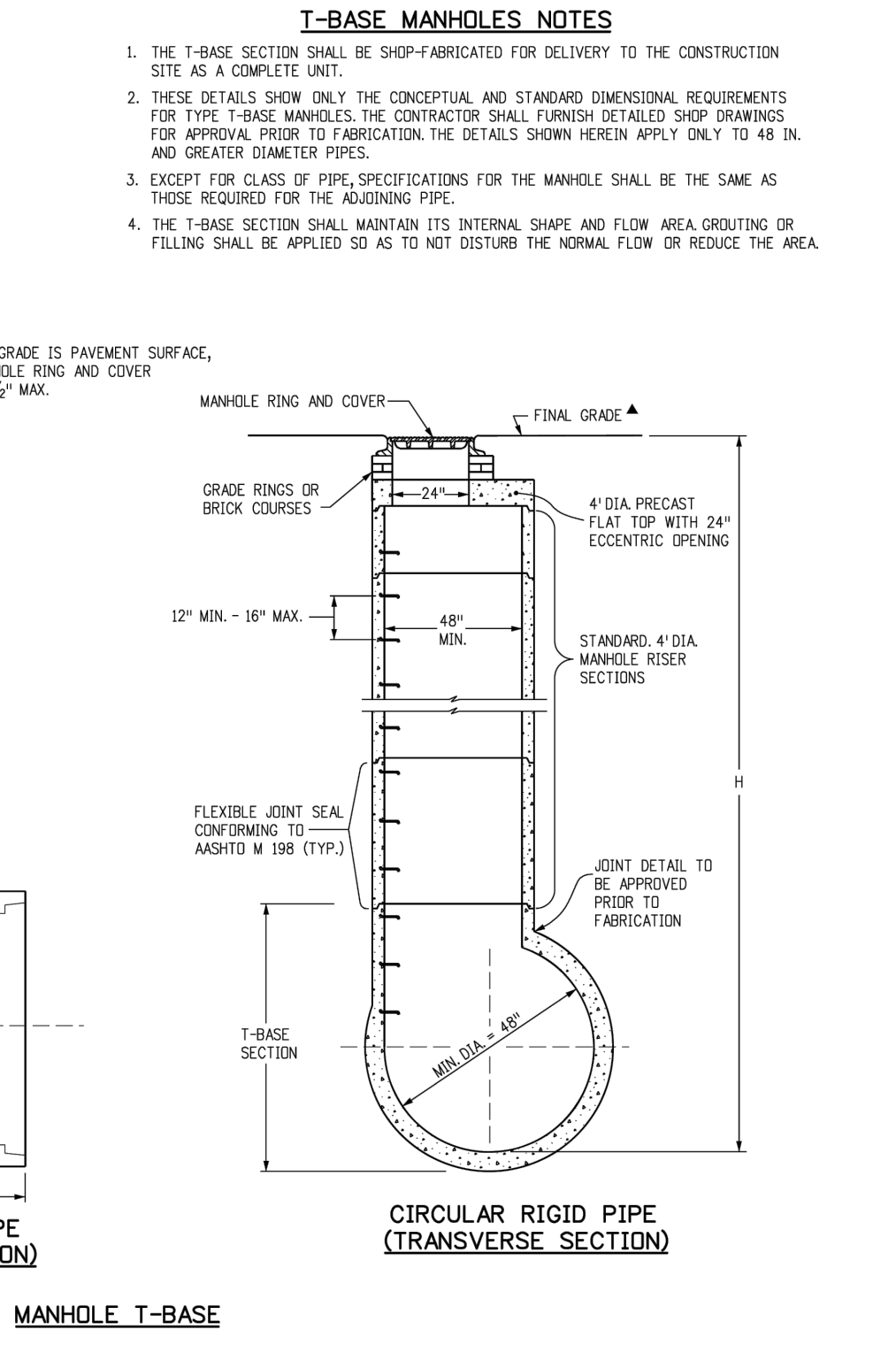
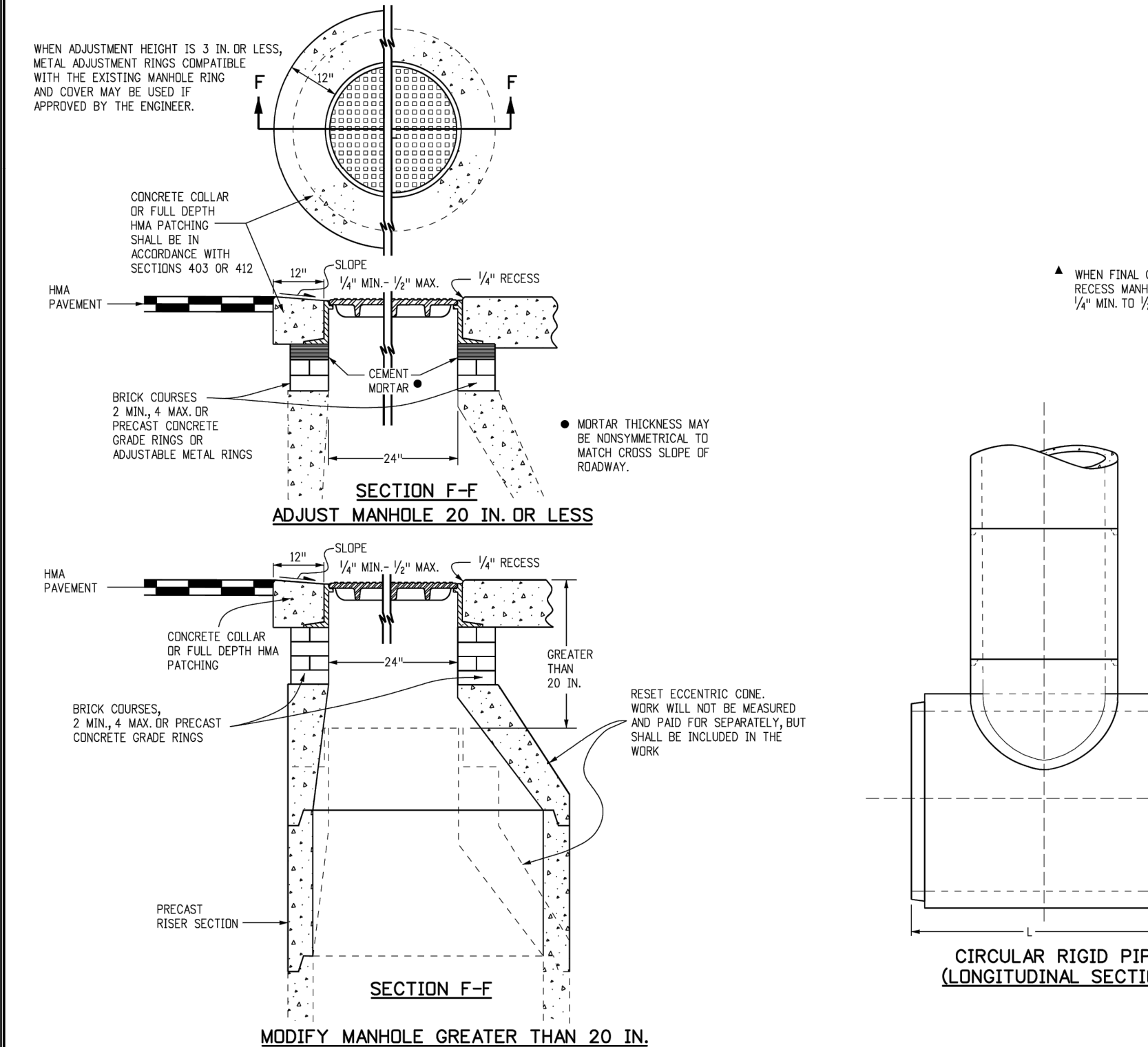
Sheet Revisions	
Date:	Comments:

Colorado Department of Transportation  
 2829 West Howard Place  
 CDOT HQ, 3rd Floor  
 Denver, CO 80204  
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 Project Development Branch JBK

**MANHOLES**

STANDARD PLAN NO. M-604-20  
 Standard Sheet No. 2 of 3

Issued by the Project Development Branch: July 31, 2019 Project Sheet Number:



Computer File Information	
Creation Date: 07/31/19	Designer Initials: JBK
Last Modification Date: 07/31/19	Detailer Initials: LTA
CAD Ver: MicroStation V8	Scale: Not to Scale

Sheet Revisions	
Date:	Comments:

Colorado Department of Transportation  
 2829 West Howard Place  
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**MANHOLES**

STANDARD PLAN NO. M-604-20  
 Standard Sheet No. 3 of 3

Issued by the Project Development Branch: July 31, 2019 Project Sheet Number:

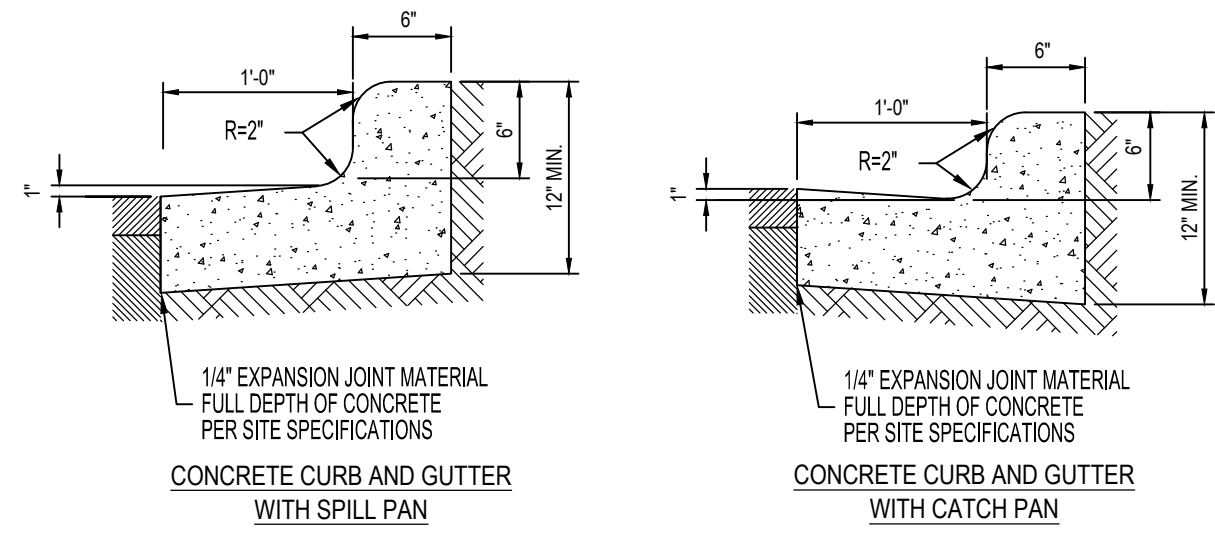
**PERCEPTION**  
 DESIGN GROUP, INC.  
 6901 SOUTH PERCE STREET, SUITE 200, LITTLETON, CO 80120 303-232-9088  
 WWW.PERCEPTIONDESIGNGROUP.COM

**STORM SEWER DETAILS**

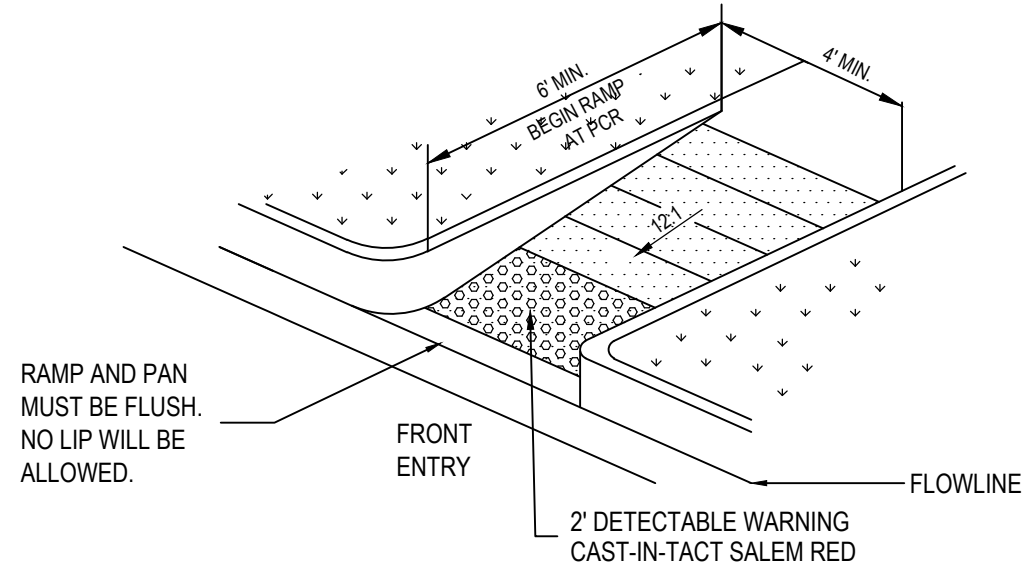
**HUNTINGTON NATIONAL BANK**  
 LOT 3A - PARKER POINT SUBDIVISION FILING NO. 1, AMENDMENT NO. 1,  
 LOCATED IN THE NORTHEAST 1/4 OF SECTION 3, TOWNSHIP 6 SOUTH,  
 RANGE 66 WEST OF THE 6TH P.M., TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

Design By: CLN  
 Approved By: JWD  
 Project No.: 2025-005

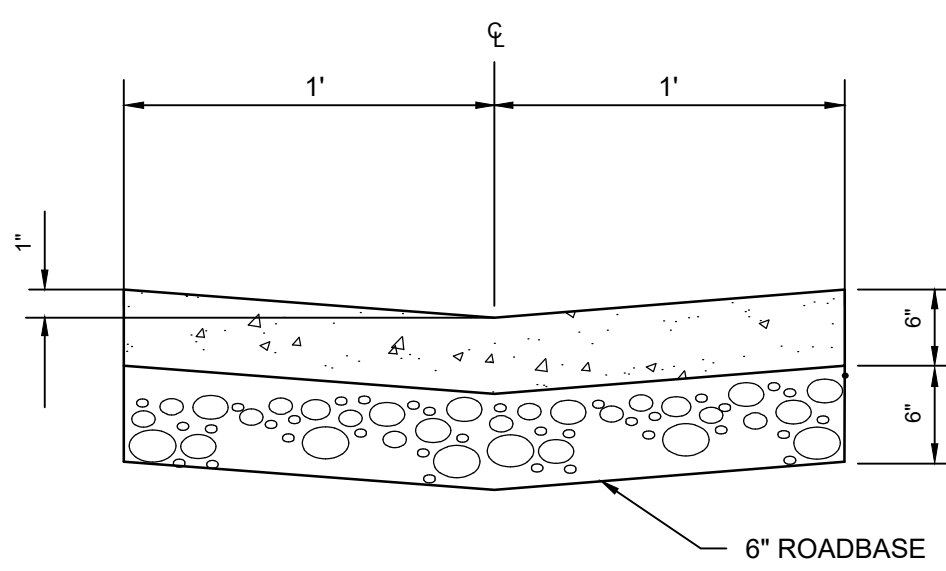
SHEET  
**C7.91**



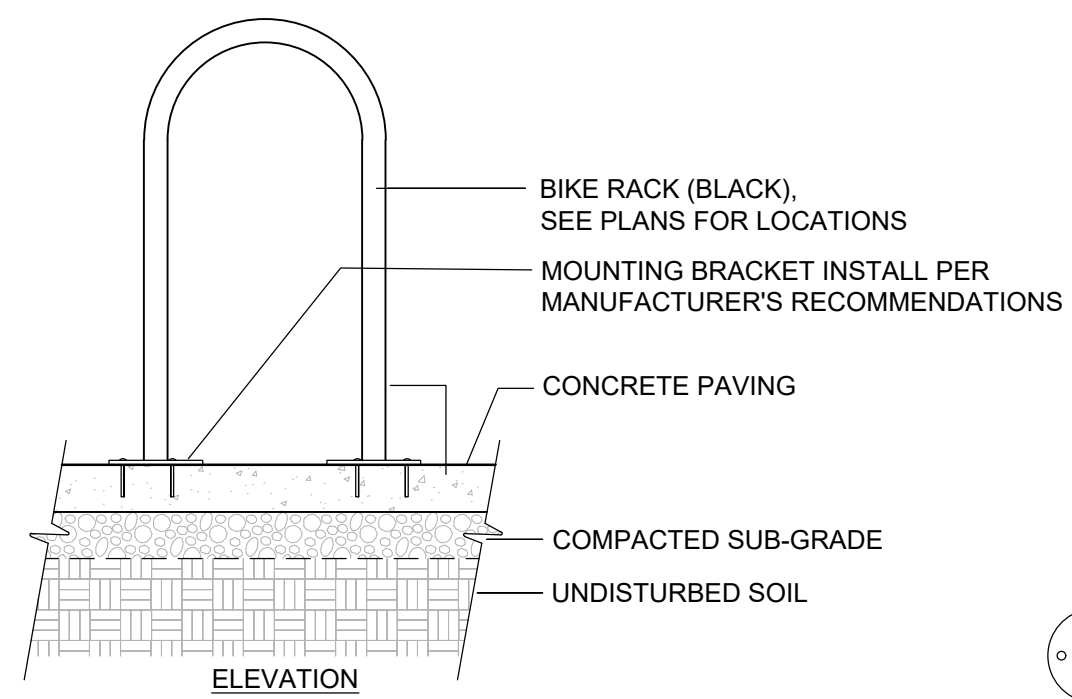
**PRIVATE CURB AND GUTTER DETAILS**  
NOT TO SCALE



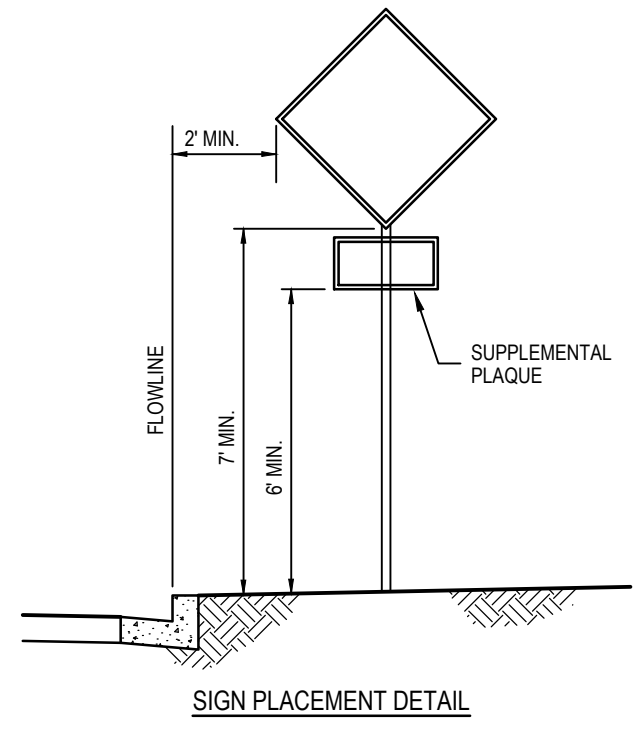
**PRIVATE HANDICAP RAMP DETAILS**  
NOT TO SCALE



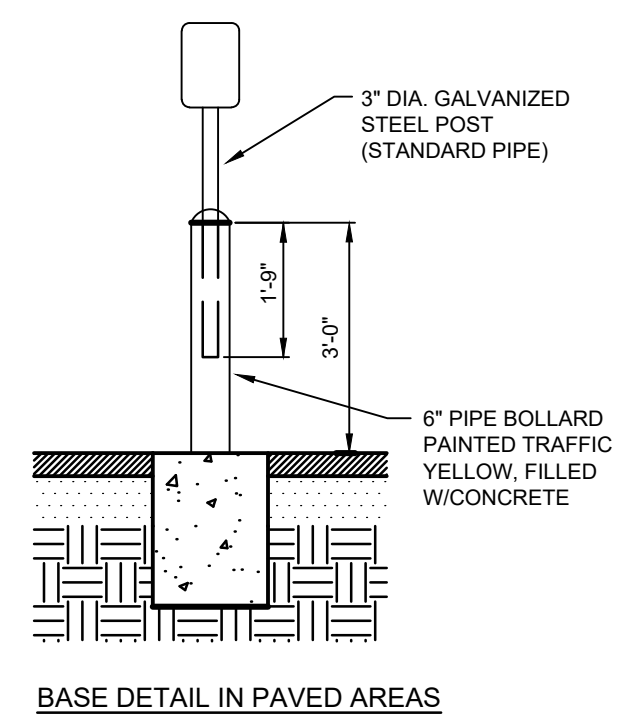
**2" CONCRETE VALLEY PAN DETAIL**  
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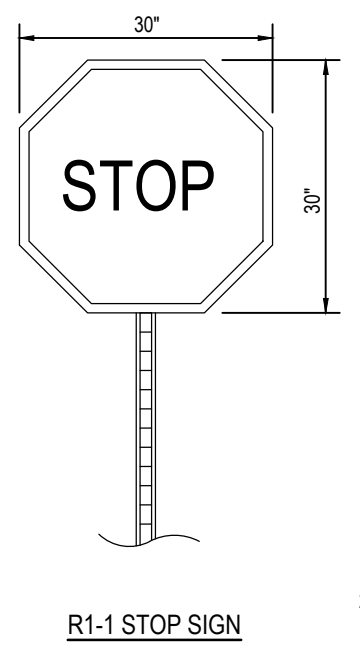
**BIKE RACK ON CONCRETE**  
NOT TO SCALE



**SIGN PLACEMENT DETAIL**



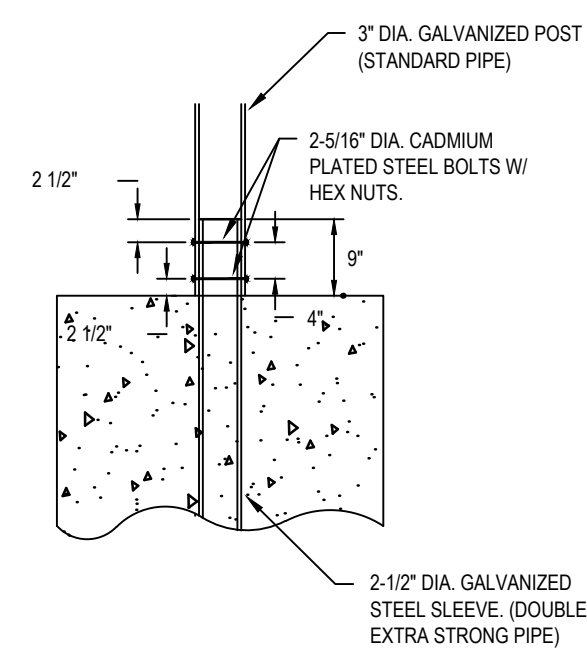
**BASE DETAIL IN PAVED AREAS**



**R1-1 STOP SIGN**



**R5-1 DO NOT ENTER**



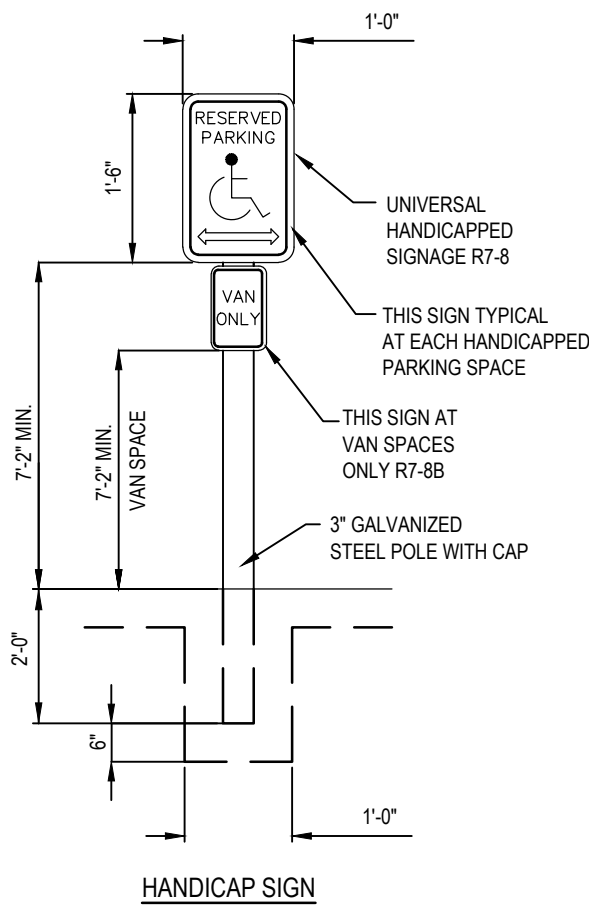
**BASE DETAIL IN LAWN OR LANDSCAPED AREAS**



**R6-1 ONE WAY**

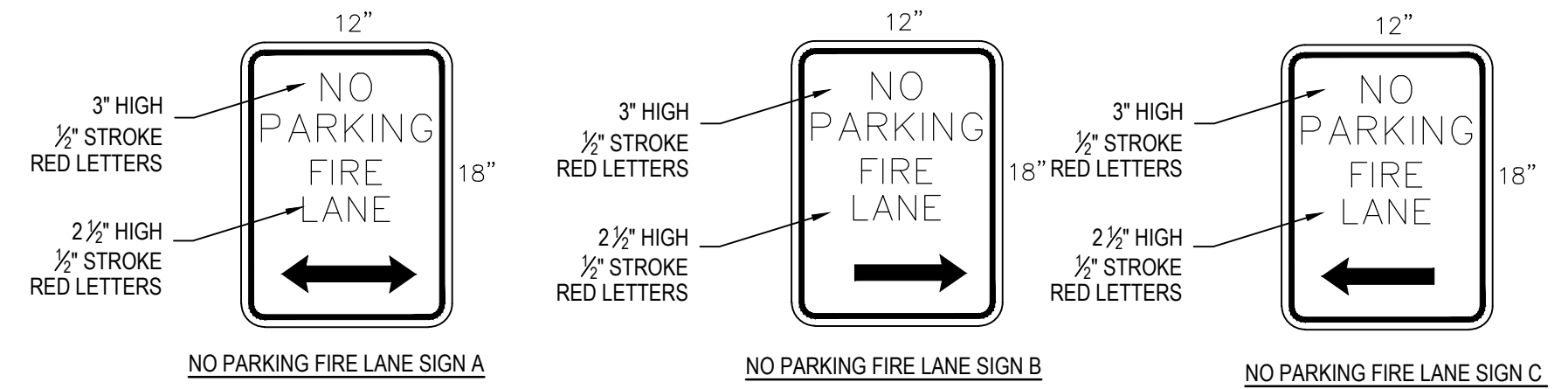


**R8-31**



**HANDICAP SIGN**

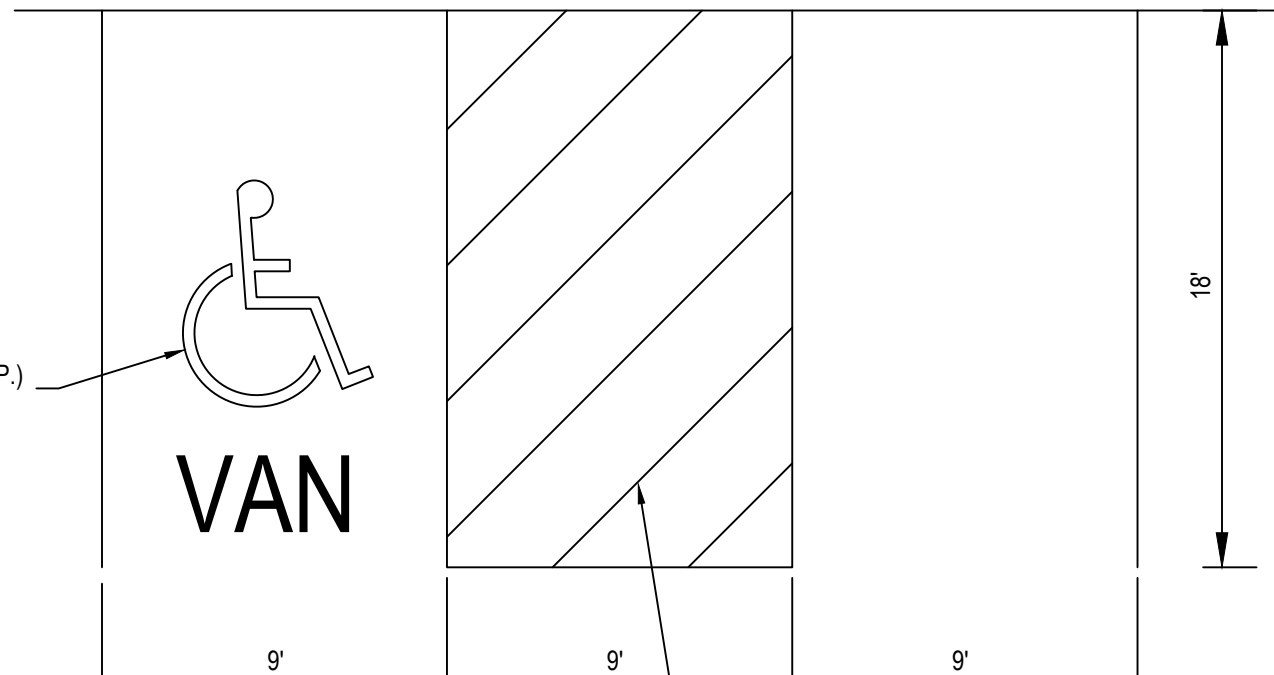
**SITE SIGNAGE DETAILS**  
NOT TO SCALE



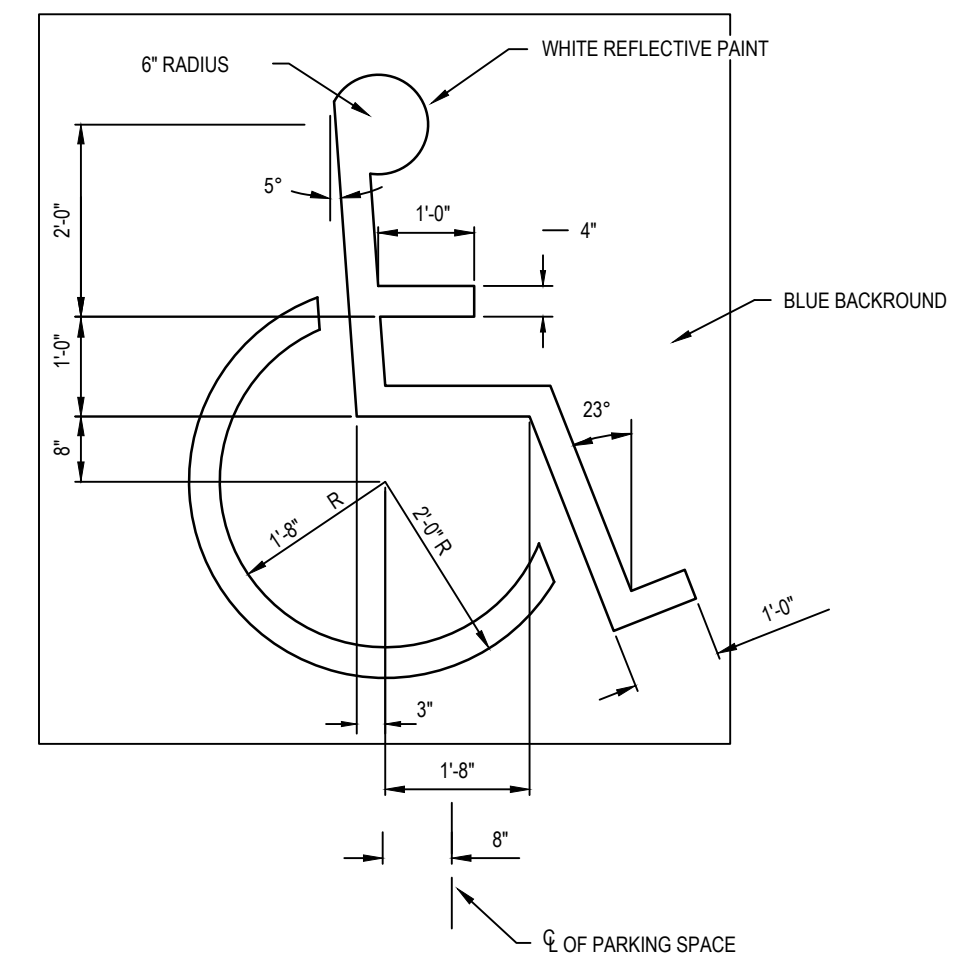
**NO PARKING FIRE LANE SIGN A**

**NO PARKING FIRE LANE SIGN B**

**NO PARKING FIRE LANE SIGN C**



**HANDICAP STRIPING DETAILS**  
NOT TO SCALE



**HANDICAP SYMBOL DETAIL**  
NOT TO SCALE



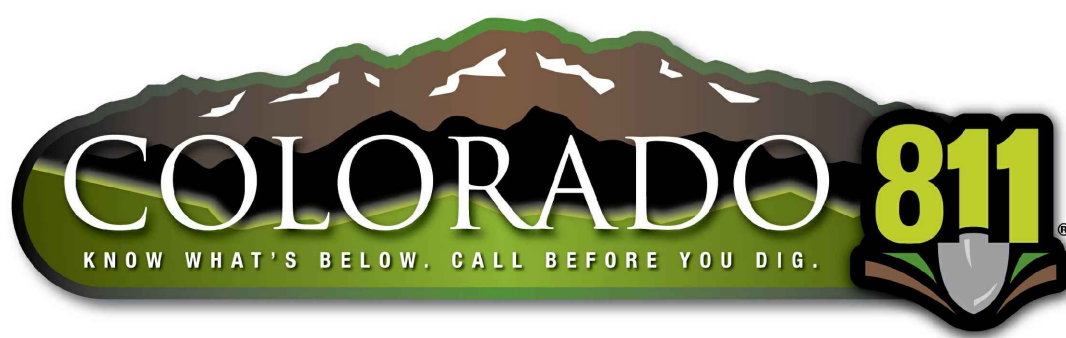
PREPARED UNDER THE DIRECT SUPERVISION OF JERRY W. DAVIDSON, P.E. COLORADO REG # 30226 FOR AND ON BEHALF OF PERCEPTION DESIGN GROUP, INC.

NO.	DATE	DESCRIPTION
1	04/03/26	2ND SUBMITTAL
2	09/17/25	1ST SUBMITTAL

**CONSTRUCTION DETAILS**  
**HUNTINGTON NATIONAL BANK**  
LOT 3A PARKER POINT SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE NORTHEAST 1/4 OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 68 WEST OF THE 6TH P.M., TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

Design By: CLN  
Approved By: JWD  
Project No.: 2025-005

SHEET  
**C9.10**



THE TYPE, SIZE, LOCATION, AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ON THE SITE, AND OFFSITE IN WORK AREAS. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO DATE OF CONSTRUCTION. FOR INFORMATION CONTACT: UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) - 1-800-922-1987. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.

