

LEGEND	
CD	PROPERTY LINE
CF	CHECK DAM
CP	CONSTRUCTION FENCE
CWA	CULVERT PROTECTION
DD	CONCRETE WASHOUT AREA
DP	Dewatering
DTC	DIVERSION DITCH
ECB	DETENTION POND PROTECTION
IPAN	DEBRIS TRASH CONTROL
IPAP	EROSION CONTROL BLANKET
IPCOG	INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT
IPCOS	Inlet Protection for Area Inlets in Pavement
LP	INLET PROTECTION, CURB ON GRADE, TYPE R INLET
MWP	INLET PROTECTION, CURB ON SUMP, TYPE R INLET
PTP	Lot Protection
RS	MASONRY WORK PROTECTION
RSC	PORTABLE TOILET PROTECTION
RSS	Rough Cut Street Control
SCL	ROCK SOCK
SF	Rock Sock in Swale
SMC	SEDIMENT CONTROL LOGS
SR	PROPOSED SILT FENCE
SSA	SEED MULCH CRIMP
STP	SURFACE ROUGHENING
TI	STABILIZED STORAGE AREA
TSB	TEMPORARY IRRIGATION
TTM	TEMPORARY SEDIMENT BASIN
VTC	TUBULAR TRAFFIC MARKER
	VEHICLE TRACKING CONTROL
	DRAINAGE DIRECTION

REVISIONS	DATE	DESCRIPTION
1	09/17/25	1ST SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		

PERCEPTION DESIGN GROUP, INC.
 6901 SOUTH PIERCE STREET, SUITE 315, LITTLETON, CO 80120 303-232-9088
 WWW.PERCEPTIONDESIGNGROUP.COM

PREPARED UNDER THE DIRECT SUPERVISION OF JERRY W. DAVIDSON, P.E. COLORADO REG # 30226 FOR AND ON BEHALF OF PERCEPTION DESIGN GROUP, INC.

Show Parker's Complete Legend of Keys/Symbols

Legend revised to show complete legend.

INITIAL CBMP PLAN

HUNTINGTON NATIONAL BANK

LOT 3A PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE NORTHEAST 1/4 OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M., TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

Design By: CLN
 Approved By: JWD
 Project No.: 2025-005

SHEET
C5.10

No Work Shall Occur in This Area

No Work Shall Occur in This Area

Please show jersey barriers or construction fence along the sides of the VTC to ensure use of the entire 50-foot pad. Move CWA down to the SSA.

No Work Shall Occur in This Area

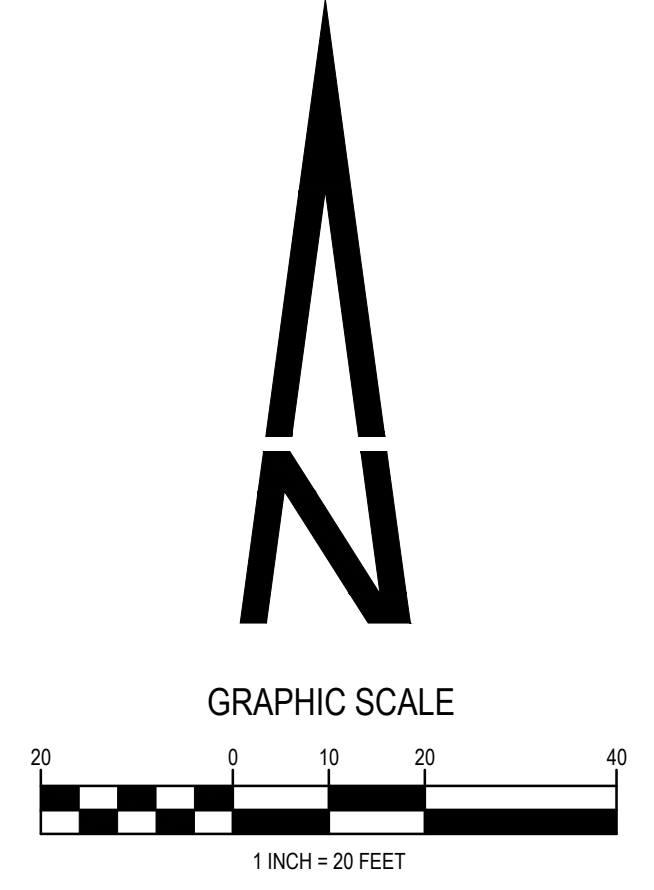
TOWN OF PARKER NOTES

- ALL SILT FENCES MUST BE INSTALLED ON 5-FOOT CENTERS.
- THE TRUE LOCATION OF THE CWA MAY BE DETERMINED BY THE TOWN AND ECS.
- THE TRUE LOCATION OF THE PTP MAY BE DETERMINED BY THE TOWN AND ECS.
- PLACE SCL IMMEDIATELY BEHIND CURB AND SIDEWALK DOWN GRADIENT OF DISTURBED AREAS. USE 12" LOGS.
- IF SF IS NOT INSTALLED ON THE BACK OF CURB, ECB MAY BE NECESSARY IN THE GAP.
- ALL SOILED STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVE AISLES, ETC., MUST BE THOROUGHLY CLEANED BY 5 PM EACH WORK DAY AND DURING THE DAY WHEN LEVEL OF SOIL EXCEEDS A LOW LEVEL AS DETERMINED BY THE TOWNS INSPECTOR.
- LOT PROTECTION IS REQUIRED ON ALL COMMERCIAL LOTS WHEN LANDSCAPING IS NOT POSSIBLE.
- TO REDUCE THE POTENTIAL FOR CLOGGING OF DEBRIS GRATES, NO STRAW MULCH SHALL BE USED WITHIN THE EXCESS URBAN RUNOFF VOLUME OF A DETENTION BASIN. INSTEAD, EROSION CONTROL BLANKET SHALL BE INSTALLED FOR A WIDTH OF AT LEAST 6- FEET ON BOTH SIDES OF THE CONCRETE LOW FLOW CHANNELS OR UP TO A DEPTH OF 1-FOOT IN SOIL RIPRAP OR BENCHED LOW FLOW CHANNELS. ADDITIONALLY, HYDRAULICALLY-APPLIED WOOD FIBER MULCH, STABILIZED FIBER MATRIX, BONDED FIBER MATRIX, OR FLEXIBLE GROWTH MEDIUM SHALL BE USED IN ALL OTHER AREAS WITHIN THE EXCESS URBAN RUNOFF VOLUME OF THE DETENTION BASIN. THE BLANKET AND HYDRAULICALLY-APPLIED MULCH SHALL COMPLY WITH THE MATERIALS AND INSTALLATION REQUIREMENTS FOR EROSION CONTROL BLANKETS AS REQUIRED BY THE TOWNS CBMP PROGRAM, AND WHERE APPLICABLE, THE PRODUCT MANUFACTURER.



THE TYPE, SIZE, LOCATION, AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ON THE SITE, AND OFFSITE IN WORK AREAS. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO DATE OF CONSTRUCTION. FOR INFORMATION CONTACT: UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) - 1-800-922-1987. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.



THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER

TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

