

LOT 3A PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1

HUNTINGTON NATIONAL BANK

SITUATED IN THE NE 1/4 OF SECTION 3, T.7S., R.66W. OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PAGE 1 OF 10

TOWN OF PARKER GENERAL NOTES

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE LATEST EDITION OF THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT. THE TOWN RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- A PRECONSTRUCTION MEETING SHALL BE SCHEDULED A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. A PRECONSTRUCTION MEETING WILL NOT BE SCHEDULED UNTIL THE GRADING PERMIT AND ALL OTHER NECESSARY PERMITS HAVE BEEN OBTAINED.
- THE TOWN INSPECTOR SHALL BE CONTACTED A MINIMUM OF 24 HOURS PRIOR TO A NECESSARY INSPECTION. IF A TOWN INSPECTOR IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE PERMITTEE MAY COMMENCE WORK IN THE TOWN INSPECTOR'S ABSENCE. HOWEVER, THE TOWN OF PARKER RESERVES THE RIGHT TO REJECT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
- LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION IN ACCORDANCE WITH ALL STATE AND LOCAL LAWS. THE CONTRACTOR SHALL FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS, APPROVED BY THE TOWN OF PARKER DIRECTOR OF ENGINEERING/PUBLIC WORKS, AND ONE (1) COPY OF THE ROADWAY DESIGN AND CONSTRUCTION CRITERIA AT THE JOB SITE AT ALL TIMES.
- A PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE SUBMITTED TO THE TOWN OF PARKER FOR ACCEPTANCE WITH THE RIGHT-OF-WAY USE PERMIT APPLICATION. A PERMIT WILL NOT BE ISSUED WITHOUT AN APPROVED TRAFFIC CONTROL PLAN FOR USE DURING CONSTRUCTION.
- ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION."
- COMPACTION OF ALL TRENCHES MUST BE ATTAINED AND COMPACTION TEST RESULTS SUBMITTED TO THE DEVELOPMENT REVIEW ENGINEER IN PRELIMINARY FORM PRIOR TO PAVING AND IN FINAL FORM PRIOR TO PROBATIONARY ACCEPTANCE.
- THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE PLAN MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH APPROVAL FROM THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.
- PLANS ARE APPROVED FOR PERIOD OF 1 (ONE) YEAR FROM THE DATE SHOWN ON THE TOWN OF PARKER SIGNATURE BLOCK. PLANS SHALL BE RESUBMITTED TO THE TOWN FOR APPROVAL AFTER 1 YEAR. THE COST OF THE PLAN RE-REVIEW AND RE-ACCEPTANCE WILL BE CHARGED BACK TO THE DEVELOPER INCLUDING ALL TIME AND EXPENSES OF THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING IS THE RESPONSIBILITY OF THE CONTRACTOR. SUCH RESTORATION MAY BE REQUIRED TO BE COMPLETED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
- ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
- ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY." FOR INFORMATION, PLEASE CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, WQCD-PE-B2, 4300 CHERRY DRIVE SOUTH, DENVER, COLORADO 80222-1530. ATTENTION: PERMITS AND ENFORCEMENT SECTION. PHONE (303) 692-3500.
- IF DEWATERING IS REQUIRED, A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED FOR DISCHARGES TO A STORM SEWER, CHANNEL, IRRIGATION DITCH, ANY STREET THAT IS TRIBUTARY TO THE AFOREMENTIONED FACILITIES, OR ANY WATER OF THE UNITED STATES.
- ALL REFERENCES TO BOOKS, PAGES, MAPS, AND RECEPTION NUMBER ARE PUBLIC DOCUMENTS ON FILE WITH THE COUNTY CLERK AND RECORDER'S OFFICE.

TOWN OF PARKER

PUBLIC WORKS
20120 E. MAIN STREET
PARKER, CO 80138
(303) 840-9546

GAS PROVIDER

XCEL ENERGY
550 15TH STREET, SUITE 700
DENVER, CO 80202 1-800-628-2121

WATER/SEWER PROVIDER

PARKER WATER AND SANITATION DISTRICT
18100 E. WOODMAN DR.
PARKER, CO 80134
(303) 841-4627
CONTACT: ROBERT RAMSEY

ELECTRIC PROVIDER

CORE ELECTRIC COOPERATIVE
5496 NORTH U.S. HIGHWAY 85
SEDALIA, CO 80135
(303) 680-3100
CONTACT: BROOKS KAUFMAN

FIRE PROTECTION

PARKER FIRE PROTECTION DISTRICT
10235 PARKGLENN WAY
PARKER, CO 80138
(720) 274-3700

CABLE PROVIDER

XFINITY STORE BY COMCAST
18300 COTTONWOOD DR, SUITE 101
PARKER, CO 80138
(800) 934-6489

DEVELOPER

HUNTINGTON NATIONAL BANK
720-254-7258
CONTACT: CHRIS EVANS
CHRIS.EVANS@HUNTINGTON.COM

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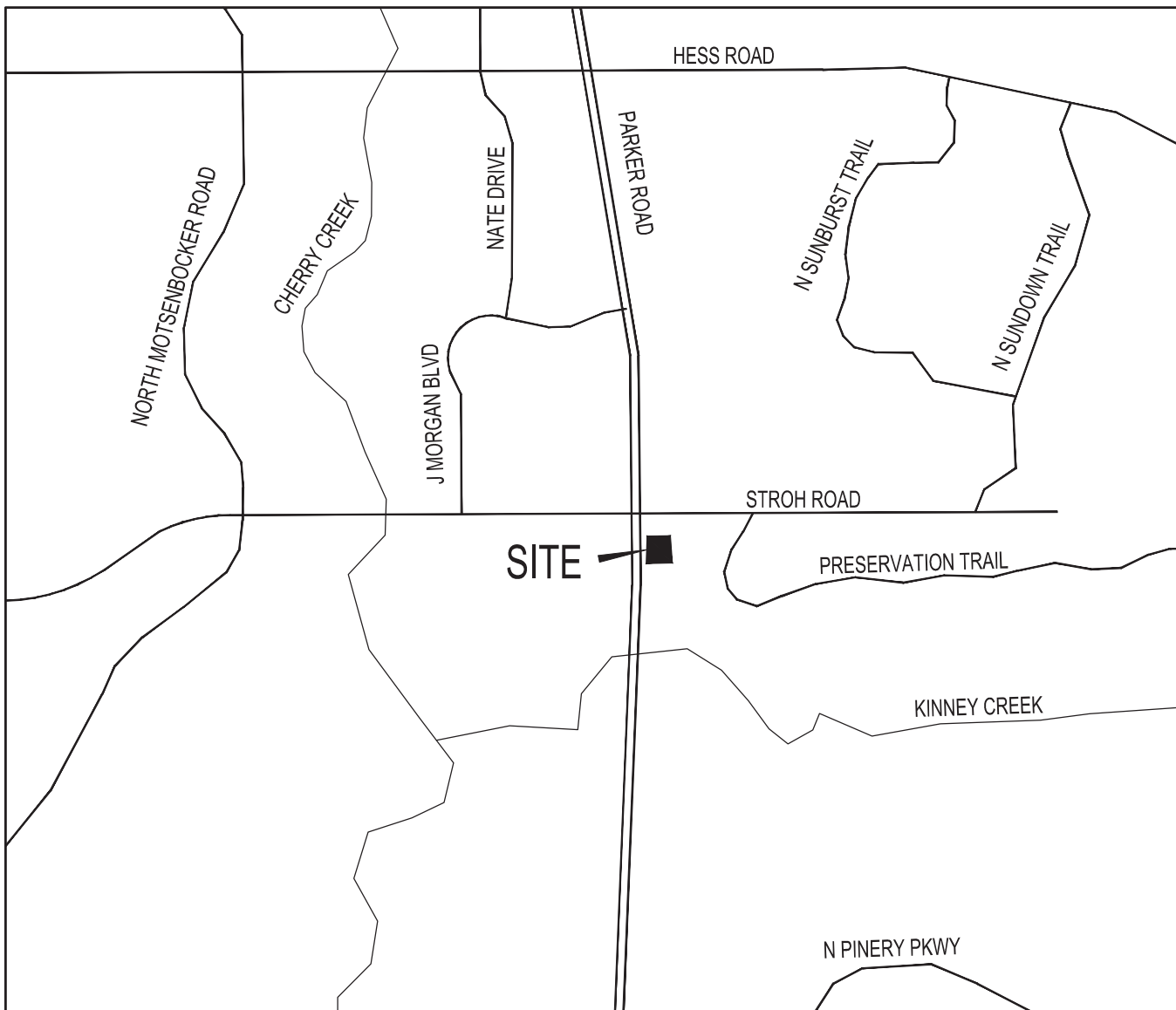
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AURORA, CO 80012
(303) 337-1393
CONTACT: JEFFERY A. MILLER
JEFFM@ENGINEERINGSERVICECO.COM



VICINITY MAP

SCALE: 1" = 2000'



SITE DATA TABLE

ZONING DISTRICT	MIXED-USE COMMUNITY	
GROSS SITE AREA	58,985 SF	1.3541 AC
BUILDING GROSS FLOOR AREA	2,885 SF	5%
PARKING/DRIVES	28,556 SF	48%
SIDEWALKS	5,706 SF	10%
LANDSCAPING	21,838 SF	37%
	REQUIRED	PROPOSED
BUILDING HEIGHT	45' MAX	20'
BUILDING SETBACKS		
FRONT	25'	113.3'
SIDE ADJACENT TO DECLAN DR	5'	96.3'
SIDE ADJACENT TO PARKER RD	10'	67.7'
REAR	10'	93.4'
BICYCLE PARKING		
TOTAL REQUIRED	2	(1/20 PARKING STALLS)
TOTAL PROVIDED	2	

PARKING INFORMATION: HUNTINGTON NATIONAL BANK						
DESCRIPTION	BUILDING AREA (SF)	RATIO	REQUIRED SPACES			
			REGULAR	ACCESSIBLE	VAN ACCESSIBLE	TOTAL
BANK	3005	1 SPACE/ 300 SF NLA	8	1	1	10
PROVIDED SPACES						
STALL DIMENSIONS:			REGULAR	ACCESSIBLE	VAN ACCESSIBLE	TOTAL
9' X 18'			16	1	1	18
9' X 18' SPACES WITH ADJACENT 18" CONCRETE STRIP (ADJACENT TO LANDSCAPE ISLANDS)			7	0	0	7
TOTAL WITHIN PARKING LOT:			23	1	1	25

SHEET INDEX

SHEET 1
SHEET 2
SHEET 3
SHEET 4
SHEET 5
SHEET 6
SHEET 7
SHEET 8
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SHEET 10

COVER SHEET
EXISTING CONDITIONS PLAN
SITE PLAN
LANDSCAPE PLAN
LANDSCAPE NOTES & DETAILS
LANDSCAPE NOTES & DETAILS
BUILDING ELEVATIONS
BUILDING ELEVATIONS
PHOTOMETRIC PLAN
LUMINAIRE CUT SHEETS

JUNE 29, 2026

SHEET TITLE

COVER SHEET
1 OF 10



LOT 3A PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1

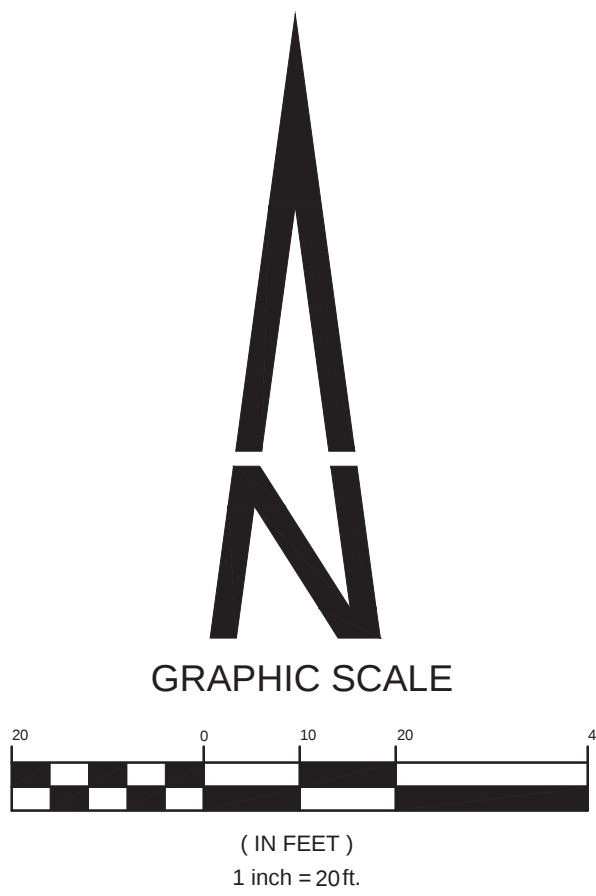
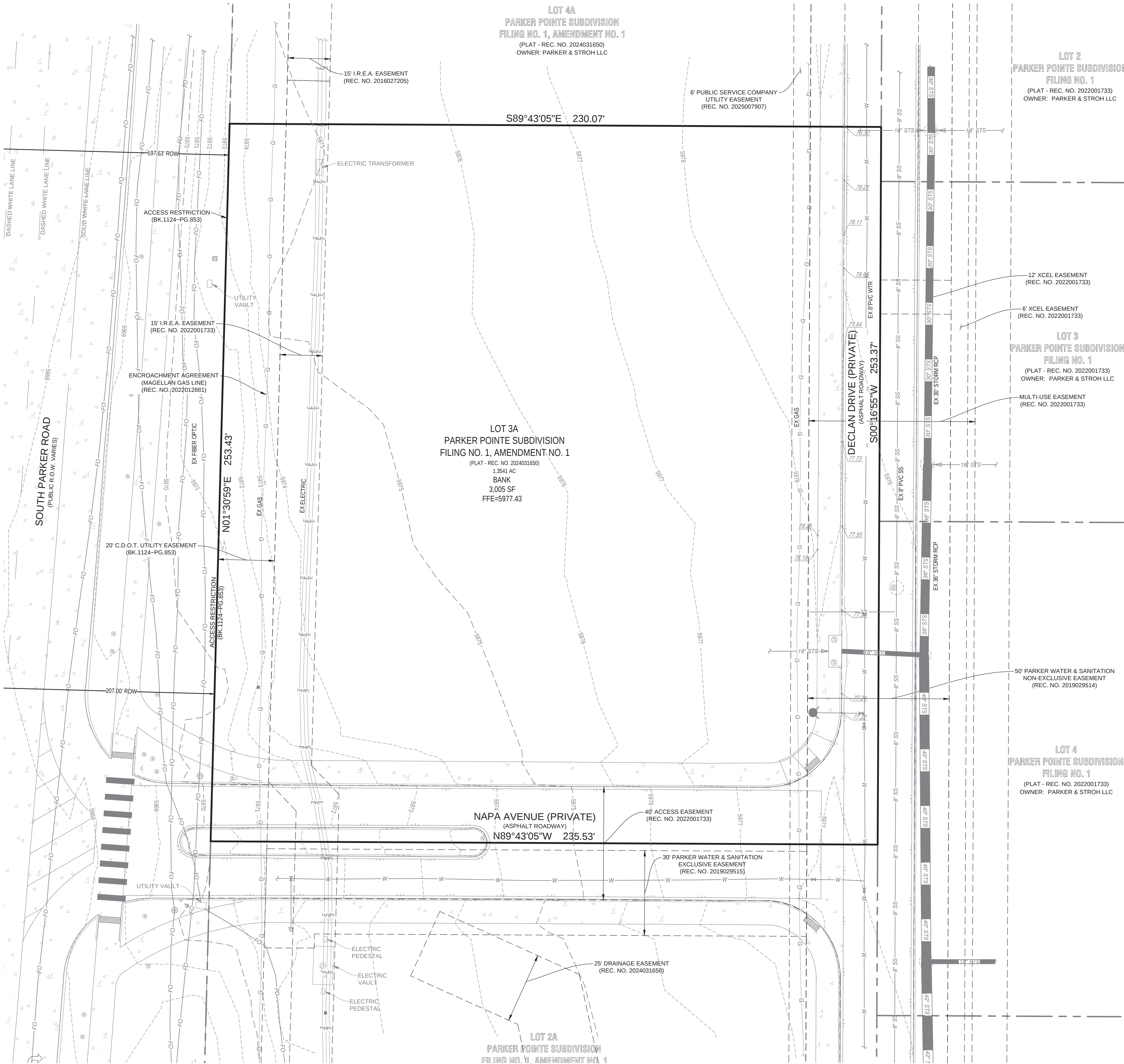
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TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

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LEGEND

- PROPERTY LINE
- CURB AND GUTTER
- FIRE HYDRANT
- EXISTING EASEMENT
- EXISTING CONCRETE PAVEMENT
- 18" STS
- 8" SS
- W
- E
- G
- FO
- 5260
- STORM SEWER
- SANITARY SEWER
- WATER
- ELECTRIC
- GAS
- FIBER OPTIC
- CONTOUR



JUNE 29, 2026

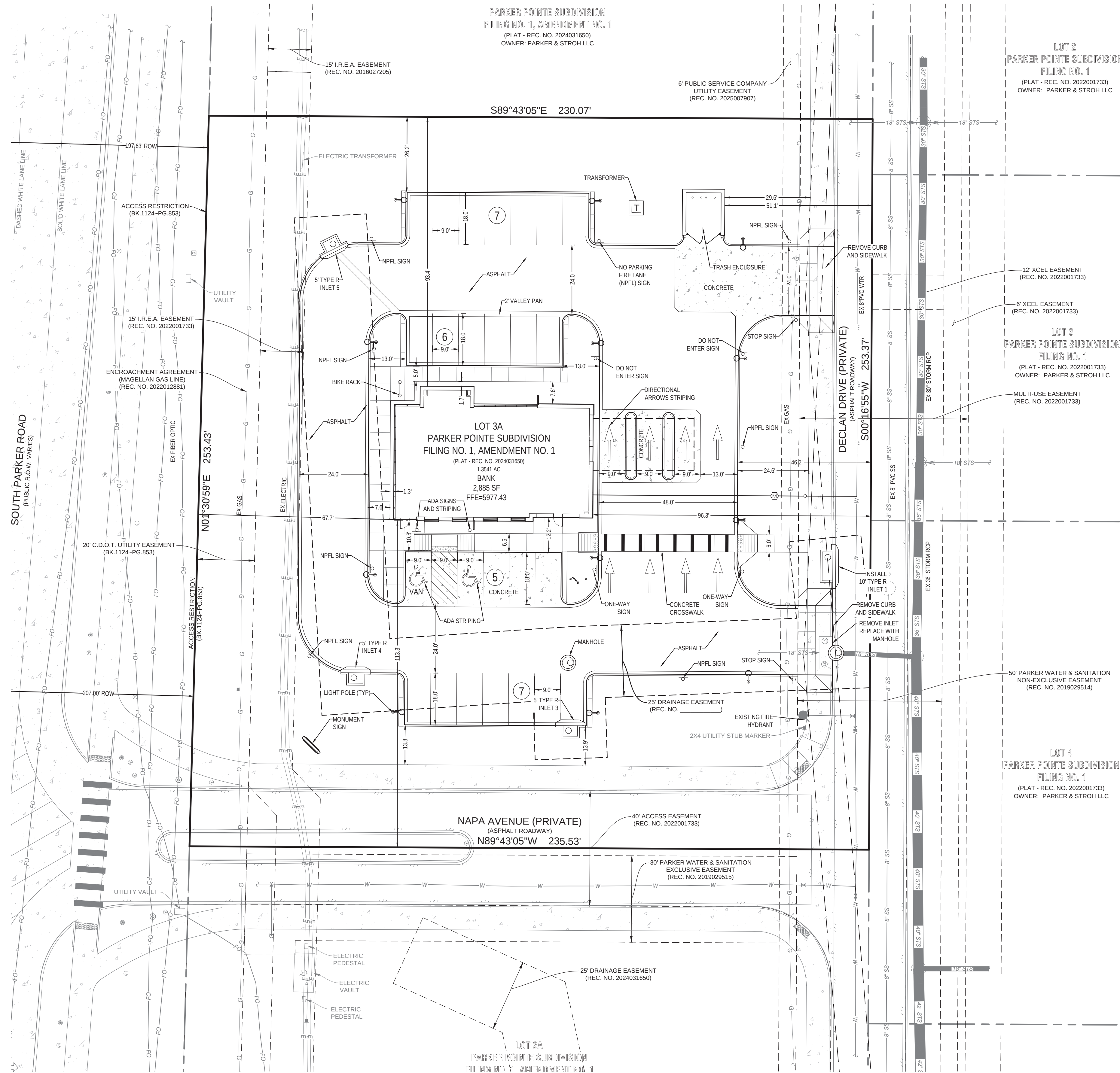
SHEET TITLE

EXISTING SITE
2 OF 10



LOT 3A PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1 HUNTINGTON NATIONAL BANK

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TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
PAGE 3 OF 10

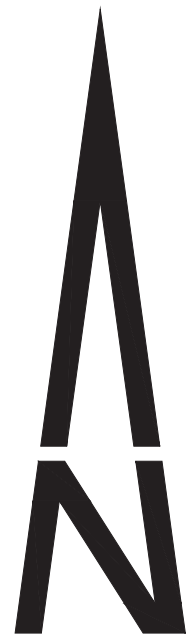


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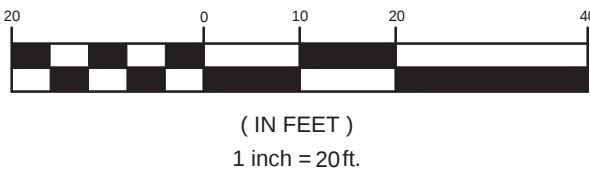
- PROPERTY LINE
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED SIDEWALK
- PROPOSED HANDICAP RAMP WITH DETECTABLE WARNING
- PROPOSED HANDICAP PARKING STALL
- PROPOSED PARKING COUNT PER ROW
- PROPOSED LANDSCAPED AREA
- FIRE HYDRANT
- PROPOSED SITE SIGNAGE SHOWN FOR INFORMATION ONLY NOT APPROVED WITH THIS PLAN SEPARATE REVIEW AND PERMIT REQUIRED
- EXISTING EASEMENT
- PROPOSED TRANSFORMER
- PROPOSED SITE LIGHTING



BIKE RAKE
MANUFACTURED BY PARKTASTIC
BLACK
36" TALL X 24" WIDE



GRAPHIC SCALE



JUNE 29, 2026

SHEET TITLE

SITE PLAN
3 OF 10



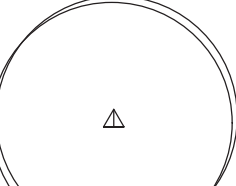
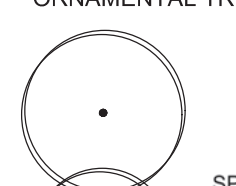
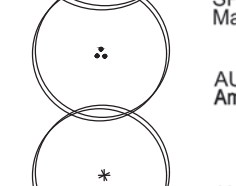
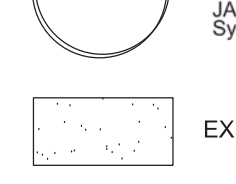
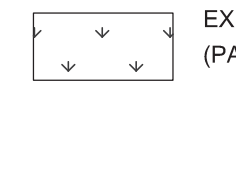
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EXISTING PLANT REFERENCE

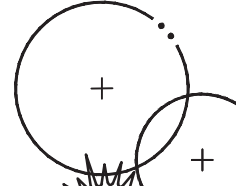
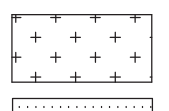
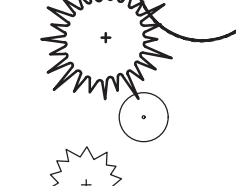
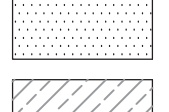
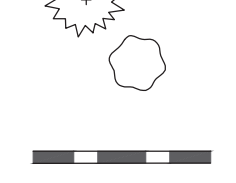
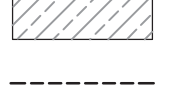
DECIDUOUS CANOPY TREES	EVERGREEN SHRUBS
 BURR OAK <i>Quercus macrocarpa</i>	BLUE CHIP JUNIPER <i>Juniperus horizontalis</i> 'Blue Chip'
ORNAMENTAL TREES	COMPACT OREGON GRAPE HOLLY <i>Mahonia aquifolium compacta</i>
	ORNAMENTAL GRASSES
 SPRING SNOW WHITE CRAB <i>Malus x 'Spring Snow'</i>	RED SWITCH GRASS <i>Panicum virgatum</i> 'Shanadoah'
 AUTUMN BRILLIANCE SERVICEBERRY <i>Amerindier x grandiflora</i> 'Autumn Brilliance'	ORIENTAL FOUNTAIN GRASS <i>Pennisetum orientale</i> 'Karley Rose'
 JAPANESE TREE LILAC <i>Syringa reticulata</i>	EVERGREEN SHRUBS
EX. IRRIGATED TURF	PINK YARROW <i>Aquilegia chrysantha</i> 'Paprika'
EX. NATIVE TURF (PARKER LOW GROW MIX)	SNOW-IN-SUMMER <i>Cerastium tomentosum</i>
	MOONBEAN COREOPSIS <i>Coreopsis verticillata</i> 'Moonbeam'
	WALKER'S LOW CATMINT <i>Nepeta tassenii</i> 'Walker's Low'
	AUTUMN JOY SEDUM <i>Sedum spectabile</i> 'Autumn Joy'
	SHADBLow SERVICEBERRY <i>Amelanchier canadensis</i>
	BLUE MIST SPIREA <i>Caryopteris x clandonensis</i>
	DWARF RABBITBRUSH <i>Chrysothamnus nauseosus</i> 'Dwarf Blue'
	GRO-LOW SUMAC <i>Rhus aromatica</i> 'Gro-low'
	ROCKY MOUNTAIN SUMAC <i>Rhus glabra</i> 'Crimsonand'

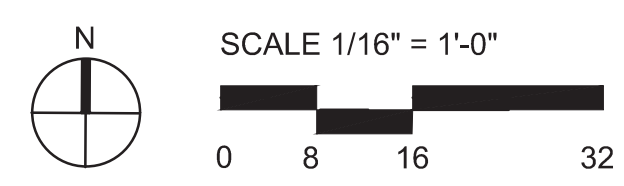
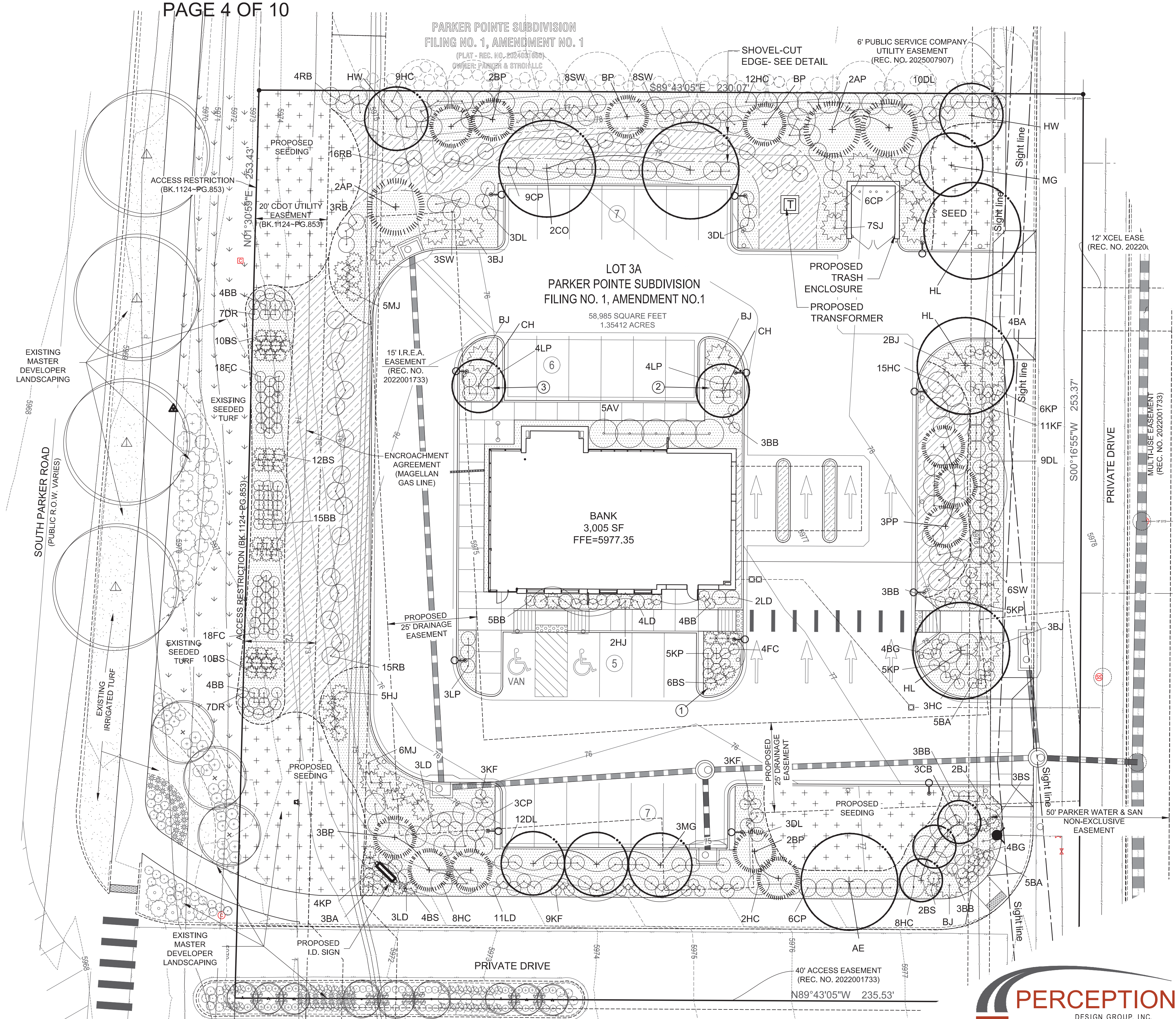
NOTE: PARKER ROAD R.O.W. AND ACCESS MEDIAN INSTALLED
BASED ON PLANS FOR PARKER POINTE FILING 1, LOTS 1 THRU
14 & TRACT A DONE BY STERLING DESIGN ASSOCIATES FOR
PERCEPTION DESIGN GROUP. 10/26/18

KEY	QTY.	BOTANICAL NAME	COMMON NAME	WATER REQ'T.	MATURE HT. x WIDTH	INSTALLED SIZE	CONDITION/REMARKS
DECIDUOUS TREES							
AE	1	<i>Ulmus japonica x wilsoniana</i> 'Morton'	Accolade Elm	L-M	50-70' x 30-40'	2" cal.	B&B, single stem, full head
CO	2	<i>Quercus muhlenbergii</i>	Chinkapin Oak	L-M	35-50' x 35-50'	2" cal.	B&B, single stem, full head
HL	3	<i>Gleditsia triacanthos inermis</i> 'Shademaster'	Shademaster Honeylocust	L-M	40-50' x 30-40'	2" cal.	B&B, single stem, full head
ORNAMENTAL TREES							
CB	3	<i>Malus 'Coralcole'</i>	Coralburst Crabapple	L-M	12-15' x 12-15'	2" cal.	B&B, single stem, full head
CH	2	<i>Pyrus calleryana</i> 'Chanticleer'	Chanticleer Pear	L-M	20-30' x 12-15'	2" cal.	B&B, single stem, full head
HW	2	<i>Acer tartaricum</i> 'Hot Wings'	Hot Wings Maple	L	15-20' x 15-20'	2" cal.	B&B, single stem, full head
MG	4	<i>Acer grandidentatum</i> JFS-NuMex 3	Mesa Glow Bigtooth Maple	L-M	20-30' x 15-18'	2" cal.	B&B, single stem, full head
EVERGREEN TREES							
AP	3	<i>Pinus nigra</i>	Austrian Pine	L-M	40-60' x 20-40'	6' ht.	B&B, full & bushy
BP	7	<i>Pinus heldreichii</i>	Bosnian Pine	L	15-25' x 10-12'	6' ht.	B&B, full & bushy
PP	5	<i>Pinus edulis</i>	Pinyon Pine	L-VL	20-30' x 10-20'	6' ht.	B&B, full & bushy
DECIDUOUS SHRUBS							
AV	5	<i>Viburnum x rhytidophyloides</i> 'Alleghany'	Alleghany Viburnum	L	8-15' x 6-12'	42-48" ht.	#5 container
CP	24	<i>Ligustrum vulgare</i> 'Cheyenne'	Cheyenne Privet	L	6-8' x 4-6'	30-36" ht.	#5 container
DL	36	<i>Syringa patula</i> 'Miss Kim'	Dwarf Purple Lilac	L	3-4' x 3-4'	24-30" ht.	#5 container
DR	14	<i>E. nauseosa ssp. nauseosa v. nauseosa</i>	Dwarf Blue Rabbitbrush	VL	30" x 2-3'	15-18" ht.	#5 container
FC	40	<i>Caryopteris x clandonensis</i> 'First Choice'	First Choice Blue Mist Spirea	I	2-3' x 2-3'	18-21" ht.	#5 container
HC	39	<i>Symphoricarpos x chenaultii</i> 'Hancock'	Hancock Coralberry	L	2-3' x 6-8'	18-21" ht.	#5 container
LD	26	<i>Physocarpus opulifolius</i> 'Little Devil'	Little Devil Ninebark	L	3-4' x 3-4'	24-30" ht.	#5 container
LP	11	<i>Ligustrum vulgare</i> 'Lodense'	Lodense Privet	L	2-3' x 3-4'	24-30" ht.	#5 container
KP	20	<i>Potentilla fruticosa</i> 'Klondike'	Klondike Potentilla	L	2-3' x 2-3'	12-15" ht.	#5 container
RB	38	<i>Ericameria nauseosa v. glabrata</i>	Tall Green Rabbitbrush	VL	3-6' x 3-6'	21-24" ht.	#5 container
SW	25	<i>Physocarpus opulifolius</i> 'Summer Wine'	Summer Wine Ninebark	L	4-6' x 4-6'	30-36" ht.	#5 container
EVERGREEN SHRUBS							
BJ	13	<i>Juniperus horizontalis</i> 'Blue Chip'	Blue Chip Juniper	L	8-12" x 6-8'	9-12" ht.	#5 container
BS	47	<i>Juniperus squamata</i> 'Blue Star'	Blue Star Juniper	L	2-3' x 3-4'	15-18" ht.	#5 container
HJ	8	<i>Juniperus chinensis</i> 'Hetz Columnar'	Hetz Columnar Juniper	L	12-15' x 4-5'	36-42" ht.	#7 container
MJ	10	<i>Juniperus scopulorum</i> 'Medora'	Medora Juniper	L	15-18' x 3-5'	36-42" ht.	#5 container
SJ	7	<i>Juniperus chinensis</i> 'Spartan'	Spartan Juniper	L	15-20' x 3-4'	36-42" ht.	#5 container
ORNAMENTAL GRASSES							
BA	13	<i>Bouteloua gracilis</i> 'Blonde Ambition'	Blonde Ambition Grama Grass	L	2-3' x 2-3'	12-15" ht.	#5 container
BB	44	<i>Andropogon gerardii</i>	Big Bluestem Grass	L	4-5' x 2-3'	21-24" ht.	#5 container
BG	16	<i>Helictotrichon sempervirens</i> 'Sapphire'	Blue Avena Grass	L	2-3' x 2-3'	12-15" ht.	#5 container
KF	26	<i>Calamagrostis brachytricha</i>	Korean Feather Grass	L	3-4' x 2-3'	24-30" ht.	#5 container

1. PLANT WATER REQUIREMENTS: VL = Very Low; L = Low; M = Moderate; H = High
2. ALL PLANTS SHALL BE HEALTHY & WELL-ESTABLISHED- TREES AS BALLED & BURLAPPED AND SHRUBS/GRASSES IN CONTAINERS.
SIZE, BRANCHING, NUMBER OF CANES, ETC. SHALL BE PER ANSI Z60. AMERICAN STAND FOR NURSERY STOCK, CURRENT EDITION.

PROPOSED LEGEND

	DECIDUOUS TREE		NATIVE BUFFALO-BLUE GRAMA SEED PBSI NATIVE LAWN OR APPROVED EQ.
	ORNAMENTAL TREE		3/4" DIA. "CLEAR CREEK" CRUSHED GRANITE ROCK MULCH (GRAY)
	EVERGREEN TREE		1-1/2" DIA. "GRAY ROSE" ROCK RIVER ROCK MULCH
	DECIDUOUS SHRUB	-----	STEEL EDGER
	EVERGREEN SHRUB	-----	SHOVEL-CUT EDGE
	ORNAMENTAL GRASS		PARKING LOT LIGHT
	PROPOSED STORM LINE	-----	VEHICLE SIGHT DISTANCE LINE



PLANNING & LANDSCAPE
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JUNE 29, 2026
SHEET TITLE
LANDSCAPE PLAN
4 OF 10

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

SEEDING AND MULCHING SHALL BE PERFORMED ACCORDING TO THE ACCOMPANYING DETAIL(S) AND TEXT. NO EXCEPTIONS SHALL BE MADE

1. SEE PLAN VIEW FOR:

- LOCATION(S) OF SEEDING AND MULCHING
- TYPE OF SEED MIX

2. SEED MIXES MAY CONFORM TO THE TABLE PROVIDED WITH THE SMC NOTES OR ALTERNATIVES MAY BE ALLOWED WITH PRIOR PERMISSION BY THE TOWN'S INSPECTOR.

3. SEEDING MAY BE PERFORMED YEAR ROUND ASSUMING THE SOIL IS NOT FROZEN. SEEDING DURING TIMES OF EXTREME TEMPERATURES SHOULD BE AVOIDED IF POSSIBLE.

4. AT THE BEGINNING OF THE LAND DISTURBANCE ACTIVITIES, IT IS HIGHLY RECOMMENDED THAT AN APPROPRIATE AMOUNT OF NATIVE TOPSOIL BE STRIPPED FROM THE SITE AND STOCKPILED. ALL AREAS, PRIOR TO PERMANENT SEEDING AND MULCHING, WILL LIKELY NEED TO BE COVERED WITH AN APPROPRIATE LAYER OF TOPSOIL. THIS REQUIREMENT APPLIES TO ALL AREAS WHERE NATIVE SEEDING IS SPECIFIED ON THE CBMP PLAN AND/OR LANDSCAPING PLANS.

5. IT IS STRONGLY RECOMMENDED THAT SAMPLES FROM THE STRIPPED TOPSOIL BE PROPERLY COLLECTED AND TESTED BY A QUALIFIED LABORATORY TO ENSURE ADEQUATE NUTRIENT CONTENT PRIOR TO SEEDING AND MULCHING; IF IT IS DISCOVERED THAT THE TOPSOIL IS VOID OF THE NUTRIENTS NECESSARY TO SUCCESSFULLY ESTABLISH THE REQUIRED VEGETATION, THEN THE APPROPRIATE AMENDMENTS SHALL BE ADDED.

6. ALL AREAS TO BE SEEDDED AND MULCHED SHALL BE SURFACE ROUGHENED ACCORDING TO THE SURFACE ROUGHENING DETAILS AND NOTES. SURFACE ROUGHENING SHALL OCCUR AFTER PLACEMENT OF THE TOPSOIL.

7. WHEN INSTALLED WITH A DRILL SEEDER, SEED SHALL BE PLACED AT A DEPTH OF ¼ – ½ INCH. ROW SPACING SHALL BE NO MORE THAN 6-INCHES.

8. ALL AREAS INCAPABLE OF BEING DRILL SEEDDED SHALL BE SURFACE ROUGHENED ACCORDING TO THE SURFACE ROUGHENING NOTES OR EFFECTIVELY ROUGHENED USING A HARROW OR OTHER SUCH IMPLEMENT. ALL AREAS SHALL BE UNIFORMLY HAND BROADCASTED WITH THE PROPER SEED MIX APPLIED AT TWO TIMES THE DRILL SEEDDED RATE. BROADCASTED AREAS SHALL THEN BE RE-HARROWED OR RE-RAKED USING A HARD-TIPPED RAKE TO ENSURE THAT SEEDS ARE BURIED TO AN APPROXIMATE DEPTH OF ¼ – ½ INCH.

9. AFTER SEEDING HAS BEEN COMPLETED, MULCH SHALL BE UNIFORMLY APPLIED AT A RATE OF 2 TONS/ACRE (4,000 LBS/ACRE). MULCH SHALL BE MECHANICALLY CRIMPED TO A DEPTH OF 2 INCHES USING A CRIMPER. MULCH SHALL BE HAND CRIMPED AND COVERED WITH A TACKIFIER IN AREAS WHERE MECHANICAL CRIMPING IS NOT POSSIBLE. WHEN SOILS PERMIT, ALL MULCH SHALL BE CRIMPED SUCH THAT THE INDIVIDUAL PIECES OF STRAW OR HAY FORM EXAGGERATED V-SHAPES PROTRUDING OUT OF THE GROUND SEVERAL INCHES.

10. IN CERTAIN INSTANCES, IT MAY BE NECESSARY TO APPLY A TACKIFIER IN ORDER TO HELP WITH STRAW DISPLACEMENT. TACKIFIER SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.

Town of Parker

COLORADO

CONSTRUCTION BEST MANAGEMENT PRACTICES

SMC

1 OF 3

Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

SEEDING AND MULCHING MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SEEDING AND MULCHING.

2. ANY SEEDDED AND MULCHED AREAS THAT BECOME DAMAGED SHALL BE REPAIRED WITHIN THE TIME FRAME SPECIFIED BY THE TOWN'S INSPECTOR.

WEED MANAGEMENT

1. ALL HERBICIDES SHALL BE APPLIED BY COMMERCIAL PESTICIDE APPLICATORS LICENSED BY THE COLORADO DEPARTMENT OF AGRICULTURE AS QUALIFIED APPLICATORS. THE CONTRACTOR SHALL FURNISH DOCUMENTATION OF SUCH LICENSING PRIOR TO HERBICIDE APPLICATION.

2. HERBICIDE APPLICATION METHOD SHALL BE SUCH THAT PLANT GROWTH OUTSIDE THE DESIGNATED TREATMENT AREAS WILL NOT BE DAMAGED. ALL DAMAGE CAUSED BY IMPROPER HERBICIDE APPLICATION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

3. HERBICIDES SHALL BE APPLIED DURING THE APPROPRIATE SEASONS, WHEN TARGET PLANTS ARE ACTIVELY GROWING.

4. AFTER THE GRASS SEED IS ESTABLISHED, APPROPRIATE HERBICIDES SHALL BE APPLIED TO CONTROL THE REMAINING WEEDS TO ENSURE A TIMELY RETURN OF THE FINANCIAL SECURITY. PROPER TIMING OF HERBICIDE APPLICATIONS ARE NECESSARY TO ACHIEVE THE SUPPRESSION OF WEED SEED PRODUCTION AND DEPLETION OF WEED ROOT MASS. ULTIMATELY, THE HERBICIDES USED SHALL BE BASED UPON THE TARGET WEEDS.

5. HERBICIDE TREATMENTS SHALL CONTINUE AT AN APPROPRIATE RATE UNTIL IT IS EVIDENT THAT WEED GROWTH PRESENCE AND GROWTH IS MINIMAL AND MAY BE CONTROLLED THROUGH MOWING AND/OR ANNUAL HERBICIDE TREATMENT.

Town of Parker

COLORADO

CONSTRUCTION BEST MANAGEMENT PRACTICES

SMC

2 OF 3

Oct. 2013

LOT 3A PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1

HUNTINGTON NATIONAL BANK

SITUATED IN THE NE 1/4 OF SECTION 3, T.7S., R.66W. OF THE 6TH P.M.

TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PAGE 5 OF 10

PROJECT LANDSCAPE NOTES

1. ALL WORK SHALL CONFORM TO ALL APPLICABLE TOWN OF PARKER AND LOCAL & STATE STANDARDS AND REGULATIONS.

2. CONTACT APPROPRIATE UTILITY LOCATORS TO LOCATE OF ALL BURIED UTILITY LINES. FIELD-VERIFY EXISTING LOCATIONS, GRADES, AND CONDITIONS OF ALL BURIED UTILITIES PRIOR TO CONSTRUCTION. NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES FROM THESE PLANS. DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED AT HIS OWN COST WITH NO EXPENSE TO THE OWNER.

3. VERIFY THE LOCATION OF ALL PERTINENT EXISTING & CONSTRUCTED SITE IMPROVEMENTS ALREADY INSTALLED PRIOR TO BEGINNING WORK. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES FROM THE INFORMATION SHOWN ON THESE PLANS. IF DISCREPANCIES EXIST DO NOT PROCEED WITH CONSTRUCTION ACTIVITIES WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE.

4. REFER TO THE ARCHITECTURAL, ENGINEERING, ELECTRICAL AND IRRIGATION PLANS COMPLETED BY OTHERS. ANY DISCREPANCIES THAT AFFECT THIS WORK MUST BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.

5. REFER TO THE CONSTRUCTION DRAWINGS DONE BY OTHER CONSULTANTS FOR GRADING AND ELEVATIONS. ENSURE POSITIVE DRAINAGE (2% MIN. FALL) AWAY FROM ALL BUILDING FOUNDATIONS IN ALL LANDSCAPE AREAS. NOTIFY OWNER'S REPRESENTATIVE IF ROUGH GRADING CONDITIONS WILL CREATE PONDING OR FLOW TOWARD FOUNDATIONS. ROUGH GRADES SHALL BE REVIEWED AND ACCEPTED BY OWNER'S REPRESENTATIVE PRIOR TO FINE GRADING AND SOIL PREPARATION OPERATIONS.

6. COORDINATE LOCATION OF IRRIGATION SLEEVING FOR INSTALLATION PRIOR TO PARKING AND WALK PAVING OPERATIONS. SEE IRRIGATION PLANS.

FINE GRADING / PREPARATION NOTES

7. LANDSCAPE OPERATIONS SHALL ACHIEVE FINISHED GRADES AS SHOWN ON THE CIVIL GRADING PLANS AFTER INSTALLATION. ALL COMPLETED LANDSCAPE AREAS SHALL DRAIN AT 2% MINIMUM SLOPE WITHOUT LOW SPOTS THAT POND. FINISH GRADES SHALL SLOPE AWAY FROM STRUCTURES AT THE RECOMMENDED SLOPES INDICATED IN THE PROJECT GEOTECHNICAL/ SOILS REPORT UNLESS SPECIFICALLY APPROVED BY THE CIVIL ENGINEER AND OWNER.

8. THE LANDSCAPE CONTRACTOR SHALL REVIEW THE COMPLETED ROUGH GRADING OPERATIONS PRIOR TO BEGINNING WORK AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN THE GRADING PLANS AND ACTUAL CONDITIONS.

9. ALL LANDSCAPE AREAS SHALL BE FINE GRADED TO .10" +/- RESULTING IN A SMOOTH FINISH WITHOUT DEBRIS. DELETERIOUS MATERIALS OR CLOUDS OVER 1" DIAMETER. ALL FINE GRADING MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION.

10. TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING. COORDINATE WITH GENERAL CONTRACTOR. THE TOP 4" OF LANDSCAPE AREAS SHALL BE EXISTING OR IMPORTED TOPSOIL AS NECESSARY.

11. SOIL AMENDMENT SHALL BE LOW-SALTS, FULLY-MATURED & NITROGEN STABILIZED ORGANIC COMPOST, CERTIFIED FREE OF PATHOGENS. pH SHALL BE 6.0 TO 7.4 WITH A MIN. OF 30% ORGANIC MATERIAL. COMPOST SHALL BE BIOCOM-CLASS 1 BY AT ORGANICS 16350 WCR 76, EATON, CO 80615, OR APPROVED EQUAL. AMENDMENT FOR LANDSCAPE AREAS SHALL BE 4 C.Y. PER 1,000 S.F.

12. THE TOP 5" OF SUBGRADE SHALL BE TOPSOIL AND SOIL AMENDMENT MIXTURE TILLED TO A MIN. DEPTH OF 6" BELOW SUBGRADE.

13. IN ALL BED AREAS HOLD TOP OF SUBGRADE 3-4" BELOW ADJACENT IMPROVEMENTS TO ALLOW FOR SPECIFIED MULCH DEPTH.

PLANTING NOTES

14. PLANTS SHALL SHALL BE TRUE TO TYPE & SPECIES, HAVE SIMILAR SIZE & FORM AMONG THE SAME SPECIES AND MEET THE MINIMUM STANDARDS OUTLINED IN THE "AMERICAN STANDARD FOR NURSERY STOCK" ANSI Z60.1 CURRENT EDITION.

15. ALL PLANT MATERIALS SHALL BE HEALTHY, FREE OF PESTS, DISEASES AND BROKEN CONTAINERS AND ROOT BALLS. TREES SHALL HAVE SINGLE LEADERS UNLESS OTHERWISE SPECIFIED AND ROBUST BRANCHING AND FOLIAGE. ALL PLANTS ARE SUBJECT TO APPROVAL BY THE TOWN AND OWNER'S REPRESENTATIVE- PLANTS NOT MEETING THE TOWN'S STANDARDS WILL BE REJECTED.

16. PLANT SPECIES AND LOCATIONS SHOULD FOLLOW THE APPROVED PLAN. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE CITY AND THE OWNER'S REPRESENTATIVE. SUBSTITUTIONS REQUIRE TOWN APPROVAL AND SHALL BE SUBMITTED PRIOR TO BIDDING. REQUESTED SPECIES SHALL MATCH THE SPECIFIED PLANTS' MATURE SIZE & FORM.

17. ALL PLANT MATERIAL SHALL CARRY A WARRANTY FOR A PERIOD OF NOT LESS THAN 1 YEAR AFTER ACCEPTANCE OF THE PROJECT BY THE OWNER. WARRANTY SHALL BE A ONE-TIME, POST-FINAL ACCEPTANCE REPLACEMENT THAT INCLUDES PLANT MATERIAL AND LABOR COSTS. PLANTS NEEDED REPLACED PRIOR TO ACCEPTANCE WILL NOT APPLY TOWARD WARRANTY REPLACEMENTS.

18. LAYOUT PLANT LOCATIONS FOR APPROVAL PRIOR TO INSTALLATION. TREE LOCATIONS SHALL BE NO CLOSER THAN 3' FROM ALL CURBS & WALKWAYS EXCEPT FOR PARKING ISLANDS.

19. PLANT QUANTITIES SHOWN SYMBOLICALLY ON THE PLAN SHOULD MATCH THOSE TOTALS IN THE PLANT LIST. IN THE CASE OF A DISCREPANCY, PLAN SYMBOLS SHALL TAKE PRECEDENT.

20. PLANT HOLE BACKFILL SHALL BE 1/3 TOPSOIL, 1/3 COMPOSTED AMENDMENT AND 1/3 NATIVE SOIL THOROUGHLY MIXED.

21. ALL SHRUBS & GRASSES SHALL RECEIVE SCOTT'S AGRIFORM SLOW-RELEASE FERTILIZER TABLETS APPLIED AT MANUFACTURER RECOMMENDED RATES.

EDGER

22. LAYOUT BED LINES FOR APPROVAL PRIOR TO INSTALLATION. ALL PLANTING BEDS ARE TO BE CONTAINED WITH MINIMUM 4" HEIGHT STEEL EDGER WITH ROLLED TOP AND NO EXPOSED SHARP EDGES. EDGER SHALL BE EXPOSED 1/2" MAXIMUM ABOVE FINISHED SURFACES. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS OR WALKS.

23. EDGER SHALL BE PRO-STEEL PS3/16-16, 4" DEPTH x 3/16" (7 GA.) WITH STAKES AND FASTENED OVERLAP SECTIONS PER MANUFACTURER'S RECOMMENDATIONS. SUPPLIER SHALL BE PRO-STEEL EDGING & LANDSCAPE PRODUCTS, 5121 KALTENBRUN RD., FORT WORTH, TX 76119 OR APPROVED EQUAL.

WEED BARRIER & MULCH

24. INSTALL DEWITT 2.2 OZ. BIODEGRADABLE WEED BARRIER OR APPROVED EQUAL UNDER ALL ROCK BEDS PER: <https://www.dewittcompany.com/wp-content/uploads/2023/07/GardenWeedBarrierSpec.pdf>

25. PLANTING BEDS ROCK MULCHES SHALL BE 1) 3/4" BULK "CLEAR CREEK" CRUSHED GRANITE AND 2) 1.5" DIA. "GRAY ROSE" RIVER ROCK PER PIONEER/SITE ONE LANDSCAPE SUPPLY OR APPROVED EQUAL. PLACE AT 3-4" DEPTH MIN. OVER SPECIFIED LANDSCAPE FILTER FABRIC. ALL PLANTS SHALL HAVE 4" DEPTH RING OF SHREDDED CEDAR MULCH ABOVE EACH PLANTING PIT NOT LESS THAN THE CONTAINER DIAMETER. MULCH & ROCK COLOR SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION.

26. ALL TREES SHALL HAVE A MULCH RING WITH NATURAL CEDAR FIBER MULCH AT 4" DEPTH AND AT LEAST 3-4" IN DIAMETER. KEEP MULCH 4-6" AWAY FROM TRUNKS.

SEED

27. SEED SHALL BE PAWNEE BUTTES SEED (PBSI) 'NATIVE LAWN MIX' BUFFALO AND BLUE GRAMA NATIVE TURF OR APPROVED EQUAL: 65% BUFFALOGRASS / BUCHLOE DACTYLOIDES 'BISON', 'CODY' OR 'PLAINS' 35% NATIVE BLUE GRAMA / BOUTELOUA GRACILIS 'HACHITA' SUBMIT DETAILED SEED SPEC'S. SUBSTITUTIONS WILL BE CONSIDERED PRIOR TO BIDDING. PAWNEE BUTTES SEED INC., 605 25TH ST., GREELEY, CO (800) 782-5947

IRRIGATION

28. IRRIGATION SHALL MEET TOWN STANDARDS AND REQUIREMENTS AND SHALL BE INSTALLED PER THE APPROVED PLANS.

LANDSCAPE REQUIREMENTS SUMMARY

A. INTERNAL LANDSCAPING									
NET SITE AREA	LANDSCAPE AREA			% LIVE COVER					
	REQUIRED 15%	PROVIDED	SURPLUS / DEFICIT	REQUIRED 75%	PROVIDED 76.0%	SURPLUS / DEFICIT			
58,985 SF	8,848 SF	21,838 SF	+12,990 SF	16,378 SF	16,597 SF	219 SF			
INTERNAL LANDSCAPE AREA	TREE REQUIREMENT (1 / 1500 SF)			SHRUB REQUIREMENT (5 / 1500 SF)			TREE EQUIVALENT CALCULATION		
	REQUIRED	PROVIDED	SURPLUS / DEFICIT	REQUIRED	PROVIDED	SURPLUS / DEFICIT	Shrubs available for tree equivalents	Total equivalent trees	Total tree & tree equivalents provided
21,838 SF	15	29	NA SEE BELOW	73	480	NA SEE BELOW			

B. STREETSCAPE LANDSCAPE

	LENGTH	TREE REQUIREMENT (1 / 40 LF)			SHRUB REQUIREMENT (NA)			Shrubs available for tree equivalents	Total equivalent trees	Total tree & tree equivalents provided
		REQUIRED	PROVIDED	SURPLUS / DEFICIT	REQUIRED	PROVIDED				
East Private drive	176 LF	5	5	0	NA	NA				
South Private drive	213 LF	6	9 existing	+3	NA	NA				
Parker Road	220 LF	6	6 existing	0	NA	NA	NA	NA	NA	NA

C. LANDSCAPE PERIMETER (STANDARD)

	LENGTH	TREE REQUIREMENT (1 / 25 LF)			SHRUB REQUIREMENT (5 / 25 LF)			TREE EQUIVALENT CALCULATION		
		REQUIRED	PROVIDED	SURPLUS / DEFICIT	REQUIRED	PROVIDED	SURPLUS / DEFICIT	Shrubs available for tree equivalents	Total equivalent trees	Total tree & tree equivalents provided
North Property Line	208 LF	9	8	-1	41	51	+10	10	1	9
South Property Line	210 LF	9	7	-2	42	72	+30	30	3	9
East Property Line	174 LF	7	2	-5	35	85	+50	50	5	7
West Property Line	174 LF	7	0	-7	35	105	+70	70	7	7

D. PARKING LOT SCREENING

	LENGTH	TREE REQUIREMENT (1 / 30 LF)			SHRUB REQUIREMENT (5 / 30 LF)			TREE EQUIVALENT CALCULATION		
		REQUIRED	PROVIDED	SURPLUS / DEFICIT	REQUIRED	PROVIDED	SURPLUS / DEFICIT	Shrubs available for tree equivalents	Total equivalent trees	Total tree & tree equivalents provided
North parking bay	63 LF	2	2	0	8	12	+3			
South parking bay	63 LF	2	2	0	8	11	+3	NA	NA	NA
East drive-thru edge	100 LF	3	3	0	13	14	+1			

E. EVERGREEN REQUIREMENT- OVERALL SITE			
MIN.EVERGREEN TREES REQ'D		25%	
# OF TREES	REQUIRED	PROVIDED	
29	9	15	

F. PARKING LOT INTERIOR LANDSCAPE					
LOT ISLAND #	Area SF	Trees Req'd. / Provided 1 per 162 SF	Shrubs Req'd. / Provided 5 per 162 SF	Shrubs Available for Tree Equivalents	Total Equivalent Trees
① Southeast island	166 LF	1 / 0	5 / 15	10	1
② Northeast island	170 LF	1 / 1	5 / 5	NA	NA
③ Northwest island	170 LF	1 / 1	5 / 5	NA	NA

SITE DATA	
DESCRIPTION	SQ. FT. AREA
SITE AREA	58,985
BUILDING COVERAGE	3.005 / 5.1%
HARD SURFACE	34,360 / 58.2%
LANDSCAPE	21,620 / 36.6%
IRRIGATED TURF	0
LIVE PLANT COVER	81%

PLANNING & LANDSCAPE ARCHITECTURE
Jump Design Company
1733 S. Clarkson Street
Denver, Colorado 80210
303.282.0463
tomj@jumpdesignco.com

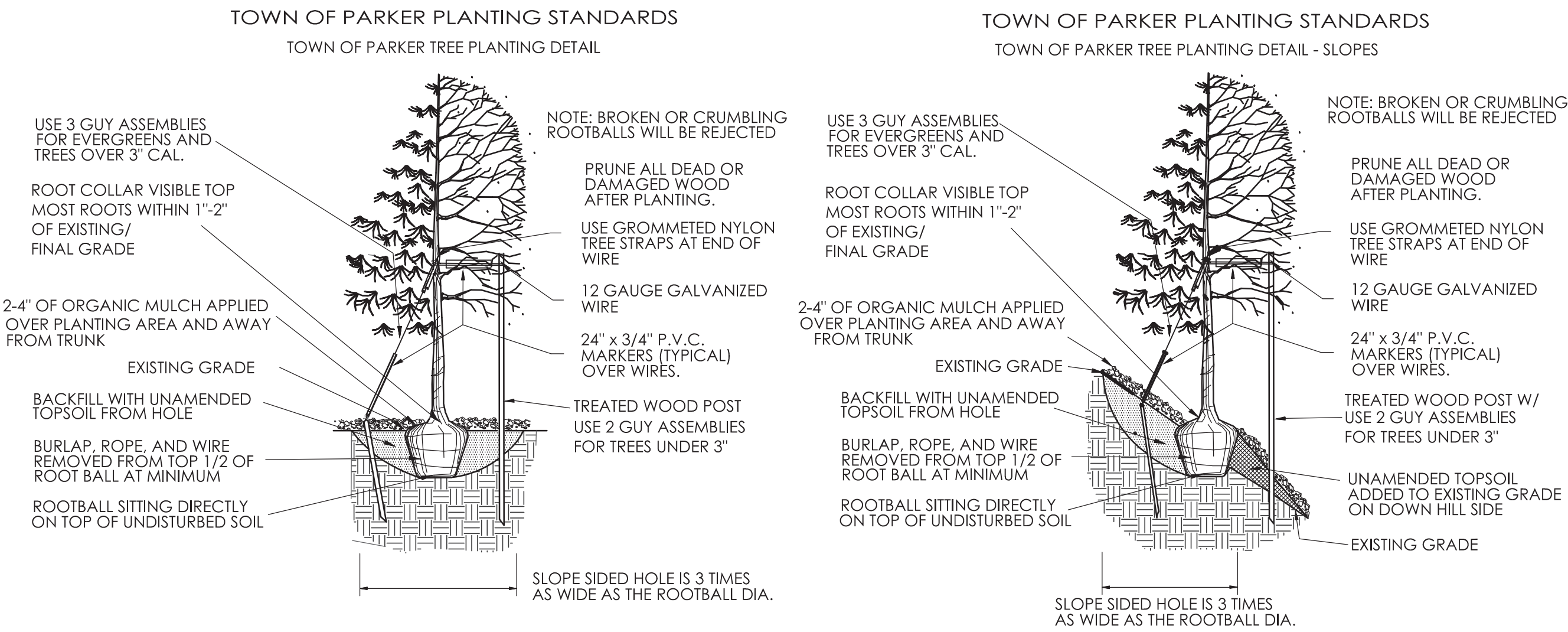
JUNE 29, 2026

SHEET TITLE

LANDSCAPE NOTES & DETAILS

5 OF 10

LOT 3A PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1
HUNTINGTON NATIONAL BANK
SITUATED IN THE NE 1/4 OF SECTION 3, T.7S., R.66W. OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
PAGE 6 OF 10



TOWN OF PARKER STANDARD PLANTING NOTES

EXCAVATE PLANTING HOLES WITH SLOPING SIDES. MAKE EXCAVATIONS AT LEAST THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER AND NO DEEPER THAN THE DISTANCE FROM THE TOP MOST ROOT IN THE ROOT BALL TO THE BOTTOM OF THE ROOT BALL TO ALLOW FOR SETTLING. DO NOT DISTURB SOIL AT BOTTOM OF PLANTING HOLES, BUT DO SCORE THE SIDES OF THE PLANTING HOLE. THE PLANTING AREA SHALL BE LOOSELY AND AERATED AT LEAST THREE TO FIVE TIMES THE DIAMETER OF THE ROOT BALL. BACKFILL SHALL CONSIST OF EXISTING ONSITE SOIL- NO AMENDMENTS SHALL BE USED UNLESS OTHERWISE SPECIFIED.

TREES SHALL BE PLANTED WITH THE ROOT COLLAR/FLARE VISIBLE ABOVE GRADE AND TWO OR MORE STRUCTURAL ROOTS LOCATED WITHIN THE TOP 1-2" OF THE ROOT BALL/FINISHED GRADE MEASURED 3" TO 4" FROM THE TRUNK. THIS INCLUDES TREES THAT ARE SET ON SLOPES (SEE SLOPE PLANTING DETAIL). TREES THAT DO NOT HAVE A VISIBLE ROOT COLLAR SHALL BE REJECTED. DO NOT COVER THE ROOT BALL WITH SOIL.

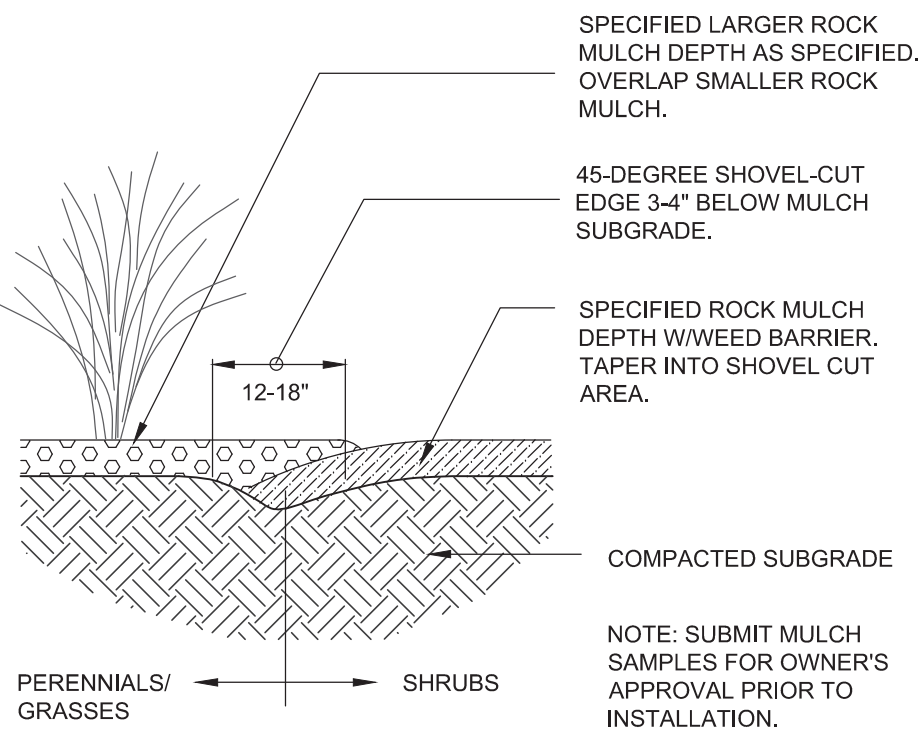
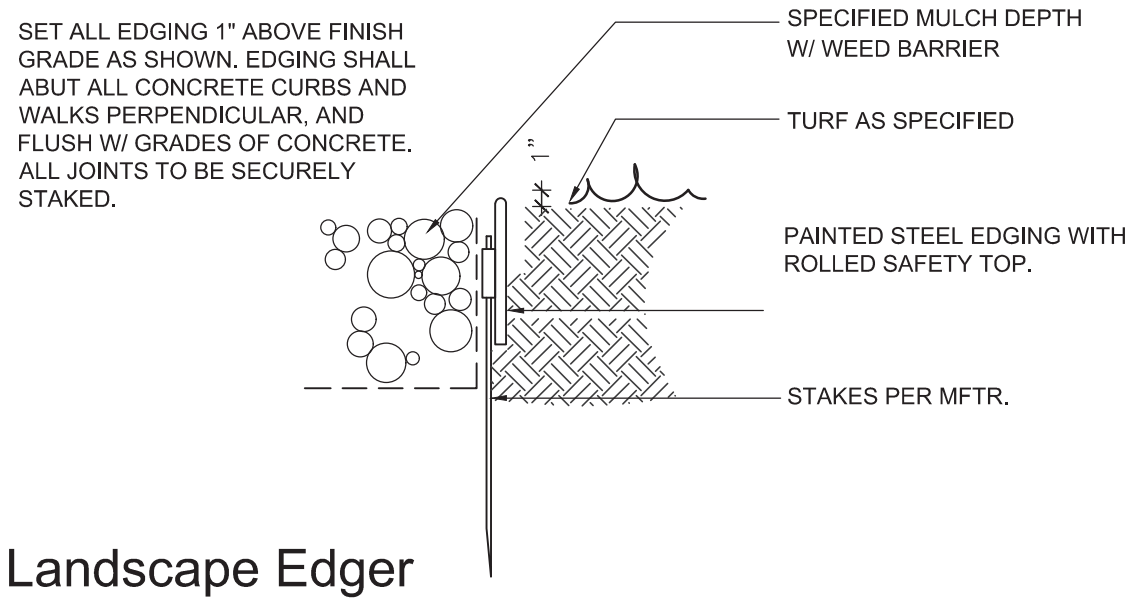
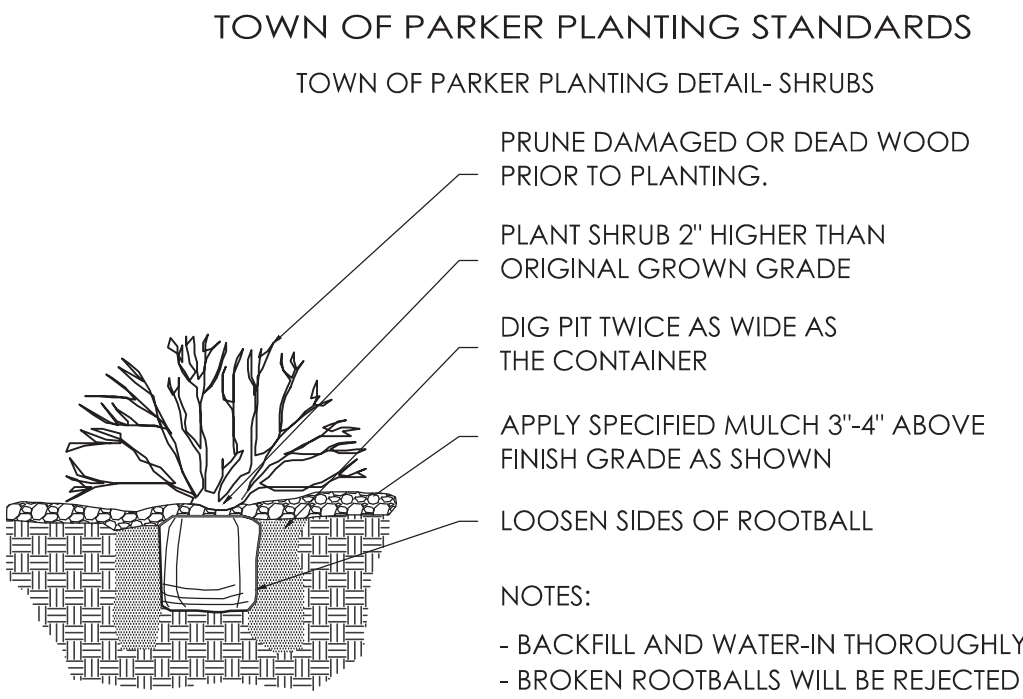
WHEN THE ROOT BALL WILL REMAIN INTACT, CUT OFF BOTTOM 1/4 OF THE WIRE BASKET BEFORE PLACING TREE IN HOLE; CUT OFF REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE BASKET COMPLETELY. AT MINIMUM, THE TOP 1/2 OF THE BURLAP AND BASKET SHALL BE REMOVED FROM THE ROOT BALL ON ALL TREES. REMOVE ALL NYLON TIES, TWINE, ROPE AND BURLAP. REMOVE UNNECESSARY PACKING MATERIAL.

FORM SOIL INTO A 3" TO 5" WATERING RING (SAUCER) AROUND THE PLANTING AREA. THIS IS NOT NECESSARY IN IRRIGATED TURF AREAS. APPLY 2" TO 4" DEPTH OF SPECIFIED MULCH OVER PLANTING AREA AND INSIDE SAUCERS. AWAY FROM TRUNK.

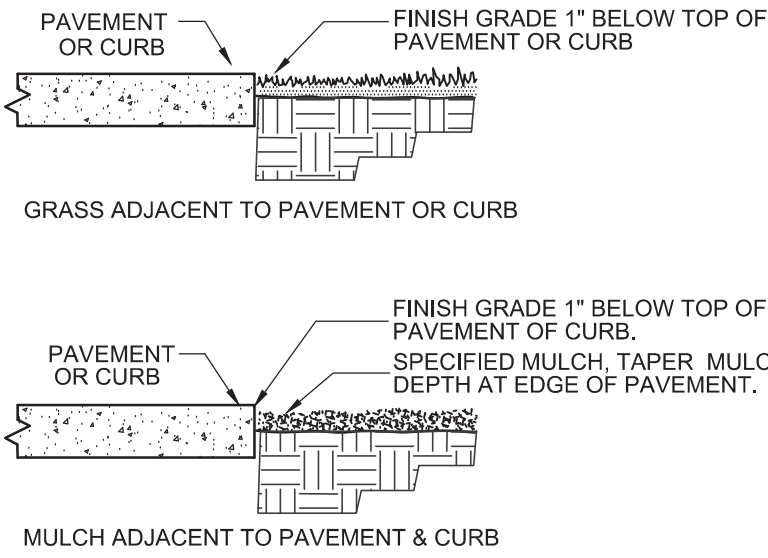
STAKING AND GUYING OF TREES IS OPTIONAL IN MOST PLANTING SITUATIONS. IN AREAS OF EXTREME WINDS, OR ON STEEP SLOPES, STAKING MAY BE REQUIRED TO STABILIZE TREES. STAKING AND GUYING MUST BE REMOVED WITHIN 1 YEAR OF PLANTING DATE.

TREE WRAP IS NOT TO BE USED ON ANY NEW PLANTINGS, EXCEPT IN LATE FALL PLANTING SITUATIONS, AND THEN ONLY AFTER CONSULTATION WITH THE TOWN ARBORIST.

RESETTLING OF IMPROPERLY PLACED TREES WILL ONLY BE ALLOWED IF IT IS DETERMINED THAT DOING SO WILL IN NO WAY COMPROMISE THE ROOT BALL AND SHALL ONLY BE DONE WITH APPROVAL OF THE TOWN ARBORIST.



Shovel-cut Edge
NOT TO SCALE



Typical Construction Edges
NOT TO SCALE

Parker Water & Sanitation District (PWSD)
Landscape/Irrigation Worksheet

Project Name: HUNTINGTON NATIONAL BANK

Landscape/Irrigation Tap address (physical location of tap) LOT 3A AT PARKER POINTE FIL. 1, AMEND. 1

Landscape Area	High Water TURF (6,000sf = 1 SFE)	Low Water Native Grass and Spray Shrubs & Perennials (10,000sf = 1 SFE)	Drip Irrigated area (20,000sf = 1 SFE)	Sub-Total of (calculated) Areas	PWSD one SFE per 6000	SFE Requirement (Sub-Total Calculation divided by 6000 = requirement)	
							Non-Irrigated area
Area #1	0 sf x 1 = 0	4,133 sf x .6 = 2,479.8	12,464 sf x .3 = 3,739.2	4,129 sf x 0 = 0	6,219.0 sf	6,000	1.04 SFE's

Worksheet Completed by: Thomas R. Jump ASLA
Company: Jump Design Company
Address: 1733 S. Clarkson Street
Phone #: 303-282-0463

Owner/Developer: _____
Attn: _____
Billing Address: _____
Phone #: _____

ET Controller (with Rain Sensor)

Manufacturer _____
Model number _____

Tap Size Requirements:
0 - 1 SFE's requires a 3/4-inch tap
1.1 - 2.0 SFE's requires a 1-inch tap
2.1 - 4.0 SFE's requires a 1 1/2-inch tap
4.1 - 8.0 SFE's requires a 2-inch tap
8.1 - 16.0 SFE's requires a 3-inch tap



PLANNING & LANDSCAPE
ARCHITECTURE
Jump Design Company
1733 S. Clarkson Street
Denver, Colorado 80210
303.282.0463
tomj@jumpdesignco.com



JUNE 29, 2026

SHEET TITLE

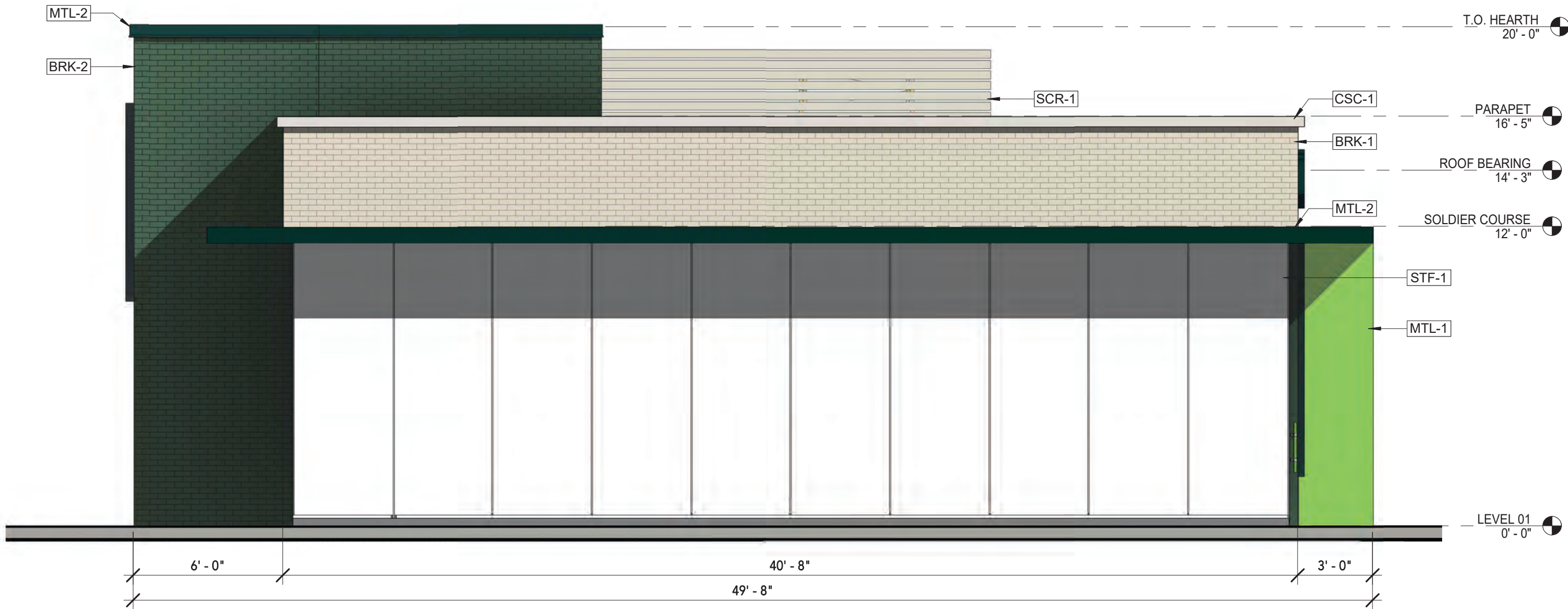
LANDSCAPE
NOTES & DETAILS
6 OF 10

LOT 3A PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1

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SITUATED IN THE NE 1/4 OF SECTION 3, T.7S., R.66W. OF THE 6TH P.M.

TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



2 WEST PRESENTATION ELEVATION

SCALE: 1/4" = 1'-0"

MATERIAL TAKE-OFF TABLES

EXTERIOR MATERIALS (WEST ELEVATION)			
TOTAL WALL AREA	871 SF	100%	
FENESTRATION	452	52%	
BRICK	324	37%	
STONE	16	2%	
METAL	79	9%	
TRANSPARENCY ZONE* TOTAL AREA	298		
TRANSPARENCY AREA	239	80%	

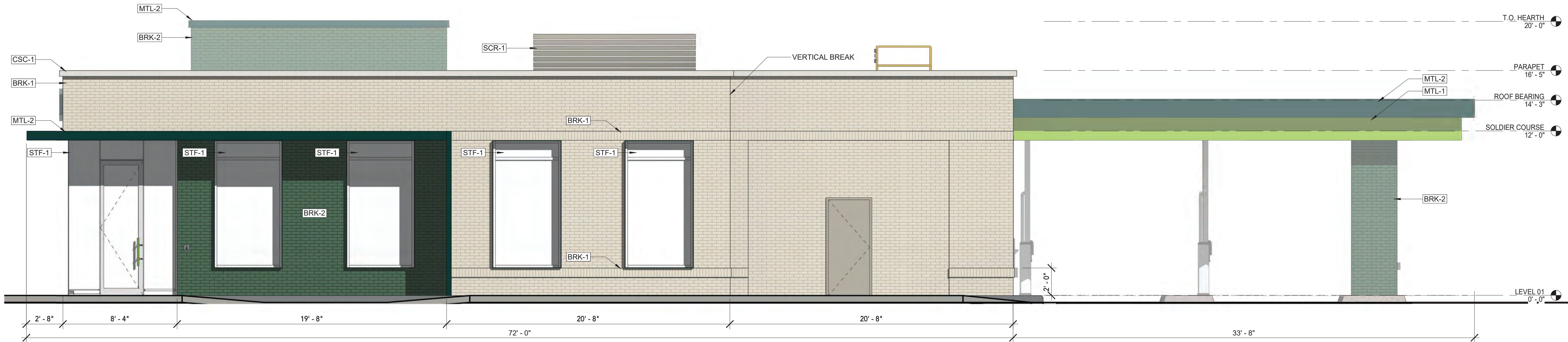
EXTERIOR MATERIALS (EAST ELEVATION)			
TOTAL WALL AREA	871 SF	%	
FENESTRATION	0	0%	
BRICK	724	83%	
STONE	17	2%	
METAL	130	15%	
TRANSPARENCY ZONE* TOTAL AREA	298		
TRANSPARENCY AREA	0	0%	
MURAL AREA**	124	42%	

EXTERIOR MATERIALS (NORTH ELEVATION)			
TOTAL WALL AREA	1342 SF	%	
FENESTRATION	351	26%	
BRICK	833	62%	
STONE	22	2%	
METAL	136	10%	
TRANSPARENCY ZONE* TOTAL AREA	414		
TRANSPARENCY AREA	186	45%	

EXTERIOR MATERIALS (SOUTH ELEVATION)			
TOTAL WALL AREA	1273 SF	%	
FENESTRATION	301	24%	
BRICK	819	64%	
STONE	29	2%	
METAL	124	10%	
TRANSPARENCY ZONE* TOTAL AREA	414		
TRANSPARENCY AREA	168	41%	

*TRANSPARENCY ZONE DEFINED PER DEVELOPMENT DESIGN STANDARDS SECTION X.A.2.b

**TRANSPARENCY REQUIREMENT SATISFIED THROUGH AN ALTERNATIVE COMPLIANCE MEASURE BY PROVIDING A MURAL DUE TO LIMITATIONS ON ADDING TRANSPARENCY TO THIS ELEVATION.



1 SOUTH PRESENTATION ELEVATION

SCALE: 1/4" = 1'-0"

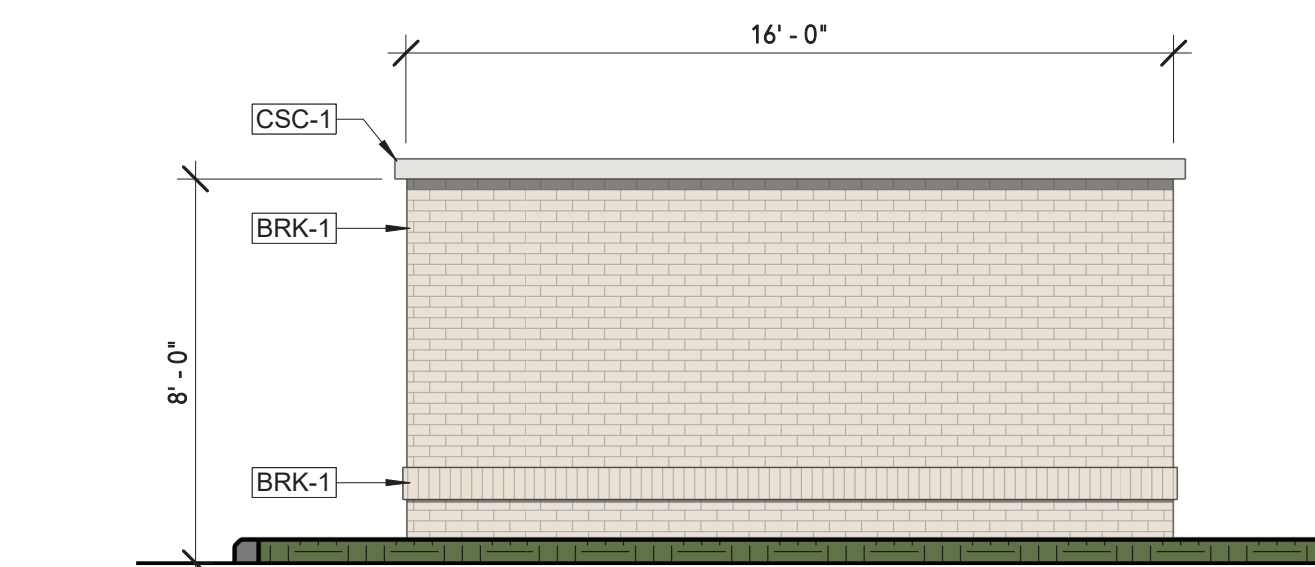
BRK-1	BRK-2	MTL-1	MTL-2	MTL-3	SCR-1	STF-1
PALMETTO BRICK WHITESTONE GROUT: TO MATCH BRICK RUNNING BOND	BELDEN BRICK COLOR: FOUNDER'S GLAZE GROUT: CHARCOAL GRAY STYLE: RUNNING BOND	ALUCOBOND METAL PANEL SYSTEM COLOR: CUSTOM ABUNDANT GREEN	ALUCOBOND METAL PANEL SYSTEM COLOR: CUSTOM PROSPEROUS GREEN	ALUCOBOND METAL PANEL SYSTEM COLOR: CUSTOM TO MATCH BRK-1	CITYSCAPES ENVISOR MECHANICAL SCREEN COLOR: SILVER SATIN	KAWNEER GLAZING SYSTEM COLOR: ANODIZED ALUMINUM

JULY 29, 2026

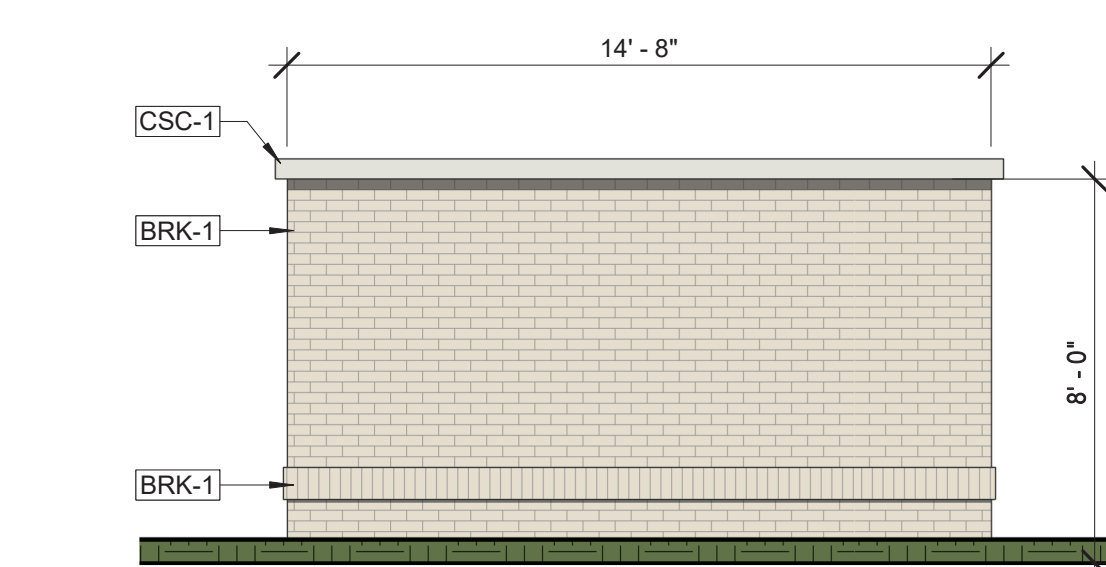
SHEET TITLE
BUILDING ELEVATIONS
7 OF 10

vocon.

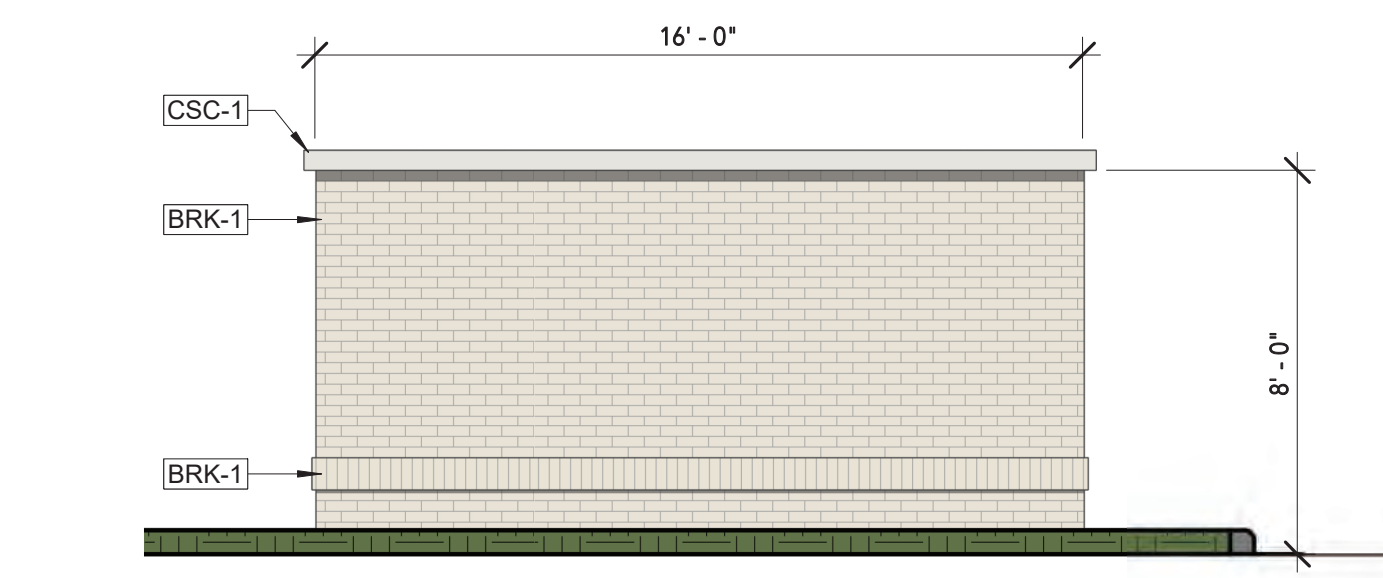
PERCEPTION
DESIGN GROUP, INC.
6901 SOUTH PIERCE STREET, SUITE 220, LITTLETON, CO 80128 303-232-8088
WWW.PERCEPTIONDESIGNGROUP.COM



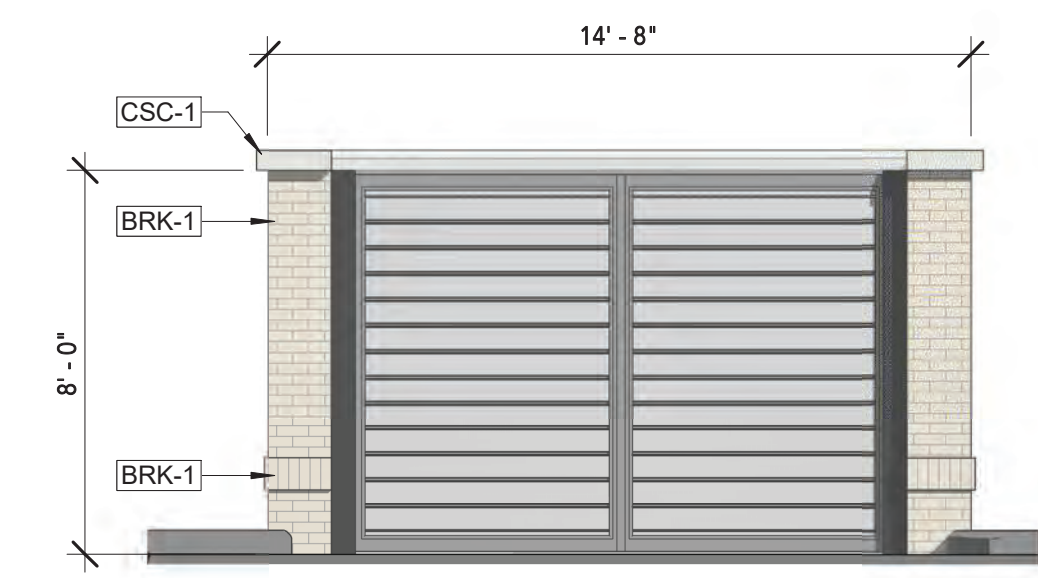
6 DUMPSTER - EAST
SCALE: 1/4" = 1'-0"



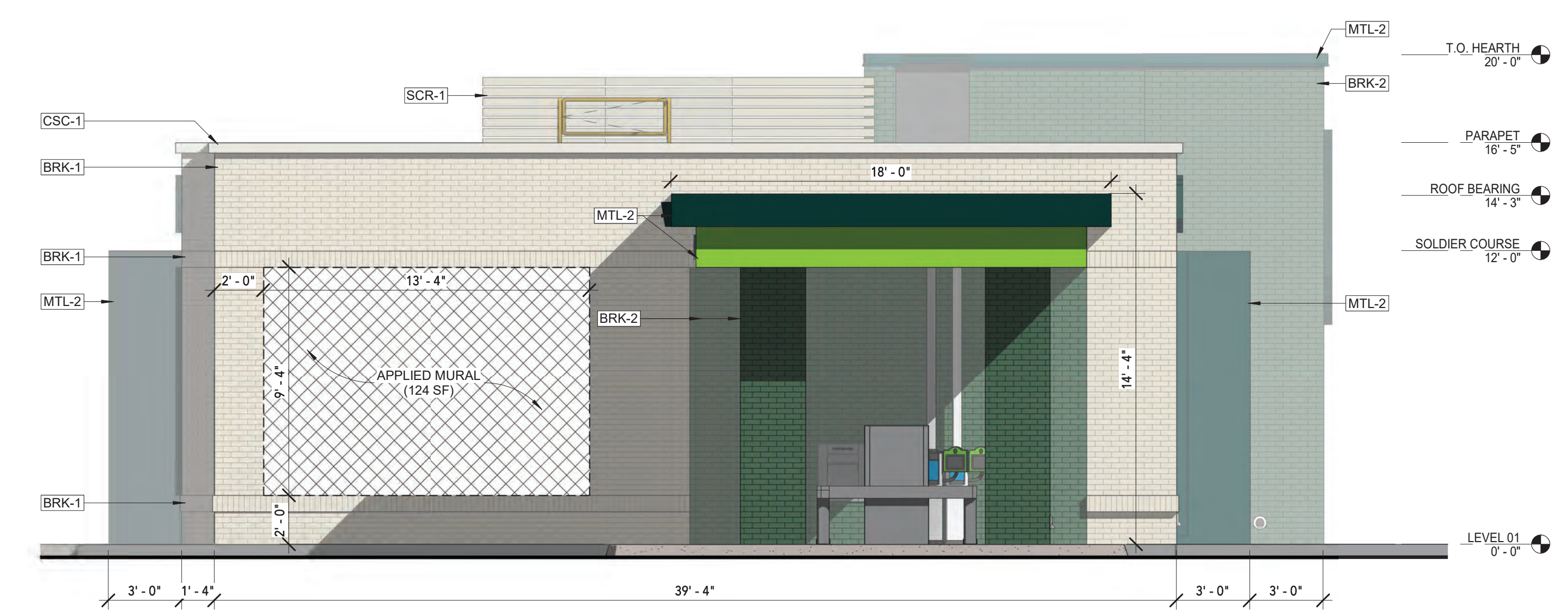
5 DUMPSTER - NORTH
SCALE: 1/4" = 1'-0"



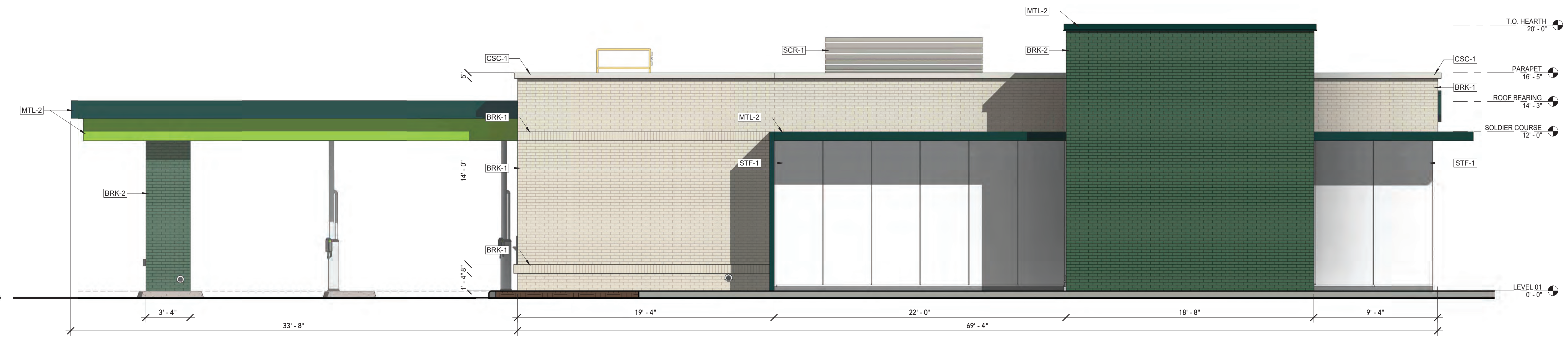
4 DUMPSTER - WEST
SCALE: 1/4" = 1'-0"



3 DUMPSTER - SOUTH
SCALE: 1/4" = 1'-0"



2 EAST PRESENTATION ELEVATION
SCALE: 1/4" = 1'-0"



1 NORTH PRESENTATION ELEVATION
SCALE: 1/4" = 1'-0"

BRK-1 PALMETTO BRICK WHITESTONE GROUT: TO MATCH BRICK RUNNING BOND	BRK-2 BELDEN BRICK COLOR: FOUNDER'S GLAZE GROUT: CHARCOAL GRAY STYLE: RUNNING BOND	MTL-1 ALUCOBOND METAL PANEL SYSTEM COLOR: CUSTOM ABUNDANT GREEN	MTL-2 ALUCOBOND METAL PANEL SYSTEM COLOR: CUSTOM PROSPEROUS GREEN	MTL-3 ALUCOBOND METAL PANEL SYSTEM COLOR: CUSTOM TO MATCH BRK-1	SCR-1 CITYSCAPES ENVISOR MECHANICAL SCREEN COLOR: SILVER SATIN	STF-1 KAWNEER GLAZING SYSTEM COLOR: ANODIZED ALUMINUM

JULY 29, 2026

LOT 3A PARKER POINTE SUBDIVISION FILING NO. 1, AMENDMENT NO. 1
HUNTINGTON NATIONAL BANK

SITUATED IN THE NE 1/4 OF SECTION 3, T.7S., R.66W. OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PAGE 1 OF 11

Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	F	2	Lithonia Lighting	TFX2 LED 40K Mvolt	TFX2 LED Floodlight 12,700lm	1	12827	0.9	93.1
	P11	11	LSI INDUSTRIES, INC.	LAD6-LAD6R-LCD6-LED-14L-40-WF-TR6R-SF-HAZ	LCD6-LAD6-LAD6R	1	1335	0.9	14
	TYPE 5	4	Lithonia Lighting	DSX0 LED P3 30K 80CRI TSM	D-Series Size 0 Area Luminaire P3 Performance Package 3000K CCT 80 CRI Type 5 Medium	1	8000	0.9	68.95
	TYPE 4-HS	4	Lithonia Lighting	DSX0 LED P3 30K 80CRI T4M HS EGS-F	D-Series Size 0 Area Luminaire P3 Performance Package 3000K CCT 80 CRI Type 4 Medium Houseside Shield Forward External Glare Shield	1	3884	0.9	68.95
	TYPE L	2	Lithonia Lighting	DSX0 LED P2 30K 80CRI LCCO EGS	D-Series Size 0 Area Luminaire P2 Performance Package 3000K CCT 80 CRI Left Corner Cutoff Extreme Backlight Control External Glare Shield	1	3918	0.9	45.14
	TYPE R	2	Lithonia Lighting	DSX0 LED P2 30K 80CRI RCCO EGS	D-Series Size 0 Area Luminaire P2 Performance Package 3000K CCT 80 CRI Right Corner Cutoff Extreme Backlight Control External Glare Shield	1	3918	0.9	45.14
	WP1	1	Lithonia Lighting	WDGE1 LED P1 30K 90CRI VW	WDGE1 LED WITH P1 - PERFORMANCE PACKAGE, 3000K, 90CRI, VISUAL COMFORT WIDE OPTIC	1	1030	0.9	10.0002
	A	2	Gotham Architectural Lighting	EV02 40/05 90CRI MWD AR LD	EVO 2 INCH RECESSED DOWNLIGHT, ROUND, 4000K, 500 LUMENS, CLEAR, MATTE-DIFFUSE, MEDIUM WIDE, 90 CRI	1	499	0.9	6.33

LUMENS PER SQUARE FOOT:

LUMENS PER SQUARE FOOT
TOTAL LUMENS = 102,905 LUMENS ON PROPERTY
SITE = 59,025.5 SF = BUILDING SQFT (3005 SF) = 56,020.5 SF

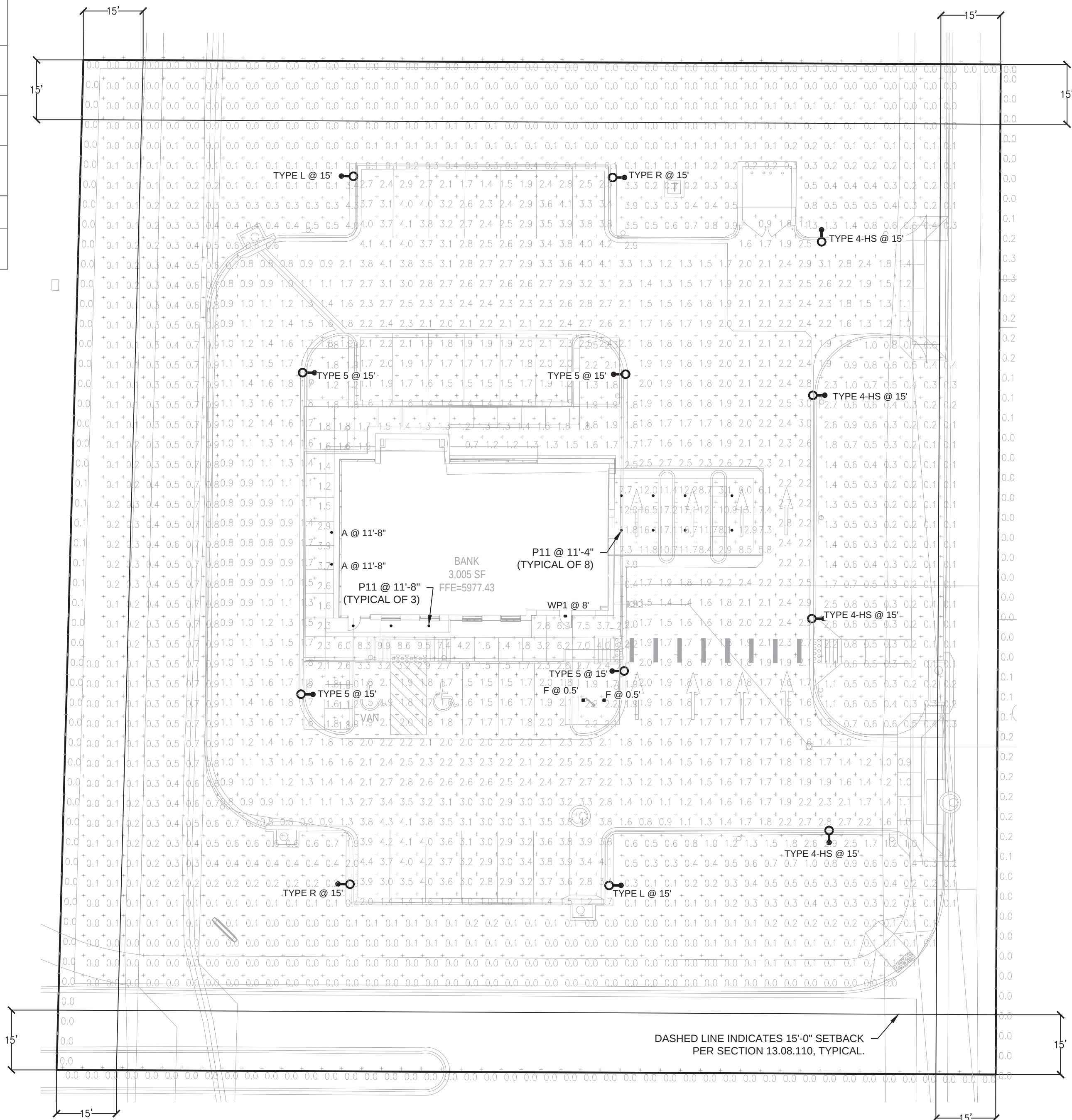
LUMENS PER SQUARE FOOT = 1.8369 LUMENS PER SQUARE FOOT

LIGHTING CONTROLS NOTE:

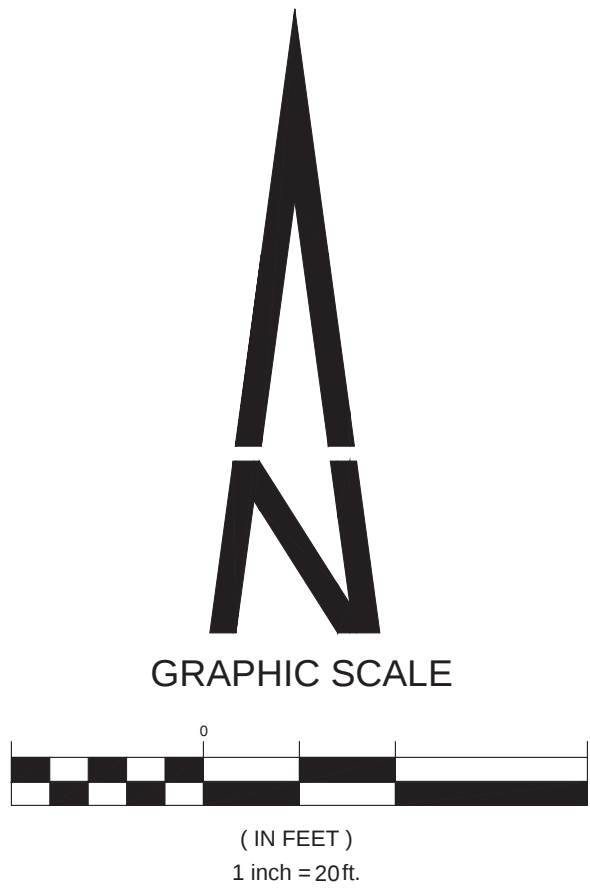
PER SECTION 13.08.110 (E) (8) ALL ILLUMINATION SHALL BE REDUCED BY AT LEAST 70 PERCENT ONE HOUR AFTER THE CLOSE OF BUSINESS AND SHALL NOT EXCEED THAT LEVEL OF ILLUMINATION UNTIL AT LEAST ONE HOUR PRIOR TO THE OPENING OF THE BUSINESS. THIS REDUCTION IN ILLUMINATION MAY BE ACHIEVED BY DIMMING THE LAMPS WITHIN A LIGHT FIXTURE (LUMINAIRE) AND/OR TURNING OFF A LUMINAIRE OR A PORTION OF A MULTI-LUMINAIRE ASSEMBLAGE.

THESE REQUIREMENTS WILL BE MET DURING VIA CONTROLS DURING DESIGN.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Drive Up Canopy	+	10.8 fc	17.2 fc	2.9 fc	5.9:1	3.7:1
Parking/Drive Lanes	+	2.0 fc	4.4 fc	0.8 fc	5.5:1	2.5:1
Walkways	+	3.0 fc	9.9 fc	1.1 fc	9.0:1	2.7:1
Property Line	+	0.0 fc	0.3 fc	0.0 fc	N/A	N/A
Landscape Areas	+	0.4 fc	4.3 fc	0.0 fc	N/A	N/A



SITE PHOTOMETRIC PLAN
1"=20'-0"



JUNE 29, 2026

SHEET TITLE

PHOTOMETRIC PLAN
9 OF 10

SITUATED IN THE NE 1/4 OF SECTION 3, T.7S., R.66W. OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
PAGE 1 OF 11

TFX2 LED Floodlights







TFX2 with Yoke Mount

Introduction

The TFX2 LED flood luminaire is a cost-effective, energy-efficient, long-life solution for replacing metal halide or HPS floodlights. Delivering 13,200 lumens, the TFX2 can replace up to 250W metal halide while saving 68% in energy costs. Reliable IP66 construction and excellent LED lumen maintenance will ensure a long service life, avoiding the multiple lamp changes of the metal halide luminaires they replace.

The TFX2 is available with yoke mounting options.

Coloring Information		Ordering Information		Options		Mounting		Catalog Number		CI Code		UPC Code	
Color Temp.	Lumen Output	Input Power	Efficacy (lumens per Watt)	Finish	Voltage								
4000K	13,200	94W	140	Dark Bronze	MVOLT (120V-277V)	Yoke	TFX2 LED 40K MVOLT YK DBRND	*252ME	193047670234				
5000K						Yoke	TFX2 LED 50K MVOLT YK DBRND	*251FK	193048041552				

FEATURES & SPECIFICATIONS

INTENDED USE

The TFX2 LED floodlight is designed to provide a cost-effective, energy-efficient solution for the use in the replacement of existing metal halide or high-pressure sodium lighting. The TFX2 is also ideal for replacing the 250W HPS luminaires in parking lots, sports fields, and other floodlighting applications. TFX2 luminaire delivers uniform, wide beam distribution.

CONSTRUCTION

The TFX2 LED floodlight features a die-cast aluminum main body with optional thermal management for both luminaires. LED efficiency and extends component life. The light fixture and housing are IP66-rated, and sealed against moisture in environmental conditions.

ELECTRICAL

Light-emitting diode configuration of cost-effective LEDs and LED lumen maintenance is the main reason for the long service life. The TFX2 LED luminaire has a maximum of 13,200 lumens, 4000K and 5000K color temperatures, CCT options with maximum of 100,000 hours. 4000K and 5000K color temperatures, CCT options with maximum of 100,000 hours. 4000K and 5000K color temperatures, CCT options with maximum of 100,000 hours. 4000K and 5000K color temperatures, CCT options with maximum of 100,000 hours.

INSTALLATION

The integral dipper option (D) mates with standard 2" (51 mm) for pole-to-pole mounting. The pole-mount (PO) option allows mounting to solid surfaces and has a 2" (51 mm) hole. The luminaire is suitable for all types of weather. TFX2 is rated for operation at ground, can be tilted from 0° horizontal facing downwards, up to 90° horizontal facing upwards.

LISTINGS

UL Certified to meet U.S. and Canadian standards. Suitable for wet locations: (W6) Rated Design Light Construction (DLC) Premium qualified product. Please check the DLC Qualified Product List.

WARRANTY

5-year limited warranty. This is the only warranty provided and is not otherwise in this specification sheet and may vary by state. All other express and implied warranties are disclaimed. Complete warranty terms located at: [http://www.lithonia-lighting.com/warranty](#)

Notes

Actual performance may differ as a result of end use environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



COMMERCIAL OUTDOOR

One Lithonia Way • Cary, Georgia 30013 • Phone: 1-800-705-5578 / 378 • www.lithonia-lighting.com

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TFX2 LED
Rev. 06/27/20
Page 1 of 2

D-Series Size 0 LED Area Luminaire

d series

Specifications

EPA:	0.42 ft ² (0.04 m ²)
Length:	26.18" (663 mm)
Width:	14.84" (377 mm)
Height H1:	2.26" (57 mm)
Height H2:	7.46" (189 mm)
Weight:	22.1 lb (10 kg)

CS design select[®] product indicated by this color coding

Ordering Information

DS0 LED	Light	Color temperature	Color rendering Index	Beam spread	Beam angle	Beam diameter	Beam height	Beam width
DS0 LED	Forward optics							
	P1 P2	30K 4000K	90CRI					
	P2 P3	40K 5000K	90CRI					
	P3 P7	50K 5000K	90CRI					
DS0 LED	Retained optics							
	P10 P11	30K 4000K	80CRI					
	P11 P12	30K 4000K	80CRI					
	P12 P13	30K 4000K	80CRI					

EXAMPLE: DSX0 LED P6 40k 70CRI 3TM MVOLT SP NLTARZ PIRHM DOXB

DS0 LED	Light	Color temperature	Color rendering Index	Beam spread	Beam angle	Beam diameter	Beam height	Beam width
DS0 LED	Forward optics							
	P1 P2	30K 4000K	90CRI					
	P2 P3	40K 5000K	90CRI					
	P3 P7	50K 5000K	90CRI					
DS0 LED	Retained optics							
	P10 P11	30K 4000K	80CRI					
	P11 P12	30K 4000K	80CRI					
	P12 P13	30K 4000K	80CRI					

TYPE 5, TYPE L 4-HSS, TYPE L AND TYPE R

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficiency long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

cs design select[®]

Items marked with a **Shielded** logo qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.lithonia-lighting.com/designselect.
*See ordering form for details.

1 Acuity Way • Decatur, Georgia 30030 • Phone 1-800-755-7559 (1-732) • www.lithonia-lighting.com
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DS0-LED
Rev. 02/2013



PERCEPTICS
DESIGN

6901 SOUTH PIERCE STREET, SUITE 220, LITTLE ROCK, AR 72209
501.225.0000

