

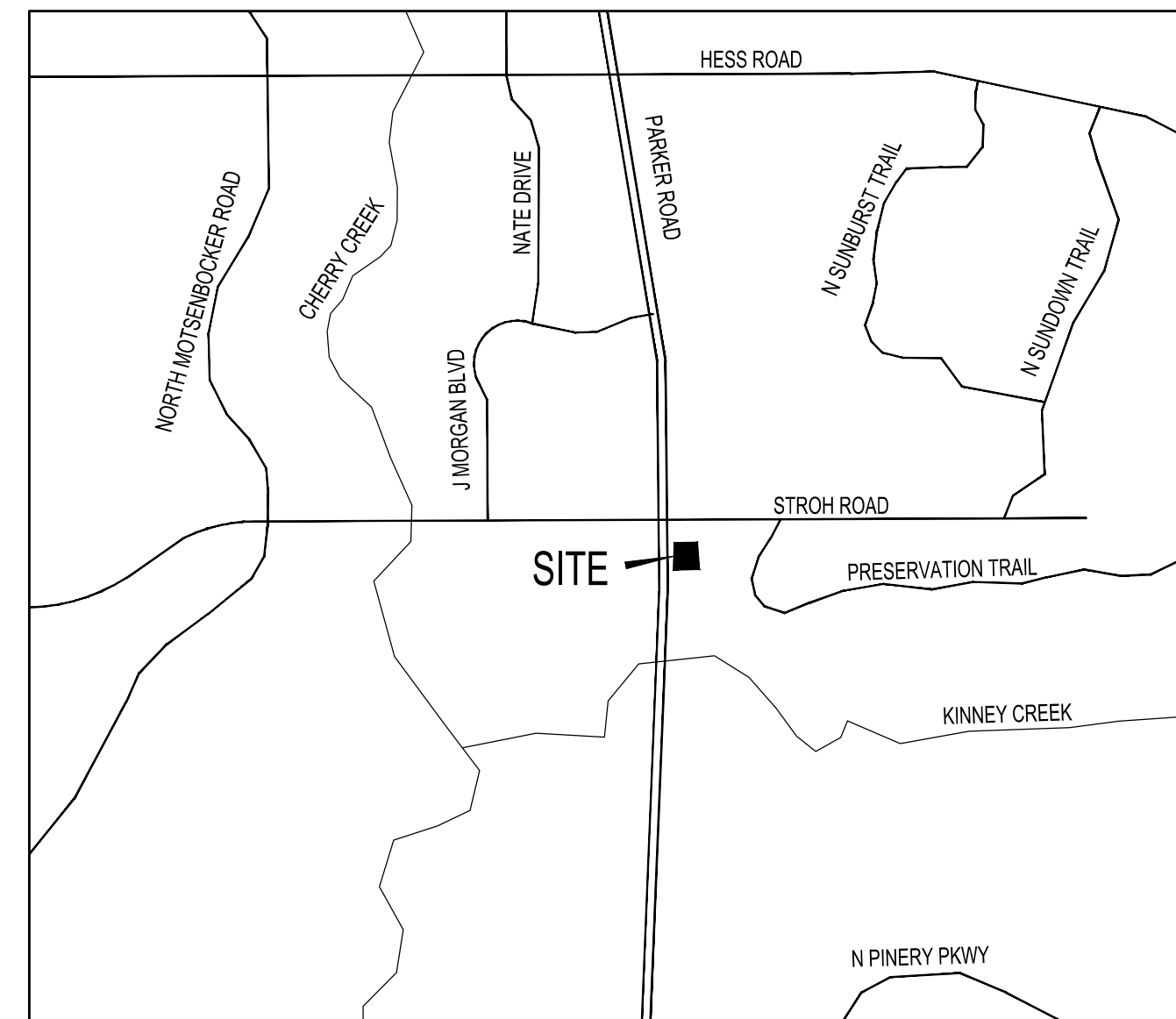
LOT 3A PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1 HUNTINGTON NATIONAL BANK

SITUATED IN THE NE 1/4 OF SECTION 3, T.7S., R.66W. OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PAGE 1 OF 10

TOWN OF PARKER GENERAL NOTES

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE LATEST EDITION OF THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT. THE TOWN RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- A PRECONSTRUCTION MEETING SHALL BE SCHEDULED A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. A PRECONSTRUCTION MEETING WILL NOT BE SCHEDULED UNTIL THE GRADING PERMIT AND ALL OTHER NECESSARY PERMITS HAVE BEEN OBTAINED.
- THE TOWN INSPECTOR SHALL BE CONTACTED A MINIMUM OF 24 HOURS PRIOR TO A NECESSARY INSPECTION. IF A TOWN INSPECTOR IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE PERMITTEE MAY COMMENCE WORK IN THE TOWN INSPECTOR'S ABSENCE. HOWEVER, THE TOWN OF PARKER RESERVES THE RIGHT TO REJECT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
- LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION IN ACCORDANCE WITH ALL STATE AND LOCAL LAWS. THE CONTRACTOR SHALL FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS, APPROVED BY THE TOWN OF PARKER DIRECTOR OF ENGINEERING/PUBLIC WORKS, AND ONE (1) COPY OF THE ROADWAY DESIGN AND CONSTRUCTION CRITERIA AT THE JOB SITE AT ALL TIMES.
- A PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE SUBMITTED TO THE TOWN OF PARKER FOR ACCEPTANCE WITH THE RIGHT-OF-WAY USE PERMIT APPLICATION. A PERMIT WILL NOT BE ISSUED WITHOUT AN APPROVED TRAFFIC CONTROL PLAN FOR USE DURING CONSTRUCTION.
- ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION."
- COMPACTION OF ALL TRENCHES MUST BE ATTAINED AND COMPACTION TEST RESULTS SUBMITTED TO THE DEVELOPMENT REVIEW ENGINEER IN PRELIMINARY FORM PRIOR TO PAVING AND IN FINAL FORM PRIOR TO PROBATIONARY ACCEPTANCE.
- THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE PLAN MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH APPROVAL FROM THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.
- PLANS ARE APPROVED FOR PERIOD OF 1 (ONE) YEAR FROM THE DATE SHOWN ON THE TOWN OF PARKER SIGNATURE BLOCK. PLANS SHALL BE RESUBMITTED TO THE TOWN FOR APPROVAL AFTER 1 YEAR. THE COST OF THE PLAN RE-REVIEW AND RE-ACCEPTANCE WILL BE CHARGED BACK TO THE DEVELOPER INCLUDING ALL TIME AND EXPENSES OF THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING IS THE RESPONSIBILITY OF THE CONTRACTOR. SUCH RESTORATION MAY BE REQUIRED TO BE COMPLETED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
- ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
- ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY." FOR INFORMATION, PLEASE CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, WQCD-PE-B2, 4300 CHERRY DRIVE SOUTH, DENVER, COLORADO 80222-1530. ATTENTION: PERMITS AND ENFORCEMENT SECTION. PHONE (303) 692-3500.
- IF DEWATERING IS REQUIRED, A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED FOR DISCHARGES TO A STORM SEWER, CHANNEL, IRRIGATION DITCH, ANY STREET THAT IS TRIBUTARY TO THE AFOREMENTIONED FACILITIES, OR ANY WATER OF THE UNITED STATES.
- ALL REFERENCES TO BOOKS, PAGES, MAPS, AND RECEPTION NUMBER ARE PUBLIC DOCUMENTS ON FILE WITH THE COUNTY CLERK AND RECORDER'S OFFICE.



VICINITY MAP
SCALE: 1" = 2000'



SITE DATA TABLE

ZONING DISTRICT	MIXED-USE COMMUNITY	
GROSS SITE AREA	58,985 SF	1.3541 AC
BUILDING GROSS FLOOR AREA	3,005 SF	5%
PARKING/DRIVES	32,730 SF	55%
SIDEWALKS	1,630 SF	3%
LANDSCAPING	21,620 SF	37%
	REQUIRED	PROPOSED
BUILDING HEIGHT	45' MAX	25'
BUILDING SETBACKS		
FRONT	25'	109'
SIDE ADJACENT TO DECLAN DR	5'	97.9'
SIDE ADJACENT TO PARKER RD	10'	64.5'
REAR	10'	94.7'
BICYCLE PARKING		
TOTAL REQUIRED	2	(1/20 PARKING STALLS)
TOTAL PROVIDED	2	

PARKING INFORMATION: HUNTINGTON NATIONAL BANK						
DESCRIPTION	BUILDING AREA (SF)	RATIO	REQUIRED SPACES			
			REGULAR	ACCESSIBLE	VAN ACCESSIBLE	TOTAL
BANK	3005	1 SPACE/ 300 SF NLA	8	1	1	10
PROVIDED SPACES						
STALL DIMENSIONS:			REGULAR	ACCESSIBLE	VAN ACCESSIBLE	TOTAL
9' X 18'			16	1	1	18
9' X 18' SPACES WITH ADJACENT 18" CONCRETE STRIP (ADJACENT TO LANDSCAPE ISLANDS)			7	0	0	7
TOTAL WITHIN PARKING LOT:			23	1	1	25

TOWN OF PARKER

PUBLIC WORKS
20120 E. MAIN STREET
PARKER, CO 80138
(303) 840-9546

GAS PROVIDER

XCEL ENERGY
550 15TH STREET, SUITE 700
DENVER, CO 80202 1-800-628-2121

WATER/SEWER PROVIDER

PARKER WATER AND SANITATION DISTRICT
18100 E. WOODMAN DR.
PARKER, CO 80134
(303) 841-4627
CONTACT: ROBERT RAMSEY

ELECTRIC PROVIDER

CORE ELECTRIC COOPERATIVE
5496 NORTH U.S. HIGHWAY 85
SEEDLICK, CO 80135
(303) 688-3100
CONTACT: BROOKS KAUFMAN

FIRE PROTECTION

PARKER FIRE PROTECTION DISTRICT
10235 PARKGLENN WAY
PARKER, CO 80138
(720) 274-3700

CABLE PROVIDER

XFINITY STORE BY COMCAST
18300 COTTONWOOD DR, SUITE 101
PARKER, CO 80138
(800) 934-6489

DEVELOPER

HUNTINGTON NATIONAL BANK
720-254-7258
CONTACT: CHRIS EVANS
CHRIS.EVANS@HUNTINGTON.COM

CIVIL ENGINEER

PERCEPTION DESIGN GROUP, INC.
6901 SOUTH PIERCE STREET, SUITE 315,
LITTLETON, CO 80128
303-232-8088
CONTACT: JERRY DAVIDSON
JDAVIDSON@PERCEPTIONDESIGNGROUP.COM

LIGHTING ENGINEER

WHS ENGINEERING
2012 WEST 25TH STREET
CLEVELAND, OH 44113
216-990-2344
CONTACT: SUE DUNMIRE
SUE@WHS-ENG.COM

ARCHITECT

VOCON
3142 PROSPECT AVENUE E
CLEVELAND, OH 44115
216-329-9535
CONTACT: AMY SUBA
AMY.SUBA@VOCON.COM

LANDSCAPE ARCHITECT

JUMP DESIGN COMPANY
1733 S. CLARKSON STREET
DENVER, CO 80210
303-282-0463
CONTACT: TOM JUMP
TOM@JUMPDENIGNCO.COM

SURVEYOR

ENGINEERING SERVICE COMPANY
1300 SOUTH POTOMAC STREET, SUITE 126
AURORA, CO 80012
(303) 337-1393
CONTACT: JEFFERY A. MILLER
JEFFM@ENGINEERINGSERVICECO.COM

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SITE PLAN
LANDSCAPE PLAN
LANDSCAPE NOTES & DETAILS
LANDSCAPE NOTES & DETAILS
BUILDING ELEVATIONS
BUILDING ELEVATIONS
PHOTOMETRIC PLAN
LUMINAIRE CUT SHEETS

APRIL 19, 2026

SHEET TITLE

COVER SHEET
1 OF 10






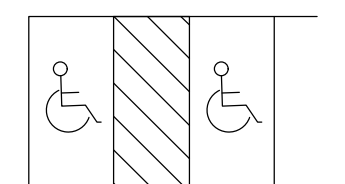




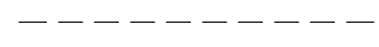




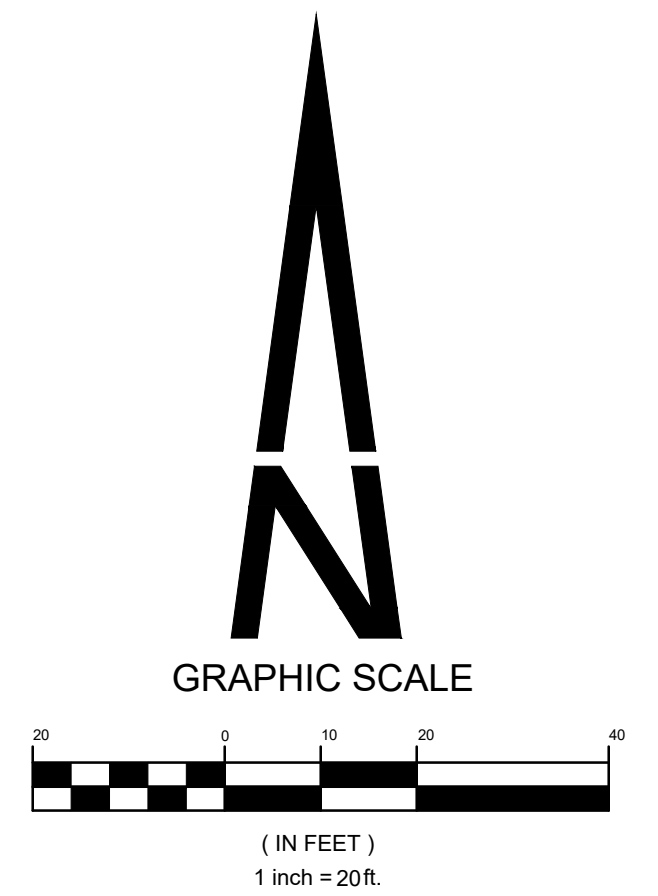
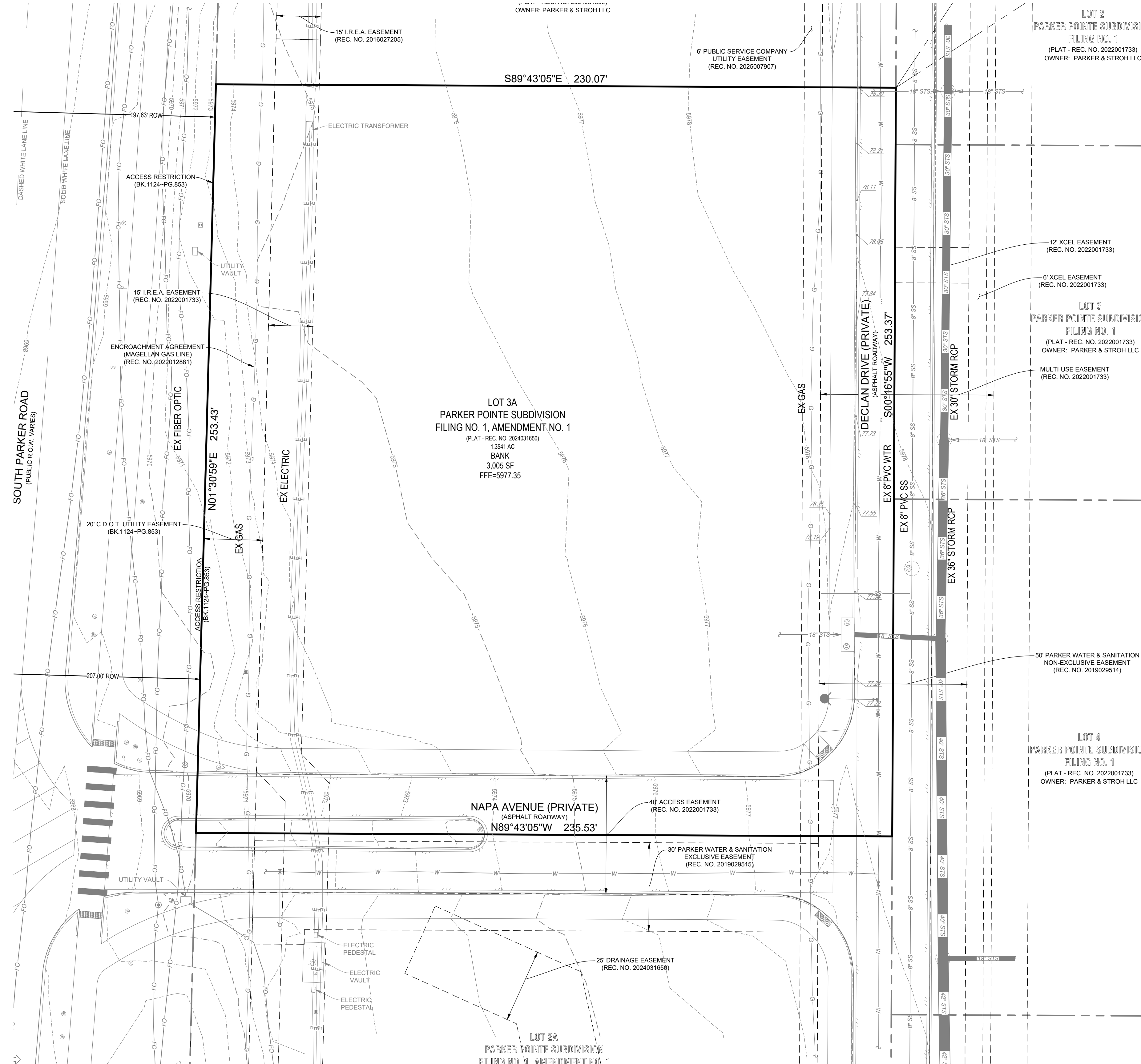
6901 SOUTH PIERCE STREET, SUITE 220, LITTLETON, CO 80128 303-232-8088
WWW.PERCEPTIONDESIGNGROUP.COM

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SITUATED IN THE NE 1/4 OF SECTION 3, T.7S., R.66W. OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
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LEGEND

-  PROPERTY LINE
-  EXISTING CURB AND GUTTER
-  PROPOSED CURB AND GUTTER
-  PROPOSED SIDEWALK
-  PROPOSED HANDICAP RAMP WITH DETECTABLE WARNING
-  PROPOSED HANDICAP PARKING STALL
-  PROPOSED PARKING COUNT PER ROW
-  PROPOSED LANDSCAPED AREA
-  FIRE HYDRANT
-  PROPOSED SITE SIGNAGE SHOWN FOR INFORMATION ONLY NOT APPROVED WITH THIS PLAN SEPARATE REVIEW AND PERMIT REQUIRED
-  EXISTING EASEMENT
-  PROPOSED TRANSFORMER
-  PROPOSED SITE LIGHTING



APRIL 10, 2026






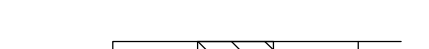




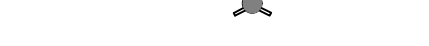


SHEET TITLE
EXISTING SITE
2 OF 10

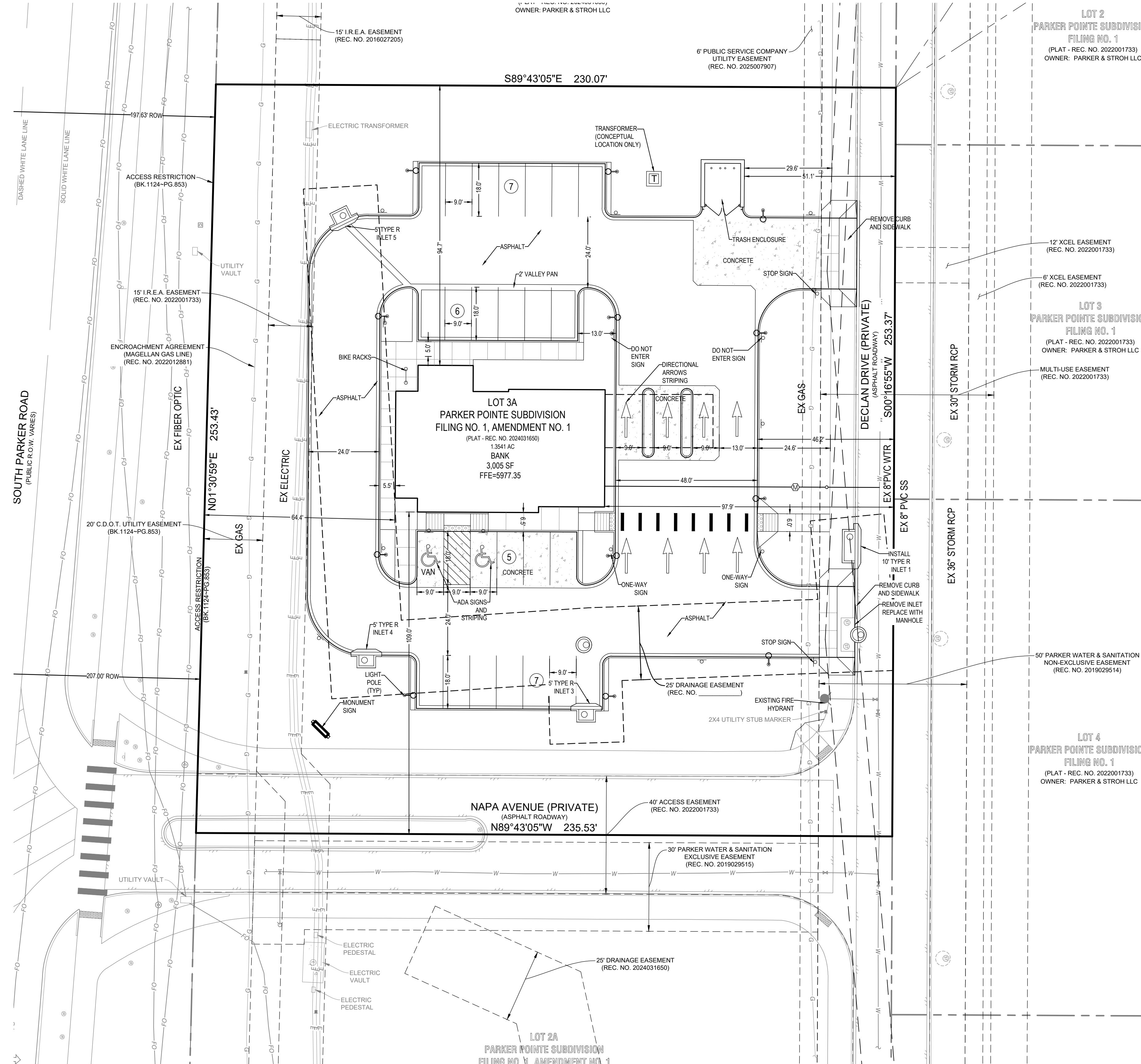


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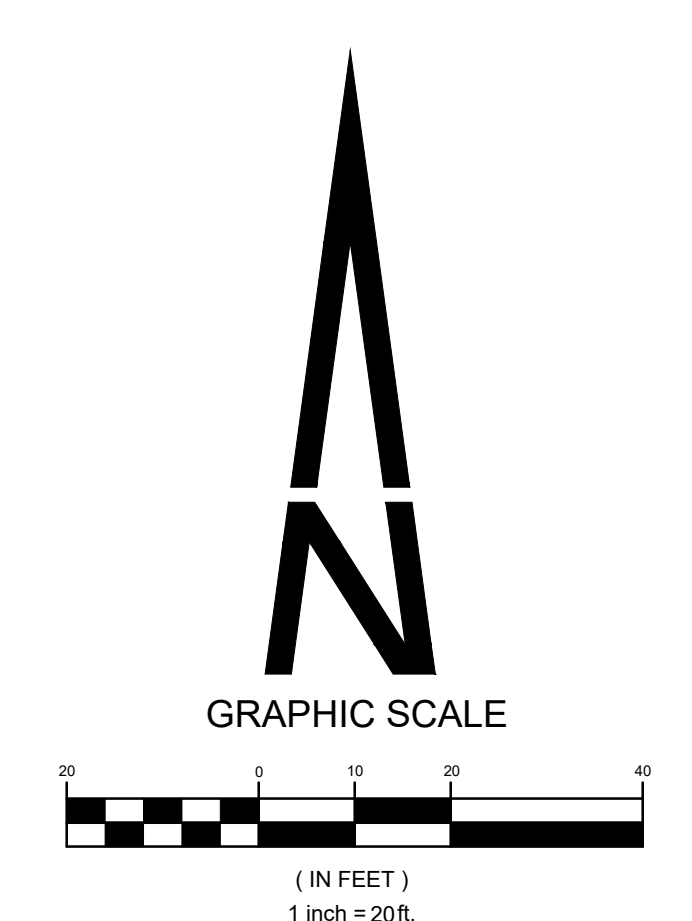
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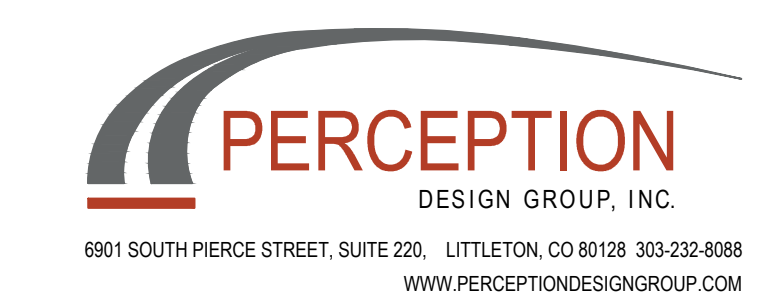


BIKE RAKE
MANUFACTURED BY PARKTASTIC
BLACK
36" TALL X 24" WIDE



APRIL 10, 2026

SHEET TITLE
SITE PLAN
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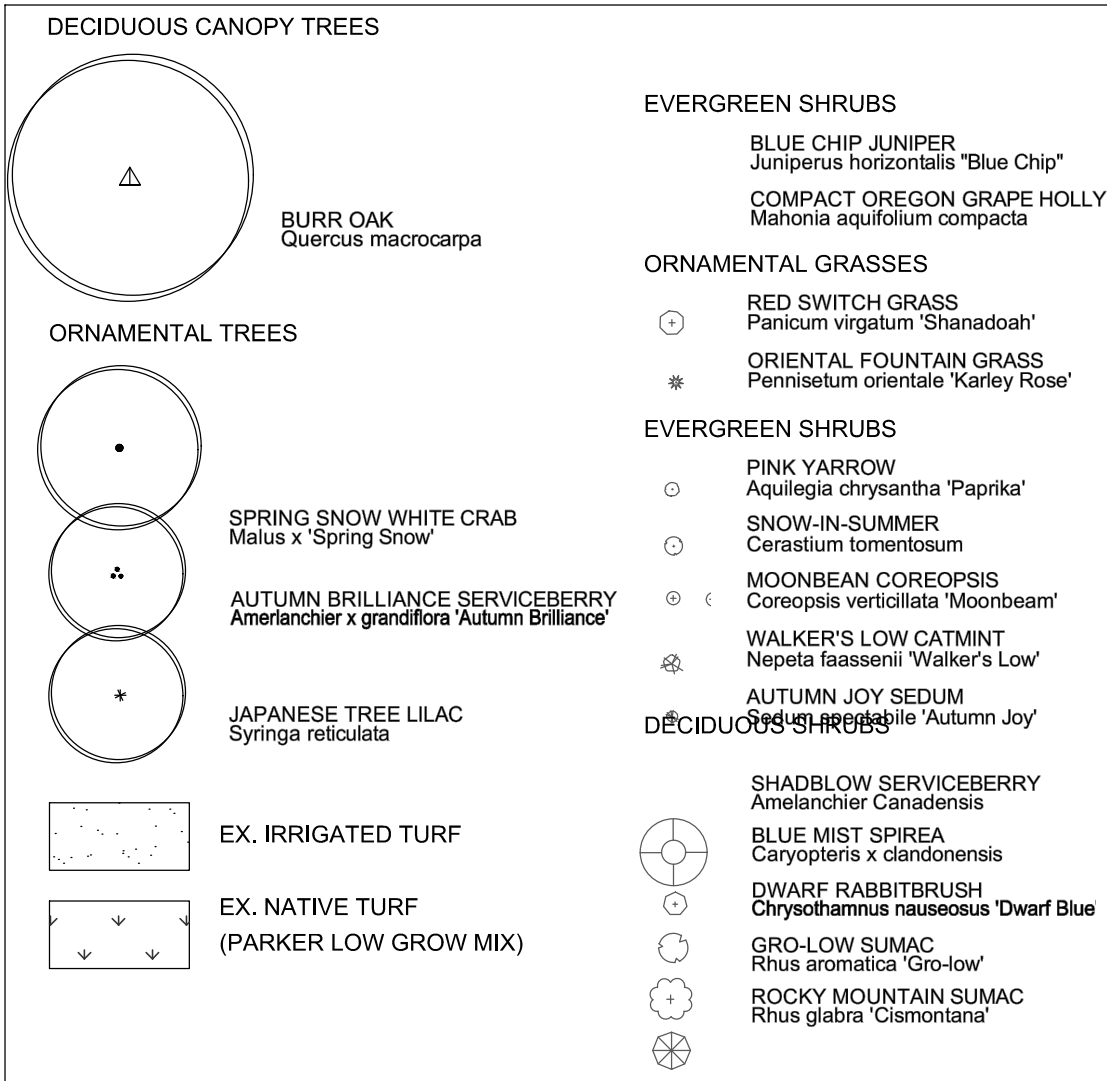
PARKER STANDARDS & REQUIREMENTS

1. Minimum landscape standards; (2)a. At maturity, at least seventy-five percent (75%) of the landscaped area shall have a ground cover of living plant material, including, but not limited to, trees, shrubs, ground cover, turf or seed and other recognized perennial ground covering plant materials. Deciduous tree canopies shall not be included in the calculation.

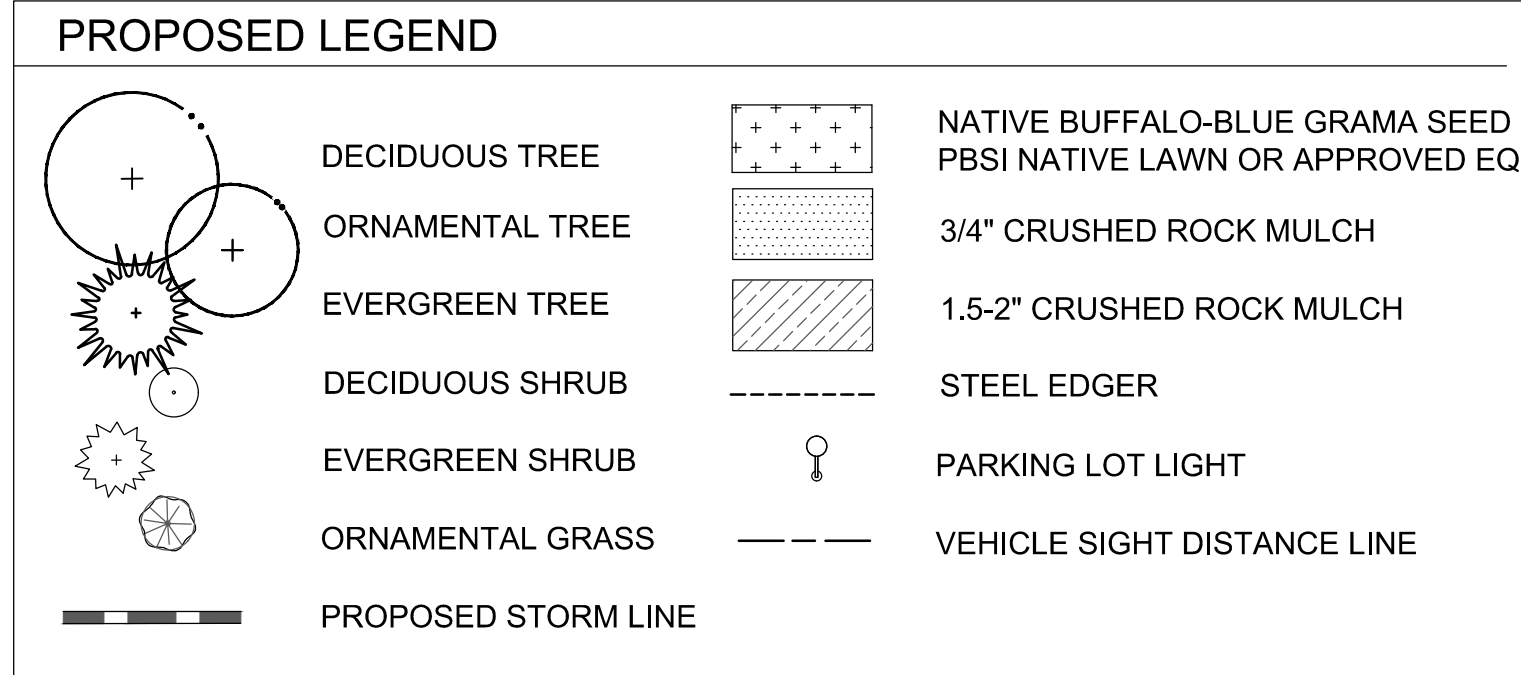
2. (5) In all required landscaped areas, except within public rights-of-way and residential roadway buffers, one (1) tree and five (5) shrubs shall be planted for each one thousand five hundred (1,500) square feet of lot area not covered by a building or required parking. Please provide calculations that show compliance with this standard.

3. Streetscape landscaping shall be in compliance with the Town's *Construction Specifications and Design Considerations for Parks, Trails and Streetscapes*, as amended. h. Private roadways and internal vehicular access drives. Street trees and other plant materials shall be subject to the criteria set forth in this Section and shall be approved during site plan. Primary access drives are encouraged to provide a formal landscape character.

EXISTING PLANT REFERENCE



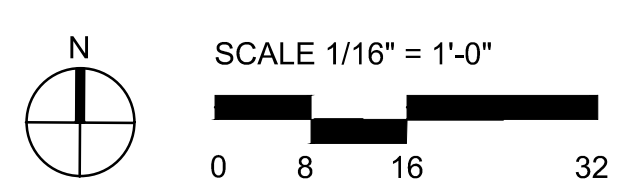
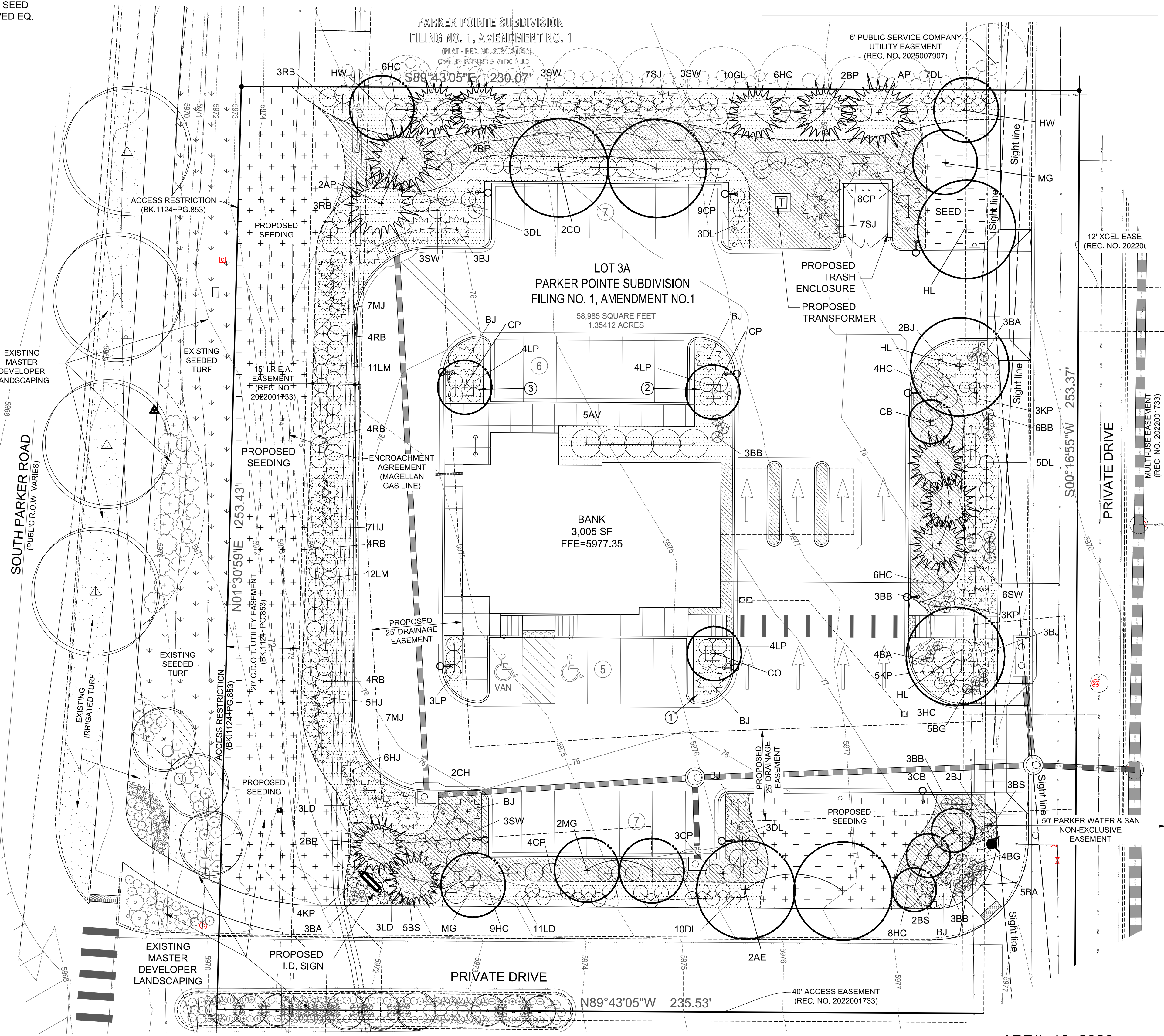
NOTE: PARKER ROAD R.O.W. AND ACCESS MEDIAN INSTALLED BASED ON PLANS FOR PARKER POINTE FILING 1, LOTS 1 THRU 14 & TRACT A DONE BY STERLING DESIGN ASSOCIATES FOR PERCEPTION DESIGN GROUP. 10/26/18



PLANT LIST

KEY	QTY.	BOTANICAL NAME	COMMON NAME	WATER REQ'T.	MATURE HT. x WIDTH	INSTALLED SIZE	CONDITION/REMARKS
DECIDUOUS TREES							
AE	2	<i>Ulmus japonica x wilsoniana 'Morton'</i>	Accolade Elm	L-M	50-70' x 30-40'	2" cal.	B&B, single stem, full head
CO	2	<i>Quercus muhlenbergii</i>	Chinkapin Oak	L-M	35-50' x 35-50'	2" cal.	B&B, single stem, full head
HL	3	<i>Gleditsia triacanthos inermis 'Shadmaster'</i>	Shadmaster Honeylocust	L-M	40-60' x 30-40'	2" cal.	B&B, single stem, full head
ORNAMENTAL TREES							
CB	4	<i>Malus 'Coralcole'</i>	Coralburst Crabapple	L-M	12-15' x 12-15'	2" cal.	B&B, single stem, full head
CH	3	<i>Pyrus calleryana 'Chanticleer'</i>	Chanticleer Pear	L-M	20-30' x 12-15'	2" cal.	B&B, single stem, full head
HW	2	<i>Acer tartaricum 'Hot Wings'</i>	Hot Wings Maple	L	15-20' x 15-20'	2" cal.	B&B, single stem, full head
MG	4	<i>Acer grandidentatum JFS-NuMex 3</i>	Mesa Glow Bigtooth Maple	L-M	20-30' x 15-18'	2" cal.	B&B, single stem, full head
EVERGREEN TREES							
AP	3	<i>Pinus nigra</i>	Austrian Pine	L-M	40-60' x 20-40'	6" ht.	B&B, full & bushy
BP	6	<i>Pinus heldreichii</i>	Bosnian Pine	L	15-25' x 10-12'	6" ht.	B&B, full & bushy
DECIDUOUS SHRUBS							
AV	5	<i>Viburnum x rhytidophylloides 'Alleghany'</i>	Alleghany Viburnum	L	8-15' x 6-12'	42-48" ht.	#5 container
CP	24	<i>Ligustrum vulgare 'Cheyenne'</i>	Cheyenne Privet	L	6-8' x 4-6'	30-36" ht.	#5 container
DL	31	<i>Syringa patula 'Miss Kim'</i>	Dwarf Purple Lilac	L	3-4' x 3-4'	24-30" ht.	#5 container
GL	10	<i>Rhus aromatica 'Gro-low'</i>	Gro-low Sumac	L	2-3' x 6-8'	18-21" ht.	#5 container
HC	39	<i>Symphoricarpos x chenaultii 'Hancock'</i>	Hancock Coralberry	L	2-3' x 6-8'	18-21" ht.	#5 container
LD	14	<i>Physocarpus opulifolius 'Little Devil'</i>	Little Devil Ninebark	L	3-4' x 3-4'	24-30" ht.	#5 container
LP	15	<i>Ligustrum vulgare 'Lodense'</i>	Lodense Privet	L	2-3' x 3-4'	24-30" ht.	#5 container
KP	17	<i>Potentilla fruticosa 'Klondike'</i>	Klondike Potentilla	L	2-3' x 2-3'	12-15" ht.	#5 container
RB	22	<i>Ericameria nauseosa v. glabrata</i>	Tall Green Rabbitbrush	VL	3-6' x 3-6'	21-24" ht.	#5 container
SW	15	<i>Physocarpus opulifolius 'Summer Wine'</i>	Summer Wine Ninebark	L	4-6' x 4-6'	30-36" ht.	#5 container
EVERGREEN SHRUBS							
BJ	15	<i>Juniperus horizontalis 'Blue Chip'</i>	Blue Chip Juniper	L	8-12" x 6-8"	9-12" ht.	#5 container
BS	10	<i>Juniperus squamata 'Blue Star'</i>	Blue Star Juniper	L	2-3' x 3-4'	15-18" ht.	#5 container
HJ	13	<i>Juniperus chinensis 'Hetz Columnar'</i>	Hetz Columnar Juniper	L	12-15' x 4-5'	36-42" ht.	#7 container
LM	23	<i>Cercocarpus intricatus</i>	Littleleaf Mountain Mahogany	L	3-6' x 3-5'	21-24" ht.	#5 container
MJ	21	<i>Juniperus scopulorum 'Medora'</i>	Medora Juniper	L	15-18' x 3-5'	36-42" ht.	#5 container
SJ	7	<i>Juniperus chinensis 'Spartan'</i>	Spartan Juniper	L	15-20' x 3-4'	36-42" ht.	#5 container
ORNAMENTAL GRASSES							
BA	11	<i>Bouteloua gracilis 'Blonde Ambition'</i>	Blonde Ambition Grama Grass	L	2-3' x 2-3'	12-15" ht.	#5 container
BB	16	<i>Andropogon gerardii</i>	Big Bluestem Grass	L	4-5' x 2-3'	21-24" ht.	#5 container
BG	9	<i>Helictotrichon sempervirens 'Sapphire'</i>	Blue Avena Grass	L	2-3' x 2-3'	12-15" ht.	#5 container

1. PLANT WATER REQUIREMENTS: VL = Very Low; L = Low; M = Moderate; H = High
2. ALL PLANTS SHALL BE HEALTHY & WELL-ESTABLISHED - TREES AS BALLED & BURLAPPED AND SHRUBS/GRASSES IN CONTAINERS. SIZE, BRANCHING, NUMBER OF CANES, ETC. SHALL BE PER ANSI Z60. AMERICAN STAND FOR NURSERY STOCK, CURRENT EDITION.
- ### TOWN NOTES
- ALL WORK SHALL CONFORM TO THE TOWN OF PARKER CODES. VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES AND STRUCTURES PRIOR TO DIGGING, EXCAVATION OR TRENCHING. DAMAGE TO UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR WITH NO EXPENSE TO THE OWNER.
 - PLANTS SHALL MEET THE MINIMUM STANDARDS OUTLINED IN THE "AMERICAN STANDARD FOR NURSERY STOCK" ANSI Z60.1 (2004). ALL PLANT MATERIALS ARE SUBJECT TO APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. PLANTS NOT MEETING THE SET STANDARDS WILL BE REJECTED.
 - ALL IRRIGATED LANDSCAPE AREAS SHALL RECEIVE SOIL PREPARATION AMENDMENTS CONSISTING OF ORGANIC COMPOST AT A RATE OF 6 C.Y./1,000 S.F. TILLED TO THE DEPTH OF 6".
 - ALL THE LANDSCAPE AREAS AND PLANT MATERIALS WILL BE WATERED BY AN AUTOMATIC RAIN SENSOR. TRUF AREAS ARE TO HAVE HEAD TO HEAD COVERAGE. DRIP IRRIGATION WILL BE PROVIDED TO SHRUB BEDS AND ALL TREES.
 - PROVIDE ADEQUATE ACCESS AND CLEARANCE AROUND FIRE HYDRANTS (3 FEET MIN.), ELECTRICAL APPURTENANCES AND UTILITY INSTALLATIONS WHEN INSTALLING SHRUBS AND GRASSES.
 - COORDINATE STREET TREE LOCATIONS WITH PUBLIC WORKS DEPARTMENT AND NEW UTILITY LINE LOCATION/ IMPROVEMENTS PRIOR TO INSTALLATION. NOTIFY TOWN PLANNING OF ANY NEEDED MODIFICATIONS/ RELOCATIONS FROM APPROVED SITE PLAN PRIOR TO THE WORK WITH SITE PLAN ADJUSTMENT.
 - PLANT SPECIES AND LOCATION SHOULD FOLLOW APPROVED PLAN. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN THE APPLICANT MUST GET APPROVAL FROM THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT, PRIOR TO PLANTING.
 - TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING.
 - ALL PLANT MATERIAL SHALL CARRY A WARRANTY FOR A PERIOD OF NOT LESS THAN 1 YEAR AFTER ACCEPTANCE OF THE PROJECT BY THE OWNER. WARRANTY SHALL BE A ONE-TIME REPLACEMENT THAT INCLUDES PLANT MATERIAL AND LABOR COSTS.
 - ALL PLANTING BEDS ARE TO BE CONTAINED WITH 4" DEPTH STEEL EDGER WITH ROLLED TOP.
 - ALL PLANTING BEDS SHALL BE MULCHED PER TOWN OF PARKER STANDARDS WITH 3" DEPTH 2" DIA. CRUSHED GRANITE ON WEED BARRIER FABRIC. MULCH CIRCLES ABOVE ALL PLANT PITS SHALL BE 2 TIMES LARGER THAN ROOT BALL/CONTAINER WITH 4" DEPTH NATURAL SHREDDED RED CEDAR AT FINISH GRADE. SUBMIT MULCH SAMPLES FOR APPROVAL BY OWNER PRIOR TO INSTALLATION.
 - ALL TREES SHALL HAVE A MULCH RING WITH NATURAL SHREDDED CEDAR FIBER MULCH AT 3-4" DEPTH AND AT LEAST 3-4" IN DIAMETER. MULCH SHALL NOT BE PLACED AGAINST THE TRUNK OF THE TREE.
 - LANDSCAPE ARCHITECT AND LANDSCAPE CONTRACTOR CONFIRM THAT THIS DESIGN INCLUDING ALL PLANT, TREE AND OTHER LANDSCAPE MATERIALS ARE IN COMPLIANCE WITH THE TOWN OF PARKER'S MUNICIPAL CODE LANDSCAPE SECTION AND APPROVED PLANT/TREE LIST.



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APRIL 10, 2026
SHEET TITLE
LANDSCAPE PLAN
4 OF 10

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

SEEDING AND MULCHING SHALL BE PERFORMED ACCORDING TO THE ACCOMPANYING DETAIL(S) AND TEXT. NO EXCEPTIONS SHALL BE MADE

- SEE PLAN VIEW FOR:
 - LOCATION(S) OF SEEDING AND MULCHING
 - TYPE OF SEED MIX
- SEED MIXES MAY CONFORM TO THE TABLE PROVIDED WITH THE SMC NOTES OR ALTERNATIVES MAY BE ALLOWED WITH PRIOR PERMISSION BY THE TOWN'S INSPECTOR.
- SEEDING MAY BE PERFORMED YEAR ROUND ASSUMING THE SOIL IS NOT FROZEN. SEEDING DURING TIMES OF EXTREME TEMPERATURES SHOULD BE AVOIDED IF POSSIBLE.
- AT THE BEGINNING OF THE LAND DISTURBANCE ACTIVITIES, IT IS HIGHLY RECOMMENDED THAT AN APPROPRIATE AMOUNT OF NATIVE TOPSOIL BE STRIPPED FROM THE SITE AND STOCKPILED. ALL AREAS, PRIOR TO PERMANENT SEEDING AND MULCHING, WILL LIKELY NEED TO BE COVERED WITH AN APPROPRIATE LAYER OF TOPSOIL. THIS REQUIREMENT APPLIES TO ALL AREAS WHERE NATIVE SEEDING IS SPECIFIED ON THE CBMP PLAN AND/OR LANDSCAPING PLANS.
- IT IS STRONGLY RECOMMENDED THAT SAMPLES FROM THE STRIPPED TOPSOIL BE PROPERLY COLLECTED AND TESTED BY A QUALIFIED LABORATORY TO ENSURE ADEQUATE NUTRIENT CONTENT PRIOR TO SEEDING AND MULCHING. IF IT IS DISCOVERED THAT THE TOPSOIL IS VOID OF THE NUTRIENTS NECESSARY TO SUCCESSFULLY ESTABLISH THE REQUIRED VEGETATION, THEN THE APPROPRIATE AMENDMENTS SHALL BE ADDED.
- ALL AREAS TO BE SEEDED AND MULCHED SHALL BE SURFACE ROUGHENED ACCORDING TO THE SURFACE ROUGHENING DETAILS AND NOTES. SURFACE ROUGHENING SHALL OCCUR AFTER PLACEMENT OF THE TOPSOIL.
- WHEN INSTALLED WITH A DRILL SEEDER, SEED SHALL BE PLACED AT A DEPTH OF ¼ - ½ INCH. ROW SPACING SHALL BE NO MORE THAN 6-INCHES.
- ALL AREAS INCAPABLE OF BEING DRILL SEEDER SHALL BE SURFACE ROUGHENED ACCORDING TO THE SURFACE ROUGHENING NOTES OR EFFECTIVELY ROUGHENED USING A HARROW OR OTHER SUCH IMPLEMENT. ALL AREAS SHALL BE UNIFORMLY HAND BROADCASTED WITH THE PROPER SEED MIX APPLIED AT TWO TIMES THE DRILL SEEDER RATE. BROADCASTED AREAS SHALL THEN BE RE-HARROWED OR RE-RAKED USING A HARD-TIPPED RAKE TO ENSURE THAT SEEDS ARE BURIED TO AN APPROXIMATE DEPTH OF ¼ - ½ INCH.
- AFTER SEEDING HAS BEEN COMPLETED, MULCH SHALL BE UNIFORMLY APPLIED AT A RATE OF 2 TONS/ACRE (4,000 LBS/ACRE). MULCH SHALL BE MECHANICALLY CRIMPED TO A DEPTH OF 2 INCHES USING A CRIMPER. MULCH SHALL BE HAND CRIMPED AND COVERED WITH A TACKIFIER IN AREAS WHERE MECHANICAL CRIMPING IS NOT POSSIBLE. WHEN SOILS PERMIT, ALL MULCH SHALL BE CRIMPED SUCH THAT THE INDIVIDUAL PIECES OF STRAW OR HAY FORM EXAGGERATED V-SHAPES PROTRUDING OUT OF THE GROUND SEVERAL INCHES.
- IN CERTAIN INSTANCES, IT MAY BE NECESSARY TO APPLY A TACKIFIER IN ORDER TO HELP WITH STRAW DISPLACEMENT. TACKIFIER SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.



Parker COLORADO

CBMP

CONSTRUCTION BEST MANAGEMENT PRACTICES

SMC

1 OF 3
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

SEEDING AND MULCHING MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SEEDING AND MULCHING.
- ANY SEEDED AND MULCHED AREAS THAT BECOME DAMAGED SHALL BE REPAIRED WITHIN THE TIME FRAME SPECIFIED BY THE TOWN'S INSPECTOR.

WEED MANAGEMENT

- ALL HERBICIDES SHALL BE APPLIED BY COMMERCIAL PESTICIDE APPLICATORS LICENSED BY THE COLORADO DEPARTMENT OF AGRICULTURE AS QUALIFIED APPLICATORS. THE CONTRACTOR SHALL FURNISH DOCUMENTATION OF SUCH LICENSING PRIOR TO HERBICIDE APPLICATION.
- HERBICIDE APPLICATION METHOD SHALL BE SUCH THAT PLANT GROWTH OUTSIDE THE DESIGNATED TREATMENT AREAS WILL NOT BE DAMAGED. ALL DAMAGE CAUSED BY IMPROPER HERBICIDE APPLICATION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- HERBICIDES SHALL BE APPLIED DURING THE APPROPRIATE SEASONS, WHEN TARGET PLANTS ARE ACTIVELY GROWING.
- AFTER THE GRASS SEED IS ESTABLISHED, APPROPRIATE HERBICIDES SHALL BE APPLIED TO CONTROL THE REMAINING WEEDS TO ENSURE A TIMELY RETURN OF THE FINANCIAL SECURITY. PROPER TIMING OF HERBICIDE APPLICATIONS ARE NECESSARY TO ACHIEVE THE SUPPRESSION OF WEED SEED PRODUCTION AND DEPLETION OF WEED ROOT MASS. ULTIMATELY, THE HERBICIDES USED SHALL BE BASED UPON THE TARGET WEEDS.
- HERBICIDE TREATMENTS SHALL CONTINUE AT AN APPROPRIATE RATE UNTIL IT IS EVIDENT THAT WEED GROWTH PRESENCE AND GROWTH IS MINIMAL AND MAY BE CONTROLLED THROUGH MOWING AND/OR ANNUAL HERBICIDE TREATMENT.



Parker COLORADO

CBMP

CONSTRUCTION BEST MANAGEMENT PRACTICES

SMC

2 OF 3
Oct. 2013

LOT 3A PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1 HUNTINGTON NATIONAL BANK

SITUATED IN THE NE 1/4 OF SECTION 3, T.7S., R.66W. OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
PAGE 5 OF 10

PROJECT LANDSCAPE NOTES

- ALL WORK SHALL CONFORM TO ALL APPLICABLE TOWN OF PARKER AND LOCAL & STATE STANDARDS AND REGULATIONS.
- CONTACT APPROPRIATE UTILITY LOCATORS TO LOCATE OF ALL BURIED UTILITY LINES. FIELD-VERIFY EXISTING LOCATIONS, GRADES, AND CONDITIONS OF ALL BURIED UTILITIES PRIOR TO CONSTRUCTION. NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES FROM THESE PLANS. DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED AT HIS OWN COST WITH NO EXPENSE TO THE OWNER.
- VERIFY THE LOCATION OF ALL PERTINENT EXISTING & CONSTRUCTED SITE IMPROVEMENTS ALREADY INSTALLED PRIOR TO BEGINNING WORK. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES FROM THE INFORMATION SHOWN ON THESE PLANS. IF DISCREPANCIES EXIST DO NOT PROCEED WITH CONSTRUCTION ACTIVITIES WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE.
- REFER TO THE ARCHITECTURAL, ENGINEERING, ELECTRICAL AND IRRIGATION PLANS COMPLETED BY OTHERS. ANY DISCREPANCIES THAT AFFECT THIS WORK MUST BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- REFER TO THE CONSTRUCTION DRAWINGS DONE BY OTHER CONSULTANTS FOR GRADING AND ELEVATIONS. ENSURE POSITIVE DRAINAGE (2% MIN. FALL) AWAY FROM ALL BUILDING FOUNDATIONS IN ALL LANDSCAPE AREAS. NOTIFY OWNER'S REPRESENTATIVE IF ROUGH GRADING CONDITIONS WILL CREATE PONDING OR FLOW TOWARD FOUNDATIONS. ROUGH GRADES SHALL BE REVIEWED AND ACCEPTED BY OWNER'S REPRESENTATIVE PRIOR TO FINE GRADING AND SOIL PREPARATION OPERATIONS.
- COORDINATE LOCATION OF IRRIGATION SLEEVING FOR INSTALLATION PRIOR TO PARKING AND WALK PAVING OPERATIONS. SEE IRRIGATION PLANS.
- LANDSCAPE OPERATIONS SHALL ACHIEVE FINISHED GRADES AS SHOWN ON THE CIVIL GRADING PLANS AFTER INSTALLATION. ALL COMPLETED LANDSCAPE AREAS SHALL DRAIN AT 2% MINIMUM SLOPE WITHOUT LOW SPOTS THAT POND. FINISH GRADES SHALL SLOPE AWAY FROM STRUCTURES AT THE RECOMMENDED SLOPES INDICATED IN THE PROJECT GEOTECHNICAL/ SOILS REPORT UNLESS SPECIFICALLY APPROVED BY THE CIVIL ENGINEER AND OWNER.
- THE LANDSCAPE CONTRACTOR SHALL REVIEW THE COMPLETED ROUGH GRADING OPERATIONS PRIOR TO BEGINNING WORK AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN THE GRADING PLANS AND ACTUAL CONDITIONS.
- ALL LANDSCAPE AREAS SHALL BE FINE GRADED TO .10" +/- RESULTING IN A SMOOTH FINISH WITHOUT DEBRIS. DELETERIOUS MATERIALS OR CLODS OVER 1" DIAMETER. ALL FINE GRADING MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION.
- TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING. COORDINATE WITH GENERAL CONTRACTOR. THE TOP 4" OF LANDSCAPE AREAS SHALL BE EXISTING OR IMPORTED TOPSOIL AS NECESSARY.
- SOIL AMENDMENT SHALL BE LOW-SALTS, FULLY-MATURED & NITROGEN STABILIZED ORGANIC COMPOST, CERTIFIED FREE OF PATHOGENS. pH SHALL BE 6.0 TO 7.4 WITH A MIN. OF 30% ORGANIC MATERIAL. COMPOST SHALL BE BIOCOMP-CLASS 1 BY A1 ORGANICS 16350 WCR 76, EATON, CO 80615, OR APPROVED EQUAL. AMENDMENT FOR LANDSCAPE AREAS SHALL BE 4 C.Y. PER 1,000 S.F.
- THE TOP 5" OF SUBGRADE SHALL BE TOPSOIL AND SOIL AMENDMENT MIXTURE TILLED TO A MIN. DEPTH OF 6" BELOW SUBGRADE.
- IN ALL BED AREAS HOLD TOP OF SUBGRADE 3-4" BELOW ADJACENT IMPROVEMENTS TO ALLOW FOR SPECIFIED MULCH DEPTH.

FINE GRADING / PREPARATION NOTES

- REFER TO THE CONSTRUCTION DRAWINGS DONE BY OTHER CONSULTANTS FOR GRADING AND ELEVATIONS. ENSURE POSITIVE DRAINAGE (2% MIN. FALL) AWAY FROM ALL BUILDING FOUNDATIONS IN ALL LANDSCAPE AREAS. NOTIFY OWNER'S REPRESENTATIVE IF ROUGH GRADING CONDITIONS WILL CREATE PONDING OR FLOW TOWARD FOUNDATIONS. ROUGH GRADES SHALL BE REVIEWED AND ACCEPTED BY OWNER'S REPRESENTATIVE PRIOR TO FINE GRADING AND SOIL PREPARATION OPERATIONS.
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WEED BARRIER & MULCH

- INSTALL DEWITT 2.2 OZ. BIODEGRADABLE WEED BARRIER OR APPROVED EQUAL UNDER ALL ROCK BEDS PER SPEC'S AT: <https://www.dewittcompany.com/wp-content/uploads/2023/07/GardenWeedBarrierSpec.pdf>

PLANTING NOTES

- PLANTS SHALL BE TRUE TO TYPE & SPECIES. HAVE SIMILAR SIZE & FORM AMONG THE SAME SPECIES AND MEET THE MINIMUM STANDARDS OUTLINED IN THE "AMERICAN STANDARD FOR NURSERY STOCK" ANSI Z60.1 CURRENT EDITION.
- ALL PLANT MATERIALS SHALL BE HEALTHY, FREE OF PESTS, DISEASES AND BROKEN CONTAINERS AND ROOT BALLS. TREES SHALL HAVE SINGLE LEADERS UNLESS OTHERWISE SPECIFIED AND ROBUST BRANCHING AND FOLIAGE. ALL PLANTS ARE SUBJECT TO APPROVAL BY THE TOWN AND OWNER'S REPRESENTATIVE- PLANTS NOT MEETING THE TOWN'S STANDARDS WILL BE REJECTED.

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IRRIGATION

- IRRIGATION SHALL MEET TOWN STANDARDS AND REQUIREMENTS AND SHALL BE INSTALLED PER THE APPROVED PLANS.

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LANDSCAPE REQUIREMENTS SUMMARY

NET SITE AREA	LANDSCAPE AREA			% LIVE COVER		
	REQUIRED 15%	PROVIDED	SURPLUS / DEFICIT	REQUIRED 75%	PROVIDED 78.6%	SURPLUS / DEFICIT
58,985 SF	8,848 SF	21,620 SF	+12,772 SF	16,215 SF	16,991 SF	776 SF

LANDSCAPE REQUIREMENTS SUMMARY

INTERNAL LANDSCAPE AREA	TREE REQUIREMENT (1 / 1500 SF)			SHRUB REQUIREMENT (5 / 1500 SF)			TREE EQUIVALENT CALCULATION		
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LANDSCAPE REQUIREMENTS SUMMARY

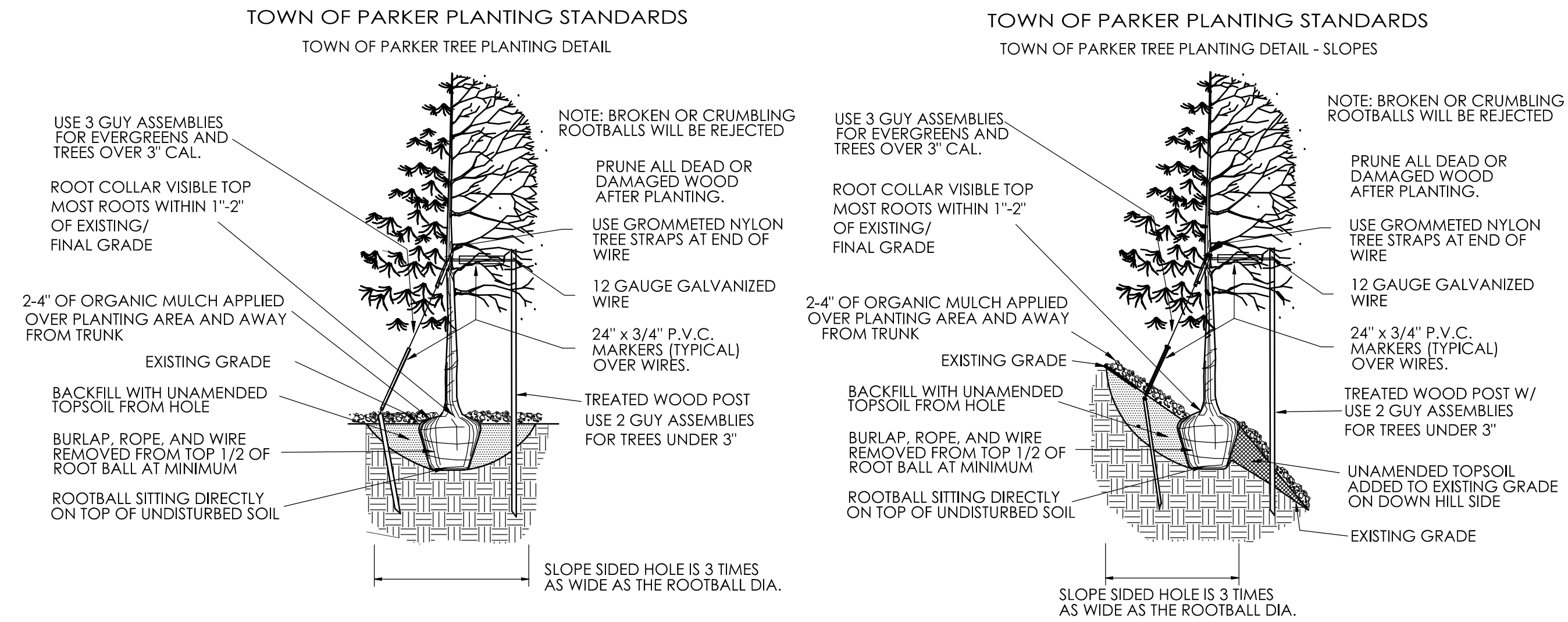
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TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
PAGE 6 OF 10



TOWN OF PARKER STANDARD PLANTING NOTES

EXCAVATE PLANTING HOLES WITH SLOPING SIDES. MAKE EXCAVATIONS AT LEAST THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER AND NO DEEPER THAN THE DISTANCE FROM THE TOP MOST ROOT IN THE ROOT BALL TO THE BOTTOM OF THE ROOT BALL TO ALLOW FOR SETTLING. DO NOT DISTURB SOIL AT BOTTOM OF PLANTING HOLES, BUT DO SCORE THE SIDES OF THE PLANTING HOLE. THE PLANTING AREA SHALL BE LOOSENEED AND AERATED AT LEAST THREE TO FIVE TIMES THE DIAMETER OF THE ROOT BALL. BACKFILL SHALL CONSIST OF EXISTING ONSITE SOIL- NO AMENDMENTS SHALL BE USED UNLESS OTHERWISE SPECIFIED.

TREES SHALL BE PLANTED WITH THE ROOT COLLAR/FLARE VISIBLE ABOVE GRADE AND TWO OR MORE STRUCTURAL ROOTS LOCATED WITHIN THE TOP 1-2" OF THE ROOT BALL/FINISHED GRADE MEASURED 3" TO 4" FROM THE TRUNK. THIS INCLUDES TREES THAT ARE SET ON SLOPES (SEE SLOPE PLANTING DETAIL). TREES THAT DO NOT HAVE A VISIBLE ROOT COLLAR SHALL BE REJECTED. DO NOT COVER THE ROOT BALL WITH SOIL.

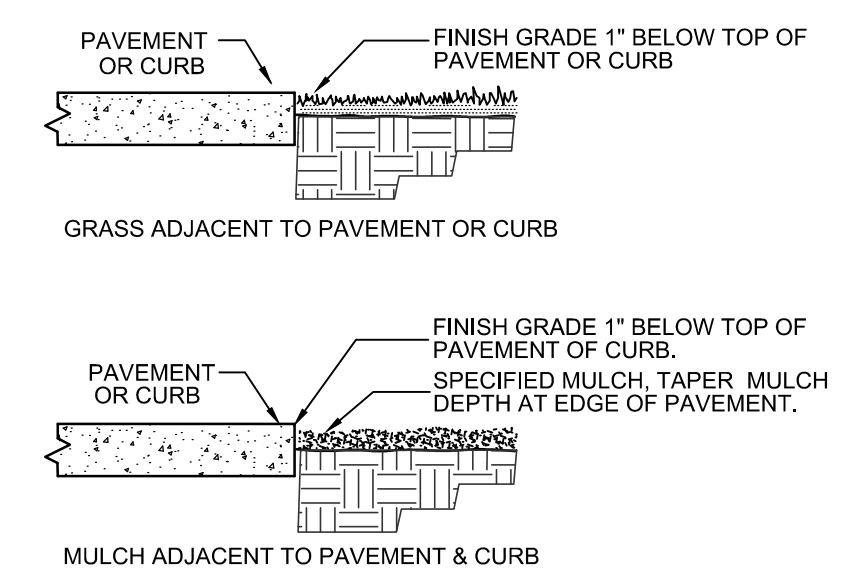
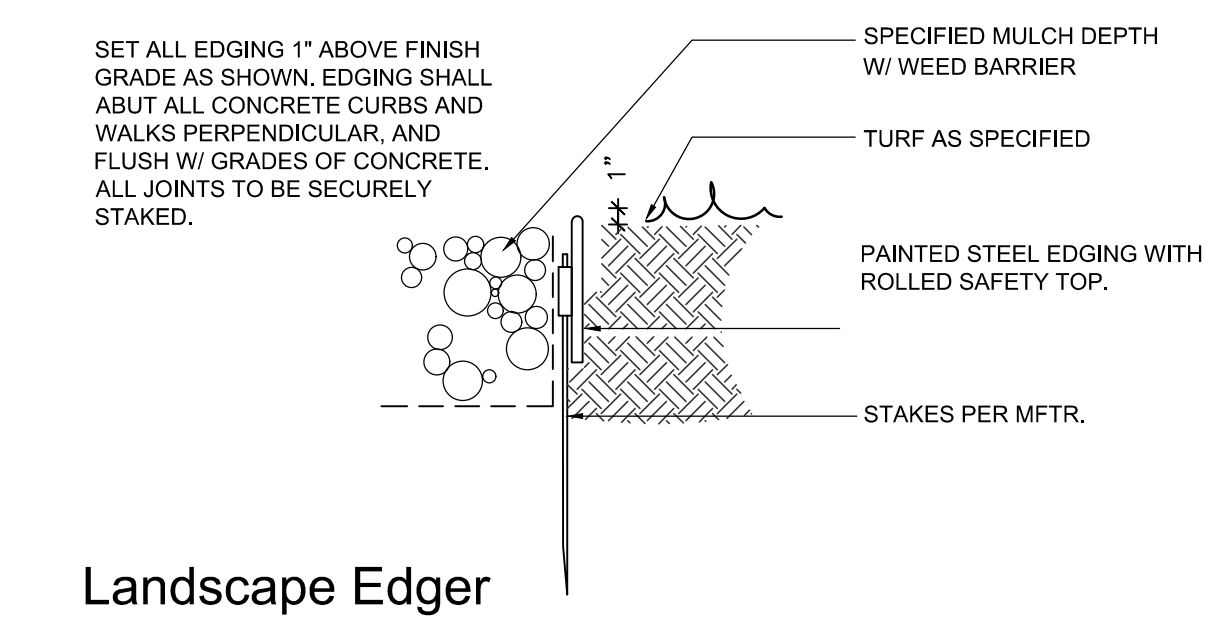
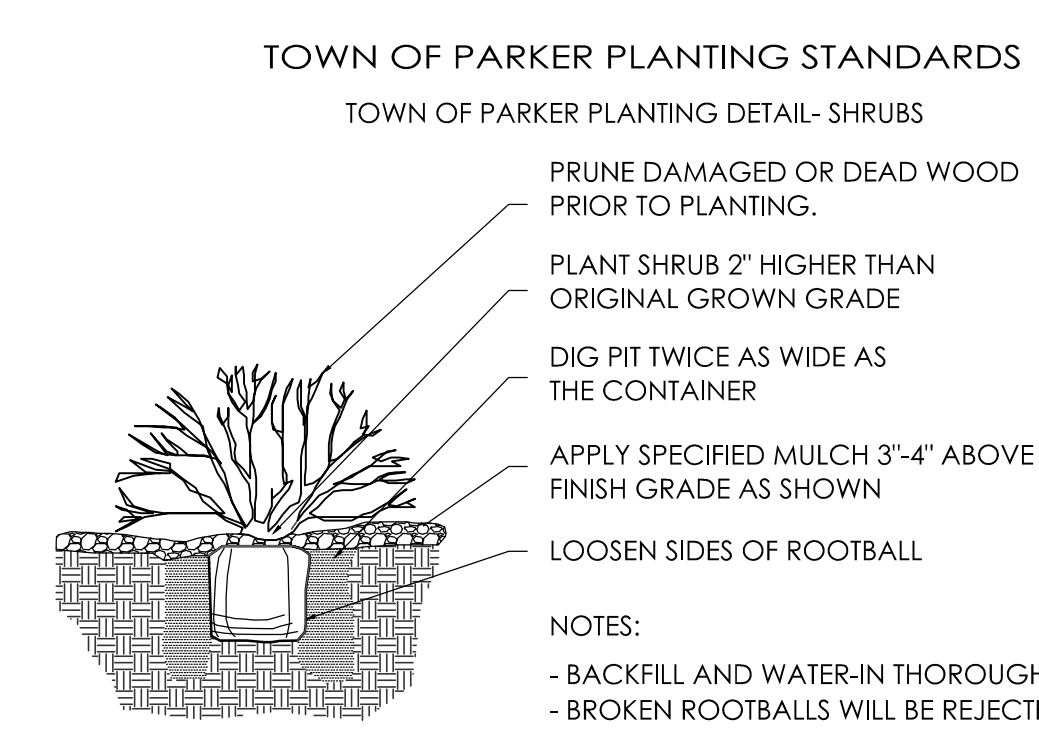
WHEN THE ROOT BALL WILL REMAIN INTACT, CUT OFF BOTTOM 1/4 OF THE WIRE BASKET BEFORE PLACING TREE IN HOLE; CUT OFF REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE BASKET COMPLETELY. AT MINIMUM, THE TOP 1/2 OF THE BURLAP AND BASKET SHALL BE REMOVED FROM THE ROOT BALL ON ALL TREES. REMOVE ALL NYLON TIES, TWINE, ROPE AND BURLAP. REMOVE UNNECESSARY PACKING MATERIAL.

FORM SOIL INTO A 3" TO 5" WATERING RING (SAUCER) AROUND THE PLANTING AREA. THIS IS NOT NECESSARY IN IRRIGATED TURF AREAS. APPLY 2" TO 4" DEPTH OF SPECIFIED MULCH OVER PLANTING AREA AND INSIDE SAUCERS, AWAY FROM TRUNK.

STAKING AND GUYING OF TREES IS OPTIONAL IN MOST PLANTING SITUATIONS. IN AREAS OF EXTREME WINDS, OR ON STEEP SLOPES, STAKING MAY BE REQUIRED TO STABILIZE TREES. STAKING AND GUYING MUST BE REMOVED WITHIN 1 YEAR OF PLANTING DATE.

TREE WRAP IS NOT TO BE USED ON ANY NEW PLANTINGS, EXCEPT IN LATE FALL PLANTING SITUATIONS, AND THEN ONLY AFTER CONSULTATION WITH THE TOWN ARBORIST.

RESETTLING OF IMPROPERLY PLACED TREES WILL ONLY BE ALLOWED IF IT IS DETERMINED THAT DOING SO WILL IN NO WAY COMPROMISE THE ROOT BALL AND SHALL ONLY BE DONE WITH APPROVAL OF THE TOWN ARBORIST.



Parker Water & Sanitation District (PWSD)
Landscape/Irrigation Worksheet

updated 9/24/07

Project Name: HUNTINGTON NATIONAL BANK

Landscape/Irrigation Tap address (physical location of tap) LOT 3A AT PARKER POINTE FIL. 1, AMEND. 1

Landscape Area	High Water TURF (6,000sf = 1 SFE)	Low Water Native Grass and Spray Shrubs & Perennials (10,000sf = 1 SFE)	Drip Irrigated area (20,000sf = 1 SFE)	Sub-Total of Non-Irrigated area (calculated) Areas & Ex. Irrigated area	PWSD one SFE per 6000	SFE Requirement (Sub-Total Calculation divided by 6000 = requirement)
Area #1	0 sf x 1 = 0	7,404 sf x .6 = 4,442.4	14,216 sf x .3 = 4,264.8	0 sf x 0 = 0	8,707.2 sf	6,000
						1.45 SFE's

Worksheet Completed by: Thomas R. Jump ASLA Owner/Developer: _____
 Company: Jump Design Company Attn: _____
 Address: 1733 S. Clarkson Street Billing Address: _____
 Phone #: 303-282-0463 Phone #: _____

ET Controller (with Rain Sensor)
 Manufacturer: _____
 Model number: _____

Tap Size Requirements:
 0 - 1 SFE's requires a 3/4-inch tap
 1.1 - 2.0 SFE's requires a 1-inch tap
 2.1 - 4.0 SFE's requires a 1 1/2-inch tap
 4.1 - 8.0 SFE's requires a 2-inch tap
 8.1 - 16.0 SFE's requires a 3-inch tap



PLANNING & LANDSCAPE ARCHITECTURE
Jump Design Company
 1733 S. Clarkson Street
 Denver, Colorado 80210
 303.282.0463
 tomj@jumpdesignco.com

APRIL 10, 2026

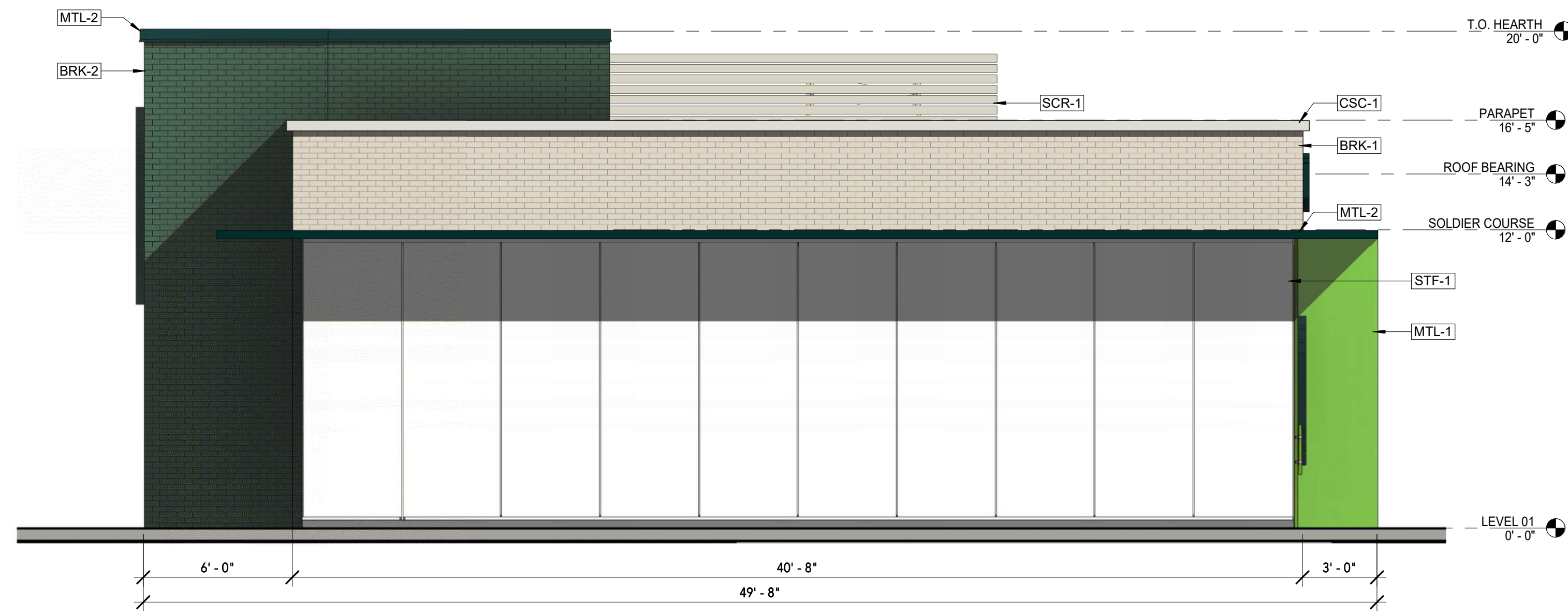
SHEET TITLE

LANDSCAPE NOTES & DETAILS

6 OF 10

LOT 3A PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1 HUNTINGTON NATIONAL BANK

SITUATED IN THE NE 1/4 OF SECTION 3, T.7S., R.66W. OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



2 WEST PRESENTATION ELEVATION
SCALE: 1/4" = 1'-0"

MATERIAL TAKE-OFF TABLES

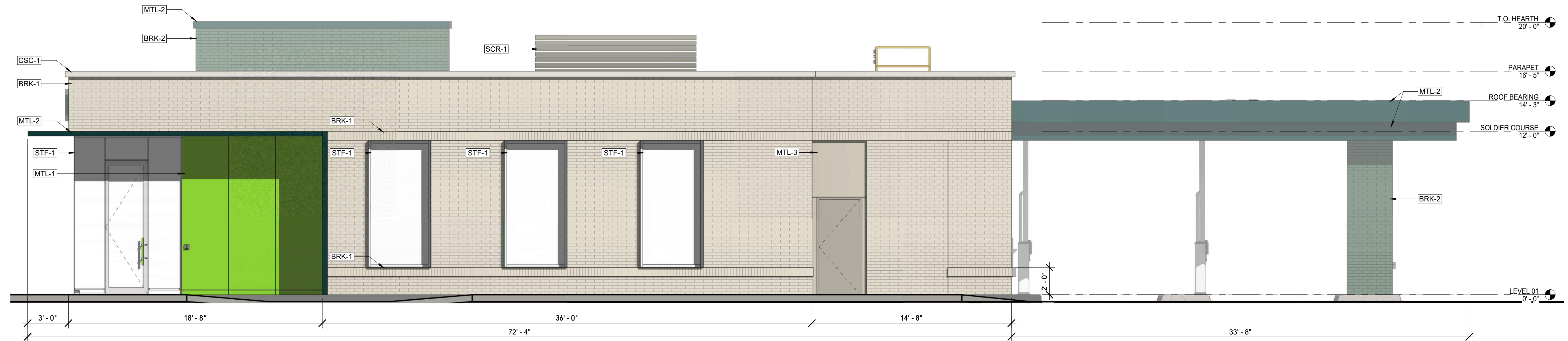
EXTERIOR MATERIALS		
TOTAL WALL AREA (WEST ELEVATION)	871 SF	100%
FENESTRATION	466	54%
BRICK	324	37%
STONE	17	2%
METAL	64	7%
TRANSPARENCY ZONE* TOTAL AREA	298	
TRANSPARENCY AREA	239	80%

EXTERIOR MATERIALS		
TOTAL WALL AREA (EAST ELEVATION)	860 SF	%
FENESTRATION	0	0%
BRICK	713	83%
STONE	17	2%
METAL	130	15%
TRANSPARENCY ZONE* TOTAL AREA	298	
TRANSPARENCY AREA	0	0%

EXTERIOR MATERIALS		
TOTAL WALL AREA (SOUTH ELEVATION)	1338 SF	%
FENESTRATION	247	18%
BRICK	802	60%
STONE	29	2%
METAL	260	19%
TRANSPARENCY ZONE* TOTAL AREA	414	
TRANSPARENCY AREA	132	32%

EXTERIOR MATERIALS		
TOTAL WALL AREA (NORTH ELEVATION)	1338 SF	%
FENESTRATION	361	27%
BRICK	833	62%
STONE	22	2%
METAL	122	9%
TRANSPARENCY ZONE* TOTAL AREA	433	
TRANSPARENCY AREA	186	43%

*TRANSPARENCY ZONE DEFINED PER DEVELOPMENT DESIGN STANDARDS SECTION X.A.2.b



1 SOUTH PRESENTATION ELEVATION
SCALE: 1/4" = 1'-0"

PALMETTO BRICK WHITESTONE GROUT TO MATCH BRICK RUNNING BOND	BELDEN BRICK COLOR: FOUNDER'S GLAZE GROUT CHARCOAL GRAY STYLE: RUNNING BOND	ALUCOBOND METAL PANEL SYSTEM COLOR: CUSTOM ABUNDANT GREEN	ALUCOBOND METAL PANEL SYSTEM COLOR: CUSTOM PROSPEROUS GREEN	ALUCOBOND METAL PANEL SYSTEM COLOR: CUSTOM TO MATCH BRK-1	CITYSCAPES ENVISOR MECHANICAL SCREEN COLOR: SILVER SATIN	KAWNEER GLAZING SYSTEM COLOR: ANODIZED ALUMINUM

SEPTEMBER 17, 2025

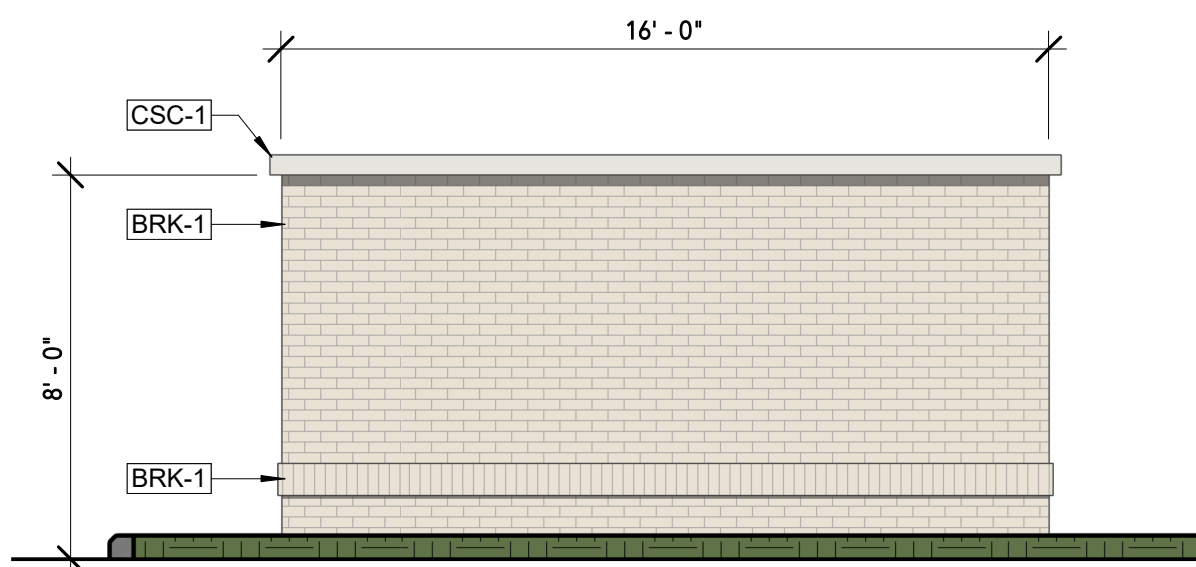
SHEET TITLE
BUILDING ELEVATIONS
7 OF 10

vocon.

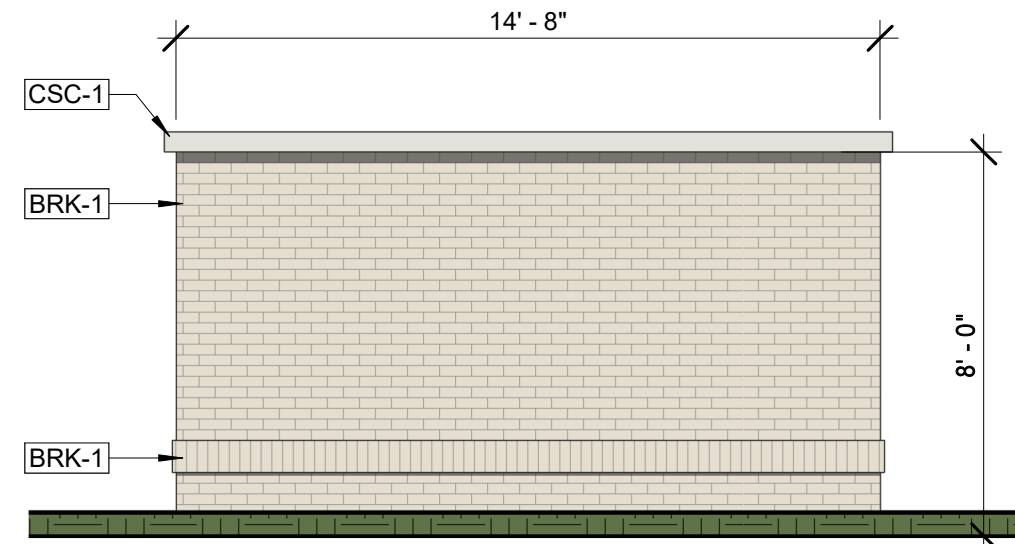
PERCEPTION
DESIGN GROUP, INC.
6901 SOUTH PIERCE STREET, SUITE 220, LITTLETON, CO 80128 303-232-8088
WWW.PERCEPTIONDESIGNGROUP.COM

LOT 3A PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1 HUNTINGTON NATIONAL BANK

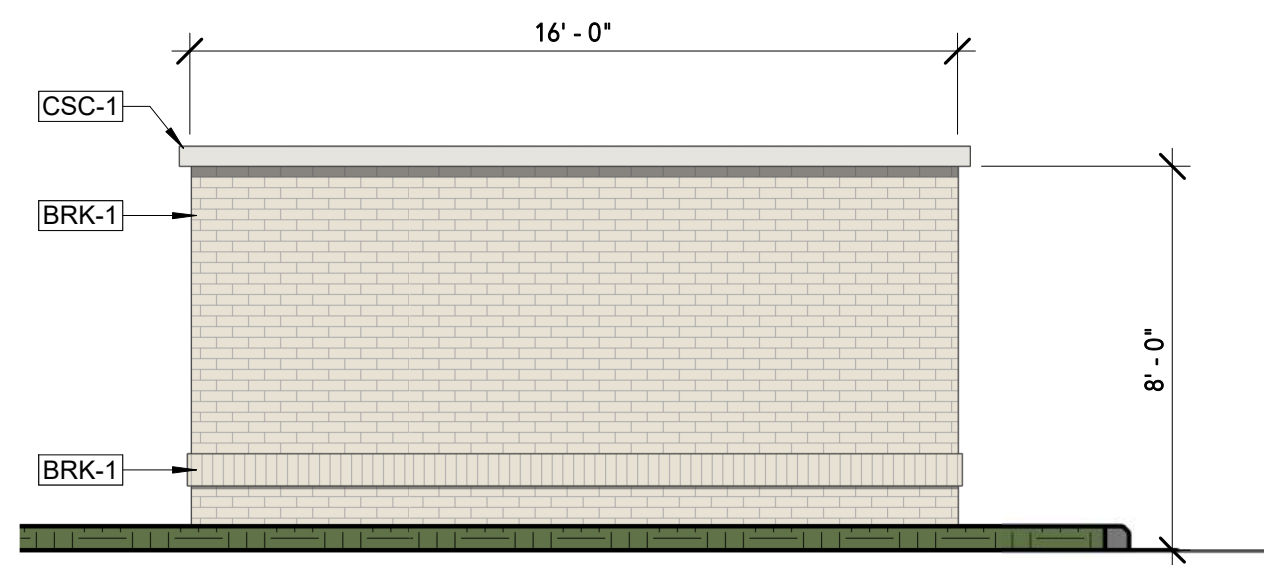
SITUATED IN THE NE 1/4 OF SECTION 3, T.7S., R.66W. OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



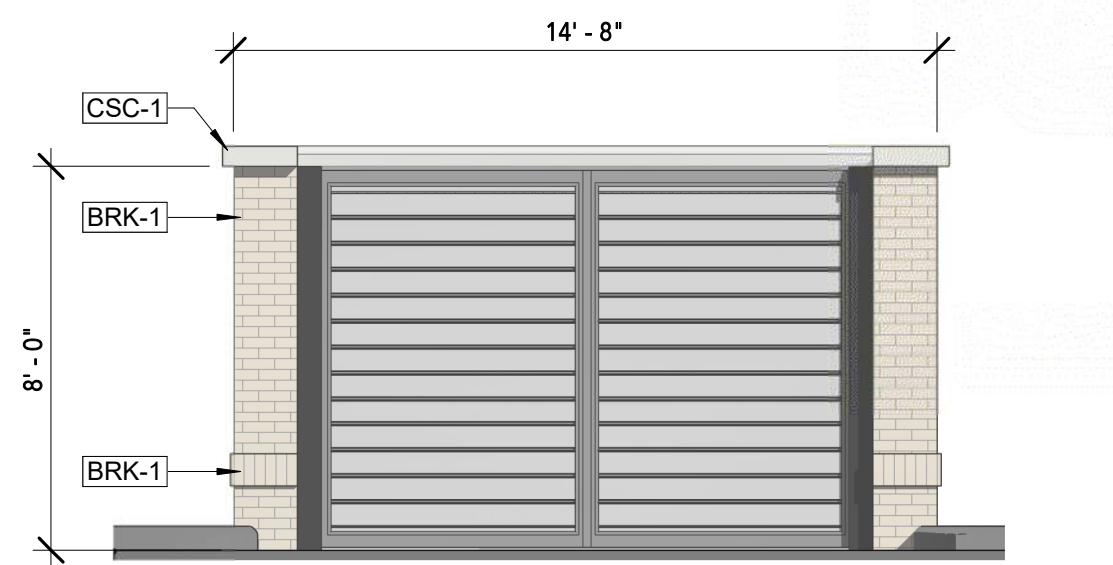
6 DUMPSTER - EAST
SCALE: 1/4" = 1'-0"



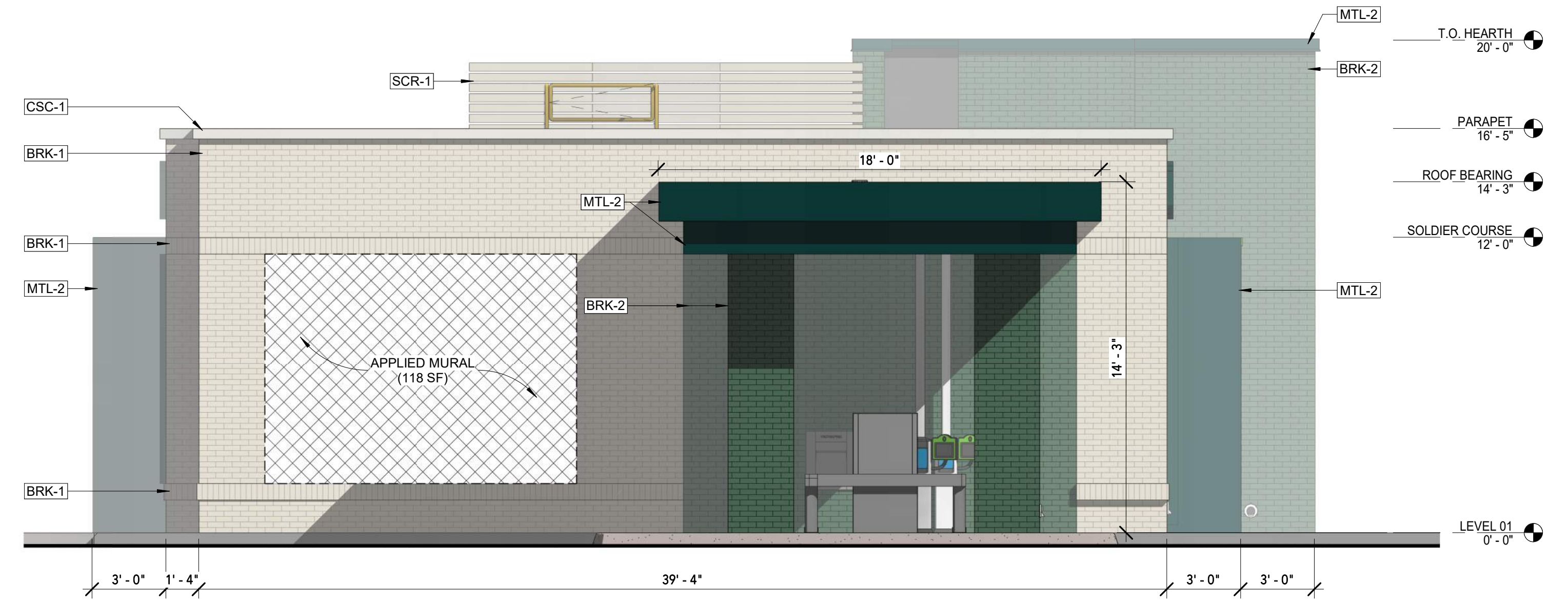
5 DUMPSTER - NORTH
SCALE: 1/4" = 1'-0"



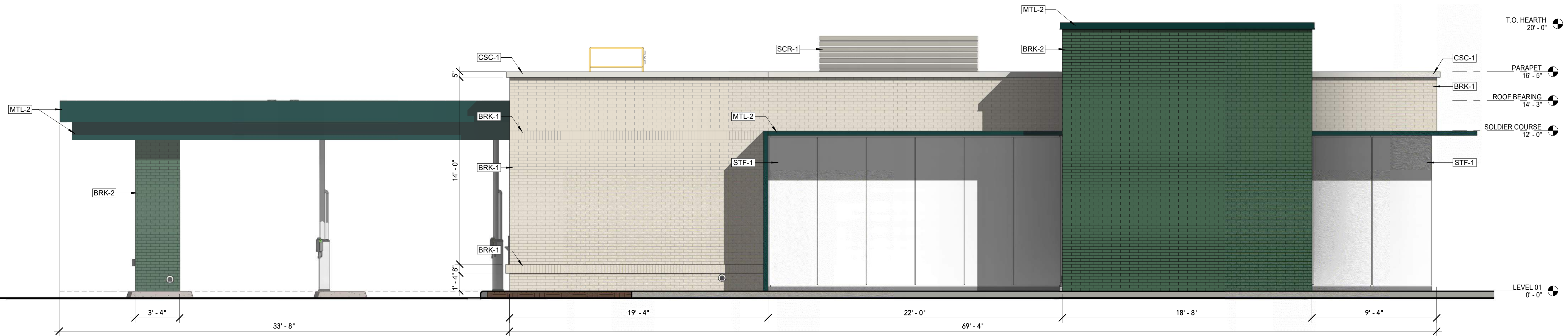
4 DUMPSTER - WEST
SCALE: 1/4" = 1'-0"



3 DUMPSTER - SOUTH
SCALE: 1/4" = 1'-0"



2 EAST PRESENTATION ELEVATION
SCALE: 1/4" = 1'-0"



1 NORTH PRESENTATION ELEVATION
SCALE: 1/4" = 1'-0"

BRK-1 PALMETTO BRICK WHITESTONE GROUT: TO MATCH BRICK RUNNING BOND	BRK-2 BELDEN BRICK COLOR: FOUNDER'S GLAZE GROUT: CHARCOAL GRAY STYLE: RUNNING BOND	MTL-1 ALUCOBOND METAL PANEL SYSTEM COLOR: CUSTOM ABUNDANT GREEN	MTL-2 ALUCOBOND METAL PANEL SYSTEM COLOR: CUSTOM PROSPEROUS GREEN	MTL-3 ALUCOBOND METAL PANEL SYSTEM COLOR: CUSTOM TO MATCH BRK-1	SCR-1 CITYSCAPES ENVISOR MECHANICAL SCREEN COLOR: SILVER SATIN	STF-1 KAWNEER GLAZING SYSTEM COLOR: ANODIZED ALUMINUM

SEPTEMBER 17, 2025

SHEET TITLE
BUILDING ELEVATIONS
8 OF 10

vocon.

PERCEPTION
DESIGN GROUP, INC.
6901 SOUTH PIERCE STREET, SUITE 220, LITTLETON, CO 80128 303-232-8088
WWW.PERCEPTIONDESIGNGROUP.COM

LOT 3A PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1 HUNTINGTON NATIONAL BANK

SITUATED IN THE NE 1/4 OF SECTION 3, T.7S., R.66W. OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PAGE 1 OF 11

Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
□	F	2	Lithonia Lighting	TFX2 LED 40K Mvolt	TFX2 LED Floodlight 12,700lm	1	12827	0.9	93.1
○	P11	9	LSI INDUSTRIES, INC.	LAD6-LAD6R-LCD6-LED-14L-40-WF-TR6R-SF-HAZ	LCD6-LAD6-LAD6R	1	1335	0.9	14
□	TYPE 5	4	Lithonia Lighting	DSXO LED P3 30K 80CRI TSM	D-Series Size 0 Area Luminaire P3 Performance Package 3000K CCT 80 CRI Type 5 Medium	1	8000	0.9	68.95
□	TYPE 4-HS	4	Lithonia Lighting	DSXO LED P3 30K 80CRI T4M HS EGS-F	D-Series Size 0 Area Luminaire P3 Performance Package 3000K CCT 80 CRI Type 4 Medium Houseside Shield Forward External Glare Shield	1	3884	0.9	68.95
□	TYPE L	2	Lithonia Lighting	DSXO LED P2 30K 80CRI LCCO EGS	D-Series Size 0 Area Luminaire P2 Performance Package 3000K CCT 80 CRI Left Corner Cutoff Extreme Backlight Control External Glare Shield	1	3918	0.9	45.14
□	TYPE R	2	Lithonia Lighting	DSXO LED P2 30K 80CRI RCCO EGS	D-Series Size 0 Area Luminaire P2 Performance Package 3000K CCT 80 CRI Right Corner Cutoff Extreme Backlight Control External Glare Shield	1	3918	0.9	45.14
□	WP1	1	Lithonia Lighting	WDGE1 LED P1 30K 90CRI VW	WDGE1 LED WITH P1 - PERFORMANCE PACKAGE, 3000K, 90CRI, VISUAL COMFORT WIDE OPTIC	1	1030	0.9	10.0002
○	A	2	Gotham Architectural Lighting	EVO2 40/05 90CRI MWD AR LD	EVO 2 INCH RECESSED DOWNLIGHT, ROUND, 4000K, 500 LUMENS, CLEAR, MATTE-DIFFUSE, MEDIUM WIDE, 90 CRI	1	499	0.9	6.33

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Drive Up Canopy	+	10.8 fc	17.0 fc	2.7 fc	6.3:1	4.0:1
Parking/Drive Lanes	+	2.1 fc	4.4 fc	0.8 fc	5.5:1	2.6:1
Walkways	+	2.7 fc	9.1 fc	1.2 fc	7.6:1	2.3:1
Property Line	+	0.0 fc	0.3 fc	0.0 fc	N/A	N/A
Landscape Areas	+	0.4 fc	6.8 fc	0.0 fc	N/A	N/A

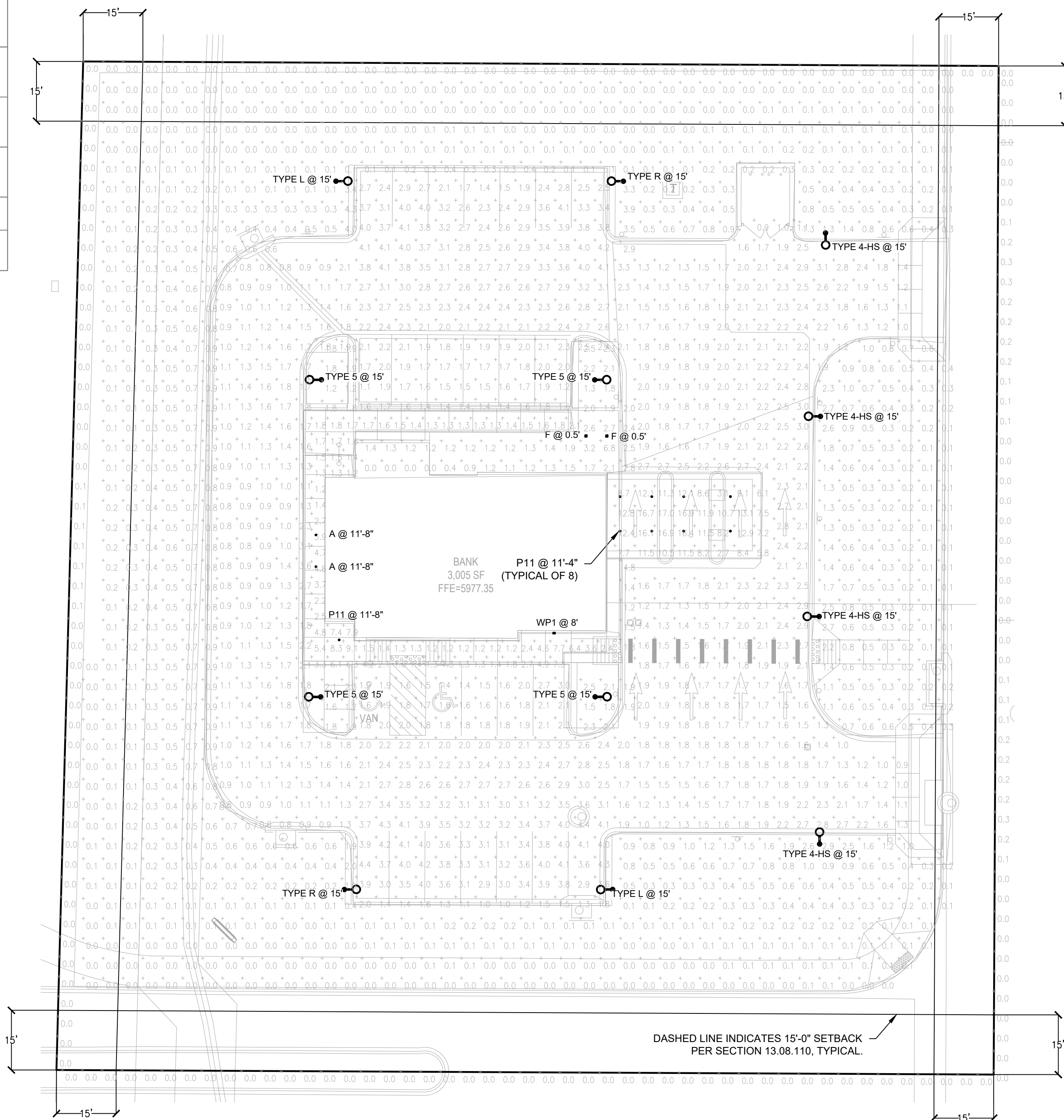
LUMENS PER SQUARE FOOT:

LUMENS PER SQUARE FOOT
TOTAL LUMENS - 102,905 LUMENS ON PROPERTY
SITE - 59,025.5 SF - BUILDING SQFT (3005 SF) = 56,020.5 SF
LUMENS PER SQUARE FOOT = 1.8369 LUMENS PER SQUARE FOOT

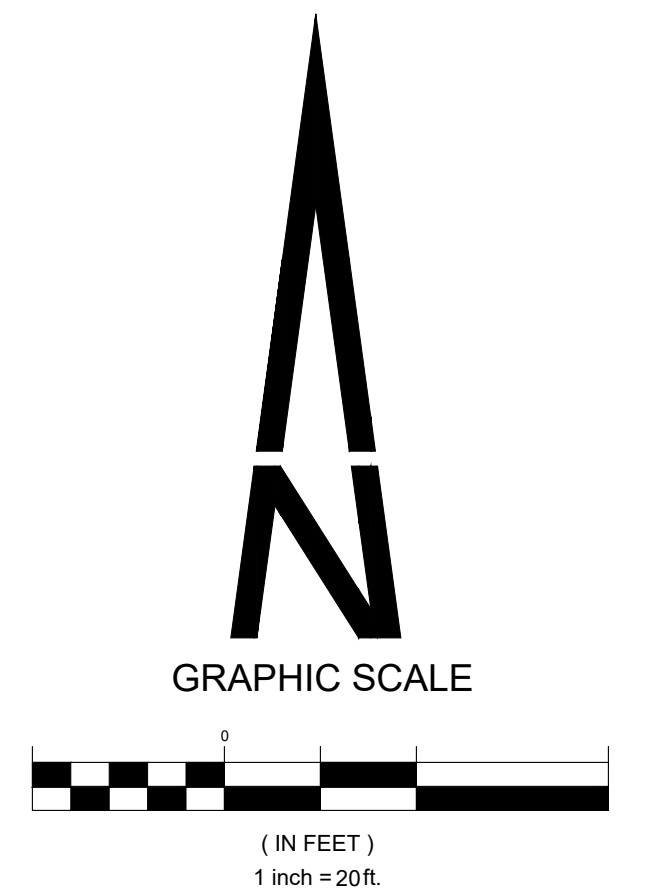
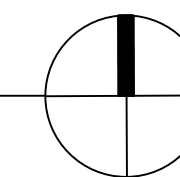
LIGHTING CONTROLS NOTE:

PER SECTION 13.08.110 (E) (8) ALL ILLUMINATION SHALL BE REDUCED BY AT LEAST 70 PERCENT ONE HOUR AFTER THE CLOSE OF BUSINESS AND SHALL NOT EXCEED THAT LEVEL OF ILLUMINATION UNTIL AT LEAST ONE HOUR PRIOR TO THE OPENING OF THE BUSINESS. THIS REDUCTION IN ILLUMINATION MAY BE ACHIEVED BY DIMMING THE LAMPS WITHIN A LIGHT FIXTURE (LUMINAIRE) AND/OR TURNING OFF A LUMINAIRE OR A PORTION OF A MULTI-LUMINAIRE ASSEMBLAGE.

THESE REQUIREMENTS WILL BE MET DURING VIA CONTROLS DURING DESIGN.



SITE PHOTOMETRIC PLAN
1"=20'-0"



JULY 25, 2025

SHEET TITLE
PHOTOMETRIC PLAN
9 OF 10

LOT 3A PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1 HUNTINGTON NATIONAL BANK

SITUATED IN THE NE 1/4 OF SECTION 3, T.7S., R.66W. OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
PAGE 1 OF 11

gotham | E V O[®]
Multiple Layers of Light

Luminaire Type: **A**
Catalog Number: **2"**

General Illumination Round Downlight

2"

Features Set

- Beaming distribution with feathered edges provides even illumination on horizontal and vertical surfaces
- Standing "leg" optical design
- 50° cutoff to source and source image
- Field interchangeable optic
- Fully serviceable and upgradeable lensed LED light engine
- 70% lumen maintenance at 60,000 hours
- 2.5 SDCM, 85 CRI (typical), 90+ CRI (optional)
- Features are wet location, covered ceiling

Distribution

median 5.5 SMI, median wide 1.6 SMI, wide 1.2 SMI

Superior Performance

Nominal Lumens	2500	5000	7500	10000	15000	20000
Beamwidth	26.5	14.0	10.0	10.0	10.0	10.0
Wattage	3.4	6.3	9.7	12.7	21.2	31.7
Efficiency	78	85	83	84	73	66

Coordinated Apertures | Multiple Layers of Light

General Illumination Layer | EVO

High Center Beam Layer | Incito

EVO + Incito — Multiple Layers of Light

Core

Healthcare

Special Applications

ITEM INFO
page 1 of 7

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TFX2 LED Floodlights

TFX2 with Yoke Mount

Introduction

The TFX2 LED flood luminaire is a cost-effective, energy-efficient, long-life solution for replacing metal halide or HPS floodlights. Delivering 13,200 lumens, the TFX2 can replace up to 250W metal halide while saving 68% in energy costs. Reliable IP66 construction and excellent LED lumen maintenance will ensure a long service life, avoiding the multiple lamp changes of the metal halide luminaires they replace. The TFX2 is available with yoke mounting options.

Ordering Information

Color Temp	Lumen Output	Input Power	Efficiency (lumens per watt)	Finish	Voltage	Mounting	Catalog Number	CI Code	LPC Code
4000K	13,200	94W	140	Dark Bronze	120V/277V	Yoke	TFX2 LED 40K MVOLT YK DOBBD	*2552ME	1F30476/10234
5000K						Yoke	TFX2 LED 50K MVOLT YK DOBBD	*2581FK	1F30484/11552

FEATURES & SPECIFICATIONS

INTENDED USE
The TFX2 LED floodlight is designed to provide a cost-effective, energy-efficient solution for the one-to-one replacement of existing metal halide or high-pressure sodium lighting. The TFX2 is ideal for replacing up to 250W HPS luminaires in parking lots, signage, ports, and other floodlighting applications. TFX luminaires deliver a uniform, wide flood distribution.

CONSTRUCTION
The TFX2 LED floodlight features a die-cast aluminum main body with optional thermal management for both aluminum LED arrays and externally mounted LED. The light engines are factory pre-assembled and sealed against moisture or environmental contaminants.

ELECTRICAL
Light engine configurations consist of high-efficiency LEDs and LED lumen maintenance IC. Light engine options include 4000K and 5000K color temperatures (CCT) systems with maximum of 30, 70, 100, 150, 200, 250, 300, 350, 400, 450, 500, 550, 600, 650, 700, 750, 800, 850, 900, 950, 1000, 1050, 1100, 1150, 1200, 1250, 1300, 1350, 1400, 1450, 1500, 1550, 1600, 1650, 1700, 1750, 1800, 1850, 1900, 1950, 2000, 2050, 2100, 2150, 2200, 2250, 2300, 2350, 2400, 2450, 2500, 2550, 2600, 2650, 2700, 2750, 2800, 2850, 2900, 2950, 3000, 3050, 3100, 3150, 3200, 3250, 3300, 3350, 3400, 3450, 3500, 3550, 3600, 3650, 3700, 3750, 3800, 3850, 3900, 3950, 4000, 4050, 4100, 4150, 4200, 4250, 4300, 4350, 4400, 4450, 4500, 4550, 4600, 4650, 4700, 4750, 4800, 4850, 4900, 4950, 5000, 5050, 5100, 5150, 5200, 5250, 5300, 5350, 5400, 5450, 5500, 5550, 5600, 5650, 5700, 5750, 5800, 5850, 5900, 5950, 6000, 6050, 6100, 6150, 6200, 6250, 6300, 6350, 6400, 6450, 6500, 6550, 6600, 6650, 6700, 6750, 6800, 6850, 6900, 6950, 7000, 7050, 7100, 7150, 7200, 7250, 7300, 7350, 7400, 7450, 7500, 7550, 7600, 7650, 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