

O'Reilly AUTO PARTS

O'REILLY AUTO PARTS PARKER, CO (PK2)

LOT 1 OF PARKER POINTE SUBDIVISION FILING NO 1

LOCATED IN THE NORTHEAST 1/4 SECTION OF SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST, OF THE 6TH P.M., TOWN OF PAKER, COUNTY OF DOUGLAS, STATE OF COLORADO

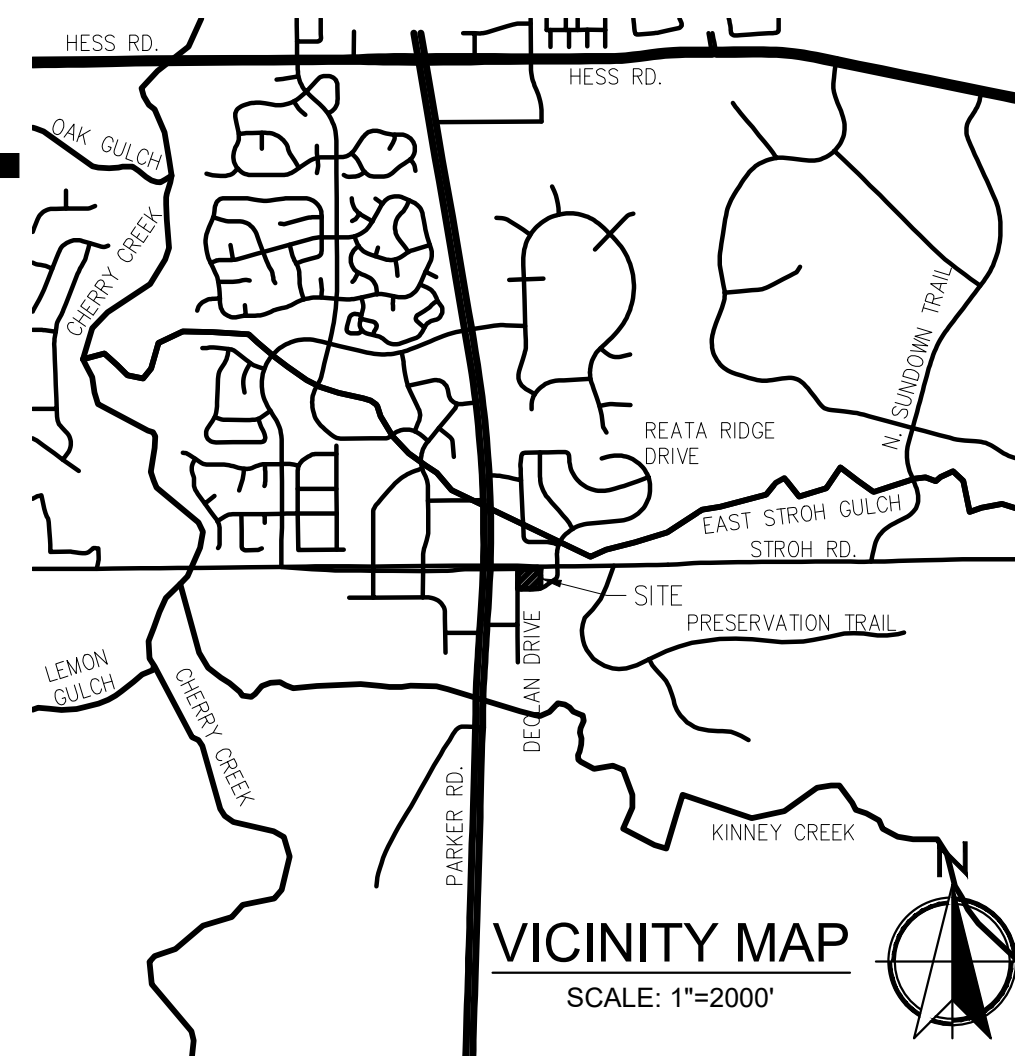
TOWN OF PARKER CONTACTS

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JNELSON@PARKERCO.GOV
(303) 805-3194

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SCOTT.STENE@SOUTHMETRO.ORG
(720) 989-2249

ENGINEERING
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AMESTDAGH@PARKERCO.GOV
(303) 805-3204

PLANNING
AMBER WOOD HICKEN
AHICKEN@PARKERCO.GOV
(303) 805-3338



OWNER AND DEVELOPER



O'REILLY AUTO ENTERPRISES, LLC
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
417-862-2674 PHONE

BIDDING INFORMATION:

REFER TO OWNER'S WEB SITE:
HTTP://WWW.O'REILLYPLANROOM.COM

NOTE: REFER TO CURRENT PROJECTS LIST, LOCATED AT BOTTOM OF SIGN IN PAGE, FOR INVITED GENERAL CONTRACTORS.

ALL SUB-CONTRACTOR BIDS TO BE SUBMITTED TO INVITED GENERAL CONTRACTORS ONLY.

CONTACT OWNER'S DESIGNATED REPRESENTATIVE FOR ADDITIONAL PROJECT INFORMATION.

CIVIL ENGINEER

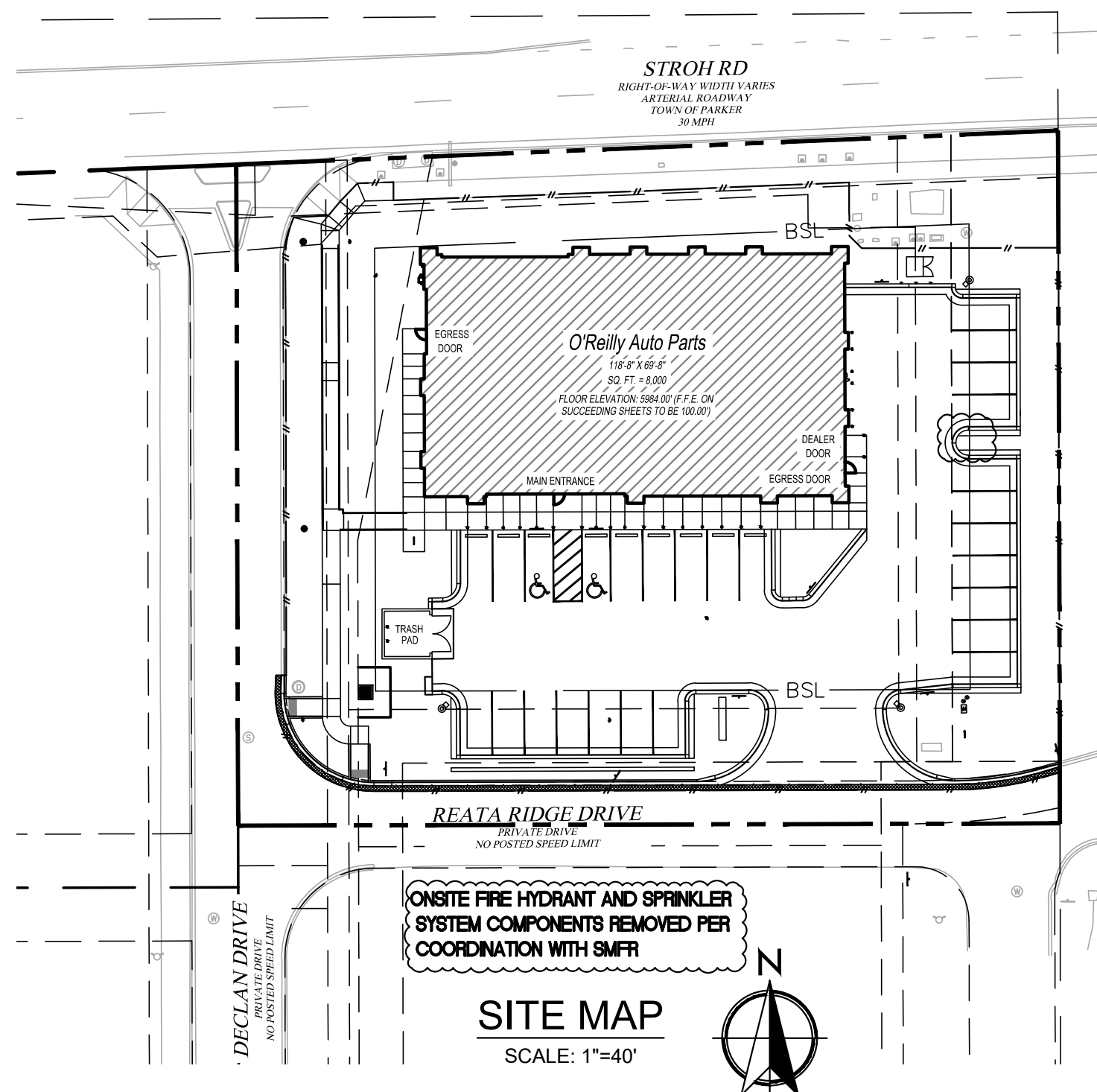
TAIT & ASSOCIATES
ENGINEERING ENVIRONMENTAL BUILDING LAND
SANTA ANA SACRAMENTO DENVER DALLAS
SAN LUIS OBISPO RIVERSIDE BOISE

ABBREVIATIONS

BACK OF CURB	BC	FLOW LINE	FL
BOTTOM OF PIPE	BOP	FINISHED SURFACE	FS
CURB FACE	CF	INVERT	INV
EXPOSED FOUNDATION	EF	SIDEWALK	SW
EXISTING GROUND	EG	TOP OF CURB	TC
EXISTING SURFACE	ES	TOP OF GRATE	TOG
FINISHED FLOOR	FF	TOP OF PIPE	TOP

NOTE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES, AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THERE MAY BE EXISTING UTILITIES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION OF THOSE UNDERGROUND UTILITIES TO BE USED PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.



GENERAL NOTES

A. CONTRACT ADMINISTRATION (LIMITED SERVICE): THE ARCHITECT AND/OR ENGINEER OF RECORD INDICATED HEREIN ARE PROVIDING A LIMITED SERVICE AND NOT PROVIDING CONTRACT ADMINISTRATION SERVICES FOR THIS PROJECT WHICH IS THE RESPONSIBILITY OF OTHERS. THE ARCHITECT AND/OR ENGINEER ARE NOT RESPONSIBLE FOR FIELD ACTIVITIES ON THIS PROJECT WITHOUT DIRECT INSPECTION OF THE WORK IN PROGRESS. IF FIELD CONDITIONS ARE UNCOVERED THAT REQUIRE A CHANGE OR ADDITIONAL INFORMATION, THE ARCHITECT AND/OR ENGINEER DOES NOT DELEGATE AUTHORITY TO ANYONE ELSE FOR DETERMINING THE MEANING OF PLANS OR SPECIFICATIONS AS AUTHENTICATED HEREIN.

B. QUALITY STANDARDS AND BUILDING CODES: CONTRACTORS SHALL BE RESPONSIBLE FOR KNOWING THE QUALITY AND PUBLIC SAFETY REGULATIONS SET FORTH IN THE GOVERNING CODES AND OTHER APPLICABLE REGULATIONS OF LOCAL AND STATE AGENCIES HAVING JURISDICTION WHICH GOVERN EACH CONTRACTOR'S WORK.

C. EXISTING CONDITIONS: FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING WORK. NOTIFY THE ARCHITECT AND/OR ENGINEER OF RECORD IF EXISTING CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.

QUALITY CONTROL

- REFER TO PROJECT MANUAL, SECTION 01 45 16 - QUALITY CONTROL PROCEDURES, FOR ADDITIONAL REQUIREMENTS.
- REFER TO STRUCTURAL DRAWINGS FOR SCHEDULE OF SPECIAL INSPECTIONS, IF INDICATED.
- WHERE REQUIRED, THE OWNER SHALL PROVIDE THE SERVICES OF AN INDEPENDENT TESTING LABORATORY TO PERFORM TESTING AND SPECIAL INSPECTIONS INDICATED.

CAUTION:
INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

BENCHMARK

DOUGLAS COUNTY BENCHMARK 1.060032, EL=5,903.17 FEET (NAVD88) - 3 1/4" INCH ALUMINUM CAP (DOUGLAS COUNTY GIS SECONDARY CONTROL MONUMENT 1.060032) AT THE SOUTHEAST CORNER OF THE PARKING LOT OF STROH RANCH SOCCER FIELDS, ON THE NORTH SIDE OF STROH RD, EAST OF THE INTERSECTION OF STORH ROAD AND N. MOTSENBOCKER ROAD, CITY OF PARKER, COLORADO.

BASIS OF BEARING

BEARINGS SHOWN HEREON ARE BASED ON THE NORTHERLY LINE OF THE NORTHEAST QUARTER OF SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M., MONUMENTED AS SHOWN ON THIS SURVEY PLAT AS BEARING NORTH 89°33'14" EAST, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

UNAUTHORIZED CHANGES & USES

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES OF THESE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS PRIOR TO CONSTRUCTION. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

UTILITY PURVEYORS

WATER/SEWER
PARKER WATER AND SANITATION DISTRICT
LISA SINDALL
(303) 841-4627

NATURAL GAS
XCEL ENERGY
(800) 628-2121

ELECTRIC
CORE ELECTRIC COOPERATIVE
BROOKS KAUFMAN
(303) 688-3100

TELEPHONE
CENTURYLINK
(720) 578-5142

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LAND USE SUMMARY

LOT AREA	0.999 AC / 43,516 SF
ZONE	MIXED-USE COMMUNITY
PROPOSED USE	COMMERCIAL RETAIL
DWELLING UNITS	NONE
TOTAL BUILDINGS	1
BUILDING GFA	8,000 SF

SETBACKS:	25' BUILDING SETBACK
REQUIRED	
PROVIDED	
NORTH PROPERTY LINE	25.4' MIN
EAST PROPERTY LINE	58.8' MIN
SOUTH PROPERTY LINE	89.8' MIN
WEST PROPERTY LINE	51.4' MIN

PARKING:	1 SPACE PER 300 SF GFA
CALCULATION	27
TOTAL REQUIRED	27
TOTAL PROVIDED	27
ACCESSIBLE REQUIRED	2
ACCESSIBLE PROVIDED	2

BICYCLE PARKING:	2 PER 10,000 SF GFA
REQUIRED	2
PROVIDED	2

LANDSCAPE:	
REQUIRED	
PERCENTAGE	15%
AREA	6,527 SF
PROVIDED	
PERCENTAGE	26.8%
AREA	11,655 SF

LEGAL DESCRIPTION

LOT 1, PARKER POINTE SUBDIVISION, FILING NO. 1 ACCORDING TO THE PLAT RECORDED JANUARY 7, 2022, AT RECEPTION NO. 2022001733, COUNTY OF DOUGLAS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED, AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SECTION THREE (3), TOWNSHIP SEVEN (7) SOUTH, RANGE SIXTY-SIX (66) WEST OF THE SIXTH PRINCIPAL MERIDIAN AND CONSIDERING THE NORTHERLY LINE OF THE NORTHEAST QUARTER OF SECTION 3 AS AN ASSUMED BEARING OF NORTH 89°33'14" EAST, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;

THENCE ALONG THE EASTERLY LINE OF THE NORTHEAST QUARTER OF SAID SECTION 3 SOUTH 00°09'20" EAST 33.18 FEET TO THE NORTHEAST CORNER OF LOT 1 OF PARKER POINTE SUBDIVISION, FILING NO. 1, SAID POINT BEING THE POINT OF BEGINNING.

THENCE ALONG THE EASTERLY, SOUTHERLY, WESTERLY, AND NORTHERLY LINES OF SAID LOT 1 THE FOLLOWING FOUR (4) COURSES:

- SOUTH 00°09'20" EAST 193.73 FEET;
- SOUTH 89°50'40" WEST 229.86 FEET;
- NORTH 00°09'20" WEST 184.90 FEET
- NORTH 87°38'41" EAST 230.03 FEET TO THE POINT OF BEGINNING

CONTAINING 43,516 SQUARE FEET OR 0.999 ACRES MORE OR LESS.

EARTHWORK SUMMARY

ESTIMATED CUT:	661 CUBIC YARDS
ESTIMATED FILL:	495 CUBIC YARDS
ESTIMATED NET:	166 CUBIC YARDS (EXPORT)
ESTIMATED OVER-EXCAVATION:	985 CUBIC YARDS
STEEPEST PROPOSED SLOPE:	3:1
TOTAL DISTURBANCE:	35,105 SF (0.81 AC)
EXISTING IMPERVIOUS AREA:	6,754 SF (0.16 AC)
PROPOSED IMPERVIOUS AREA:	30,270 SF (0.70 AC)
AREA OF LAND DISTURBANCE:	35,105 SF (0.81 AC)
TREATED BY WATER QUALITY CONTROL MEASURES	

NOTE:
EARTHWORK QUANTITIES ARE CALCULATED USING AUTOCAD CIVIL 3D TO COMPARE THE DIFFERENCE BETWEEN THE EXISTING SURFACE (CREATED FROM THE SURVEY POINTS PROVIDED BY TAIT & ASSOCIATES) AND THE PROPOSED SURFACE. QUANTITIES ARE RAW NUMBERS TO BE USED FOR PERMIT PURPOSES ONLY. THESE FIGURES DO NOT INCLUDE REMEDIAL QUANTITIES, BULKING OR SHRINKAGE FACTORS. CONTRACTOR SHALL VERIFY QUANTITIES FOR CONSTRUCTION BID PURPOSES.

OVER-EXCAVATION QUANTITY ESTIMATED USING 2' OVER-EXCAVATION AT THE BUILDING FOUNDATION AND 8 INCH OVER-EXCAVATION FOR ALL OTHER PAVED SURFACES. SEE GEOTECHNICAL REPORT FOR DETAILS.

The Town of Parker review constitutes general compliance with the Town's Standards and approved variances, subject to these plans being stamped, signed, and dated by the professional engineer of record. Review by the Town does not constitute approval of the plan design or accuracy and correctness of engineering calculations. Errors in the design or calculations remain the responsibility of the registered professional engineer whose stamp and signature are affixed to this document.

This review does not constitute approval of any private on-site improvements which may be shown. Construction cannot commence until all required drainage/traffic reports(s), final development plan(s), special review(s), grading permit, and/or other permits are complete, approved and on file with the Town of Parker.

04/30/2026
Town of Parker, Director of Engineering
Date

PREPARED UNDER THE SUPERVISION OF TAIT & ASSOCIATES, INC.

TAIT & ASSOCIATES
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Loveland, CO 80537
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WWW.TAIT.COM
ENGINEERING ENVIRONMENTAL BUILDING LAND
SANTA ANA SACRAMENTO DENVER
SAN LUIS OBISPO RIVERSIDE BOISE

STEVEN P. BUNCH, PE 65775
PROFESSIONAL ENGINEER

LOT 1 PARKER POINTE SUBDIVISION FILING 1

PROJECT:
NEW O'REILLY AUTO PARTS STORE
13111 REATA RIDGE DRIVE
PARKER, CO #2

COVER SHEET

O'REILLY AUTO PARTS

O'Reilly
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2674 TELEPHONE

COMM # 4884

DATE: 02/14/2025

REVISION

DATE: 05/02/2025

07/01/2025

07/30/2025

08/22/2025

09/03/2025

CT1.1



TOWN GENERAL NOTES

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE LATEST EDITION OF THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT. THE TOWN RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- A PRECONSTRUCTION MEETING SHALL BE SCHEDULED A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. A PRECONSTRUCTION MEETING WILL NOT BE SCHEDULED UNTIL THE GRADING PERMIT AND ALL OTHER NECESSARY PERMITS HAVE BEEN OBTAINED.
- THE TOWN INSPECTOR SHALL BE CONTACTED A MINIMUM OF 24 HOURS PRIOR TO A NECESSARY INSPECTION. IF A TOWN INSPECTOR IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE PERMITTEE MAY COMMENCE WORK IN THE TOWN INSPECTOR'S ABSENCE. HOWEVER, THE TOWN OF PARKER RESERVES THE RIGHT TO REJECT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
- LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION IN ACCORDANCE WITH ALL STATE AND LOCAL LAWS. THE CONTRACTOR SHALL FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS, APPROVED BY THE TOWN OF PARKER DIRECTOR OF ENGINEERING/PUBLIC WORKS, AND ONE (1) COPY OF THE ROADWAY DESIGN AND CONSTRUCTION CRITERIA AT THE JOB SITE AT ALL TIMES.
- A PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE SUBMITTED TO THE TOWN OF PARKER FOR ACCEPTANCE WITH THE RIGHT-OF-WAY USE PERMIT APPLICATION. A PERMIT WILL NOT BE ISSUED WITHOUT AN APPROVED TRAFFIC CONTROL PLAN FOR USE DURING CONSTRUCTION.
- ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION."
- COMPACTION OF ALL TRENCHES MUST BE ATTAINED AND COMPACTION TEST RESULTS SUBMITTED TO THE DEVELOPMENT REVIEW ENGINEER IN PRELIMINARY FORM PRIOR TO PAVING AND IN FINAL FORM PRIOR TO PROBATIONARY ACCEPTANCE.
- THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE PLAN MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH APPROVAL FROM THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.
- PLANS ARE APPROVED FOR PERIOD OF 1 (ONE) YEAR FROM THE DATE SHOWN ON THE TOWN OF PARKER SIGNATURE BLOCK. PLANS SHALL BE RESUBMITTED TO THE TOWN FOR APPROVAL AFTER 1 YEAR. THE COST OF THE PLAN RE-REVIEW AND RE-ACCEPTANCE WILL BE CHARGED BACK TO THE DEVELOPER INCLUDING ALL TIME AND EXPENSES OF THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING IS THE RESPONSIBILITY OF THE CONTRACTOR. SUCH RESTORATION MAY BE REQUIRED TO BE COMPLETED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
- ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
- ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY." FOR INFORMATION, PLEASE CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, WQCD-PE-B2, 4300 CHERRY DRIVE SOUTH, DENVER, COLORADO 80222-1530. ATTENTION: PERMITS AND ENFORCEMENT SECTION. PHONE (303) 692-3500.
- IF DEWATERING IS REQUIRED, A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED FOR DISCHARGES TO A STORM SEWER, CHANNEL, IRRIGATION DITCH, ANY STREET THAT IS TRIBUTARY TO THE FOREMENTIONED FACILITIES, OR ANY WATER OF THE UNITED STATES.
- ALL REFERENCES TO BOOKS, PAGES, MAPS, AND RECEPTION NUMBER ARE PUBLIC DOCUMENTS ON FILE WITH THE COUNTY CLERK AND RECORDER'S OFFICE.

CAUTION:
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**Know what's below
Call before you dig.**

STORM DRAINAGE INFRASTRUCTURE NOTES

- ALL STORM DRAINAGE IMPROVEMENTS ARE SUBJECT TO COMPLIANCE WITH THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, M & S STANDARDS, AND ALL STANDARD SPECIAL PROVISIONS CURRENTLY USED BY CDOT. WITH THE MODIFICATIONS SET FORTH IN THE TOWN OF PARKER'S STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL (SDECM), AS AMENDED.
- THE CONTRACTOR SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8 CRS), THE "PROTECTION OF FISHING STREAMS" TITLE 33, ARTICLE 5, CRS), THE "CLEAN WATER ACT" (33 USC 1344), CHERRY CREEK RESERVOIR CONTROL REGULATION NO. 72" (5 CCR 1002-72), THE REGULATION PROMULGATED, CERTIFICATION OR PERMITS ISSUES, AND THE REQUIREMENTS PRESENTED IN THE SDECM REVISION TO SECTION 107 AND THE CONSTRUCTION BMP PLAN. IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND WATER QUALITY CONTROL LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, OR STATE AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- INSPECTIONS: CONSTRUCTION SHALL NOT BEGIN UNTIL A GRADING PERMIT HAS BEEN ISSUED FOR THE PROJECT. THE CONTRACTOR SHALL NOTIFY THE TOWN OF PARKER ENGINEERING DEPARTMENT (PUBLIC WORKS) TO SCHEDULE INSPECTIONS A MINIMUM OF 48 HOURS PRIOR THE CONSTRUCTION OF ALL DRAINAGE INFRASTRUCTURE (STORM SEWERS, INLETS, MANHOLES, ENERGY DISSIPATORS, RIPRAP, GROUDED BOULDERS, DETENTION POND OUTLET STRUCTURES, FOREBAYS, TRICKLE CHANNELS, ETC). FAILURE TO NOTIFY THE ENGINEERING DEPARTMENT FOR INSPECTIONS MAY RESULT IN NON-ACCEPTANCE OF THE INFRASTRUCTURE BY THE TOWN. URBAN DRAINAGE AND FLOOD CONTROL DISTRICT MUST ALSO BE NOTIFIED IN A SIMILAR MANNER FOR ALL MAINTENANCE ELIGIBLE DRAINAGE INFRASTRUCTURES (CONSULT WITH STORMWATER ENGINEERING DIVISION).
- STRUCTURAL BACKFILL (CDOT CLASS 1) SHALL BE COMPACTED TO CONFORM TO CDOT STANDARD SPECIFICATION 203.03. STRUCTURAL BACKFILL (CDOT CLASS 2) SHALL CONFORM TO CDOT STANDARD SPECIFICATION 203.07. AT THE CONTRACTOR'S OPTION, STRUCTURAL BACKFILL (SQUEEGEE) MEETING THE GRADATION REQUIREMENTS CONTAINED IN REVISION OF SECTION 206 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM, MAY BE SUBSTITUTED FOR STRUCTURE BACKFILL (CLASS 1) OR CLASS 2) FOR BACKFILLING OF CULVERT PIPES, STORM SEWER PIPES, MANHOLES AND INLET STRUCTURES; HOWEVER, THE TOP 2 FEET BELOW SUBGRADE ELEVATION SHALL BE THE REQUIRED EMBANKMENT MATERIAL.
- ALL EXCAVATIONS SHALL MEET OSHA REQUIREMENTS.
- TESTING: PROBATIONARY ACCEPTANCE OF STORM DRAINAGE IMPROVEMENTS WILL BE CONTINGENT UPON SATISFACTORY TESTING RESULTS. IN ALL CASES WHERE TESTS INDICATE COMPACTION LESS THAN THAT REQUIRED BY TOWN SPECIFICATIONS, ADDITIONAL COMPACTION AND TESTS WILL BE REQUIRED UNTIL THE SPECIFICATIONS ARE MET. FREQUENCY OF TESTING WILL BE AS FOLLOWS:
 - 1 TEST FOR SUBGRADE AND 1 TEST FOR BACKFILL AT EVERY ABOVE GROUND APPURTENANCE (MANHOLES, INLETS, ETC)
 - 1 TEST EVERY 200 LF OF MAINLINE TRENCH EVERY 1 FOOT OF BACKFILL LIFT AND WITHIN 1 FOOT FROM ALL STRUCTURES.
- ALLOWABLE STORM SEWER CONDUIT MATERIAL WITHIN THE TOWN OF PARKER SHALL BE LIMITED TO REINFORCED CONCRETE PIPE (RCP) CONFORMING TO CDOT STANDARD SPECIFICATION 706.02.
- ALL RCP JOINTS SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM C443. RUBBER GASKETS SHALL BE USED ON ALL PIPE JOINTS CONFORMING TO ASTM C443. ALL RCP SECTIONS SHALL BE JOINED IN SUCH A MANNER THAT THE ENDS ARE FULLY ENTERED AND THE INNER SURFACES ARE REASONABLE FLUSH. AVERAGE JOINT GAP THAT EXCEEDS 1/8 INCH SHALL BE FILLED WITH AN APPROVED FLEXIBLE PLASTIC SEALANT.
- JOINT RESTRAINTS AND TOE-WALLS, CONFORMING TO CDOT M&S STANDARD PLAN NO. M-601-11 SHALL BE USED ON ALL RCP FLARED END SECTION OUTFALLS.
- EPOXY COATED REBAR SHALL BE USED AS REINFORCING STEEL ON ALL STORM INLETS AND STRUCTURES. REFERENCE CDOT M&S STANDARD PLAN NO. M-604-10, 11, 12, AND 13.
- CDOT CLASS D CONCRETE SHALL BE USED FOR ALL CONCRETE DRAINAGE STRUCTURES.
- PRE-CAST INLETS AND MANHOLE BASES SHALL NOT BE USED WITHIN THE TOWN OF PARKER RIGHT-OF-WAY, WITH THE EXCEPTION OF CDOT TYPE C AND D INLETS.
- TWO- (2) MANHOLE ACCESS POINTS ARE REQUIRED ON ALL TYPE "R" CURB INLETS GREATER THAN OR EQUAL TO TEN (10) FEET IN LENGTH AS PRESENTED IN CDOT M&S STANDARD PLAN NO. M-604-12.
- ALL GROUTING (BOULDERS, RIPRAP) SHALL BE IN ACCORDANCE WITH THE REVISION OF SECTION 506 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM.
- ALL BOULDERS AND RIPRAP SHALL BE SELECTED AND PLACED IN ACCORDANCE WITH THE REVISION OF SECTION 506 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM.
- CONTRACTOR SHALL REFER TO THE TOWN OF PARKER'S CONSTRUCTION BEST MANAGEMENT PRACTICES DETAILS AND NOTES FOR ALL REQUIREMENTS RELATING TO RE-VEGETATION, SEDIMENT AND EROSION CONTROL REQUIREMENTS FOR CONSTRUCTION ACTIVITIES.
- PIPE BELLS SHALL NOT BE CAST INTO MANHOLE BASES OR INLETS.

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THE
TOWN
APPROVED
REVIEW

THIS
COM
OTHER

TOWN

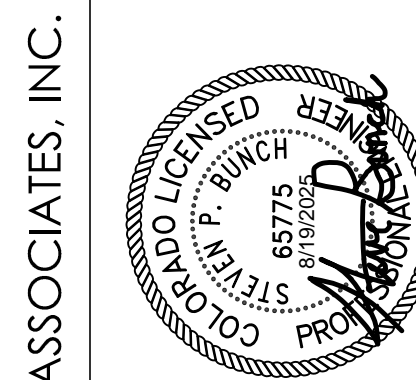
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Town of Parker, Director of Engineering
Date: 04/30/2026

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SHOWN. CONSTRUCTION CANNOT REVIEW(S), GRADING PERMIT, AND/OR



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Santa Ana Sacramento Denver
San Luis Obispo Riverside Boise

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LOT 1 PARKER POINTE SUBDIVISION FILING 1

PROJECT:

NEW O'REILLY AUTO PARTS STORE
13111 REATA RIDGE DRIVE
PARKER, CO #2

O'Reilly AUTO PARTS

CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2674 TELEPHONE

COMM # 4884

DATE: 02/14/2025

REVISION

DATE: 05/02/2025

08/22/2025

CT1.2

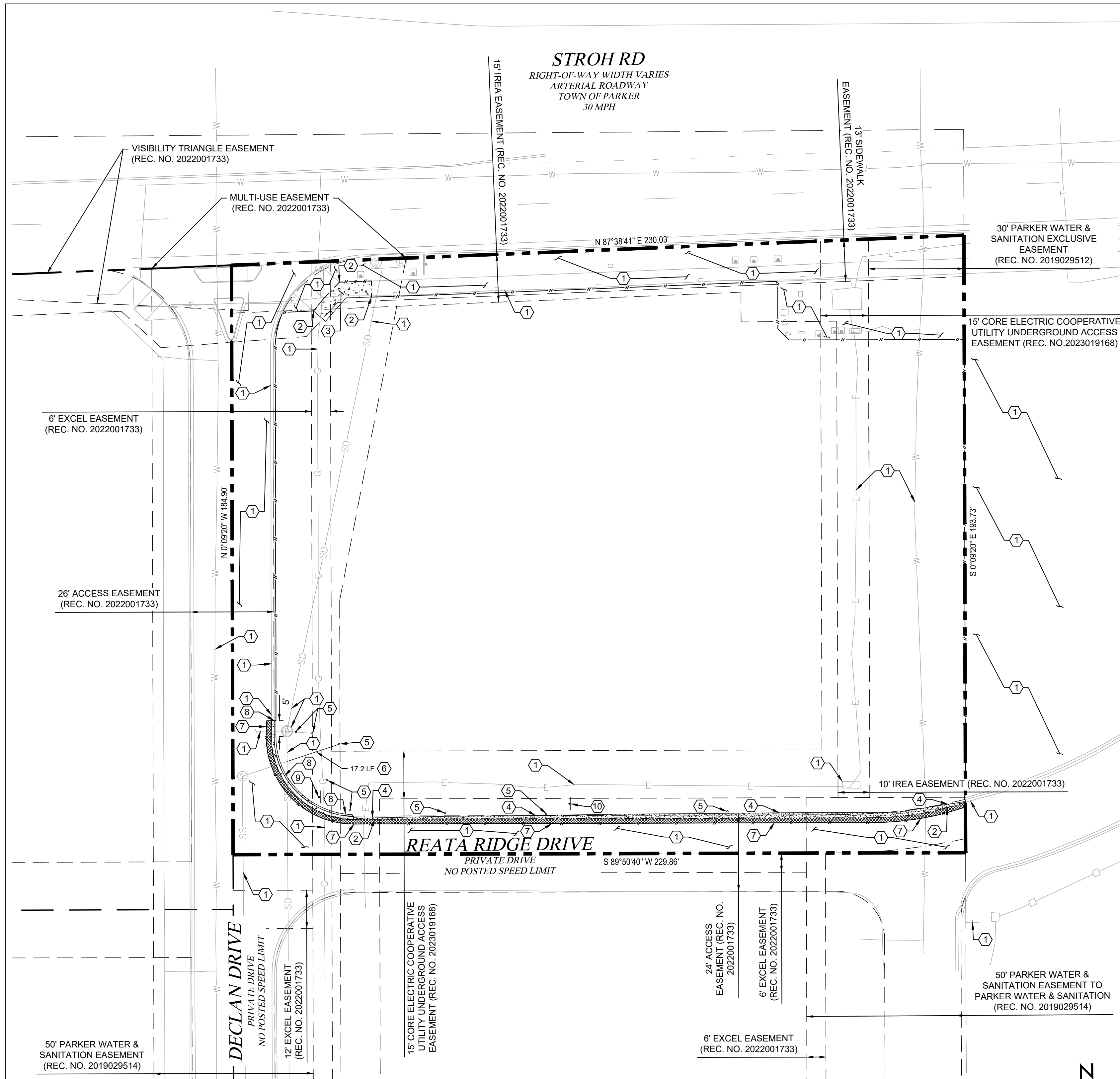
TIMOTHY M. GUILLOT
ARCHITECT

1736 East Sunshine, Suite 417
Springfield, Missouri 65804

417.862.0558
Fax: 417.862.3265

e-mail: architect@esterfyschneiter.com

Steven P. Bunch, PE 6575



1 DEMOLITION PLAN
D1.1 SCALE: 1" = 20'-0"

CAUTION:
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BENCHMARK

DOUGLAS COUNTY BENCHMARK 1.060032, EL=5,903.17 FEET (NAVD88) - 3 1/4" INCH ALUMINUM CAP (DOUGLAS COUNTY GIS SECONDARY CONTROL MONUMENT 1.060032) AT THE SOUTHEAST CORNER OF THE PARKING LOT OF STROH RANCH SOCCER FIELDS, ON THE NORTH SIDE OF STROH RD, EAST OF THE INTERSECTION OF STORH ROAD AND N. MOTSENBOCKER ROAD, CITY OF PARKER, COLORADO.

BASIS OF BEARING

BEARINGS SHOWN HEREON ARE BASED ON THE NORTHERLY LINE OF THE NORTHEAST QUARTER OF SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M., MONUMENTED AS SHOWN ON THIS SURVEY PLAT AS BEARING NORTH 89°33'14" EAST, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

UNAUTHORIZED CHANGES & USES

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GENERAL NOTES

- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- (B) SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER. FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION. NOTIFY ARCHITECT IF EXISTING CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.
- (C) REMOVE ALL EXISTING SITE CONSTRUCTION AND DELETERIOUS MATERIALS UNLESS OTHERWISE NOTED.
- (D) EXISTING CONSTRUCTION TO REMAIN TO BE PROTECTED AS REQUIRED. REPLACE AND/OR REPAIR EXISTING CONSTRUCTION DAMAGED DUE TO CONTRACTOR ACTIVITIES.
- (E) ALL DEMOLITION MATERIALS SHALL BECOME PROPERTY OF CONTRACTOR FOR PROPER DISPOSAL UNLESS OTHERWISE NOTED.
- (F) EXISTING UNDERGROUND INSTALLATION SUCH AS WATER MAINS, GAS MAINS, SEWERS, TELEPHONE LINES, POWER LINES, AND BURIED STRUCTURES IN THE VICINITY OF THE WORK ARE INDICATED ON THE DRAWINGS ONLY TO THE EXTENT SUCH INFORMATION HAS BEEN MADE AVAILABLE. THERE IS NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS IS EXPRESSLY DISCLAIMED. GENERALLY SERVICE CONNECTIONS ARE NOT INDICATED ON THE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR DISCOVERY OF EXISTING UNDERGROUND INSTALLATIONS IN ADVANCE OF EXCAVATING OR TRENCHING BY CONTRACTING LOCAL UTILITIES.

KEY NOTES

- (1) PROTECT EXISTING IMPROVEMENTS IN PLACE.
- (2) SAWCUT EXISTING PAVEMENT. SIDEWALK SAWCUT SHALL BE MADE AT THE NEAREST JOINT.
- (3) REMOVE EXISTING CONCRETE SIDEWALK.
- (4) REMOVE EXISTING ASPHALT PAVEMENT.
- (5) REMOVE EXISTING POST.
- (6) REMOVE EXISTING 6" PVC SANITARY SEWER SERVICE LINE AS SHOWN.
- (7) 1.5" WIDE, 2" DEEP MILL OF EXISTING ASPHALT PAVEMENT.
- (8) REMOVE EXISTING CURB AND GUTTER.
- (9) APPROXIMATE LOCATION OF EXISTING "STOP" SIGN. RELOCATE SIGN TO LOCATION AS SHOWN ON SHEET C2.1.
- (10) APPROXIMATE LOCATION OF EXISTING "NO PARKING FIRE LANE" SIGN. RELOCATE SIGN TO LOCATION AS SHOWN ON SHEET C2.1.

SYMBOLS LEGEND

- NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEGEND.
- RIGHT-OF-WAY
 - O'REILLY PROPERTY LINE
 - ADJACENT PROPERTY LINE
 - EXISTING EASEMENT
 - PROPOSED EASEMENT
 - ROAD CENTERLINE
 - LIMIT OF DISTURBANCE
 - PROPOSED SAWCUT
 - IMPROVEMENTS TO BE REMOVED
 - IMPROVEMENTS TO REMAIN
 - AREA OF ASPHALT REMOVAL
 - AREA OF CONCRETE REMOVAL
 - AREA OF MILL & OVERLAY

ENVIRONMENTAL GENERAL NOTES

- (A) AN ENVIRONMENTAL ANALYSIS HAS BEEN PERFORMED ON THE EXISTING SITE. REFER TO PROJECT MANUAL.
- (B) IF THIS PROJECT CONTAINS HAZARDOUS MATERIALS, CONTRACTOR TO PROVIDE WORK REQUIRED FOR PROPER REMOVAL, HANDLING, AND DISPOSAL PER ENVIRONMENTAL ANALYSIS RECOMMENDATIONS.

THE TOWN OF PARKER APPROVAL/REMAIN T

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04/30/2026
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LOT 1 PARKER POINTE SUBDIVISION FILING 1

PROJECT:
NEW O'REILLY AUTO PARTS STORE
13111 REATA RIDGE DRIVE
PARKER, CO #2

DEMOLITION PLAN

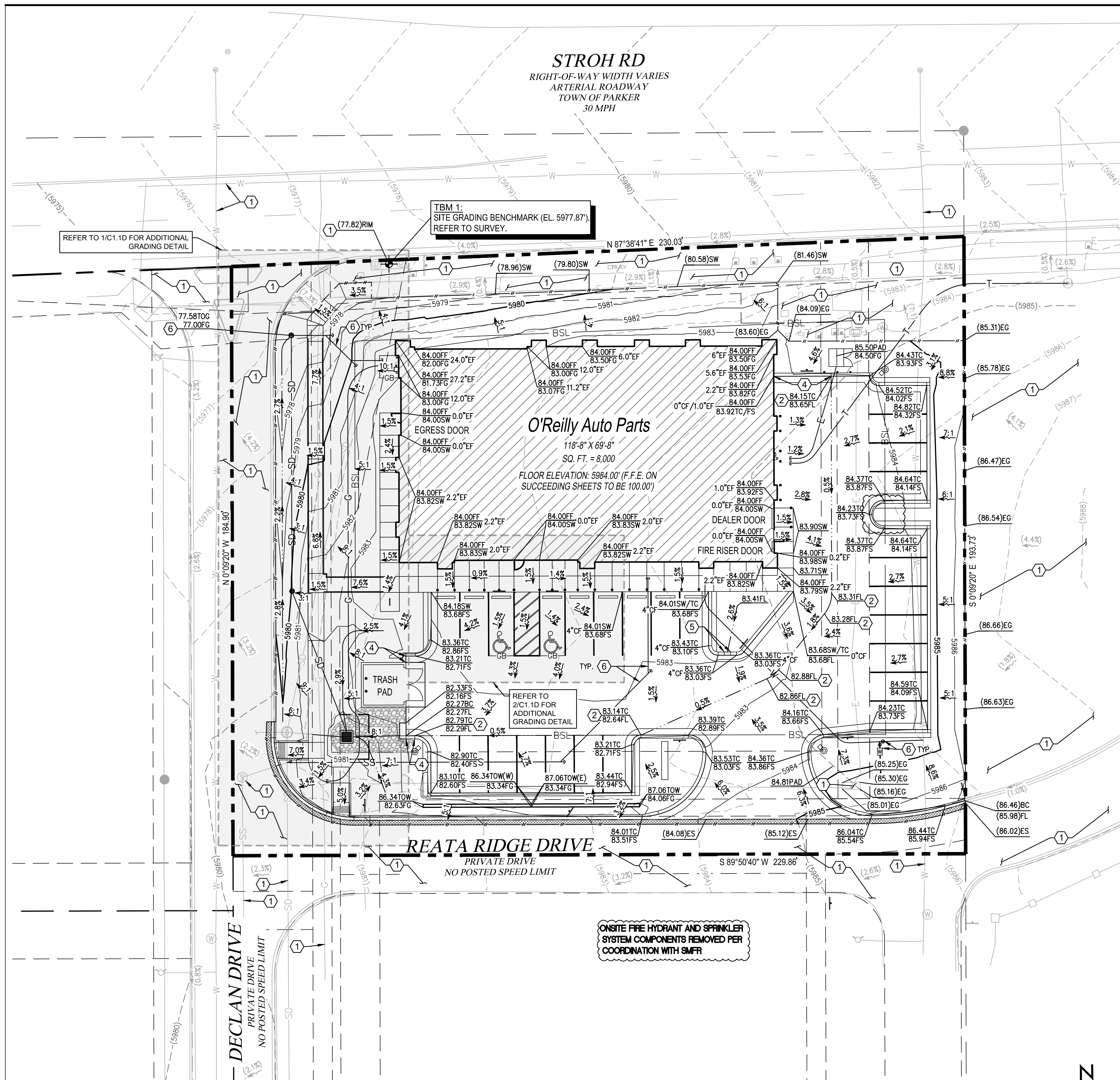
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COMM #	4884
DATE:	02/14/2025
REVISION	
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	08/22/2025

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1 SITE GRADING PLAN
C1.1 SCALE: 1" = 20'-0"

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KEY NOTES

- 1 PROTECT IN PLACE.
- 2 SWALE IN PAVEMENT.
- 3 SWALE IN LANDSCAPING.
- 4 TRANSITION TO 0" CURB OVER DISTANCE AS SHOWN.
- 5 2' CURB CUT PER DETAIL 9/C.2.2.
- 6 REFER TO SHEET C3.1 FOR STORM AND UTILITY IMPROVEMENT DETAILS.
- 7 INSTALL 18" DEEP D50 = 6" RIPRAP PER DETAIL 10/2.2.

GENERAL NOTES

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- C FIELD VERIFY SANITARY SEWER SERVICE CONNECTION INVERT PRIOR TO ESTABLISHING FINAL FINISH FLOOR ELEVATION. NOTIFY ENGINEER IF EXISTING CONDITIONS REQUIRE REVISED FINISH FLOOR ELEVATION TO PROVIDE PROPER DRAINAGE.
- D ACCESSIBLE PARKING AREAS TO SLOPE 2% MAXIMUM IN ALL DIRECTIONS. DESIGNATED ACCESSIBLE ROUTE TO SLOPE 5% MAXIMUM IN DIRECTION OF TRAVEL WITH 2% MAXIMUM CROSS SLOPE.

SITE EXCAVATION REQUIREMENTS

- A A GEOTECHNICAL ANALYSIS HAS BEEN PERFORMED ON THIS SITE. REFER TO PROJECT MANUAL.
- B FOLLOW GEOTECHNICAL ANALYSIS RECOMMENDATIONS FOR SITE EXCAVATION REQUIREMENTS.
- C REFER TO STRUCTURAL DRAWINGS FOR BUILDING EXCAVATION REQUIREMENTS.

ADA NOTE

- ALL ACCESSIBLE PATHS OF TRAVEL ARE TO ABIDE BY THE FOLLOWING PARAMETERS:
- CROSS-SLOPE NOT TO EXCEED 2%
 - LONGITUDINAL SLOPE NOT TO EXCEED 5%
 - LONGITUDINAL RAMP SLOPE NOT TO EXCEED 8.33%
 - RAMP LANDINGS NOT TO EXCEED 2% (LANDING PLACEMENT PER RAMP DETAILS).
 - ELEVATION DIFFERENCE BETWEEN RAMP LANDINGS SHALL NOT EXCEED 30 INCHES.
 - LOWER RAIL SHALL BE PROVIDED ON RAMP RAILING THAT WILL PREVENT AN OBJECT 4 INCHES AND LARGER FROM PASSING UNDER RAILING.
 - PATHWAYS EXCEEDING THESE STANDARDS WILL BE REPLACED AT THE CONTRACTORS EXPENSE

SYMBOL LEGEND

NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEGEND.

---	RIGHT-OF-WAY
---	O'REILLY PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	EXISTING EASEMENT
---	PROPOSED EASEMENT
---	BSL - BUILDING SETBACK LINE
---	ROAD CENTERLINE
---	LIMIT OF DISTURBANCE
---	PROPOSED SAWCUT
---	PROPOSED WATER LINE
---	PROPOSED SEWER LINE
---	PROPOSED ELECTRIC LINE
---	PROPOSED GAS LINE
---	PROPOSED TELEPHONE LINE
---	PROPOSED RIDGE
---	PROPOSED GRADE BREAK
---	PROPOSED FLOWLINE
---	PROPOSED SIGN
---	PROPOSED WHEEL STOP
---	PROPOSED BOLLARD
---	PROPOSED FDC
---	PROPOSED FIRE HYDRANT
---	PROPOSED GATE VALVE
---	PROPOSED THRUST BLOCK
---	PROPOSED CLEANOUT
---	PROPOSED LIGHT POLE
(40.00)XX	EXISTING ELEVATION
40.00XX	PROPOSED ELEVATION
---	EXISTING CONTOURS
---	PROPOSED CONTOURS
---	EXISTING SLOPE
---	PROPOSED SLOPE
---	PROPOSED RIPRAP

ABBREVIATIONS

BC	BACK OF CURB
CF	CURB FACE
EF	EXPOSED FOUNDATION
EG	EXISTING GROUND
ES	EXISTING SURFACE
FF	FINISHED FLOOR
FL	FLOW LINE
FS	FINISHED SURFACE
INV	INVERT
SW	TOP OF CURB
TC	TOP OF GRATE
TOG	TOP OF WALL

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LOT 1 PARKER POINTE SUBDIVISION FILING 1
PROJECT:
NEW O'REILLY AUTO PARTS STORE
13111 REATA RIDGE DRIVE
PARKER, CO #2
SITE GRADING PLAN

O'Reilly AUTO PARTS
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TOWN OF PARKER, DIRECTOR OF ENGINEERING
 DATE: 04/30/2026

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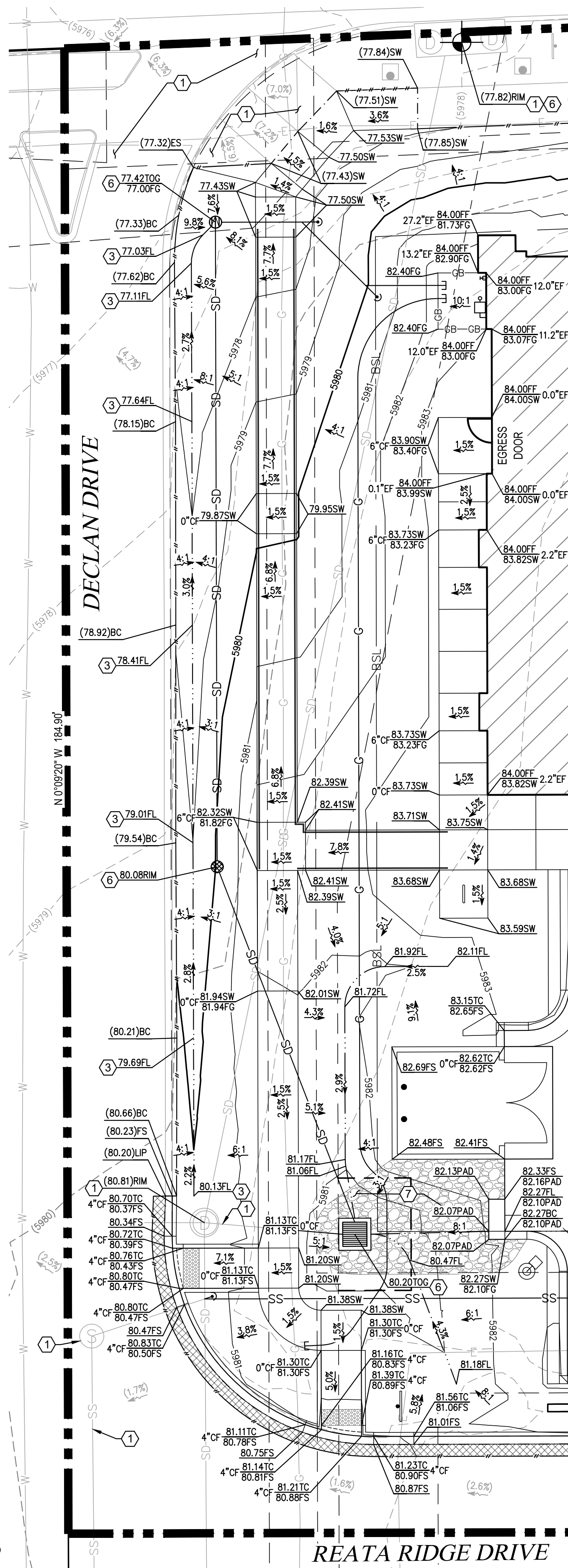
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COMM #	4884
DATE:	02/14/2025
REVISION DATE:	05/02/2025
	07/01/2025
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**Know what's below
Call before you dig.**



1 WEST GRADING DETAIL
C1.1D SCALE: 1" = 10'-0"
GRAPHIC SCALE - FEET

2 ACCESSIBLE PARKING DETAIL
C1.1D SCALE: 1" = 5'-0"
GRAPHIC SCALE - FEET

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Fax: 417.862.3265
e-mail: architect@esterlyschneider.com

PROJECT: **NEW O'REILLY AUTO PARTS STORE**
13111 REATA RIDGE DRIVE
PARKER, CO #2

LOT 1 PARKER POINTE SUBDIVISION FILING 1

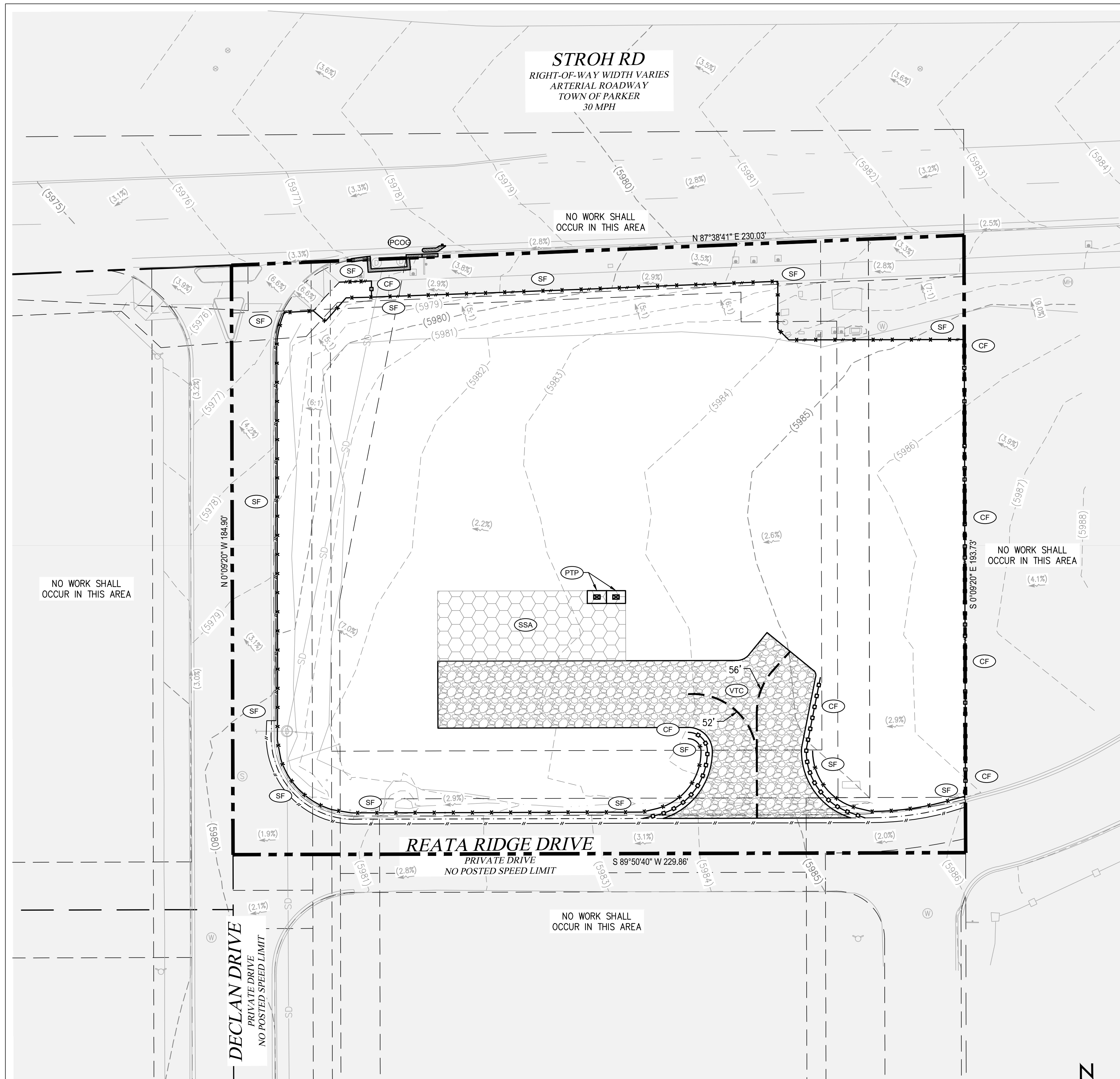
SITE GRADING PLAN DETAILS

O'Reilly AUTO PARTS

CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2674 TELEPHONE

COMM #	4884
DATE:	05/02/2025
REVISION	
DATE:	07/01/2025
	08/22/2025

C1.1D



1 INITIAL SITE EROSION CONTROL PLAN
C1.2 SCALE: 1" = 20'-0"
 20 0 20 40 60
 GRAPHIC SCALE - FEET

EROSION CONTROL LEGEND

TITLE	KEY	SYMBOL
AREA OF NO WORK		
CONCRETE WASHOUT AREA	CWA	
CONSTRUCTION FENCE	CF	
DEBRIS TRASH CONTROL	DTC	
EROSION CONTROL BLANKET ON SLOPES GREATER THAN 3:1 OR WHERE SPECIFIED ON PLAN	ECB	
INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT	IPAN	
INLET PROTECTION, CURB ON-GRADE, TYPE R INLET	PCOG	
MASONRY WORK PROTECTION	MWP	
PORTABLE TOILET PROTECTION	PTP	
ROCK SOCK	RS	
SEDIMENT CONTROL LOG	SCL	
SEEDING, MULCHING AND CRIMPING	SMC	
SIDEWALK TRANSITION PROTECTION	STP	
SILT FENCE	SF	
STABILIZED STAGING AREA	SSA	
SURFACE ROUGHENING	SR	
VEHICLE TRACKING CONTROL	VTC	

- ### GENERAL PHASING NOTES
- PHASE 1:(PRE-CONSTRUCTION)**
- INSTALLATION OF EROSION CONTROL SILT FENCE.
 - DEMOLITION OF EXISTING SITE IMPROVEMENTS.
 - REMOVAL OF EXISTING PAVEMENT ON THE SITE.
- SILT FENCE**
- CONSTRUCTION VEHICLE TRACKING CONTROL
 - STABILIZED STAGING AREA
 - SANITARY FACILITIES
 - ROCK SOCKS
- PHASE 2:(DURING GRADING, AND PAVING)**
- INSTALLATION OF ALL STORM WATER DRAINAGE IMPROVEMENTS.
 - ROUGH GRADING.
 - CONSTRUCTION OF NEW SITE IMPROVEMENTS.
 - FINAL GRADING.
- CONCRETE WASHOUT AREA**
- PRIOR TO ANY CONCRETE WORK
 - SEEDING AND MULCHING
 - STOCKPILES OVER 7-DAYS IDLE
- INLET PROTECTION FOR PROPOSED ONCE INSTALLED**
- PHASE 3:(POST PAVING)**
- PLACEMENT OF FINAL LANDSCAPING ITEMS AND SOD.
 - REMOVAL OF EROSION CONTROL FENCE.
 - FINAL LANDSCAPE INSTALLATION PER LANDSCAPE PLANS
 - REMOVE REMAINING EROSION CONTROL BMP'S ONCE STABILIZED

- ### EROSION GENERAL NOTES
- THE VTC PAD FOR A CWA DOES NOT NEED TO CONFORM TO THE FORMAL VTC DETAIL.
 - THE TRUE LOCATION OF THE CWA MAY BE DETERMINED BY THE TOWN AND THE ECS.
 - LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE AND PRIOR TO ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY.
 - THE TRUE LOCATION OF THE PORTABLE TOILET PROTECTION (PTP) MAY BE DETERMINED BY THE TOWN AND THE ECS.
 - MASONRY WORK PROTECTION IS REQUIRED FOR CONSTRUCTION OF BUILDINGS.
 - ANY ON-SITE BULK FUEL STORAGE REQUIRES A FIRE LIFE SAFETY PERMIT FROM THE TOWN OF PARKER PRIOR TO INSTALLATION.
 - REFER TO SHEET C1.4 FOR COMPLETE LIST OF EROSION CONTROL GENERAL NOTES.

PREPARED UNDER THE SUPERVISION OF TAIT & ASSOCIATES, INC.

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 San Luis Obispo Riverside
 Since 1914

Dabbs
Boise

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LOT 1 PARKER POINTE SUBDIVISION FILING 1

PROJECT:
NEW O'REILLY AUTO PARTS STORE
13111 REATA RIDGE DRIVE
PARKER, CO #2

INITIAL SITE EROSION CONTROL PLAN

O'Reilly AUTO PARTS

CORPORATE OFFICES
 233 SOUTH PATTERSON
 SPRINGFIELD, MISSOURI 65802
 (417) 862-2674 TELEPHONE

COMM #	4884
DATE:	02/14/2025
REVISION	
DATE:	05/02/2025
	07/01/2025
	08/22/2025

The Town of Parker review constitutes general compliance with the Town's Standards and approved variances, subject to these plans being stamped, signed, and dated by the professional engineer of record. Review by the Town does not constitute approval of the plan design or accuracy and correctness of engineering calculations. Errors in the design or calculations remain the responsibility of the registered professional engineer whose stamp and signature are affixed to this document.

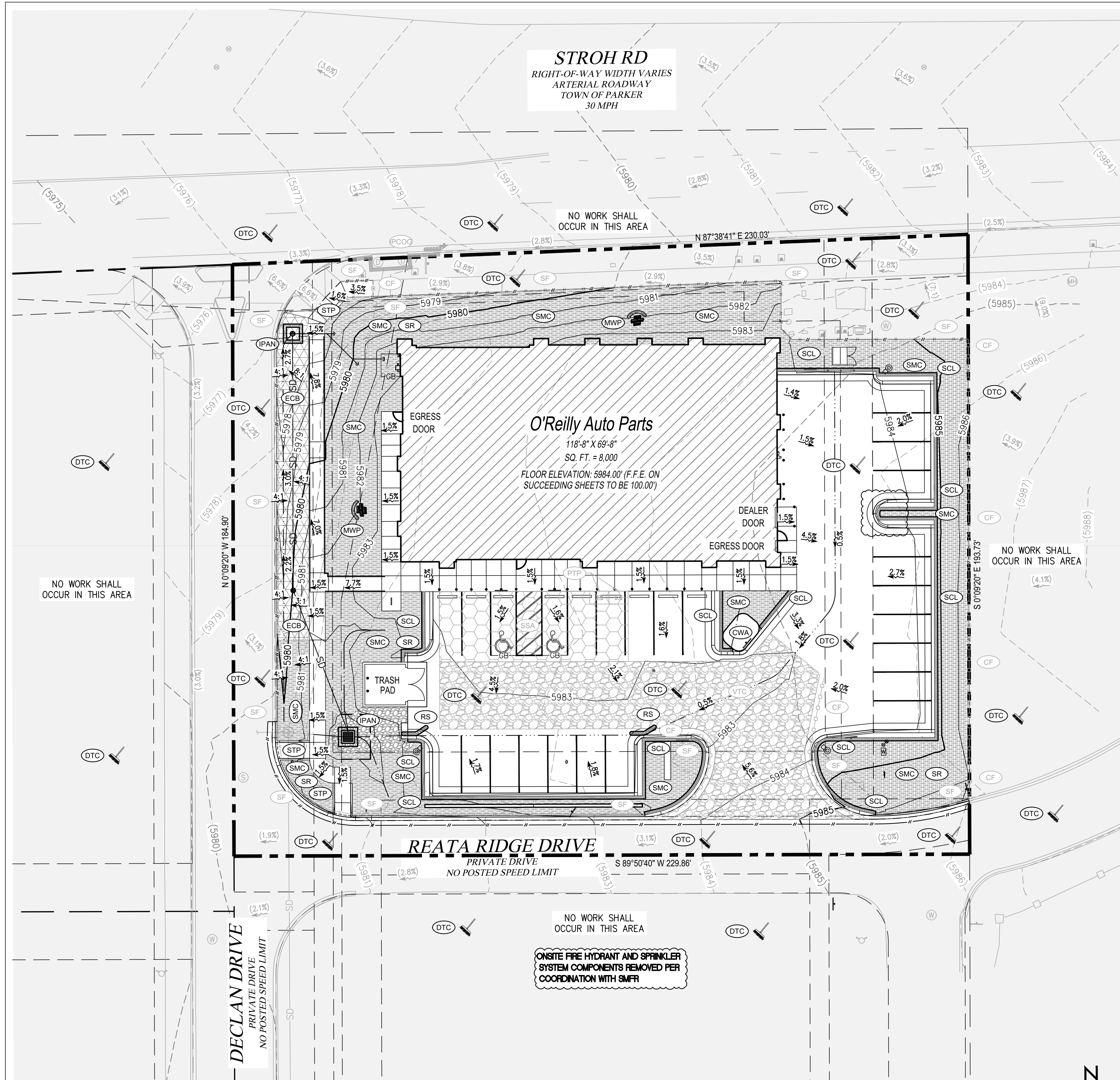
THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE OBTAINED AND AFFIXED TO THIS DOCUMENT.

04/30/2026
Date

Town of Parker, Director of Engineering

APPROVED VARIANCES. SUBJECT TO THE TOWN DOES NOT CONSTITUTE IN THE DESIGN OR CALCULATIONS AFFIXED TO THIS DOCUMENT.

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1 INTERIM-FINAL SITE EROSION CONTROL PLAN
C1.3 SCALE: 1" = 20'-0"

20 0 20 40 60
 GRAPHIC SCALE - FEET

EROSION CONTROL LEGEND

TITLE	KEY	SYMBOL
AREA OF NO WORK		
CONCRETE WASHOUT AREA	CWA	
CONSTRUCTION FENCE	CF	
DEBRIS TRASH CONTROL	DTC	
EROSION CONTROL BLANKET ON SLOPES GREATER THAN 3:1 OR WHERE SPECIFIED ON PLAN	ECB	
INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT	IPAN	
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 - ROUGH GRADING.
 - CONSTRUCTION OF NEW SITE IMPROVEMENTS.
 - FINAL GRADING.
 - CONCRETE WASHOUT AREA PRIOR TO ANY CONCRETE WORK
 - SEEDING AND MULCHING STOCKPILES OVER 7-DAYS IDLE
 - INLET PROTECTION FOR PROPOSED ONCE INSTALLED
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 - REFER TO SHEET C1.4 FOR COMPLETE LIST OF EROSION CONTROL GENERAL NOTES.

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LOT 1 PARKER POINTE SUBDIVISION FILING 1

PROJECT:
NEW O'REILLY AUTO PARTS STORE
13111 REATA RIDGE DRIVE
PARKER, CO #2
INTERIM-FINAL SITE EROSION CONTROL PLAN

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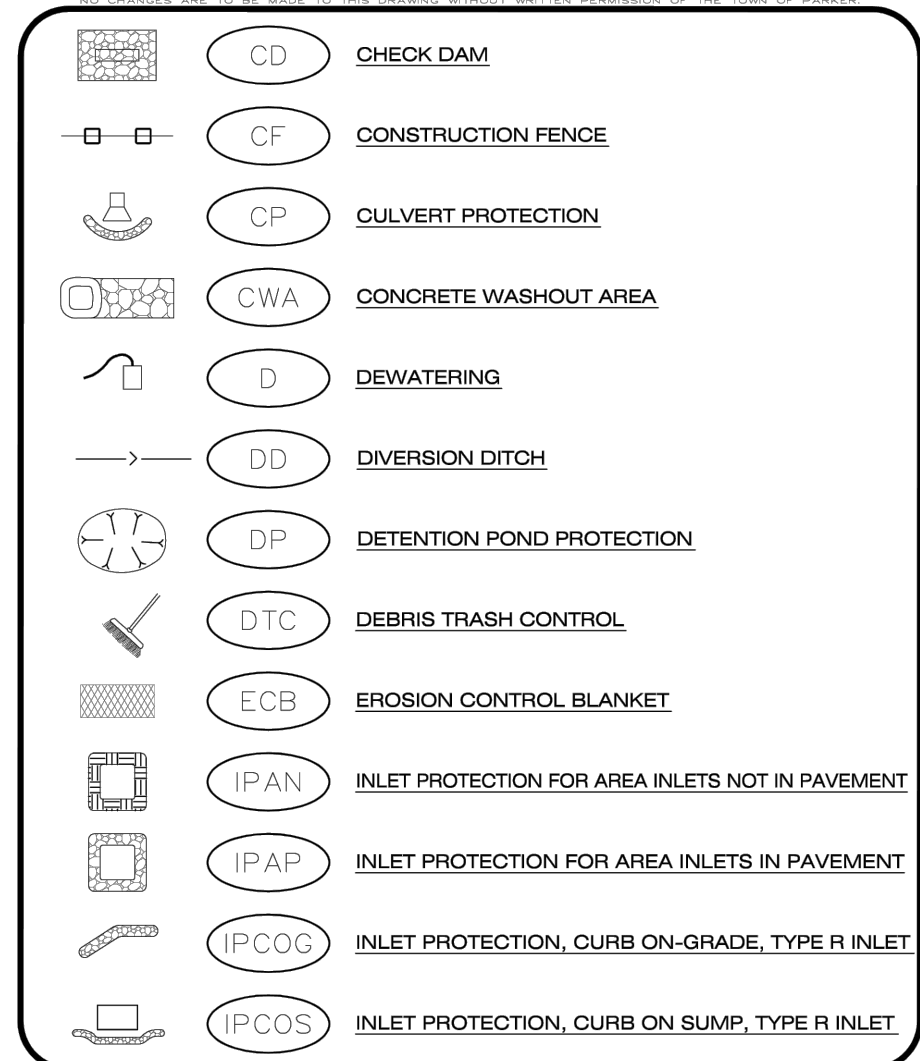
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DATE:	05/02/2025
REVISION	
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	08/22/2025
	09/03/2025

C1.3

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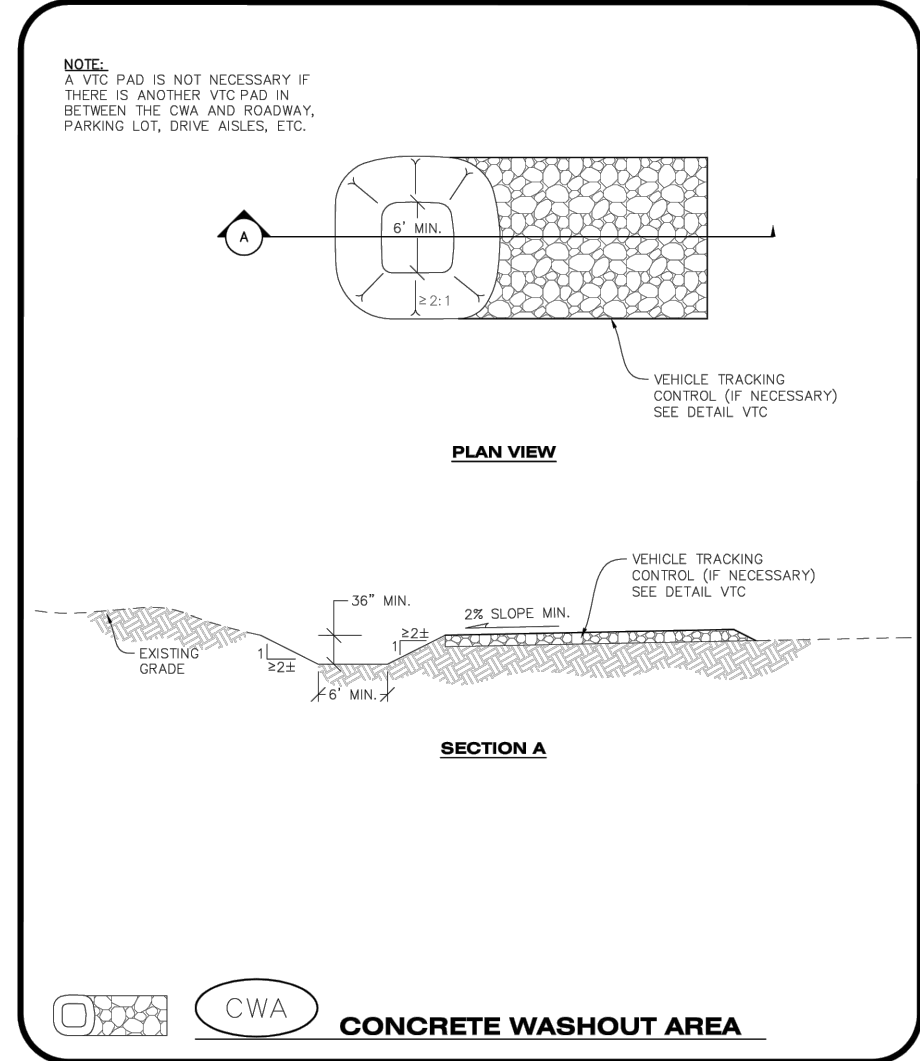
Town of Parker, Director of Engineering
 Date: 04/30/2026



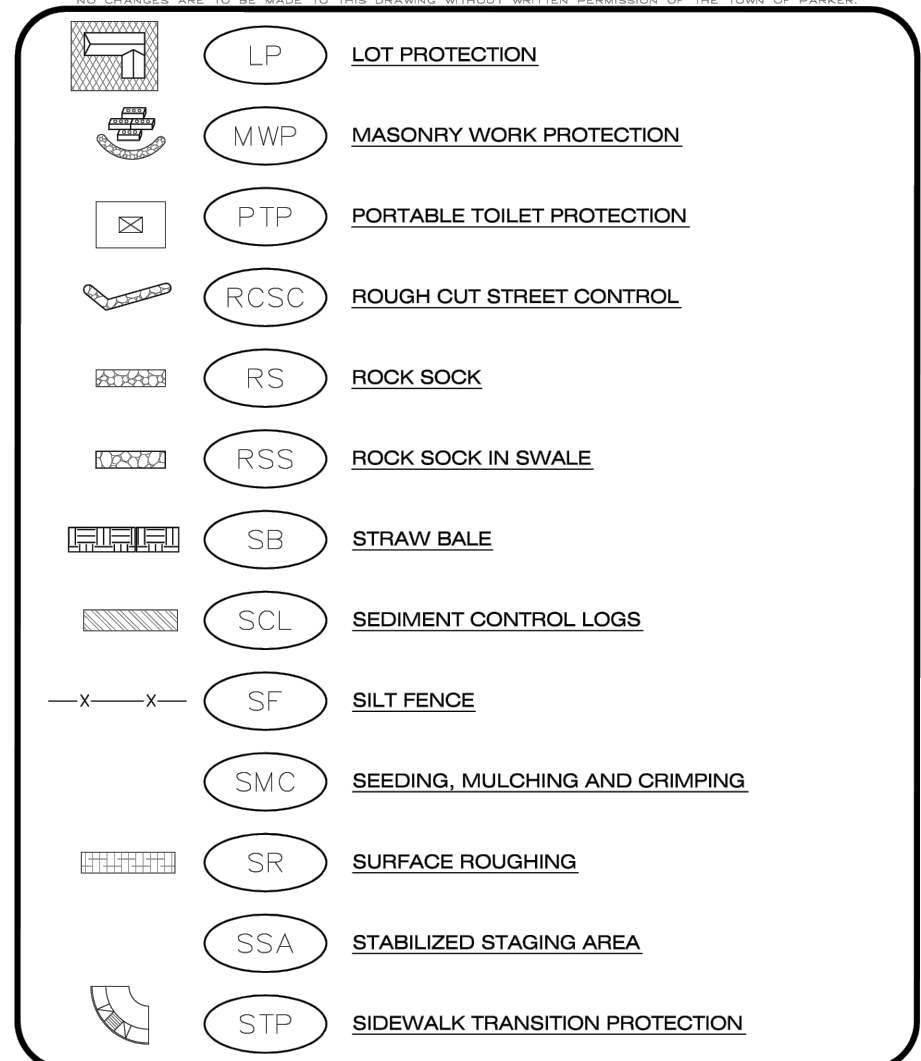
CBMP LEGEND
 1 OF 3
 04/2012

25. ALL CHEMICAL OR HAZARDOUS MATERIAL SPILLS, INCLUDING CONCRETE WASHOUT WATER, WHICH MAY ENTER WATER OF THE STATE OF COLORADO WHICH INCLUDES BUT IS NOT LIMITED TO SURFACE WATER, GROUND WATER, DRY GULCHES OR STORM SEWERS LEADING TO SURFACE WATER, SHALL BE IMMEDIATELY REPORTED TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) PER 25-6-601, AND THE TOWN OF PARKER, RELEASES OF PETROLEUM PRODUCTS AND CERTAIN HAZARDOUS SUBSTANCES LISTED UNDER THE FEDERAL CLEAN WATER ACT (40 CFR PART 116) MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER AND THE CDPHE. SPILLS THAT POSE AN IMMEDIATE SAFETY HAZARD SHALL BE REPORTED TO 911.
26. THE CLEANING OF CONCRETE TRUCKS AND EQUIPMENT IS RESTRICTED TO THE APPROVED CONCRETE WASHOUT LOCATION ON THE JOB SITE. CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO STATE WATER OR STORM SEWER SYSTEMS.
27. VEHICLE AND EQUIPMENT DEGRASSING IS PROHIBITED ON THE JOB SITE.
28. ALL DEWATERING ON SITE SHALL BE COORDINATED WITH THE TOWN'S INSPECTOR. A STATE PERMIT MAY BE REQUIRED FOR DEWATERING. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR OBTAINING AND ADHERING TO ALL APPLICABLE PERMITS.
29. HYDRAULIC SEEDING AND/OR HYDRAULIC MULCHING ARE ONLY ALLOWED IN AREAS UNDER TEMPORARY OR PERMANENT IRRIGATION OR FOR THE PURPOSE OF TEMPORARY SOIL STABILIZATION.
30. APPLICABLE CONSTRUCTION BMPs SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL ALL LANDSCAPING HAS BEEN INSTALLED AND THE DESIRABLE VEGETATION HAS REACHED A POINT IN WHICH EROSION AND SEDIMENTATION IS NO LONGER A CONCERN AS DETERMINED BY THE TOWN'S INSPECTOR.
31. GRADING SECURITY RELEASE REQUIREMENTS:
 - 1) DEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H OR ITEM I (BELOW).
 - A. ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
 - B. UNIFORM PERENNIAL VEGETATION COVER HAS BEEN ESTABLISHED WITH AN INDIVIDUAL PLANT DENSITY OF AT LEAST SEVENTY PERCENT (70%) OF PRE-DISTURBANCE LEVELS.
 - C. ALL CBMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
 - D. IF ANY EROSION IS PRESENT, IT IS INSIGNIFICANT AND IS NOT LEAVING THE SITE AND/OR LEADING INTO ANY ON-SITE DRAINAGE INFRASTRUCTURE THAT MAY CONVERT SURFACE WATER OFF SITE.
 - E. WEEDS REPRESENT NO MORE THAN FIFTY PERCENT (50%) OF THE TOTAL VEGETATION ON THE SITE.
 - F. NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - G. THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - H. WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
 - I. A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED BY THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION AT THE TIME OF CLOSING ON THE SALE OF A SITE THAT IS SUBJECT TO A GRADING PERMIT TO ENSURE THAT THE NEW PROPERTY OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.
 - 2) NONDEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H AND I, OR ITEMS J AND K (BELOW).
 - A. ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
 - B. ALL CBMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
 - C. EROSION IS PRESENT, BUT IS INSIGNIFICANT AND IS NOT LEAVING THE SITE AND/OR LEADING INTO ANY ON-SITE DRAINAGE INFRASTRUCTURE THAT MAY CONVERT SURFACE WATER OFF SITE.
 - D. IF ANY EROSION IS PRESENT, IT IS INSIGNIFICANT AND IS NOT LEAVING THE SITE AND/OR LEADING INTO ANY ON-SITE DRAINAGE INFRASTRUCTURE THAT MAY CONVERT SURFACE WATER OFF SITE.
 - E. WEEDS REPRESENT NO MORE THAN TEN PERCENT (10%) OF THE TOTAL VEGETATION ON THE SITE.
 - F. NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - G. THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - H. WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
 - I. A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED BY THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION AT THE TIME OF CLOSING ON THE SALE OF A SITE THAT IS SUBJECT TO A GRADING PERMIT TO ENSURE THAT THE NEW PROPERTY OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.
 - J. ALL KNOWN DRAINAGE ISSUES ASSOCIATED WITH THE PROJECT HAVE BEEN MITIGATED AND A SUFFICIENT AMOUNT OF TIME HAS PASSED TO ENSURE THAT SUCH ISSUES HAVE BEEN CORRECTED. THE REQUIREMENT DOES NOT INCLUDE THOSE DRAINAGE ISSUES ORIGINATING ON RESIDENTIAL LOTS.
 - K. NOXIOUS WEEDS MUST BE CONTROLLED AS PROVIDED UNDER STATE LAW AND SECTION 6.01.263 OF THE TOWN OF PARKER MUNICIPAL CODE. FAILURE TO CONTROL NOXIOUS WEEDS ON THE SITE MAY CONSTITUTE A NUISANCE, SUBJECT TO THE PENALTIES CONTAINED IN THE CODE.

CBMP LEGEND
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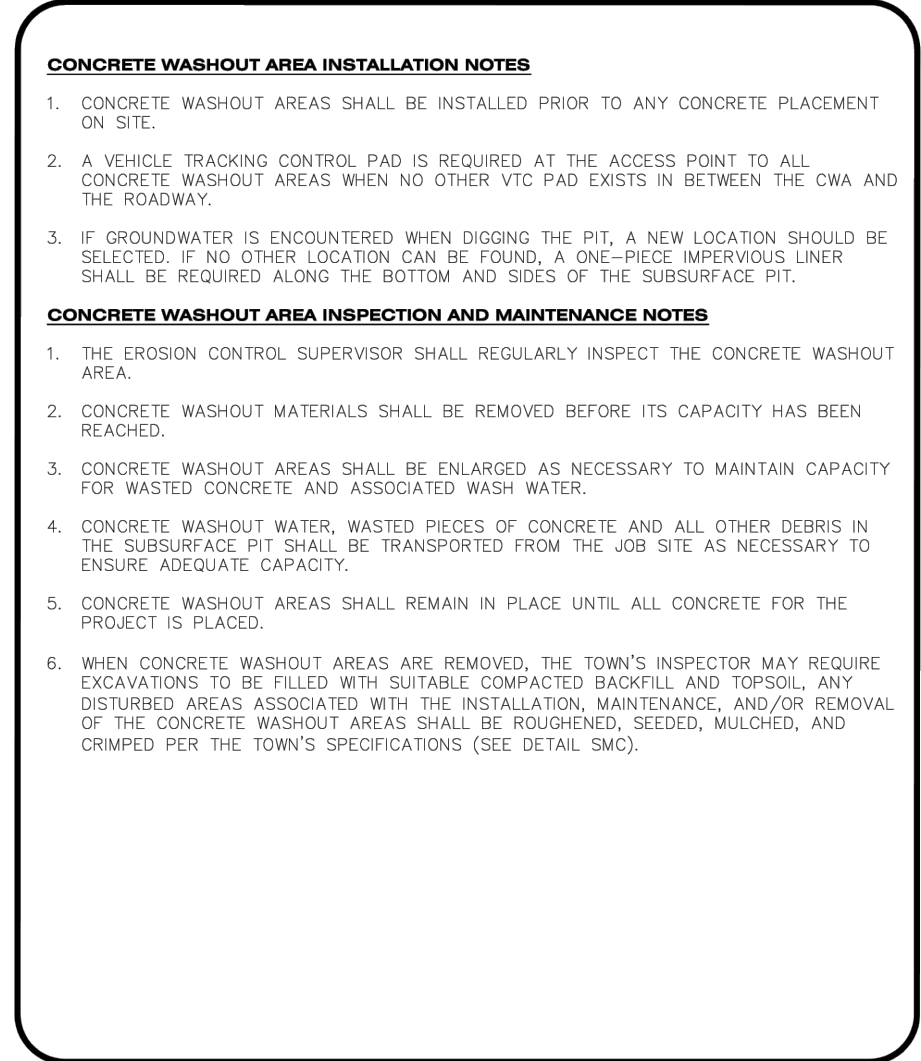
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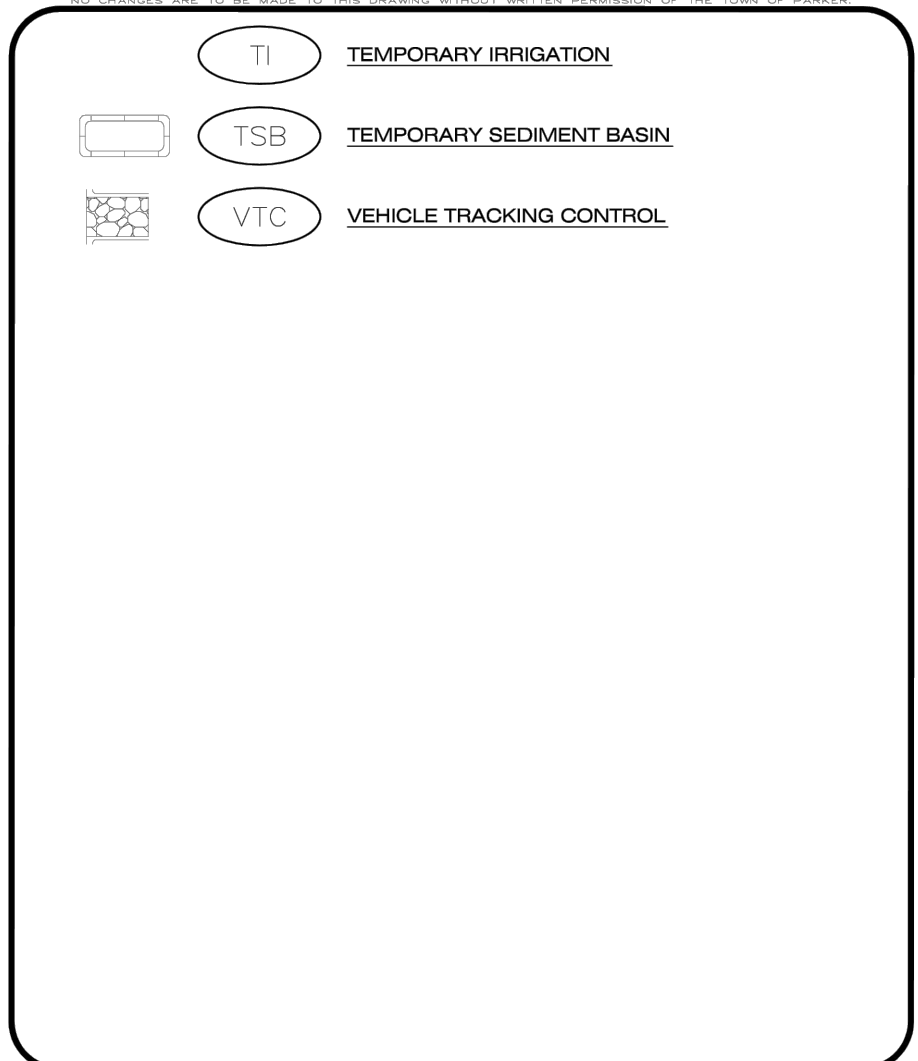
CBMP LEGEND
 2 OF 3
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32. FAILURE TO COMPLY WITH ANY OF THE REQUIREMENTS DESCRIBED IN THIS SECTION MAY RESULT IN THE ISSUANCE OF A NOTICE OF VIOLATION, A STOP WORK ORDER, A STOP WORK ORDER AND/OR THE REMEDIES/PENALTIES DESCRIBED IN CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE.
33. ANY PERSON CONVICTED OF VIOLATING ANY PROVISION OF THE TOWN OF PARKER, GRADING & EARTH MOVEMENT SECTION OF THE MUNICIPAL CODE SHALL BE QUALIFIED TO OBTAIN A GRADING PERMIT. CONVICTION IS PUNISHED BY A FINE OF NOT MORE THAN FOUR HUNDRED NINETY NINE DOLLARS (\$499) FOR EACH VIOLATION. EACH DAY A VIOLATION CONTINUES SHALL CONSTITUTE A SEPARATE OFFENSE. THE TOWN ALSO MAY SEEK IN MUNICIPAL COURT AN INJUNCTION, ABATEMENT, RESTITUTION OR ANY OTHER REMEDY TO PREVENT, STOP, ABATE OR REMOVE THE VIOLATION. A PERSON CONVICTED OF VIOLATING CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE SHALL BE ELIGIBLE FOR THE TOWN OF PARKER'S REHABILITATION PROGRAM. THE TOWN MAY TAKE ANY OTHER ACTION AS PROVIDED BY THE TOWN OF PARKER MUNICIPAL CODE.
34. THE TOWN OF PARKER RESERVES THE RIGHT TO ALLOW MODIFICATIONS AND SUBSTITUTIONS TO THE CBMP NOTES AND DETAILS WHEN SUCH MODIFICATIONS AND SUBSTITUTIONS OFFER THE SAME LEVEL OF PROTECTION AS THE STANDARD REQUIREMENTS BASED UPON THE SPECIFIC SITUATION, AS DETERMINED BY TOWN STAFF. DUE TO THE INSIGNIFICANCE AND REGULARITY OF SUCH MODIFICATIONS AND SUBSTITUTIONS, THE APPROVAL OF SUCH VARIATIONS MAY NOT BE DOCUMENTED BY TOWN STAFF.

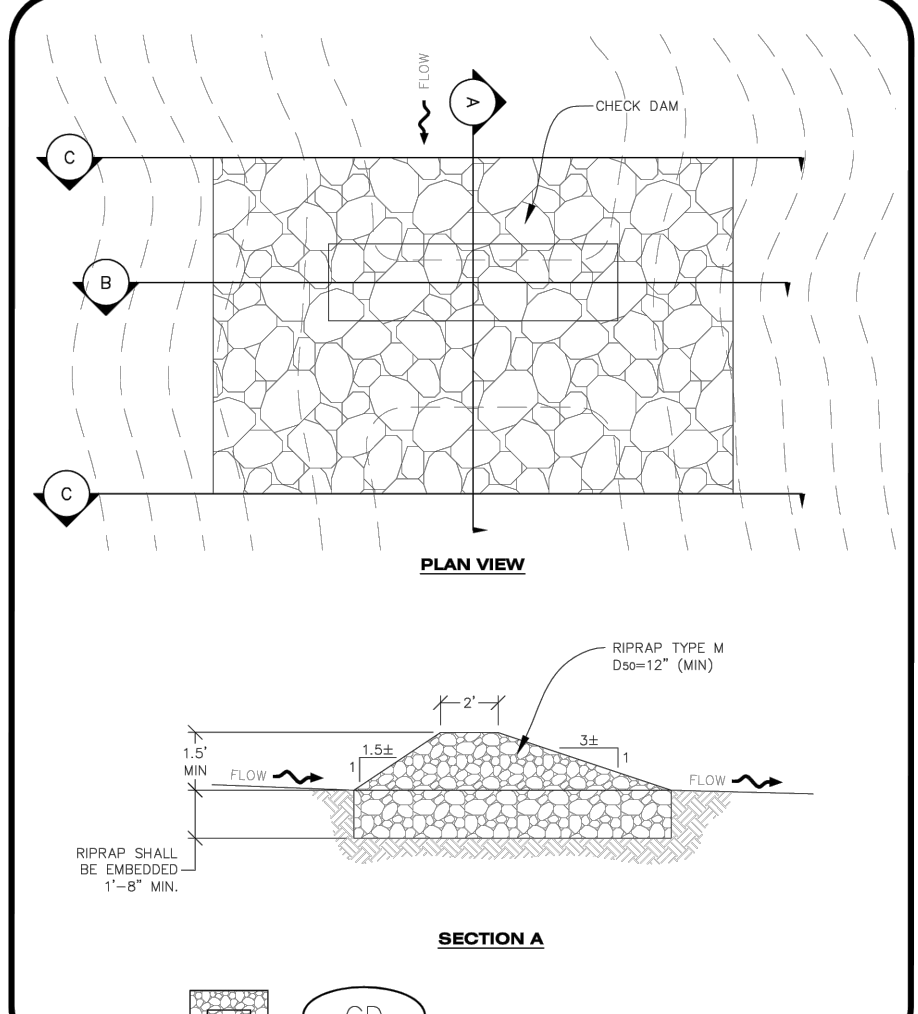
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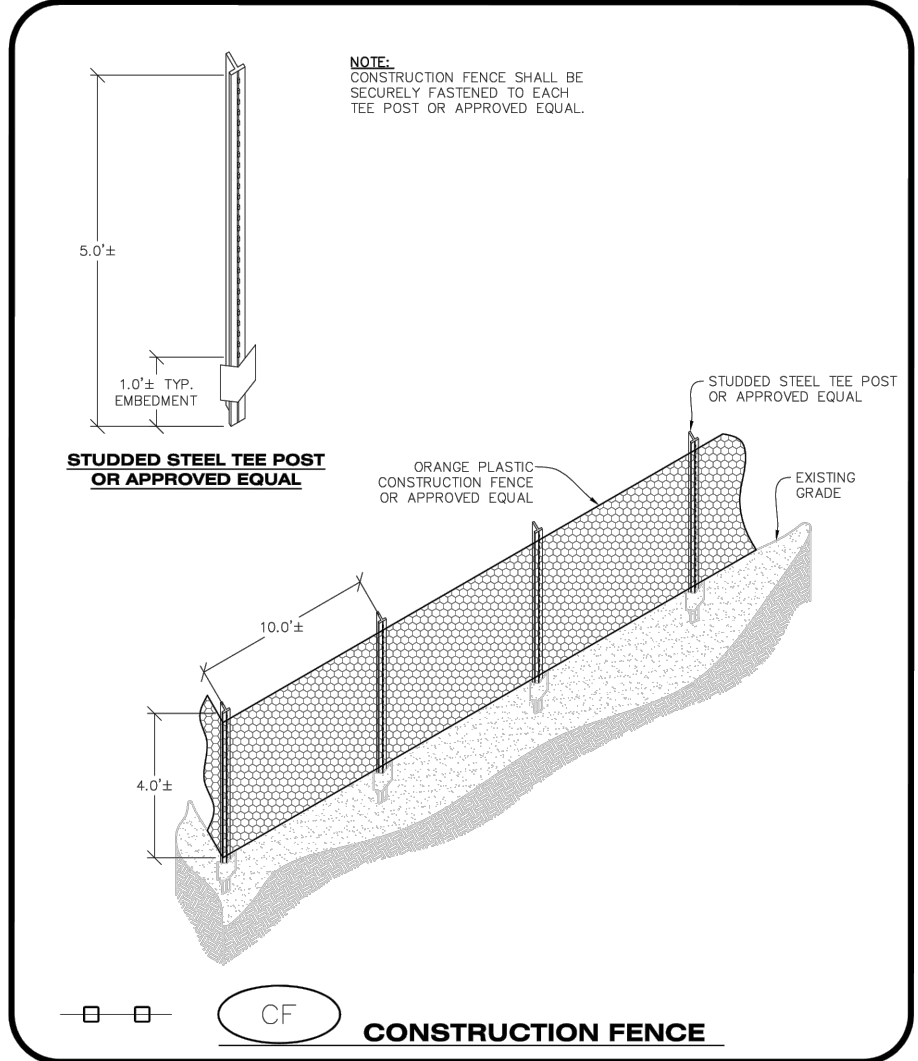
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 3 OF 3
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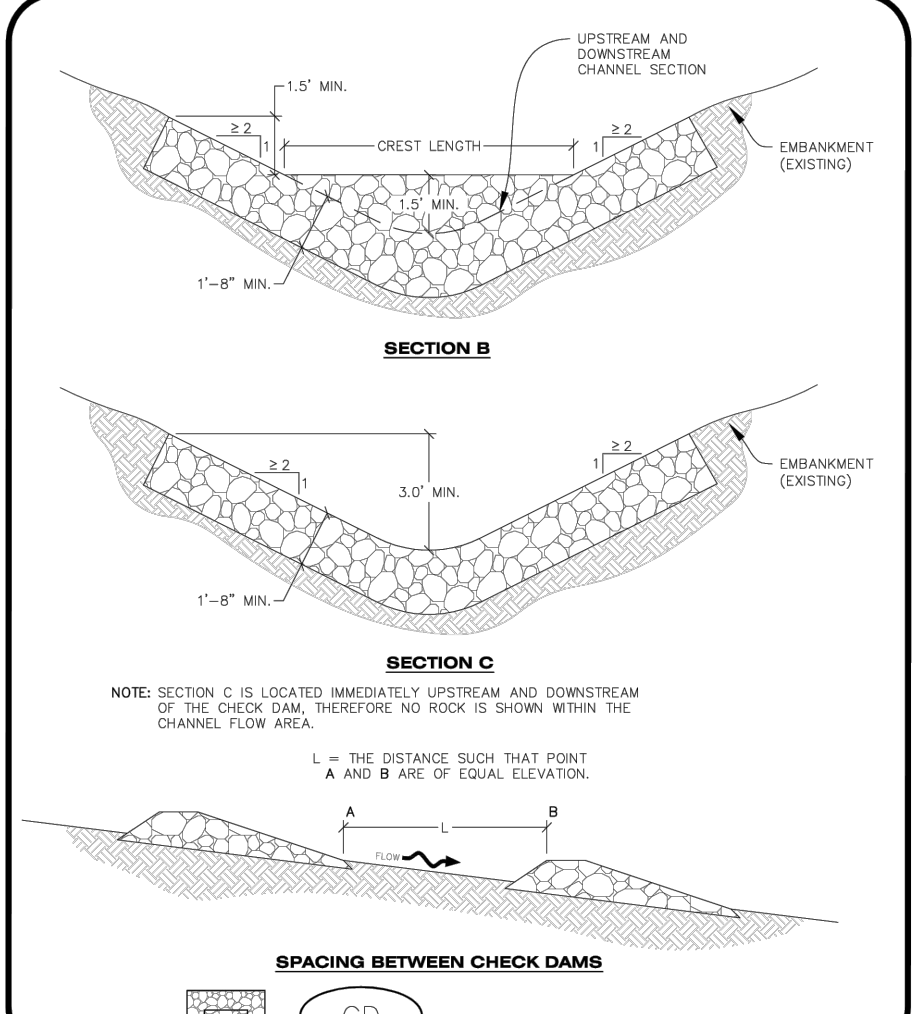
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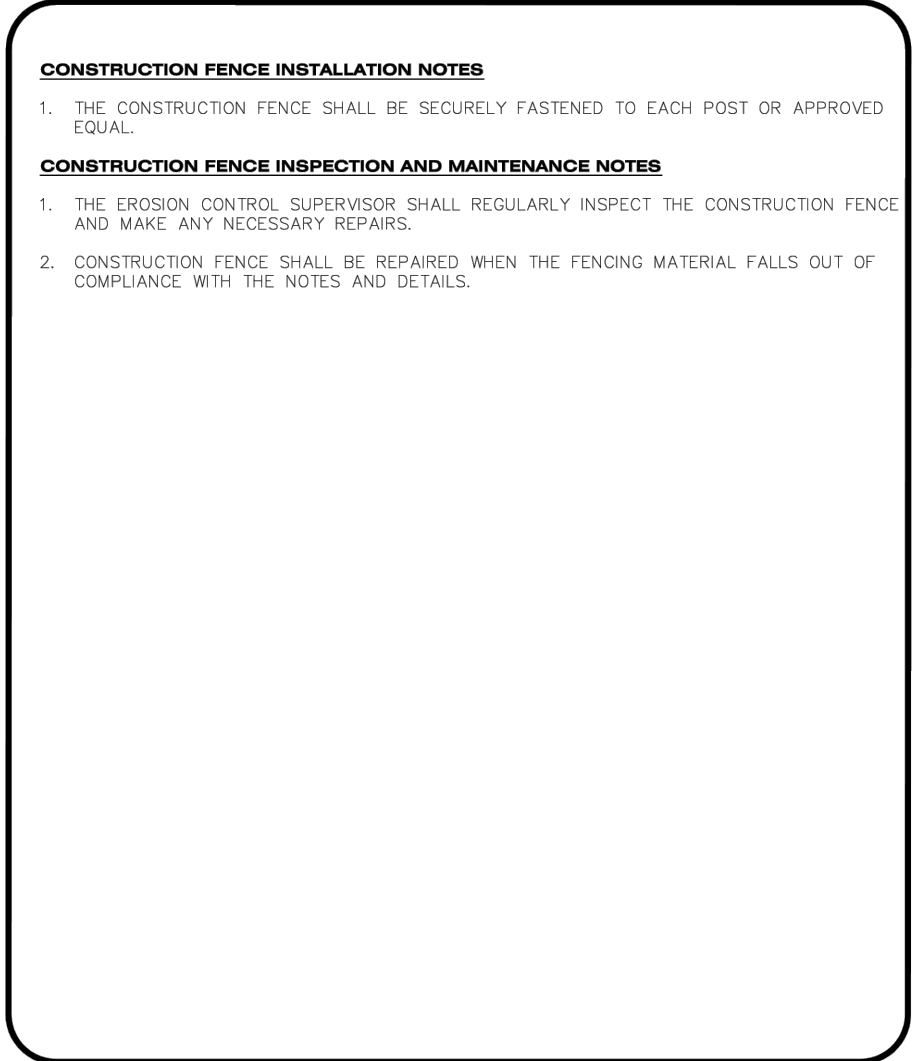
CBMP LEGEND
 1 OF 2
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1. ANY EROSION AND SEDIMENT CONTROL BMPs THAT ARE DAMAGED OR IN NEED OF MAINTENANCE OR REPLACEMENT SHALL BE CORRECTED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
2. ALL DEFICIENCIES LISTED ON THE NOTICE OF NUISANCE FORM SHALL BE COMPLETED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES. ALL REQUIRED ACTIONS MUST BE IN THE CORRECTED FORM DURING THE FOLLOW-UP INSPECTION.
3. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TRICKLE CHANNELS, AND/OR OTHER IMPERVIOUS SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEAN BEFORE THE END OF THE WORK DAY.
4. BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE EROSION PREVENTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS.
5. ALL TRASH RECEPTACLES ON SITE SHALL BE EQUIPPED AT A FREQUENCY AS TO ENSURE THAT THE TRASH REMAINS CONTAINED TO THE RECEPTACLE.
6. ALL LOOSE TRASH AND LITTER ASSOCIATED WITH THE PROJECT MUST BE REMOVED AND PROPERLY DISCARDED ON A DAILY BASIS.
7. ALL PORTABLE TOILETS SHALL BE STAKED DOWN AT ALL TIMES USING U-SHAPED REAR STAKES. THE PORTABLE TOILETS SHALL ALSO BE PLACED A MINIMUM DISTANCE OF 10 FEET FROM ALL IMPERVIOUS SURFACES, INCLUDING, BUT NOT LIMITED TO STREETS, CURBS, GUTTERS, SIDEWALKS AND PARKING LOTS.
8. THE EROSION CONTROL SUPERVISOR SHALL MAINTAIN STRICT ADHERENCE TO THE LIMITS OF CONSTRUCTION AND PROPERTY LIMITS FOR ALL MATERIALS, VEHICLES AND EQUIPMENT. FAILURE TO ABIDE BY THIS REQUIREMENT MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.
9. ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE THROUGH THE APPROVED ACCESS POINT(S). A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL APPROVED ACCESS POINTS TO THE SITE. EXCEPTIONS MAY BE CONSIDERED FOR CONSTRUCTION ACTIVITY OCCURRING IMMEDIATELY ADJACENT TO FAVORED AREAS AND WHERE ALTERNATIVE BMPs ARE IMPLEMENTED. SUCH ACTIVITY MAY INCLUDE, BUT NOT BE LIMITED TO RESIDENTIAL CONSTRUCTION, UTILITY CONSTRUCTION, ETC.
10. NO PERMANENT SLOPES GREATER THAN 3:1 ARE ALLOWED.
11. ALL PERMANENT SLOPES STEEPER THAN 4:1 (HORIZONTAL TO VERTICAL) SHALL REQUIRE EROSION CONTROL BLANKETS, TEMPORARY TRACKING CONTROL PADS, AND/OR TEMPORARY SEDIMENT BARRIERS THAT ARE STEEPER THAN 4:1 MAY REQUIRE EROSION CONTROL BLANKETS.
12. THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ADVERSE IMPACTS THAT OCCUR TO NEIGHBORING PROPERTIES. THE EROSION CONTROL SUPERVISOR MUST OBTAIN PERMISSION FROM LAND OWNERS PRIOR TO ENTERING SUCH PROPERTY.
13. A WATER SOURCE SHALL BE AVAILABLE DURING CONSTRUCTION ACTIVITIES, AND UTILIZED TO MINIMIZE FLOTTING DUST. ALTERNATIVE BMPs MAY BE REQUIRED IF INITIAL ATTEMPTS TO SUPPRESS DUST ARE UNSUCCESSFUL.

CBMP LEGEND
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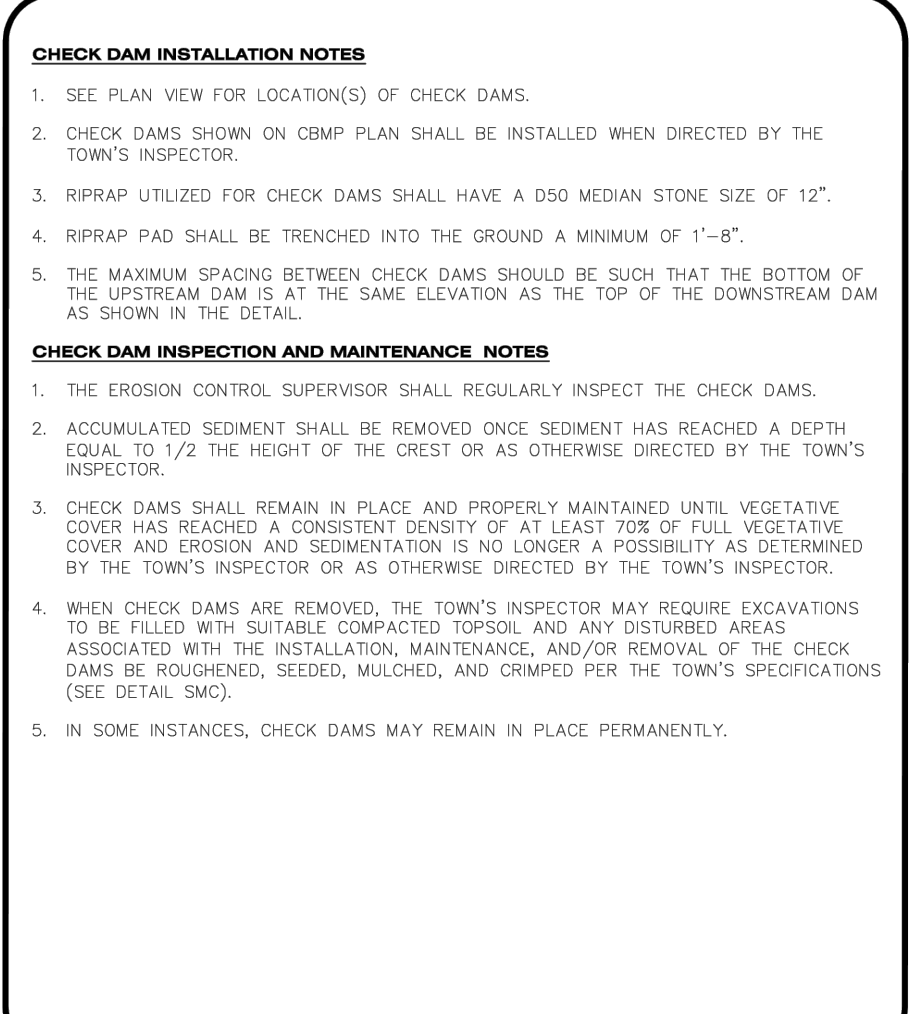
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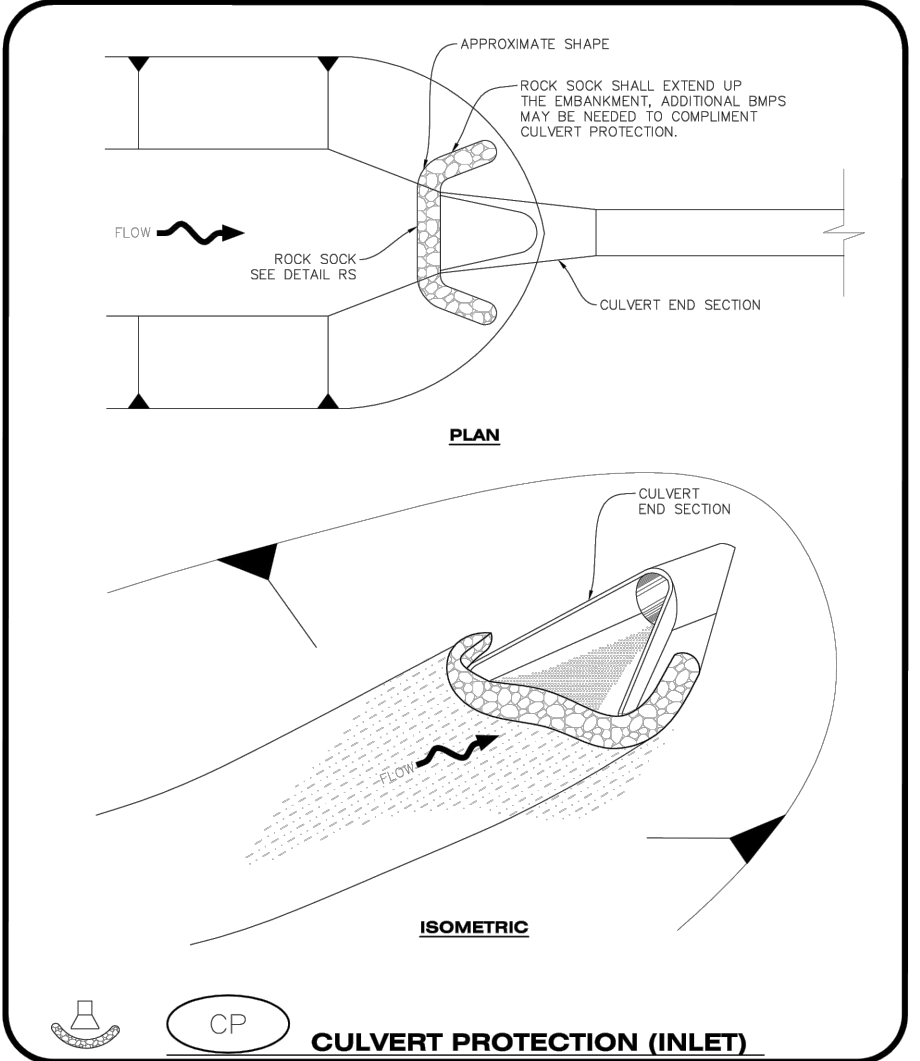
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 2 OF 2
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14. ANY EROSION AND SEDIMENT CONTROL BMPs THAT ARE DAMAGED OR IN NEED OF MAINTENANCE OR REPLACEMENT SHALL BE CORRECTED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
15. ALL DEFICIENCIES LISTED ON THE NOTICE OF NUISANCE FORM SHALL BE COMPLETED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES. ALL REQUIRED ACTIONS MUST BE IN THE CORRECTED FORM DURING THE FOLLOW-UP INSPECTION.
16. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TRICKLE CHANNELS, AND/OR OTHER IMPERVIOUS SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEAN BEFORE THE END OF THE WORK DAY.
17. BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE EROSION PREVENTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS.
18. ALL TRASH RECEPTACLES ON SITE SHALL BE EQUIPPED AT A FREQUENCY AS TO ENSURE THAT THE TRASH REMAINS CONTAINED TO THE RECEPTACLE.
19. ALL LOOSE TRASH AND LITTER ASSOCIATED WITH THE PROJECT MUST BE REMOVED AND PROPERLY DISCARDED ON A DAILY BASIS.
20. ALL PORTABLE TOILETS SHALL BE STAKED DOWN AT ALL TIMES USING U-SHAPED REAR STAKES. THE PORTABLE TOILETS SHALL ALSO BE PLACED A MINIMUM DISTANCE OF 10 FEET FROM ALL IMPERVIOUS SURFACES, INCLUDING, BUT NOT LIMITED TO STREETS, CURBS, GUTTERS, SIDEWALKS AND PARKING LOTS.
21. THE EROSION CONTROL SUPERVISOR SHALL MAINTAIN STRICT ADHERENCE TO THE LIMITS OF CONSTRUCTION AND PROPERTY LIMITS FOR ALL MATERIALS, VEHICLES AND EQUIPMENT. FAILURE TO ABIDE BY THIS REQUIREMENT MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.
22. ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE THROUGH THE APPROVED ACCESS POINT(S). A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL APPROVED ACCESS POINTS TO THE SITE. EXCEPTIONS MAY BE CONSIDERED FOR CONSTRUCTION ACTIVITY OCCURRING IMMEDIATELY ADJACENT TO FAVORED AREAS AND WHERE ALTERNATIVE BMPs ARE IMPLEMENTED. SUCH ACTIVITY MAY INCLUDE, BUT NOT BE LIMITED TO RESIDENTIAL CONSTRUCTION, UTILITY CONSTRUCTION, ETC.
23. NO PERMANENT SLOPES GREATER THAN 3:1 ARE ALLOWED.
24. ALL PERMANENT SLOPES STEEPER THAN 4:1 (HORIZONTAL TO VERTICAL) SHALL REQUIRE EROSION CONTROL BLANKETS, TEMPORARY TRACKING CONTROL PADS, AND/OR TEMPORARY SEDIMENT BARRIERS THAT ARE STEEPER THAN 4:1 MAY REQUIRE EROSION CONTROL BLANKETS.
25. THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ADVERSE IMPACTS THAT OCCUR TO NEIGHBORING PROPERTIES. THE EROSION CONTROL SUPERVISOR MUST OBTAIN PERMISSION FROM LAND OWNERS PRIOR TO ENTERING SUCH PROPERTY.
26. A WATER SOURCE SHALL BE AVAILABLE DURING CONSTRUCTION ACTIVITIES, AND UTILIZED TO MINIMIZE FLOTTING DUST. ALTERNATIVE BMPs MAY BE REQUIRED IF INITIAL ATTEMPTS TO SUPPRESS DUST ARE UNSUCCESSFUL.

CBMP LEGEND
 2 OF 4
 04/2012



CBMP LEGEND
 3 OF 3
 04/2012



CBMP LEGEND
 1 OF 2
 04/2012

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 ENGINEERING ENVIRONMENTAL BUILDING LAND
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 SANTA ANA SAN LUIS OBISPO
 Since 1944

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 Springfield, Missouri 65804
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PROJECT:
NEW O'REILLY AUTO PARTS STORE
13111 REATA RIDGE DRIVE
PARKER, CO #2

EROSION CONTROL DETAILS

O'Reilly AUTO PARTS
 CORPORATE OFFICES
 233 SOUTH PATTERSON
 SPRINGFIELD, MISSOURI 65802
 (417) 862-2674 TELEPHONE

COMM # 4884
 DATE: 05/02/2025
 REVISION
 DATE: 08/22/2025

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF 04/30/2026
 Town of Parker, Director of Engineering Date

CULVERT PROTECTION (INLET) INSTALLATION NOTES

- SEE PLAN VIEW FOR LOCATION(S) OF CULVERT PROTECTION (INLET).
- ROCK SOCK SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL RS).
- ROCK SOCK SHALL BE APPROXIMATELY 12" IN DIAMETER.
- ROCK SOCK SHALL EXTEND ABOVE THE FLOW LINE ELEVATION ON BOTH SIDES OF THE CULVERT END SECTION.

CULVERT PROTECTION (INLET) INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CULVERT PROTECTION (INLET).
- AT A MINIMUM, ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE ROCK SOCK.
- CULVERT PROTECTION (INLET) IS TO REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- WHEN THE CULVERT INLET PROTECTION IS REMOVED, THE TOWN'S INSPECTOR MAY REQUIRE ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE CULVERT INLET PROTECTION TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

Parker COLORADO **CBMP** **CP**
CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 2
04th 2012

NOTE:

- THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TRICKLE CHANNELS, AND/OR OTHER IMPERVIOUS SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEAN BEFORE THE END OF THE WORK DAY. FURTHERMORE, ALL LOOSE TRASH AND LITTER ASSOCIATED WITH THE PROJECT MUST BE REMOVED AND PROPERLY DISCARDED ON A DAILY BASIS.

DTC DEBRIS AND TRASH CONTROL

Parker COLORADO **CBMP** **DTC**
CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 2
04th 2012

DEBRIS CONTROL NOTES:

- A COMBINATION OF SURFACE SCRAPING AND SWEEPING MAY BE NECESSARY TO PROPERLY CLEAN THESE AREAS.
- ALL CHEMICAL SPILLS AND/OR STAINS ON THE SITE SHALL BE CLEANED TO THE MAXIMUM EXTENT PRACTICABLE. IN SOME CASES IT MAY BE NECESSARY TO USE PRESSURIZED WATER AND A VAC-TRUCK.
- ON-SITE PERSONNEL, DELIVERY DRIVERS, ETC., SHOULD BE EDUCATED ON THE NEED FOR CONTINUAL DEBRIS AND TRASH CONTROL.

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CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 2
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FOREBAY

OUTLET / MICROPOOL

DETENTION POND PROTECTION

Parker COLORADO **CBMP** **DP**
CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 2
04th 2012

DETENTION POND PROTECTION INSTALLATION NOTES

- DETENTION POND PROTECTION SHALL BE INSTALLED IMMEDIATELY FOLLOWING THE CONSTRUCTION OF THE TRICKLE CHANNEL AND FOREBAY.
- CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
- ROCK SOCK FOR OUTLET STRUCTURE AND FOREBAY PROTECTION SHALL BE ONE CONTINUOUS PIECE (SEE DETAIL RS).

DETENTION POND PROTECTION INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE OUTLET STRUCTURE PROTECTION.
- ACCUMULATED SEDIMENT SHALL BE REMOVED IMMEDIATELY.
- OUTLET STRUCTURE PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

Parker COLORADO **CBMP** **DP**
CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 2
04th 2012

TYPICAL DEWATERING SUMP

NOTE:

IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE APPROPRIATE MEASURES TO PROTECT PUMPING CAPACITY AND MINIMIZE SEDIMENT USE OF A PLASTIC 5 GALLON BUCKET IS SUGGESTED BUT NOT REQUIRED. THE CONTRACTOR SHALL NOT HOLD THE TOWN LIABLE FOR DAMAGE TO PUMPING EQUIPMENT REGARDLESS OF METHODS USED.

D DEWATERING

Parker COLORADO **CBMP** **D**
CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 2
04th 2012

DEWATERING INSTALLATION NOTES

- IT IS THE EROSION CONTROL SUPERVISOR'S RESPONSIBILITY TO ENSURE THAT ALL DEWATERING IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE).

DEWATERING MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL INSPECT THE DEWATERING OPERATION TO ENSURE THAT THE DISCHARGE WATER IS DRAINING TO THE PROPER LOCATION(S) AND PERFORM ANY NECESSARY REPAIRS OR MAINTENANCE ON A FREQUENT BASIS.

Parker COLORADO **CBMP** **D**
CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 2
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DIVERSION DITCH SECTION LINED CHANNEL

DIVERSION DITCH SECTION UNLINED CHANNEL

DD DIVERSION DITCH

Parker COLORADO **CBMP** **DD**
CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 2
04th 2012

DIVERSION DITCH INSTALLATION NOTES

- SEE THE PLAN VIEW FOR THE LOCATION(S) OF THE DIVERSION DITCHES.
- A PLASTIC LINER, RIPRAP, OR EROSION CONTROL BLANKET MAY BE NECESSARY TO PROTECT THE DIVERSION DITCH. THE REQUIRED LINING MATERIAL SHALL BE OBTAINED FROM THE CBMP PLANS VIA THE DESIGN ENGINEER.
- ALL MATERIAL EXCAVATED FROM THE DITCH MAY BE USED TO CONSTRUCT THE BERM ON THE DOWNHILL SIDE OF THE DITCH.
- THE DIVERSION DITCH SHALL BE A MINIMUM OF 20" DEEP WITH APPROX. 3:1 SIDE SLOPES. THE ADJACENT BERM SHALL BE A MINIMUM OF 20" IN HEIGHT WITH APPROX. 3:1 SIDE SLOPES. ALL EMBANKMENTS SHALL BE FIRMLY COMPACTED.
- THE DISCHARGE FROM THE DIVERSION DITCH SHALL BE DIRECTED TOWARDS AN APPROPRIATELY SIZED TEMPORARY SEDIMENT BASIN OR OTHER APPROVED AREA.

DIVERSION DITCH INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE DIVERSION DITCH.
- ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 (10") THE CREST HEIGHT.
- DIVERSION DITCHES SHALL BE RE-GRADED FOLLOWING THE SIGNS OF MODERATE OR MORE SOIL EROSION OR ANY DAMAGE.
- DIVERSION DITCHES ARE TO REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR. ALTERNATIVELY, THE DIVERSION DITCHES MAY BE REMOVED WHEN THE SITE'S TOPOGRAPHY CHANGES SUCH THAT SIGNIFICANT RUNOFF IS NO LONGER POSSIBLE. IN SOME INSTANCES, THE DIVERSION DITCHES MAY REMAIN IN PLACE PERMANENTLY.

Parker COLORADO **CBMP** **DD**
CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 2
04th 2012

ECB EROSION CONTROL BLANKET (SLOPE)

Parker COLORADO **CBMP** **ECB**
CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 3
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ECB EROSION CONTROL BLANKET (CHANNEL)

Parker COLORADO **CBMP** **ECB**
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04th 2012

EROSION CONTROL BLANKET INSTALLATION NOTES

- SEE THE PLAN VIEW FOR THE LOCATION(S) OF THE EROSION CONTROL BLANKETS.
- EROSION CONTROL BLANKETS USED FOR CHANNEL PROTECTION SHALL BE PROPERLY SELECTED BY THE DESIGN ENGINEER BASED ON CURRENT AND FUTURE FLOW RATES WITHIN THE CHANNEL. BASED ON THESE CALCULATIONS, TUB REINFORCEMENT MATTING OR RIPRAP MAY BE NECESSARY IN LIEU OF EROSION CONTROL BLANKETS.
- IMMEDIATELY PRIOR TO BLANKET INSTALLATION, SOIL SURFACE SHALL BE SMOOTH AND FREE OF ANY GAPS, VOIDS, WEEDS, ROCKS, STICKS, OR OTHER MISCELLANEOUS DEBRIS.
- EROSION CONTROL BLANKET SHALL THEN BE INSTALLED ACCORDING TO THE DETAILED DRAWINGS.
- ANY DAMAGED OR REMAINING STAPLES OR STAKES SHALL BE REMOVED FROM THE SITE.
- ALL EROSION CONTROL BLANKETS FOR SLOPE PROTECTION INSTALLED IN THE TOWN SHALL BE DOUBLE NET, STRAW OR EXCELISOR.
- IN MOST CASES, EROSION CONTROL BLANKETS FOR SLOPE PROTECTION ARE TO REMAIN IN PLACE PERMANENTLY.

MANUFACTURER	PRODUCT NAME
NOVA AMERICAN GREEN	E350
APPROVED EQUAL	APPROVED EQUAL

EROSION CONTROL BLANKET MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE EROSION CONTROL BLANKETS AND MAKE ANY NECESSARY REPAIRS.

Parker COLORADO **CBMP** **ECB**
CONSTRUCTION BEST MANAGEMENT PRACTICES 3 OF 3
04th 2012

AREA INLET PROTECTION INSTALLATION NOTES

- SEE PLAN VIEW FOR LOCATION(S) OF AREA INLET PROTECTION.
- THE AREA INLET PROTECTION SHOWN ON CBMP PLANS SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE INSTALLATION OF NEW INLETS. AN INTERIM STYLE OF INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.

AREA INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE AREA INLET PROTECTION.
- AREA INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- WHEN THE AREA INLET PROTECTION IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE AREA INLET PROTECTION MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
- ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.

Parker COLORADO **CBMP** **IPA**
CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 1
04th 2012

IPAP INLET PROTECTION FOR AREA INLETS IN PAVEMENT

Parker COLORADO **CBMP** **IPAP**
CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 1
04th 2012

AREA INLET PROTECTION INSTALLATION NOTES

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AREA INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

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- AREA INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- WHEN THE AREA INLET PROTECTION IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE AREA INLET PROTECTION MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
- ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.

Parker COLORADO **CBMP** **IPA**
CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 1
04th 2012

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This review does not constitute approval of any private on-site improvements which may be shown. Construction cannot commence until all required drainage/traffic report(s), final development plan(s), special review(s), grading permit, and/or other permits are complete, approved and on file with the Town of Parker.

TOWN OF | **Town of Parker, Director of Engineering** | 04/30/2026 | Date

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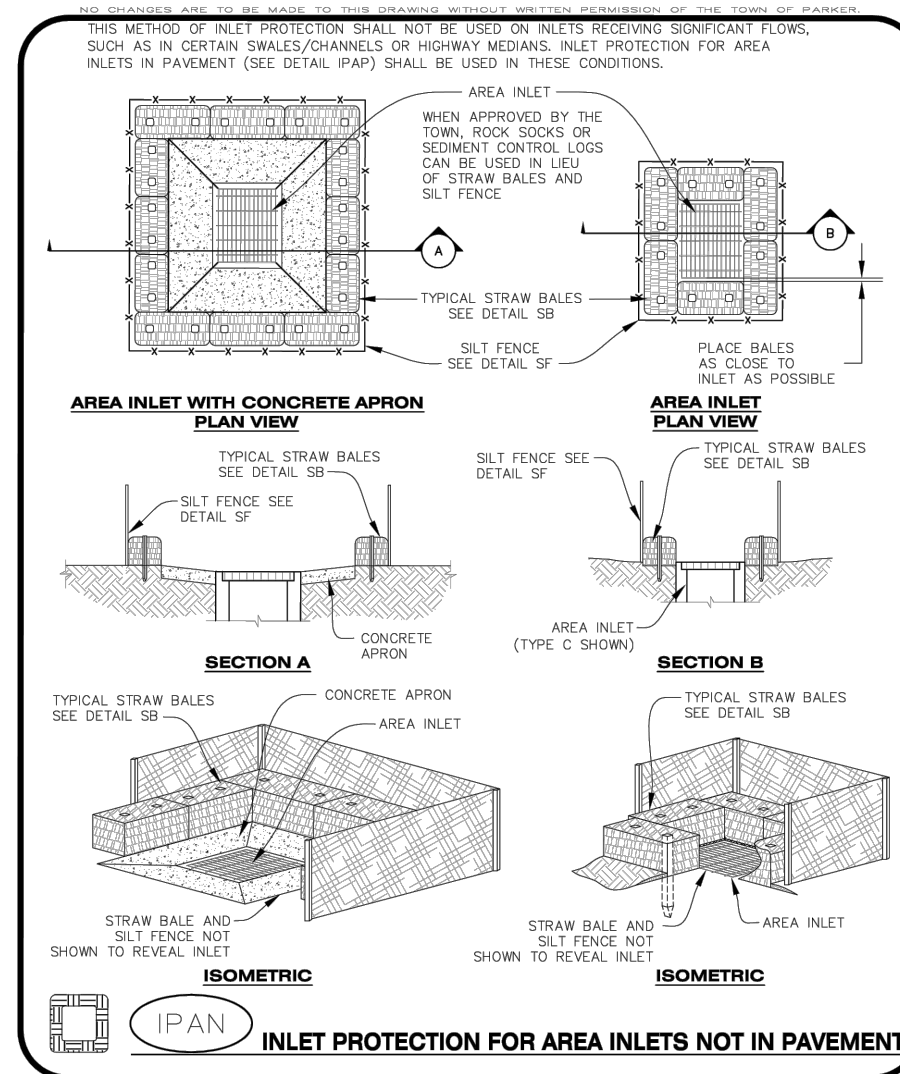
PROJECT: **NEW O'REILLY AUTO PARTS STORE**
13111 REATA RIDGE DRIVE
PARKER, CO #2

EROSION CONTROL DETAILS

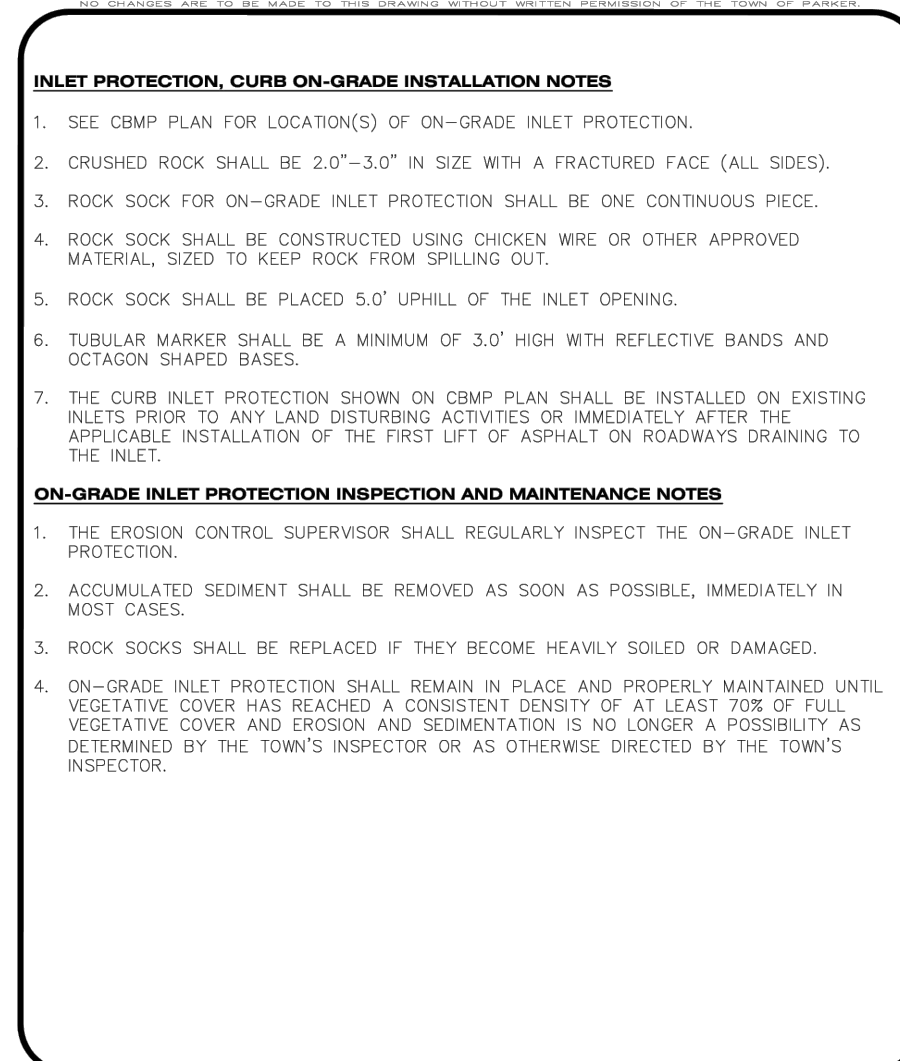
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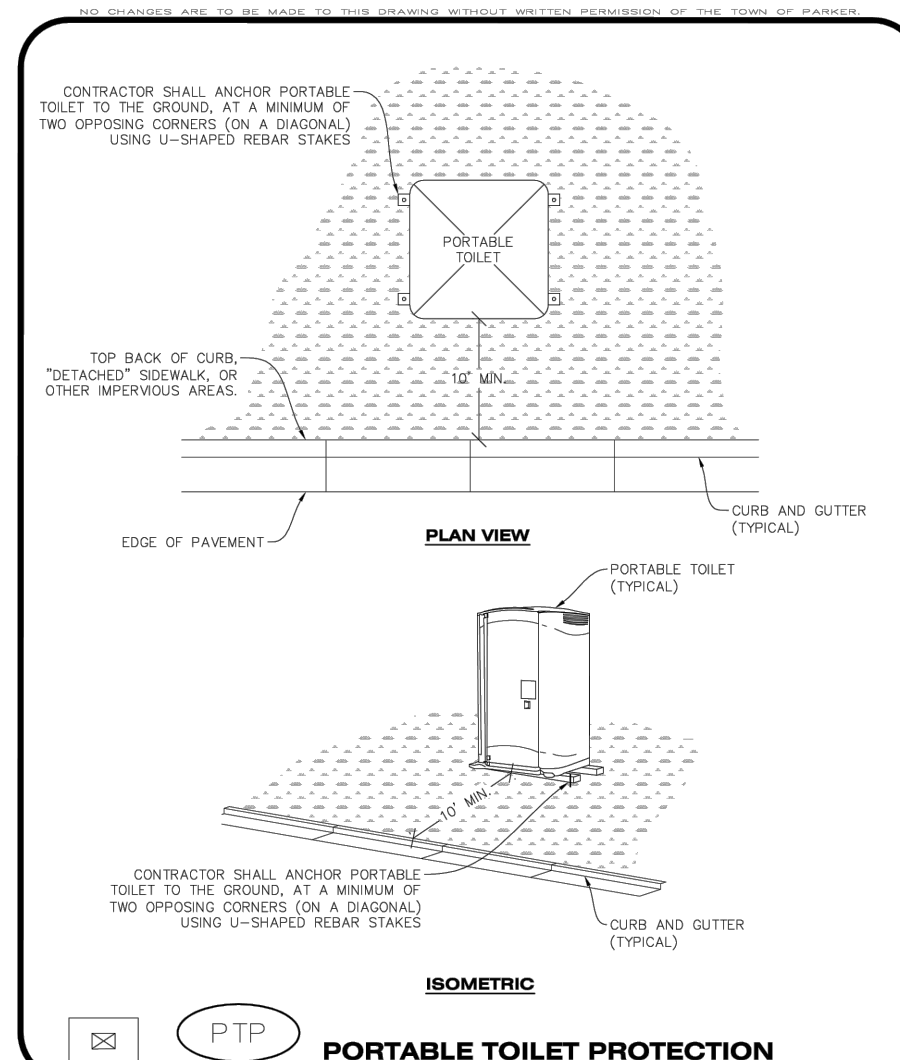
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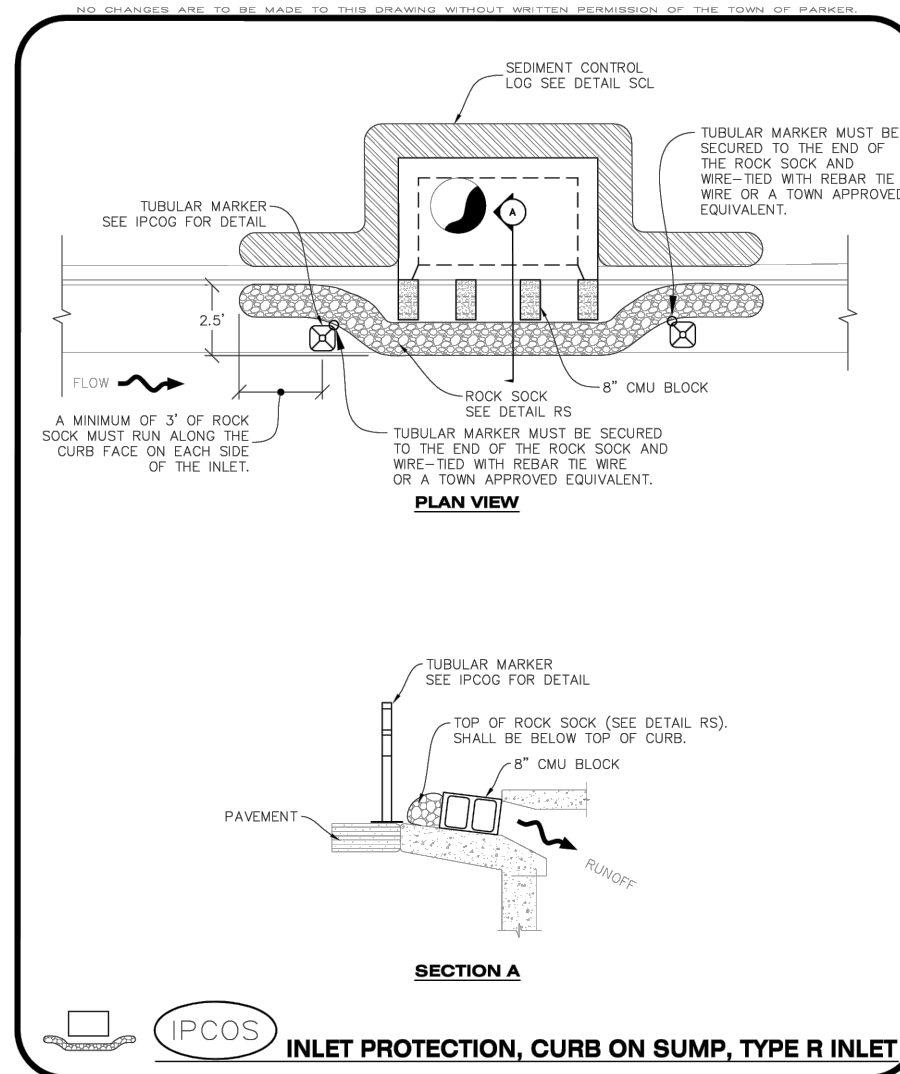
CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
IPAN 1 OF 3
 04/30/2012



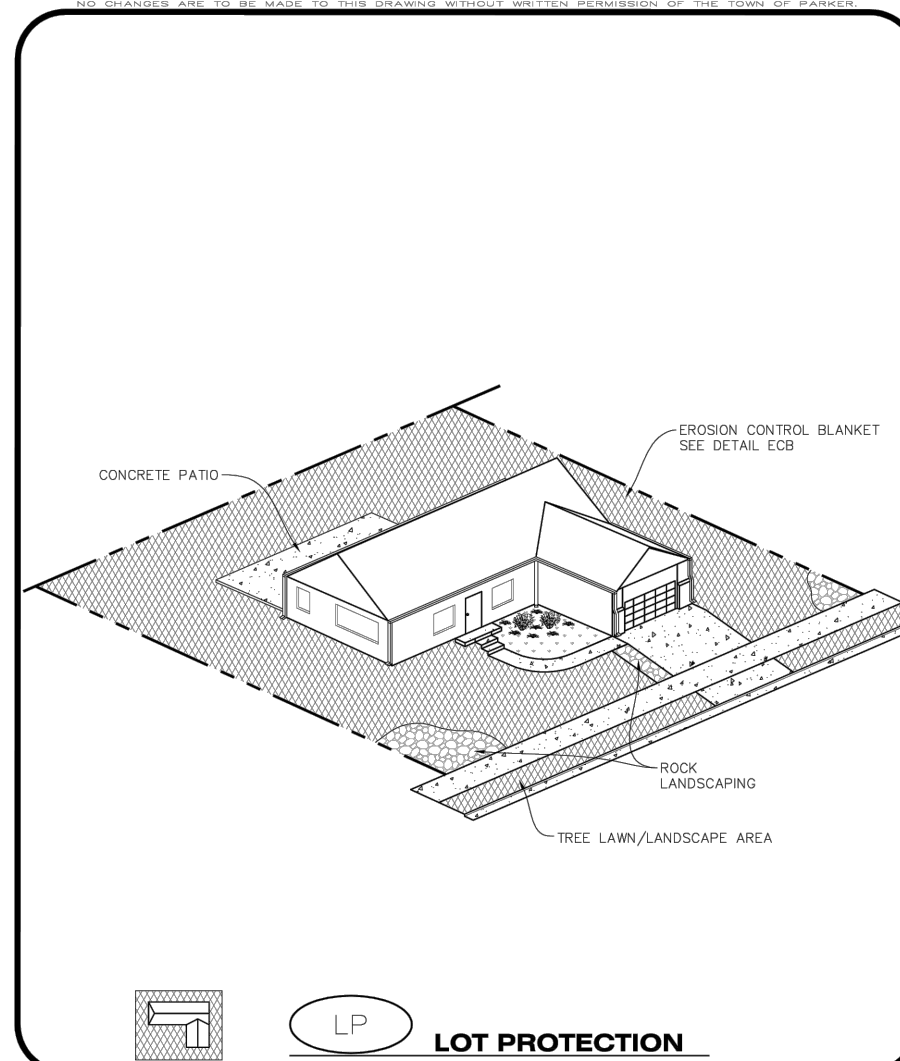
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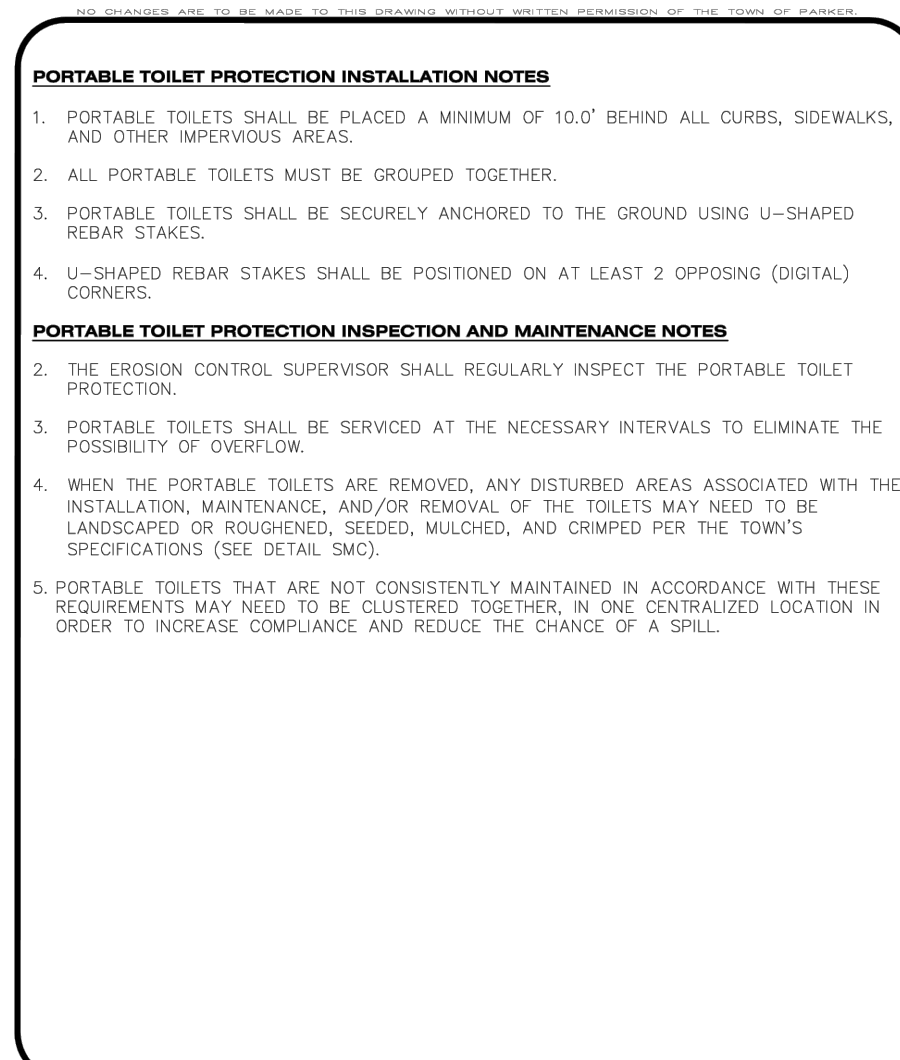
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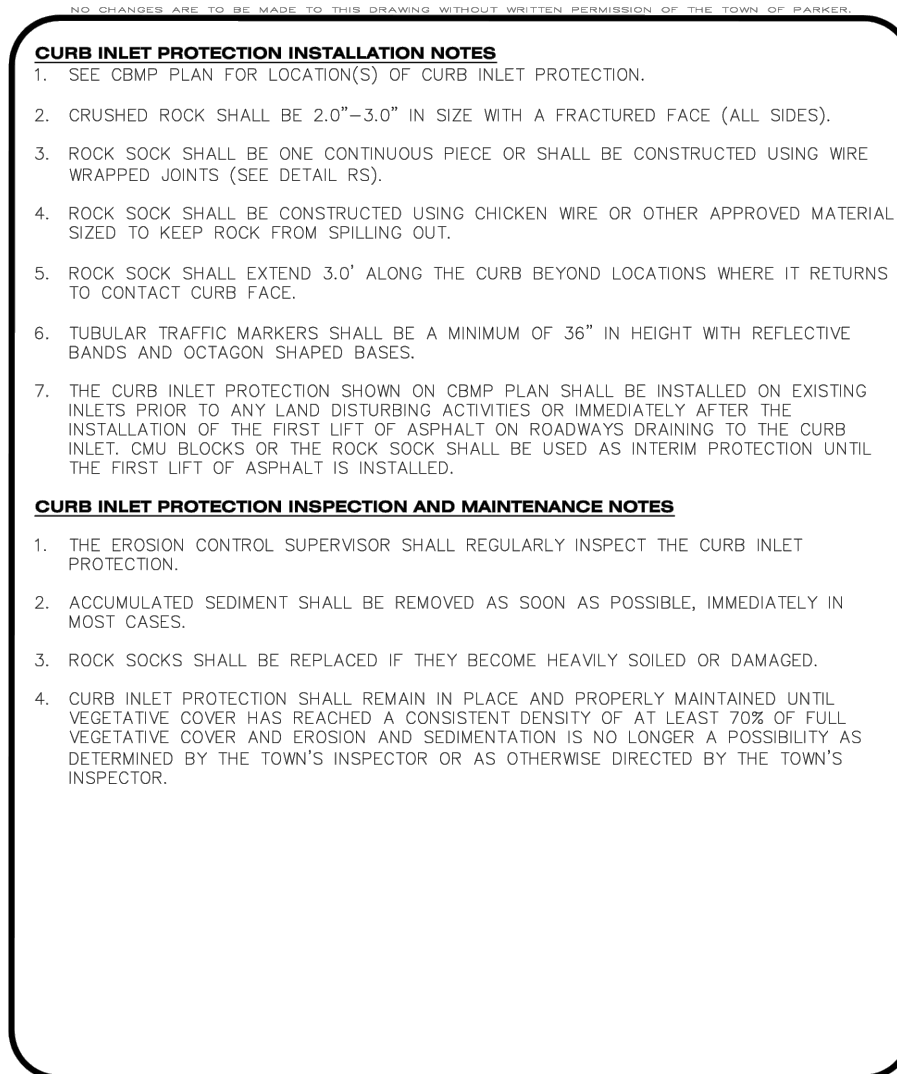
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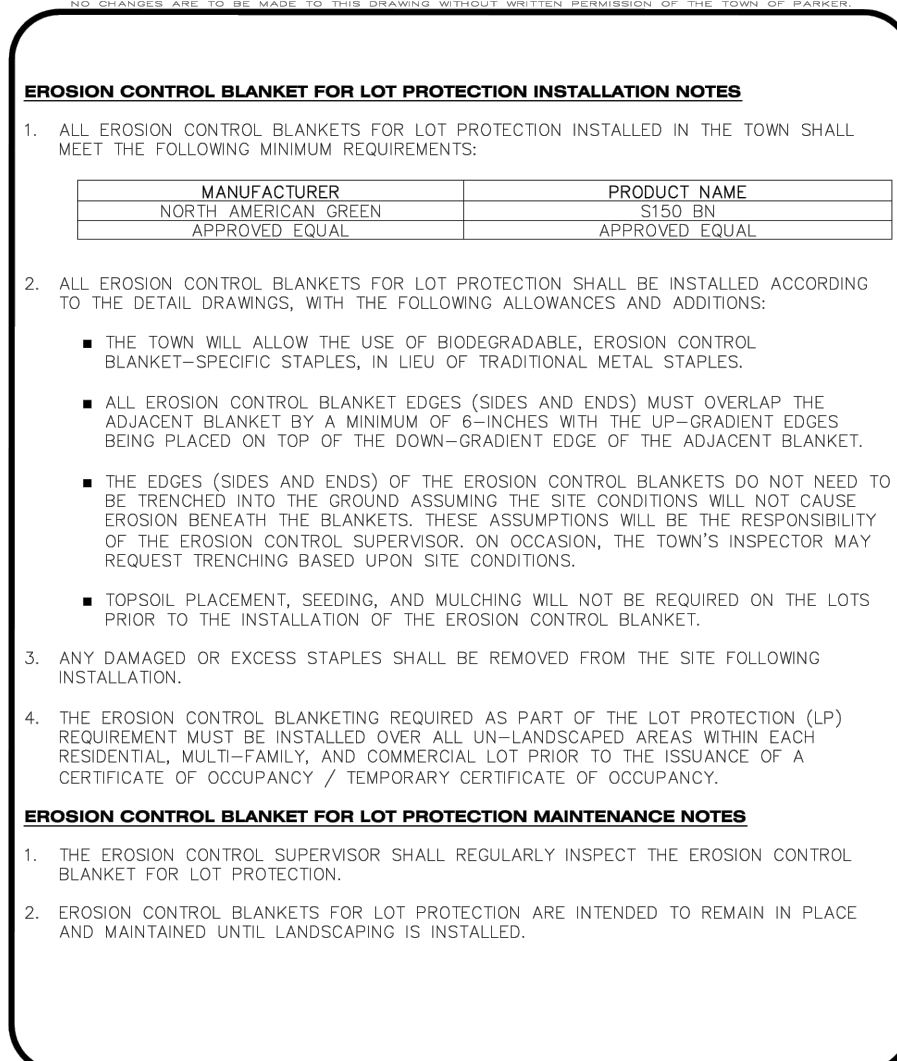
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LP 1 OF 2
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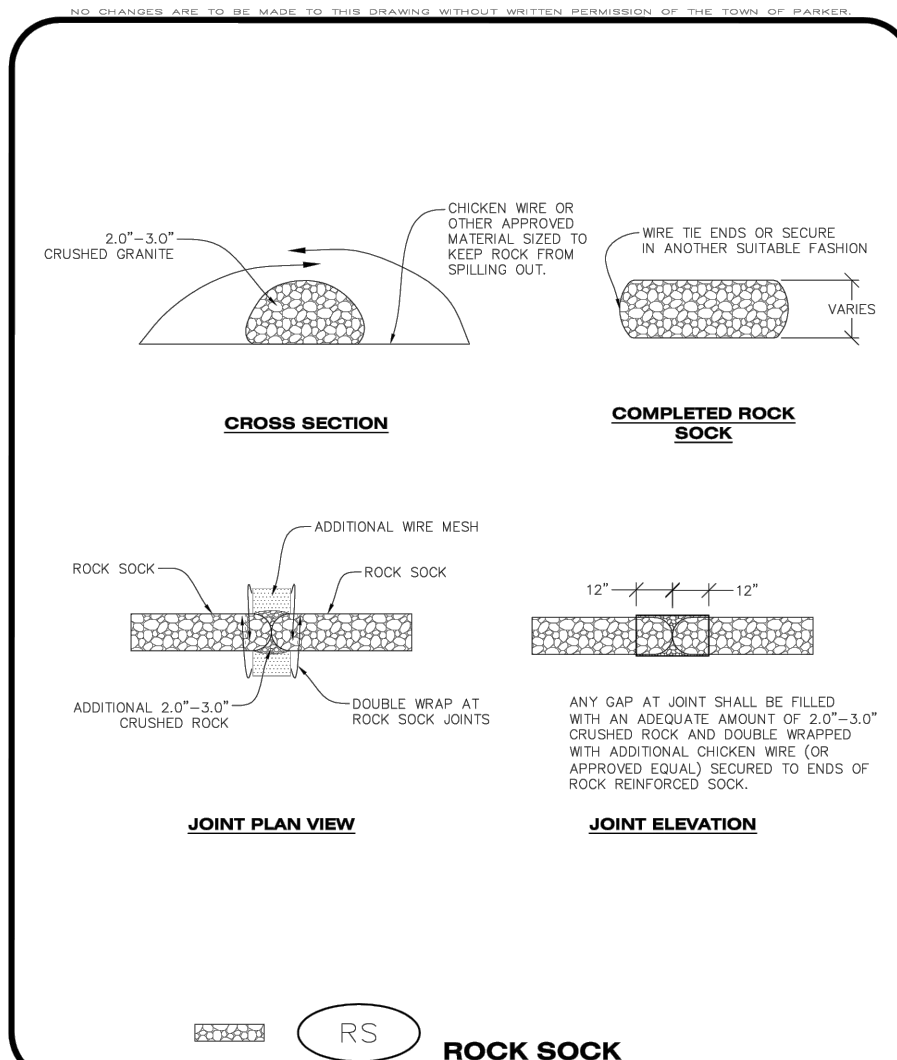
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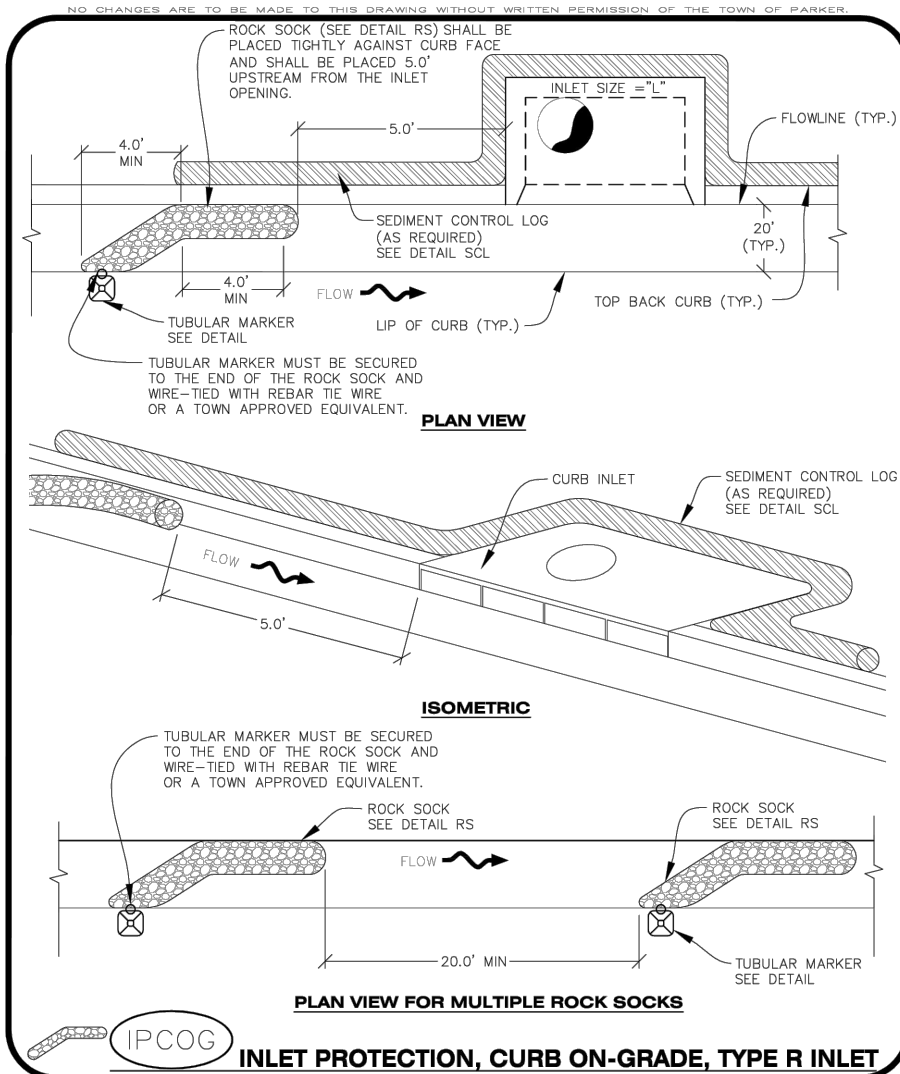
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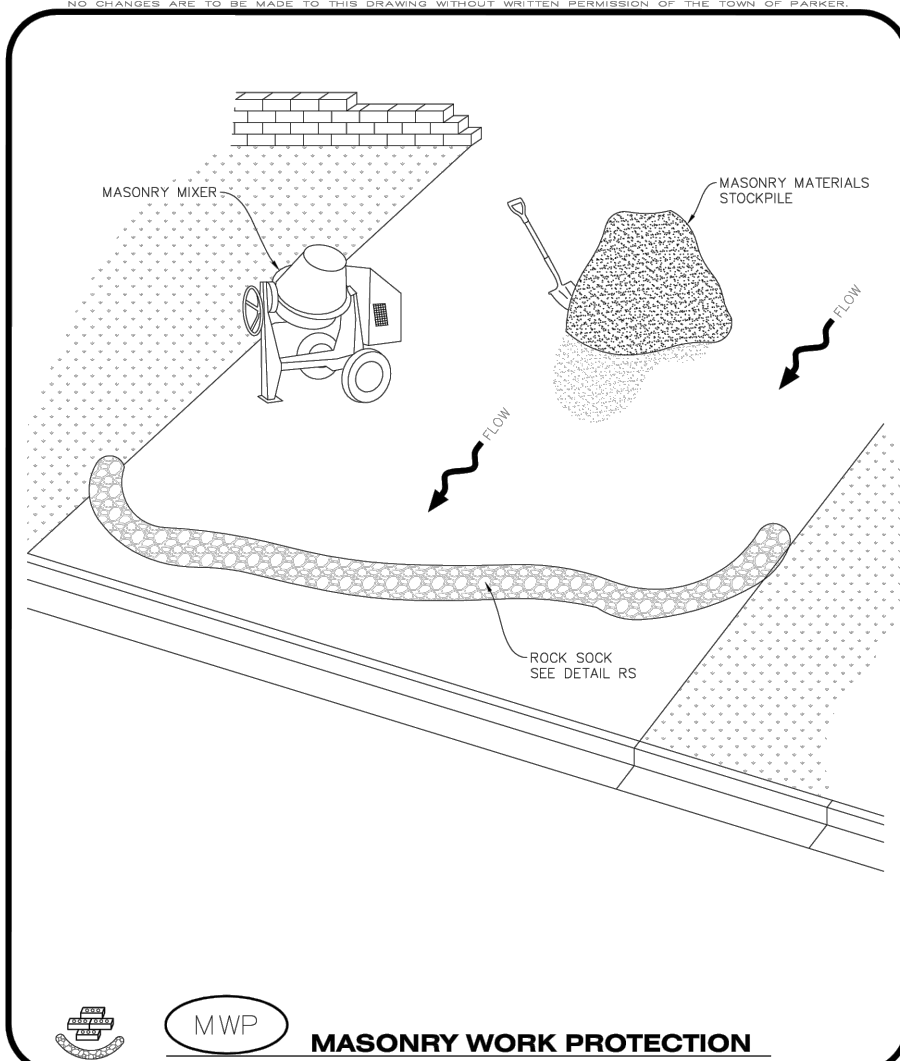
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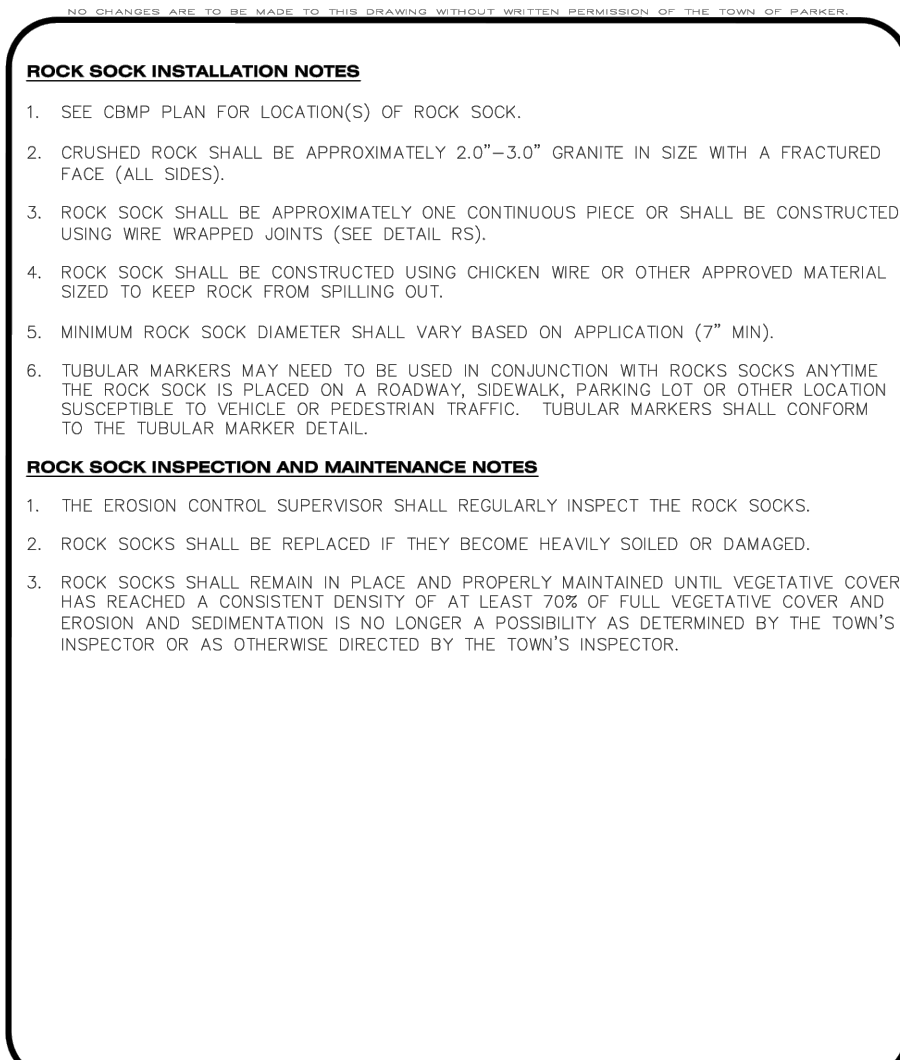
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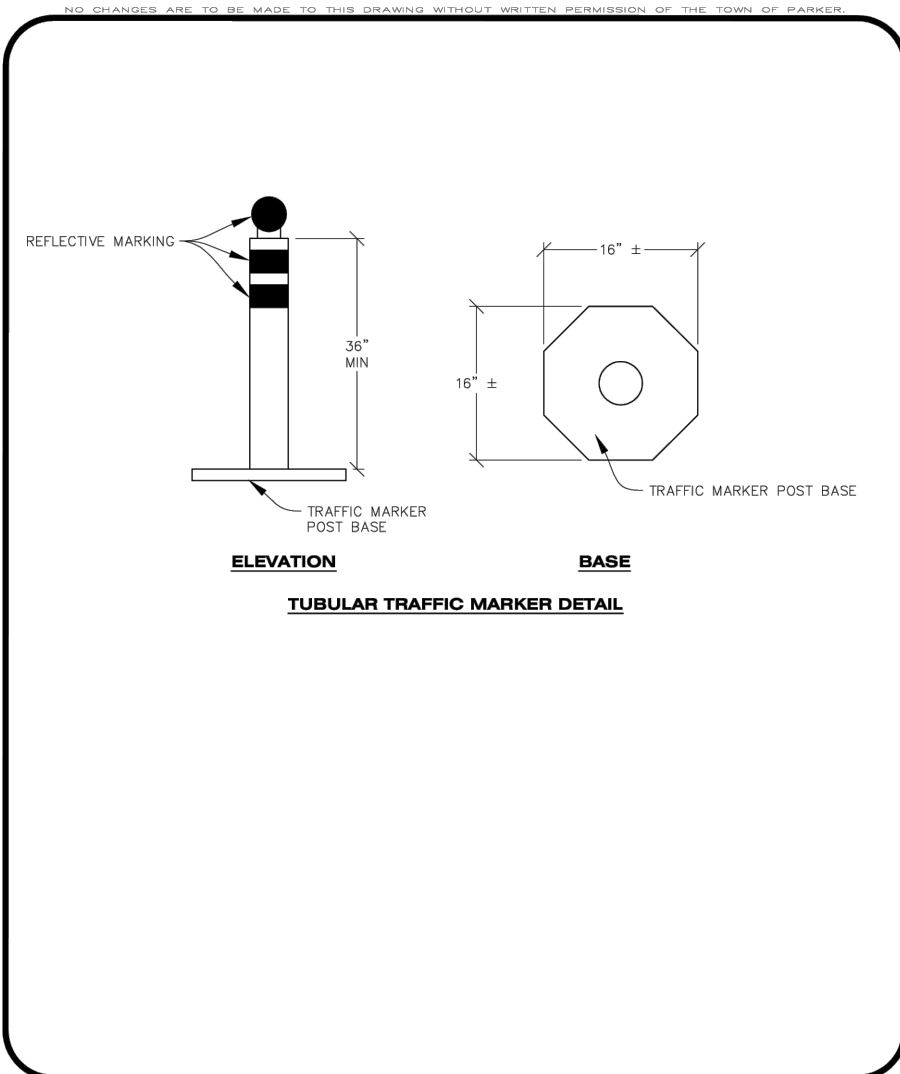
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IPCOG 1 OF 3
 04/30/2012



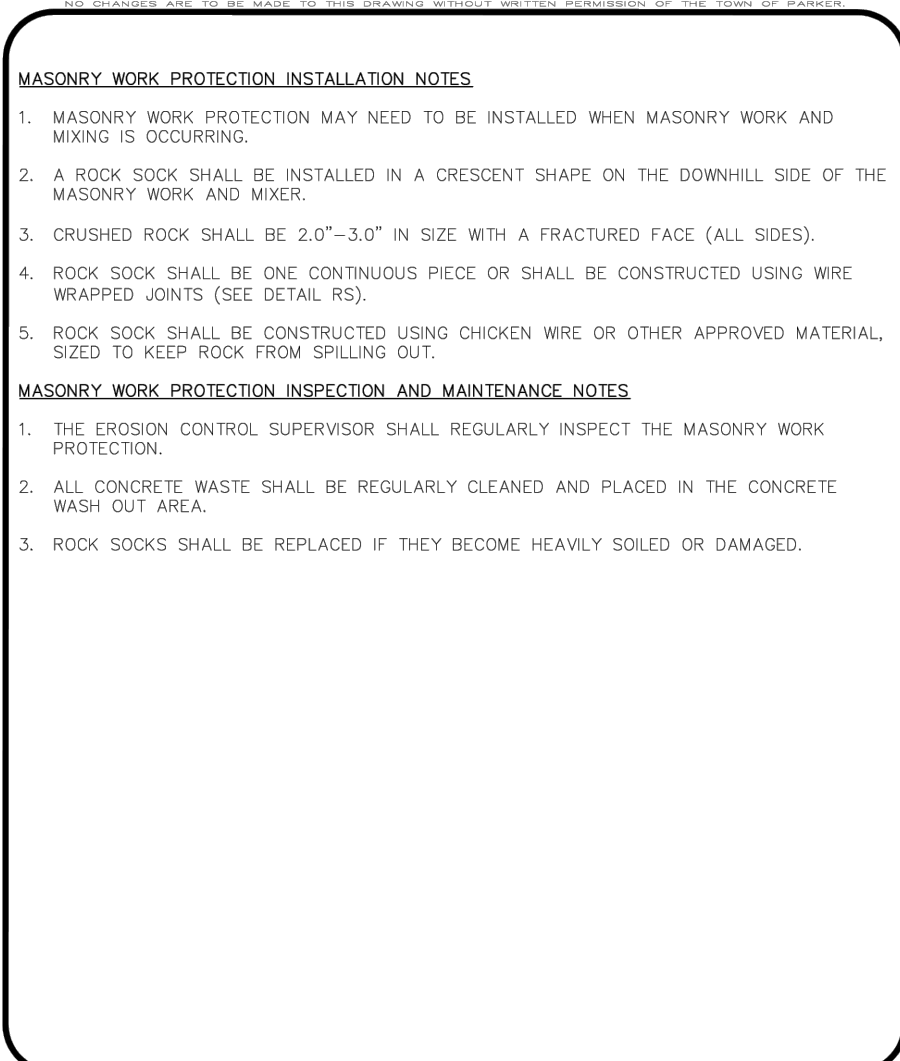
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MWP 1 OF 2
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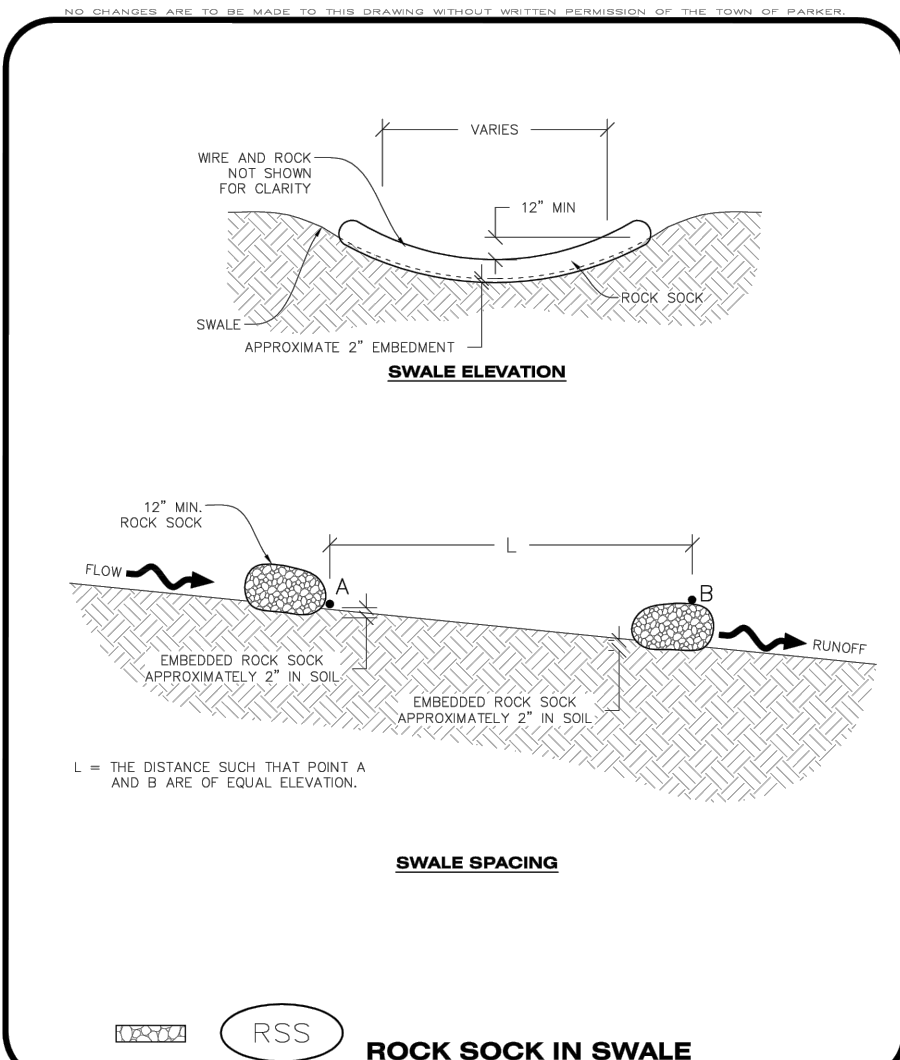
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IPCOG 2 OF 3
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04/30/2026
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LOT 1 PARKER POINTE SUBDIVISION FILING 1
 PROJECT: NEW O'REILLY AUTO PARTS STORE
 13111 REATA RIDGE DRIVE
 PARKER, CO #2
EROSION CONTROL DETAILS

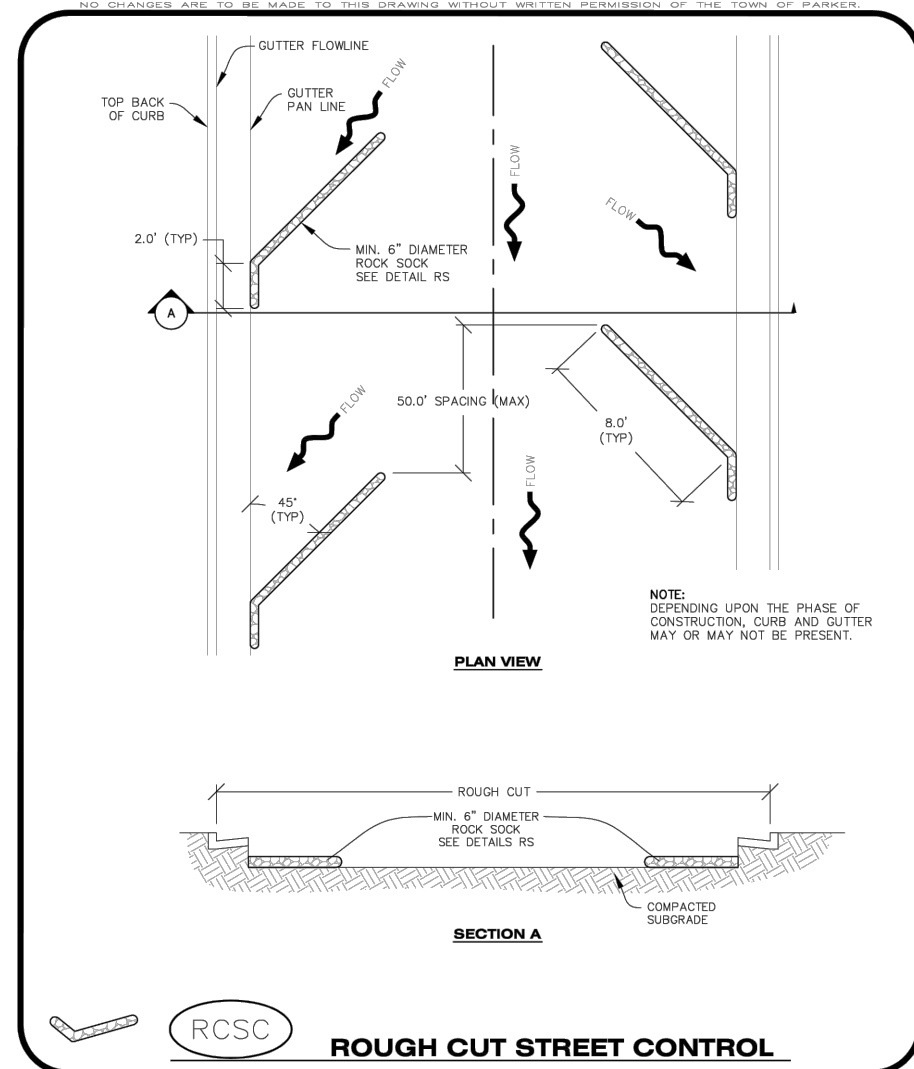
TIMOTHY M. GUILLOT
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 417-862-0558
 Fax: 417-862-3265
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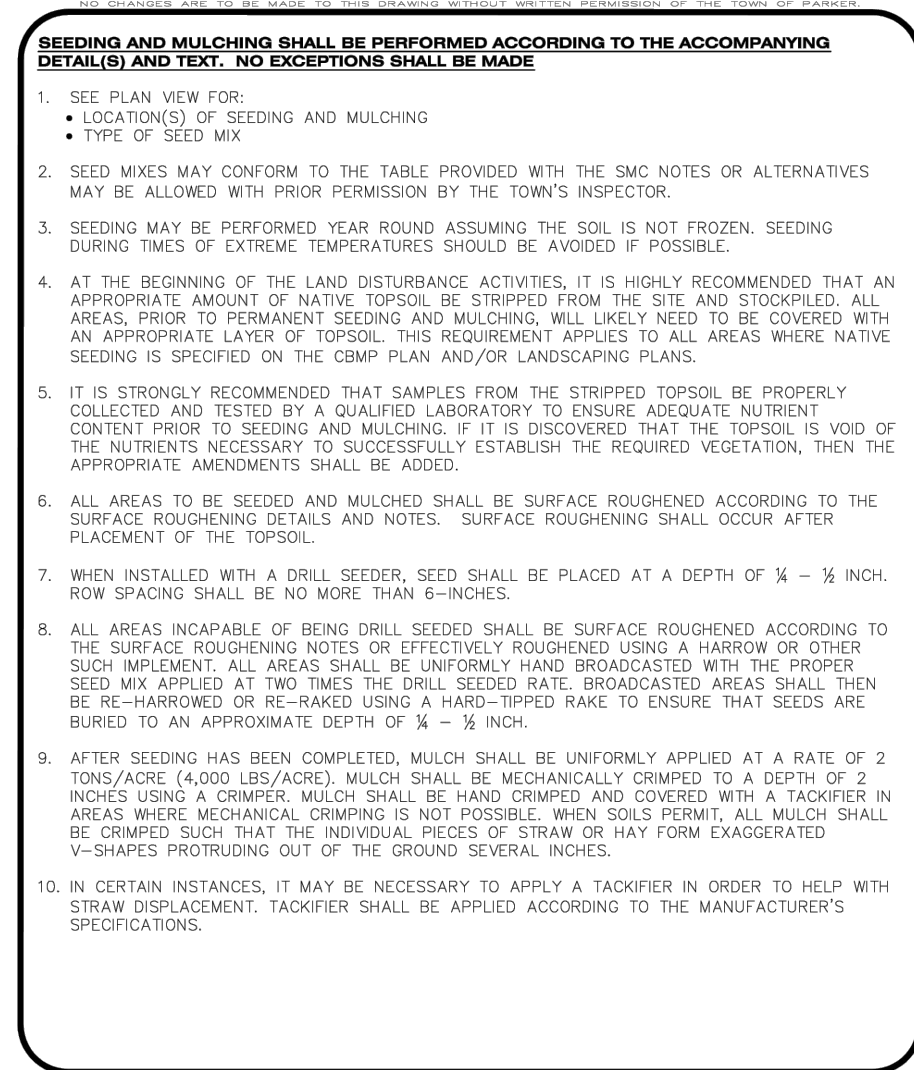
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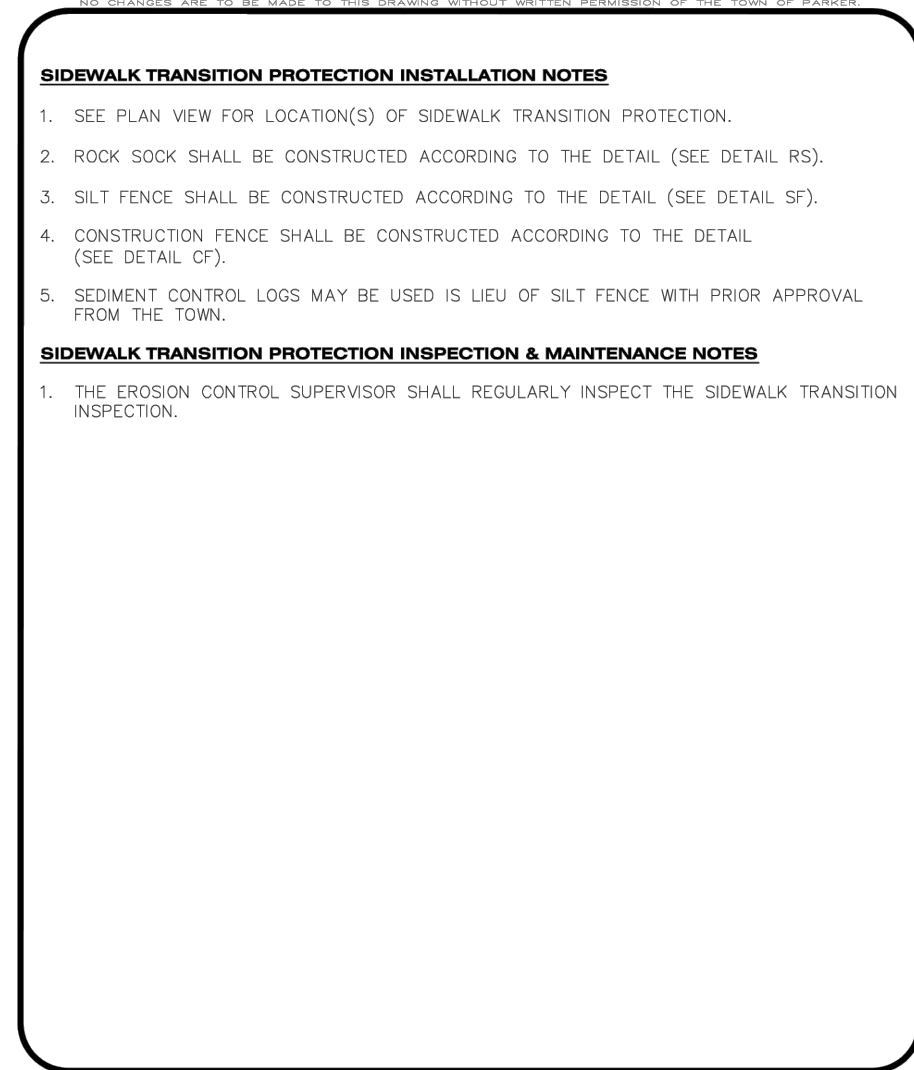
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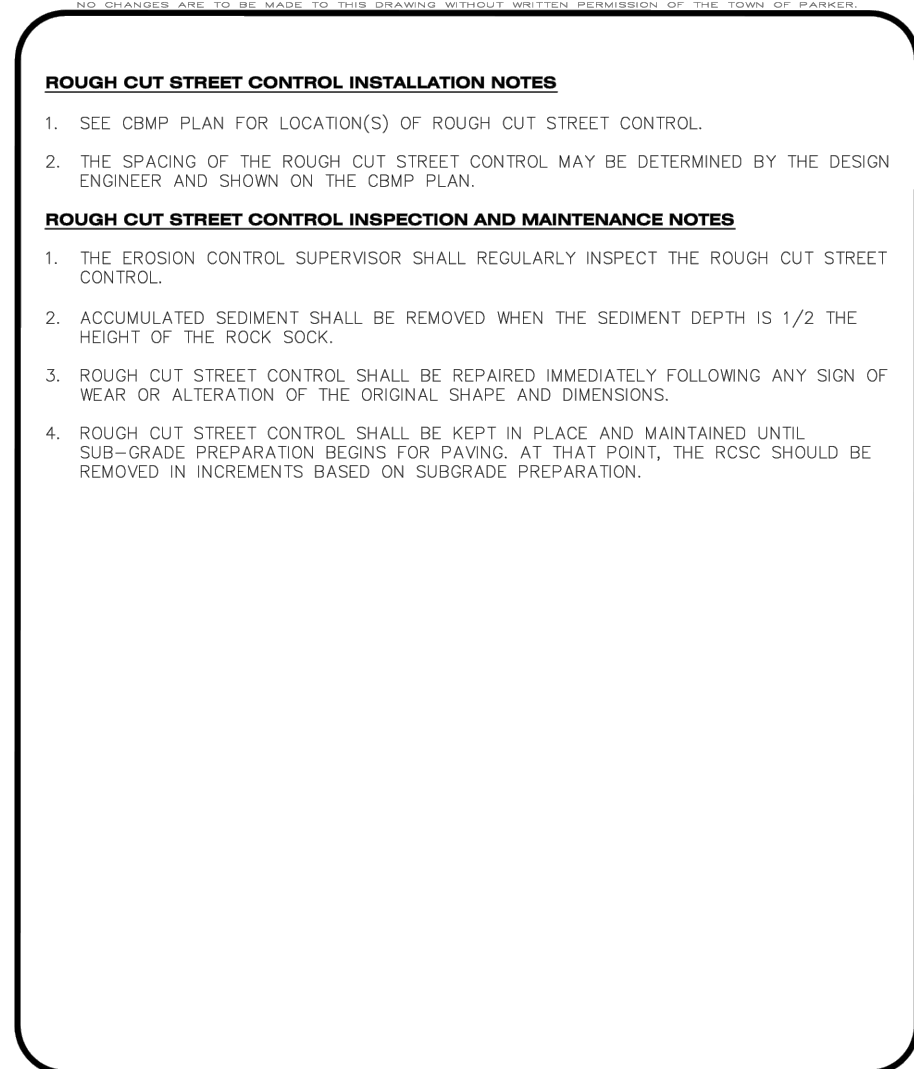
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ROUGH CUT STREET CONTROL
 Parker COLORADO CONSTRUCTION BEST MANAGEMENT PRACTICES
 CBMP
 1 OF 2
 04/2012



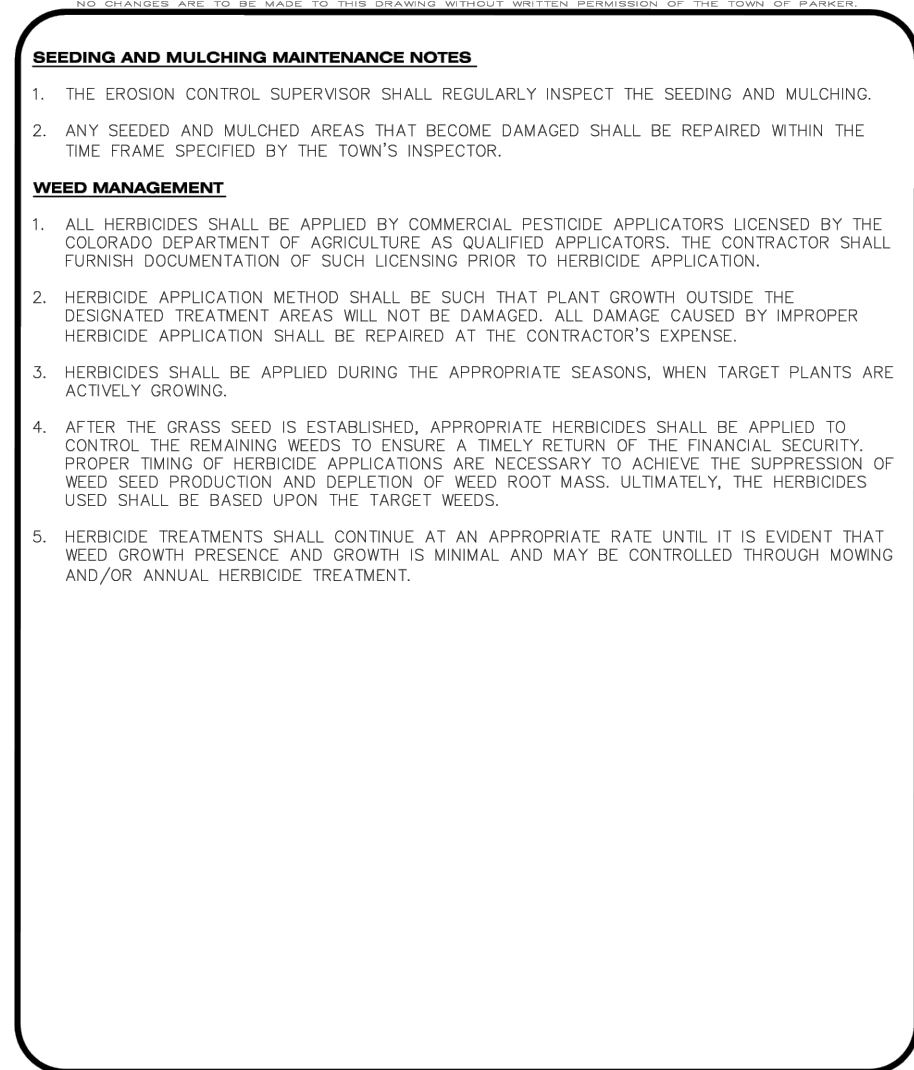
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SEEDING AND MULCHING SHALL BE PERFORMED ACCORDING TO THE ACCOMPANYING DETAILS AND TEXT. NO EXCEPTIONS SHALL BE MADE.
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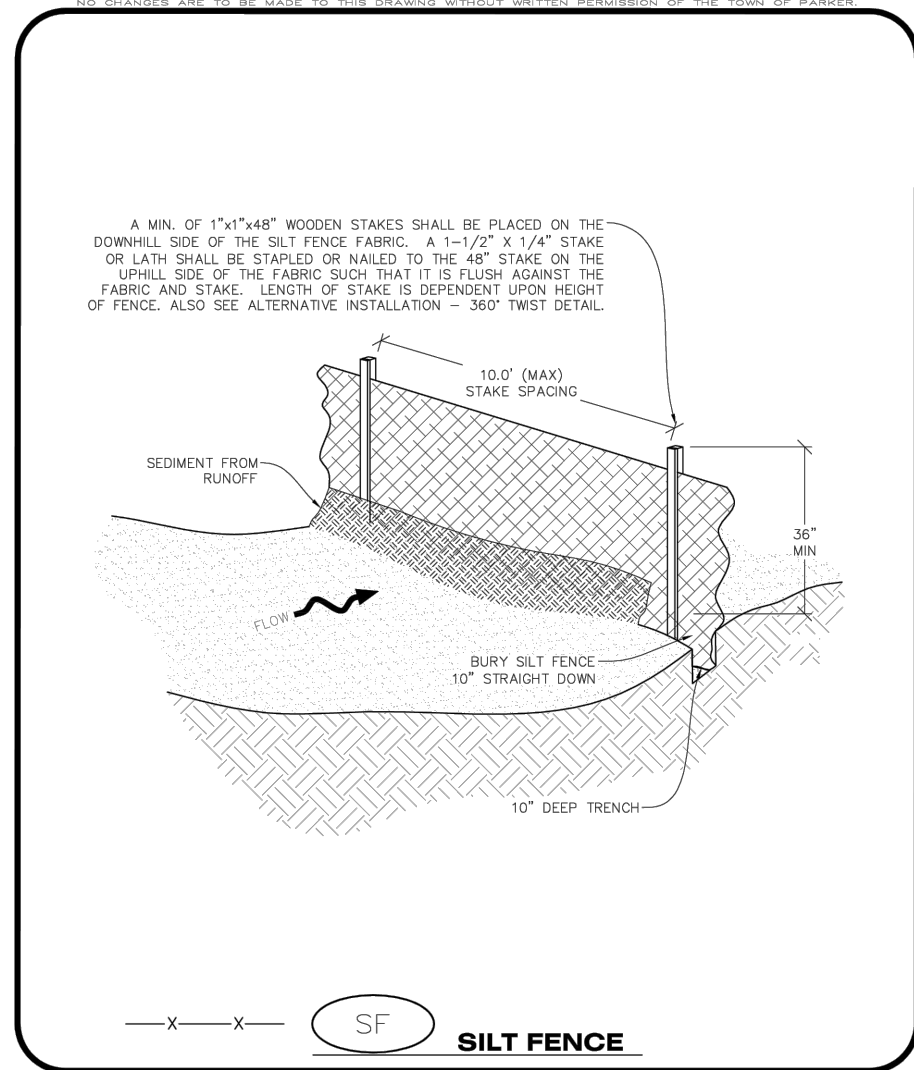
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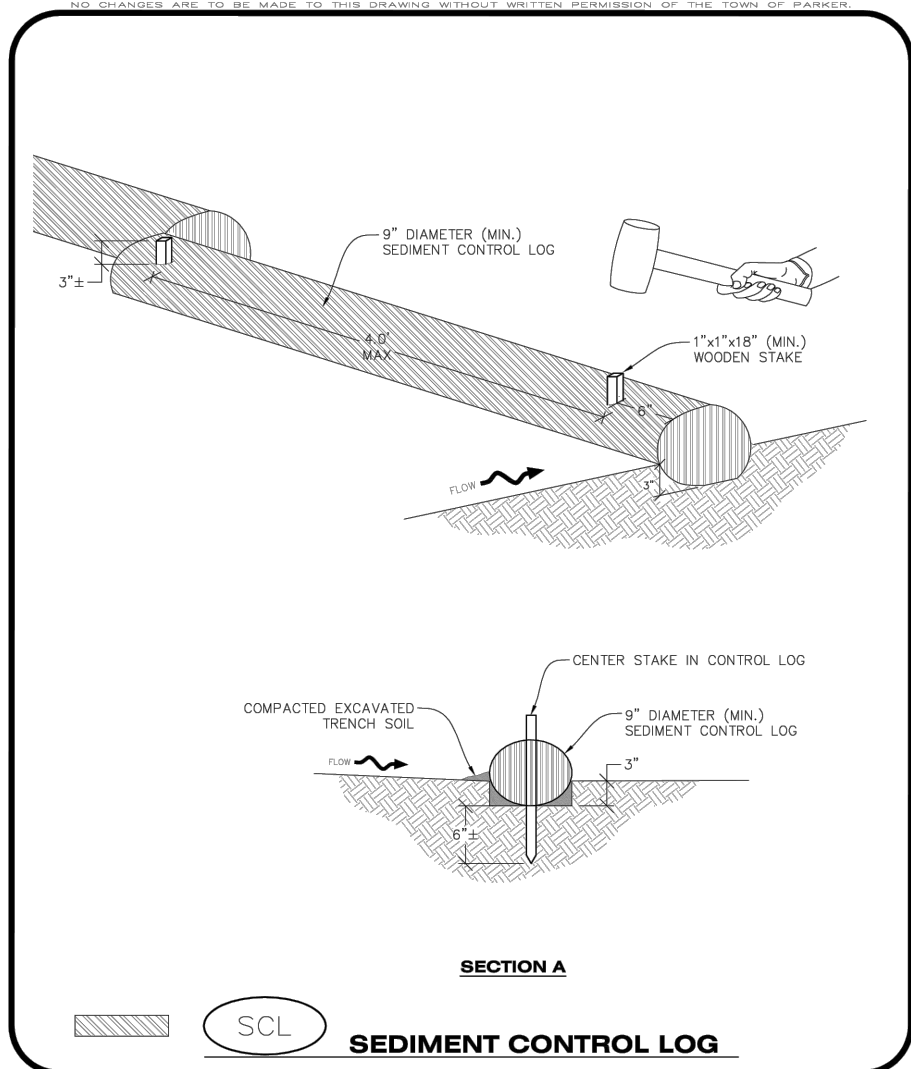
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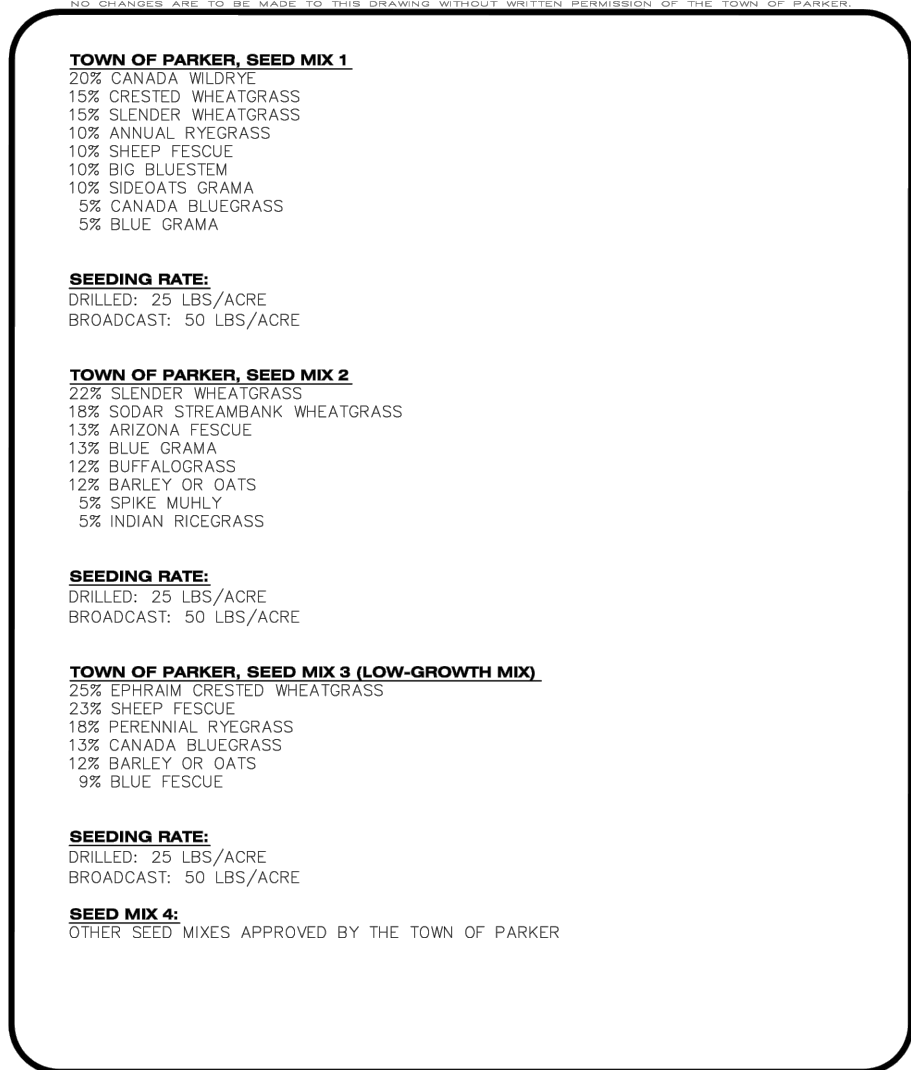
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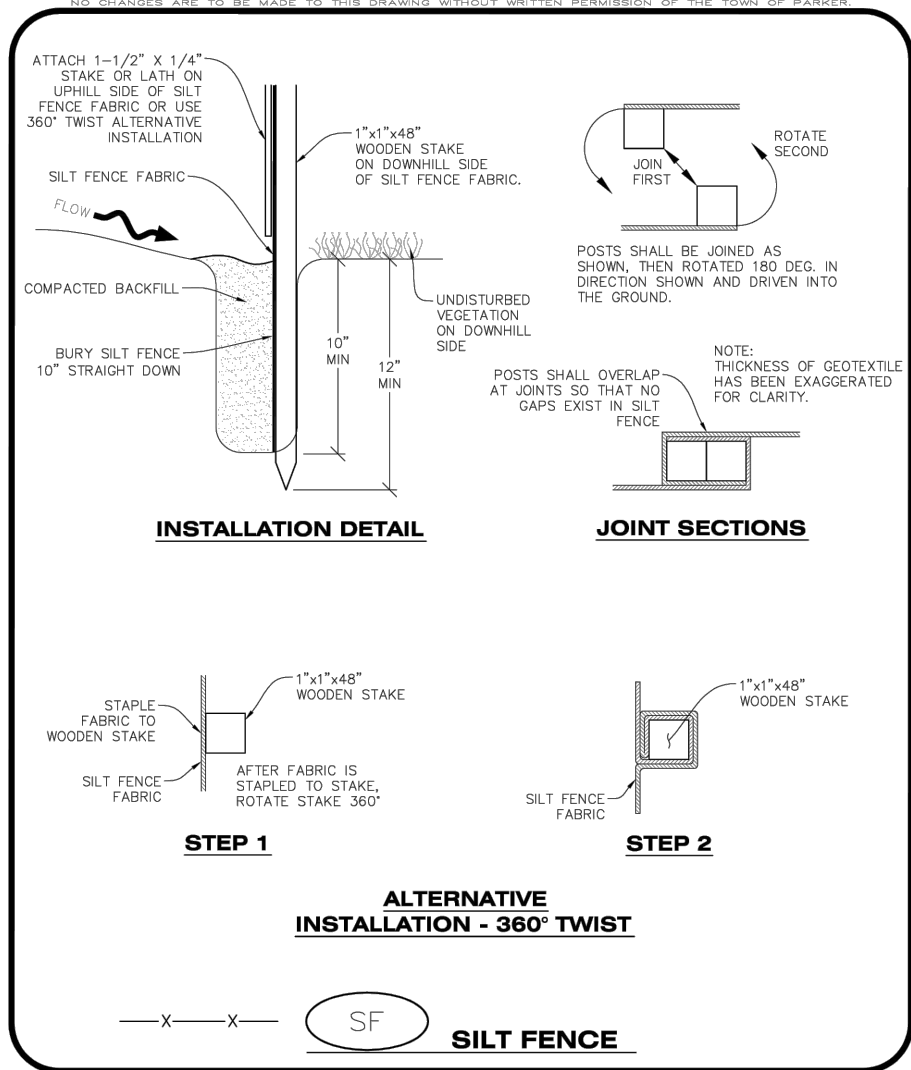
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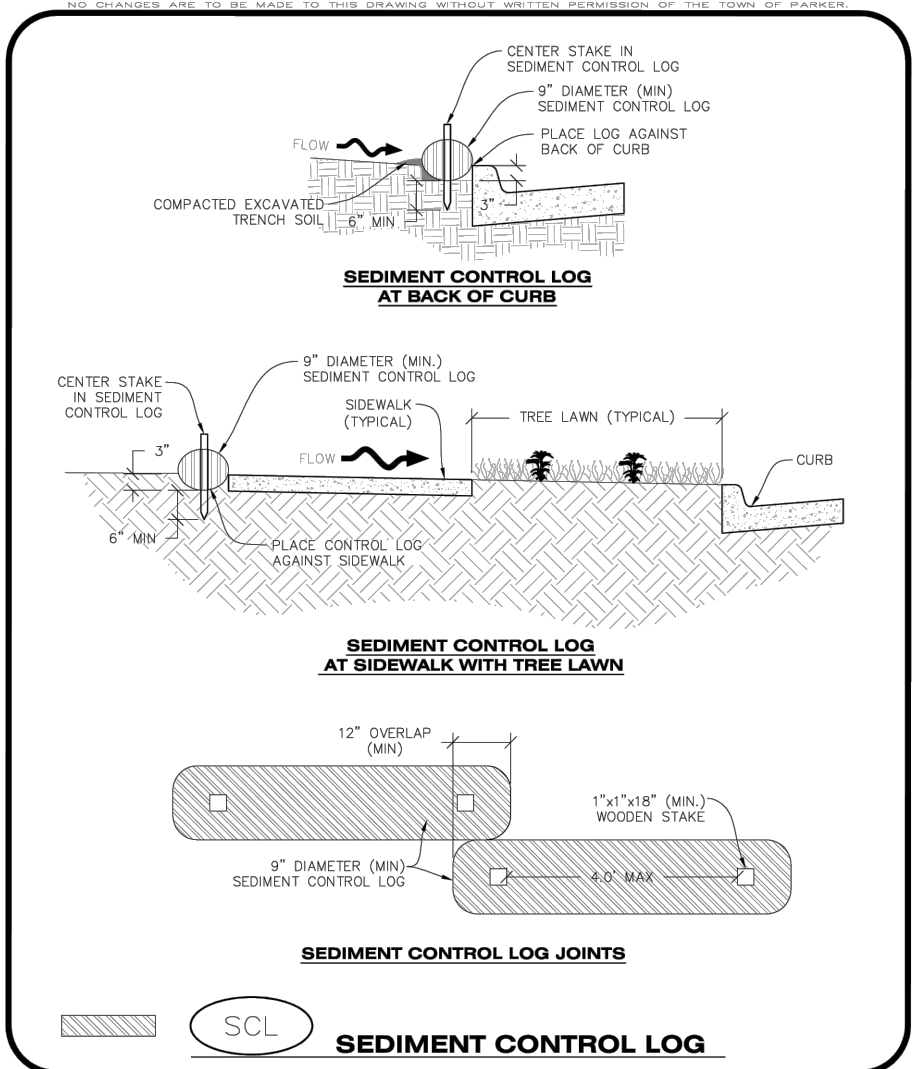
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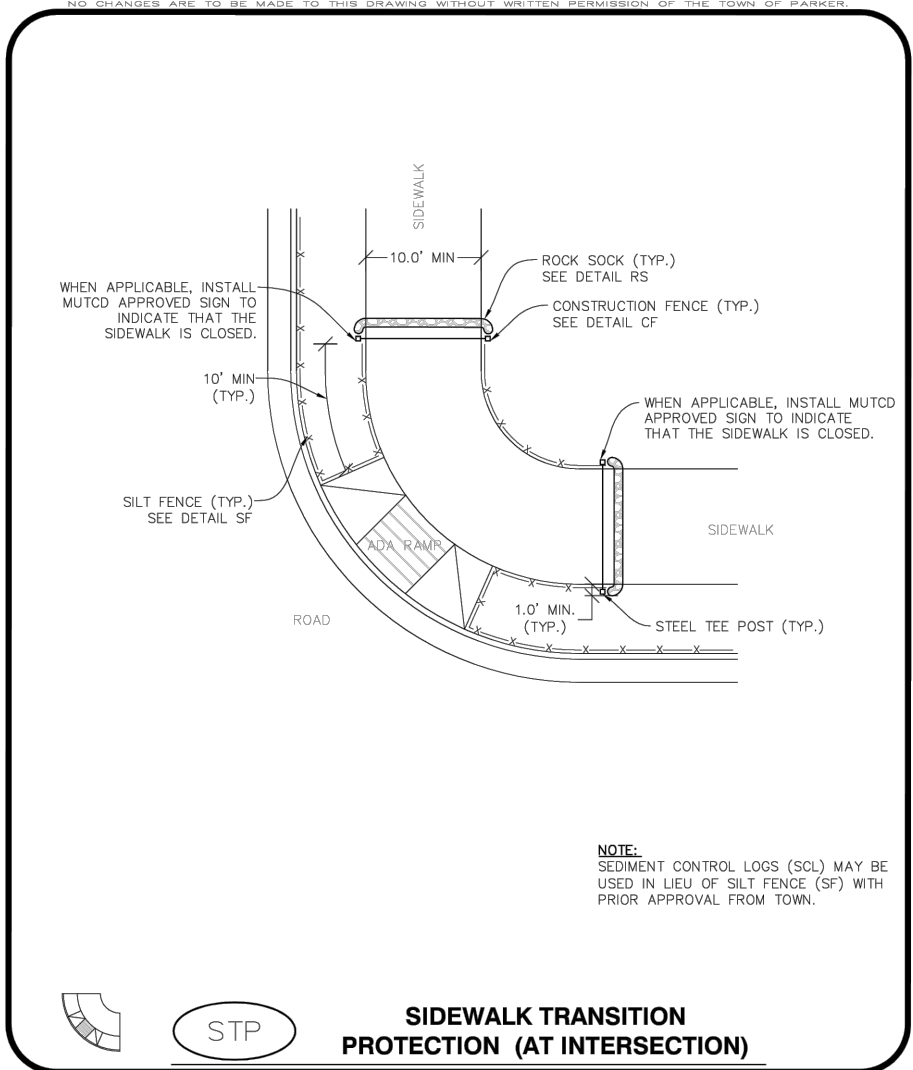
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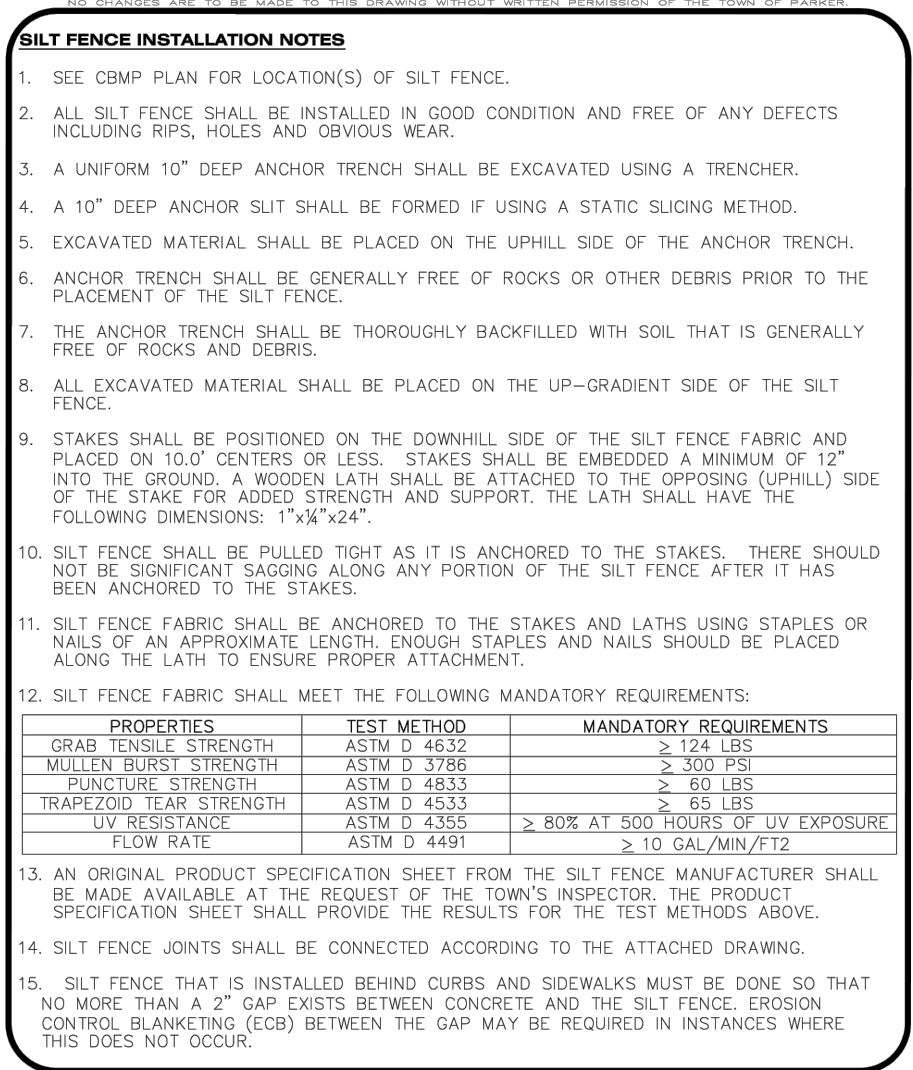
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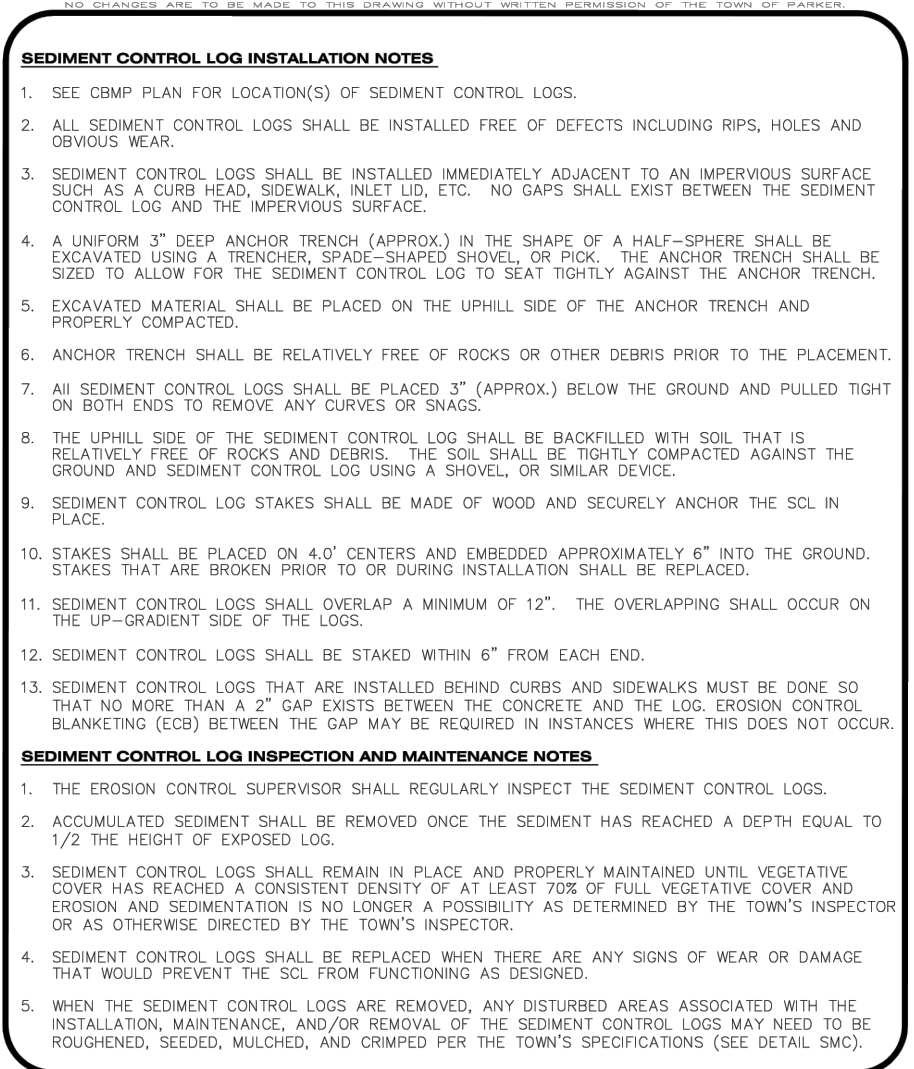
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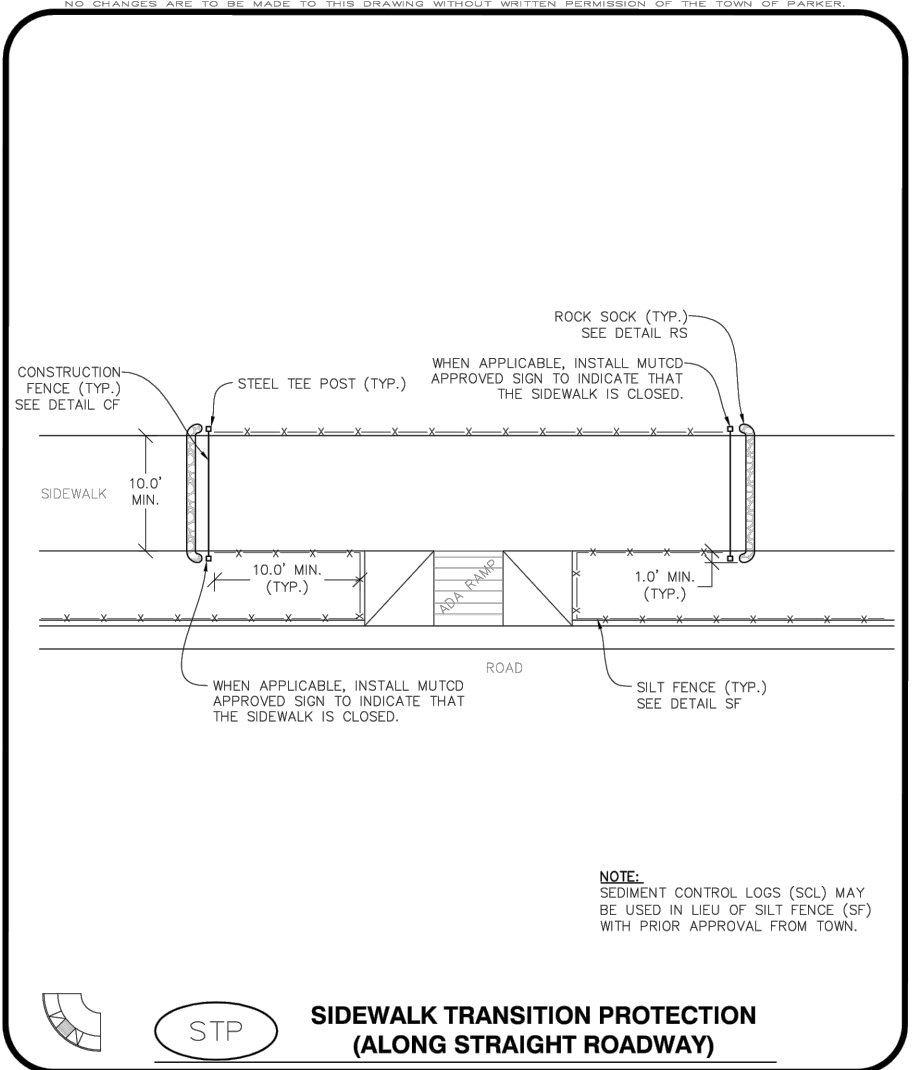
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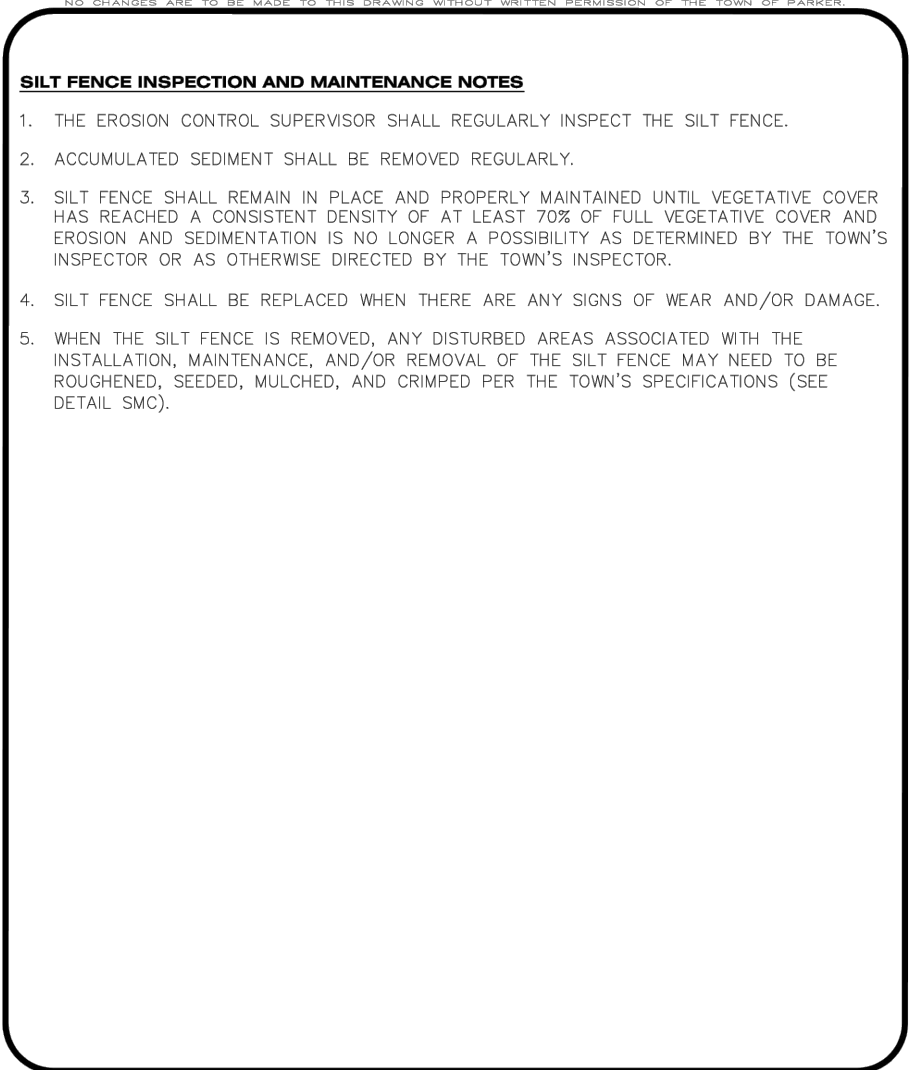
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THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND OBTAINED FROM THE TOWN OF PARKER.

TOWN OF PARKER, COLORADO
 Director of Engineering
 04/30/2026
 Date

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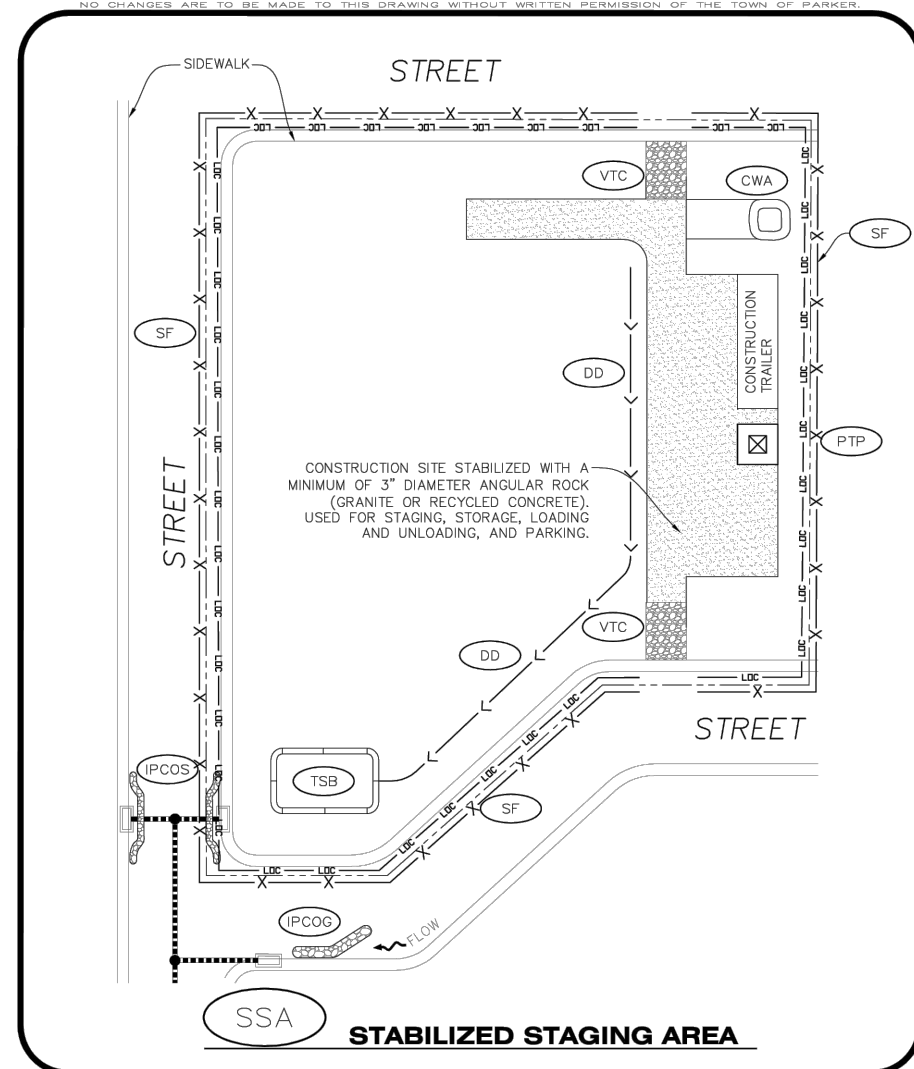
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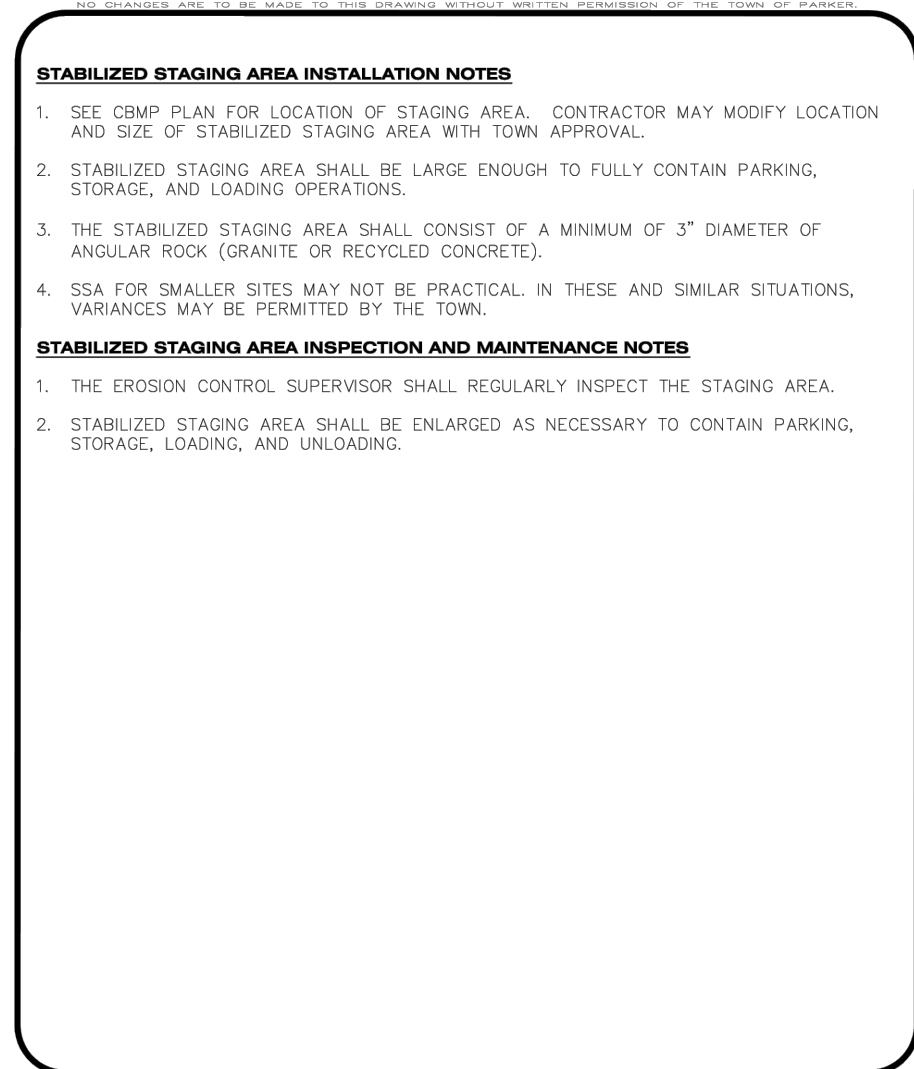
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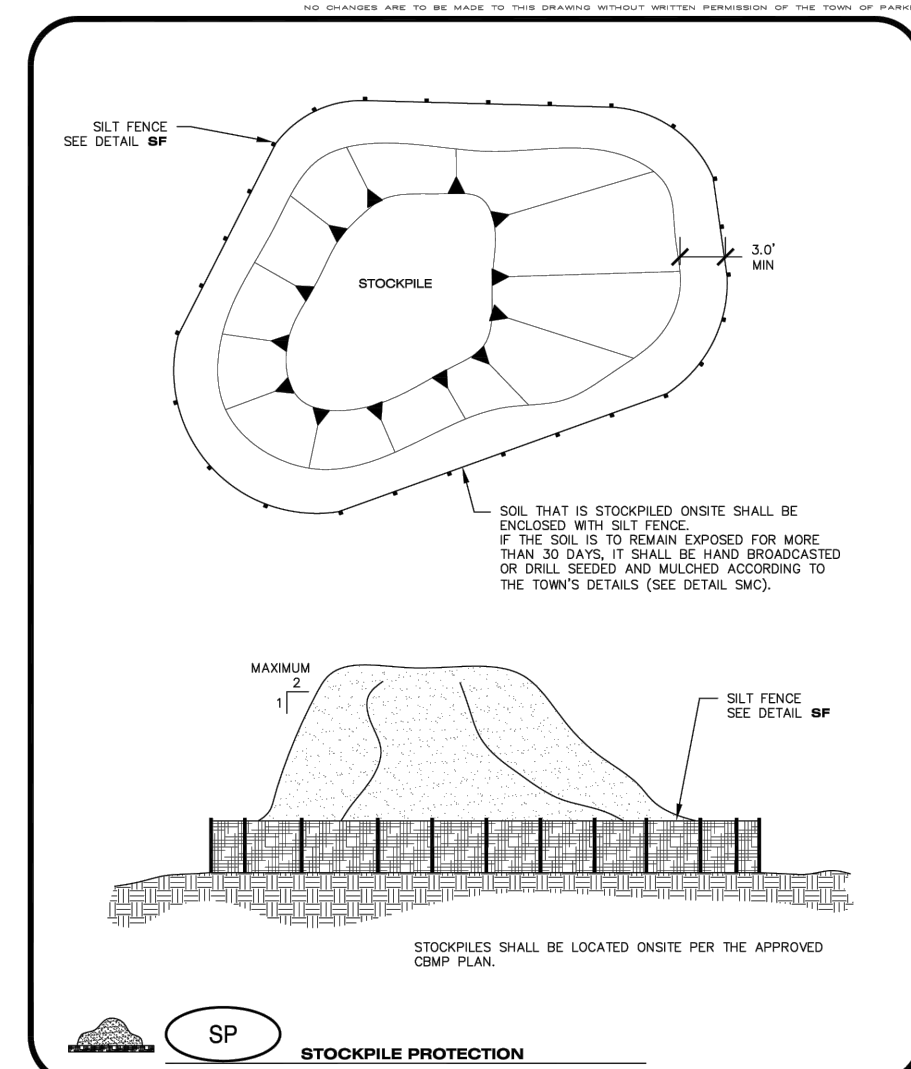
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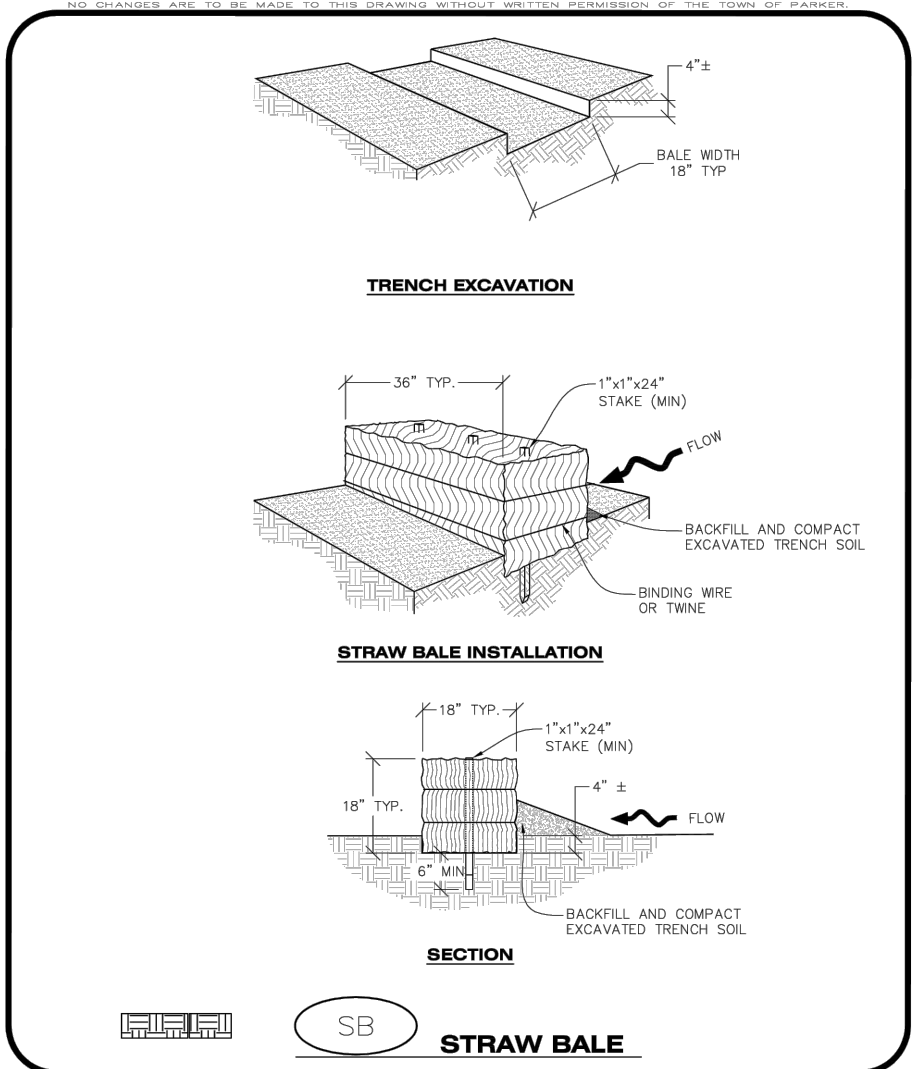
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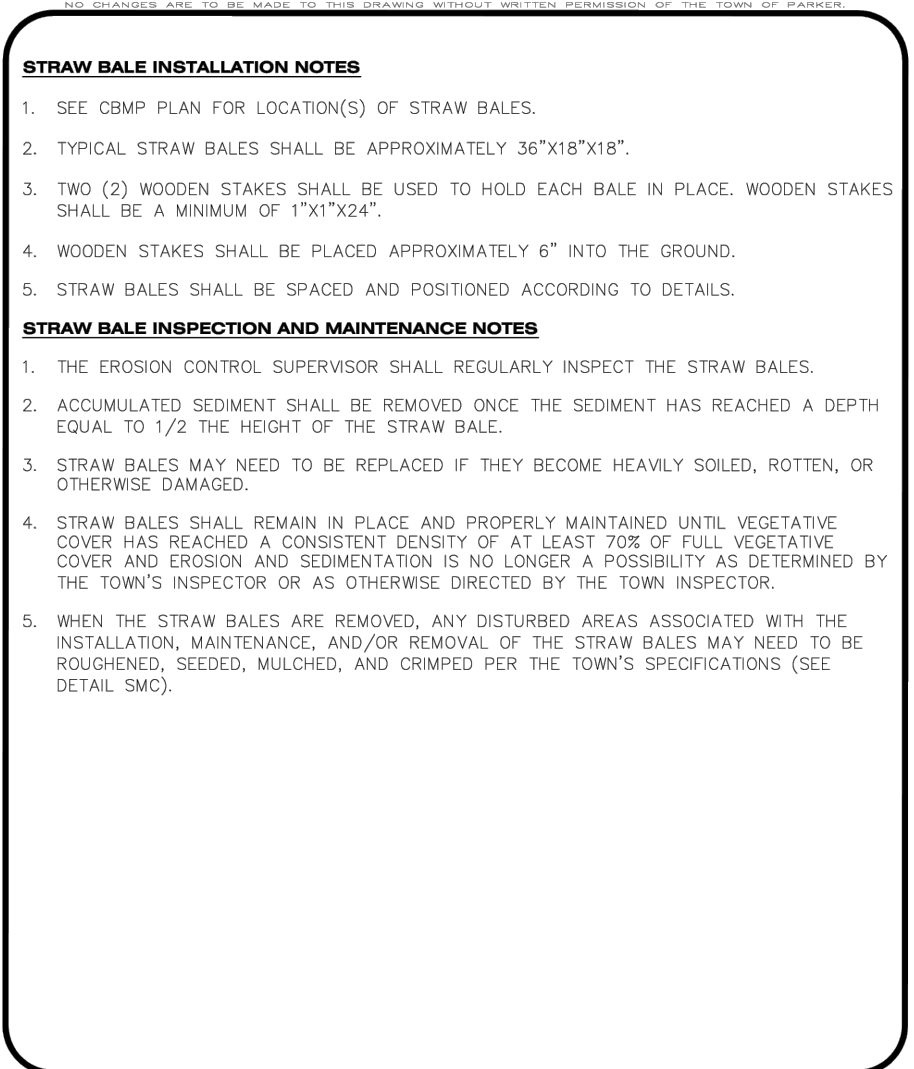
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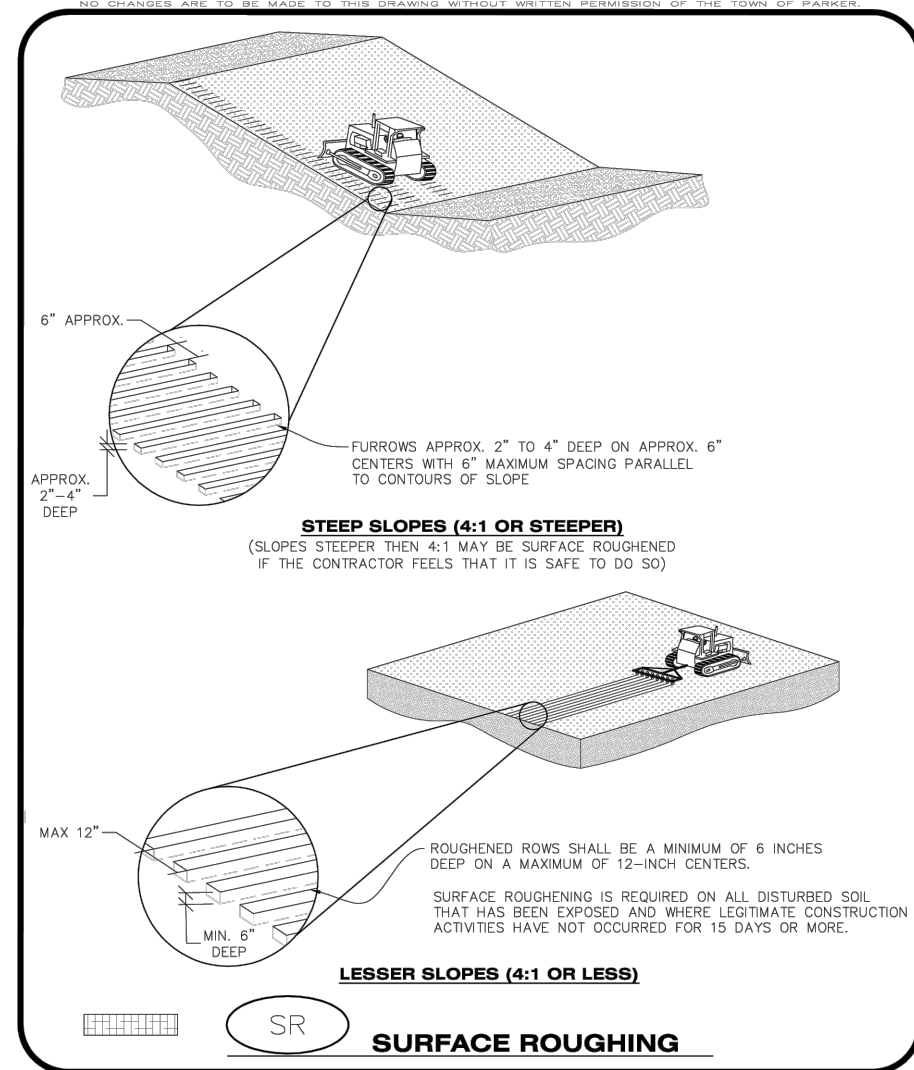
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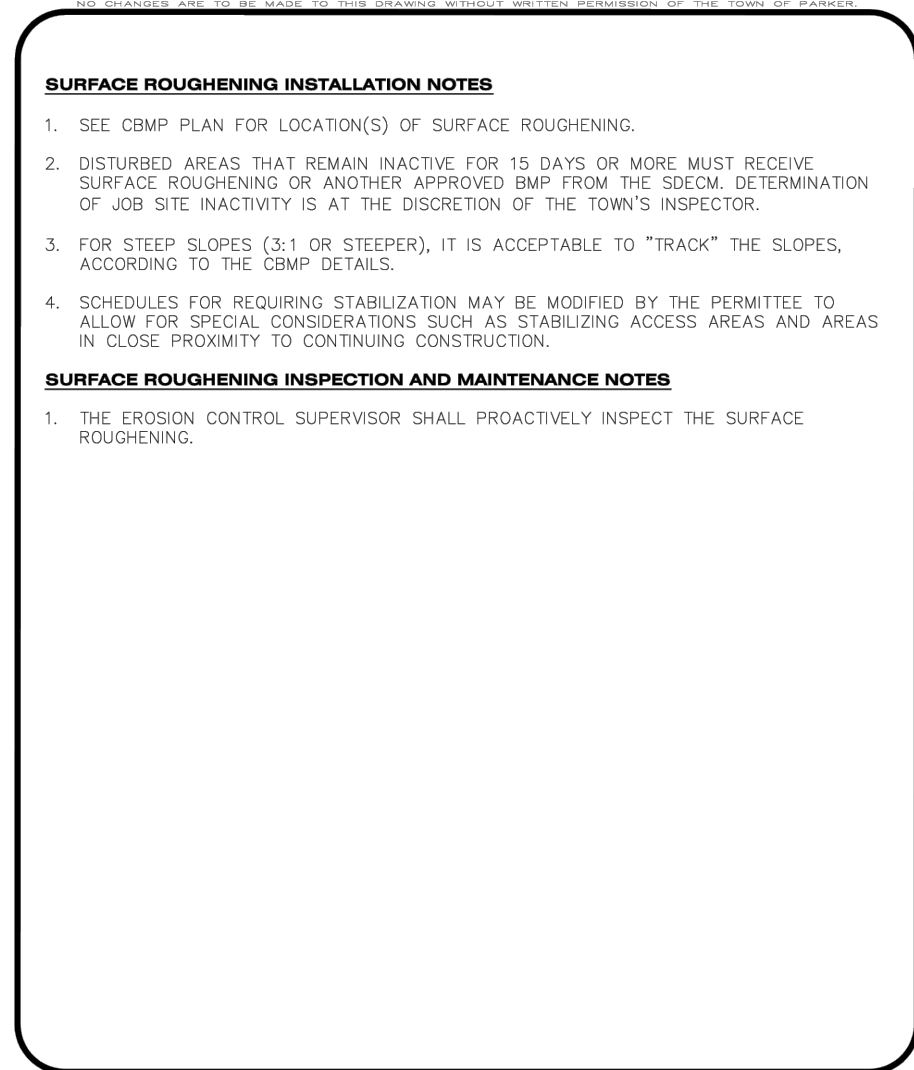
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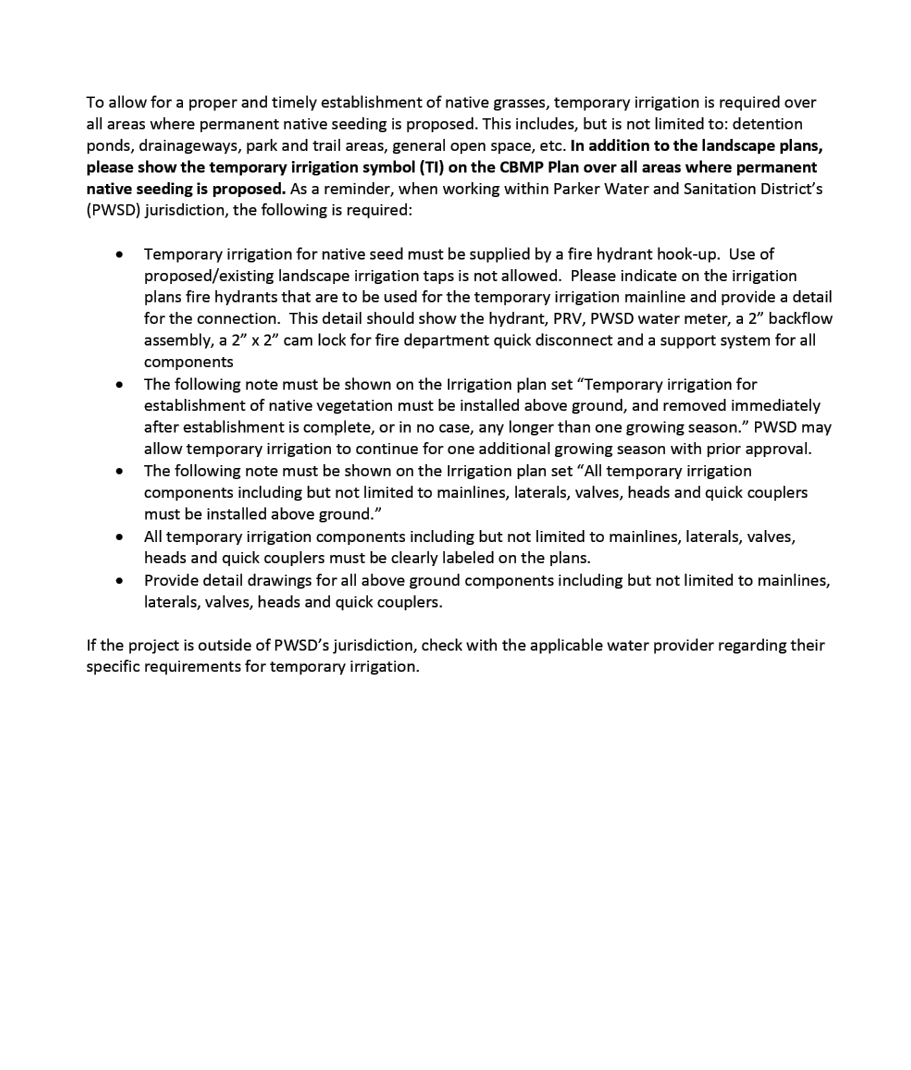
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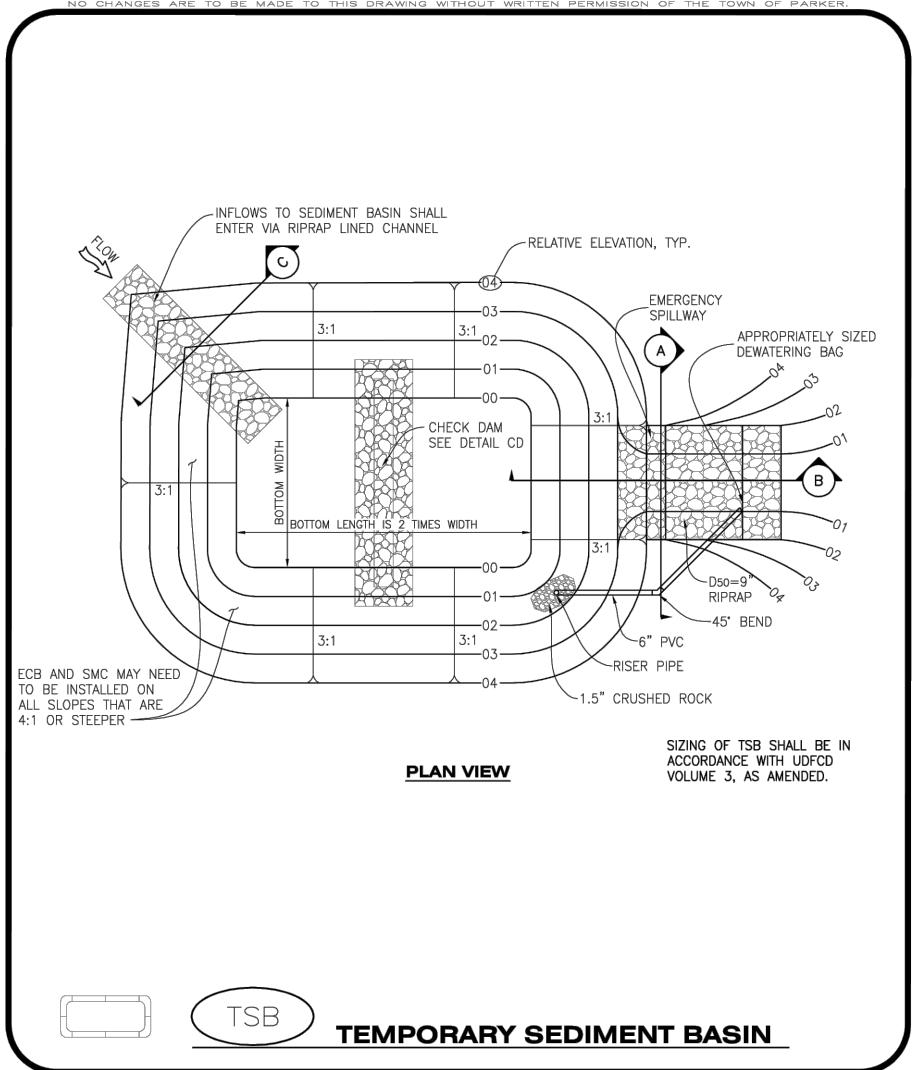
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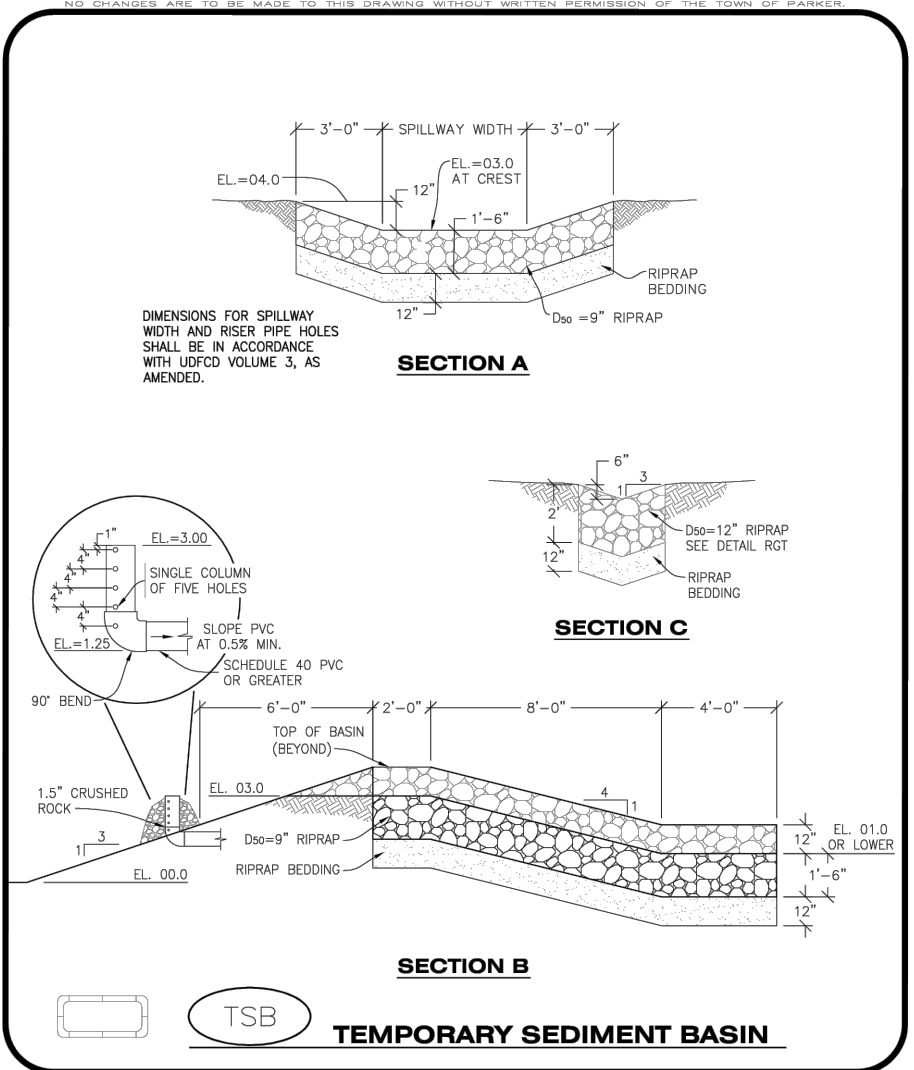
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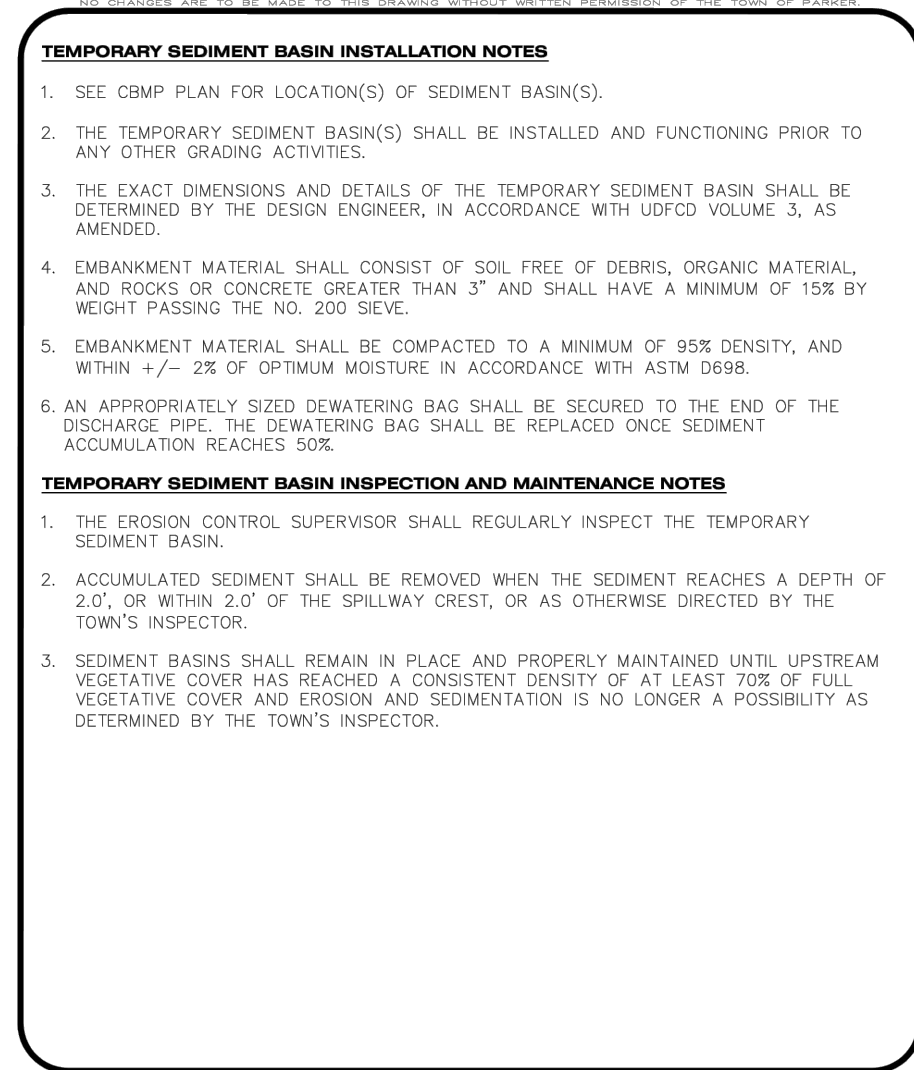
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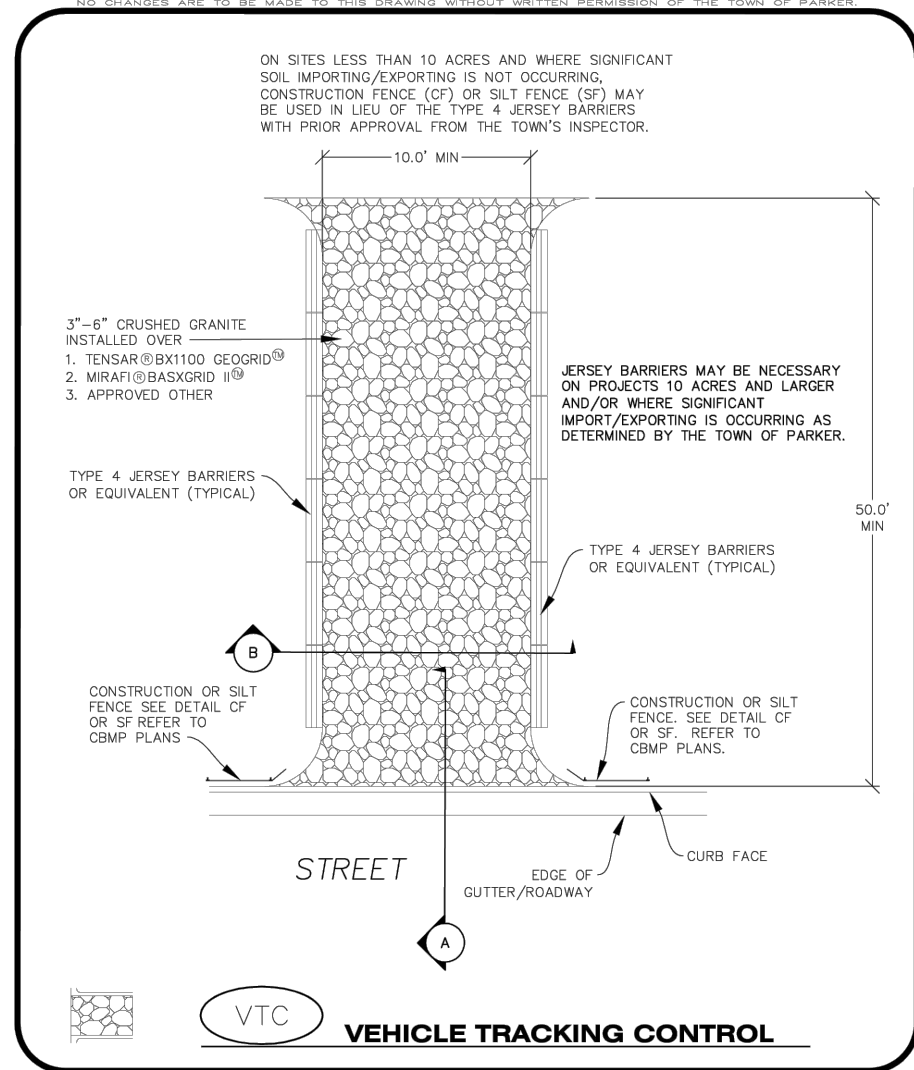
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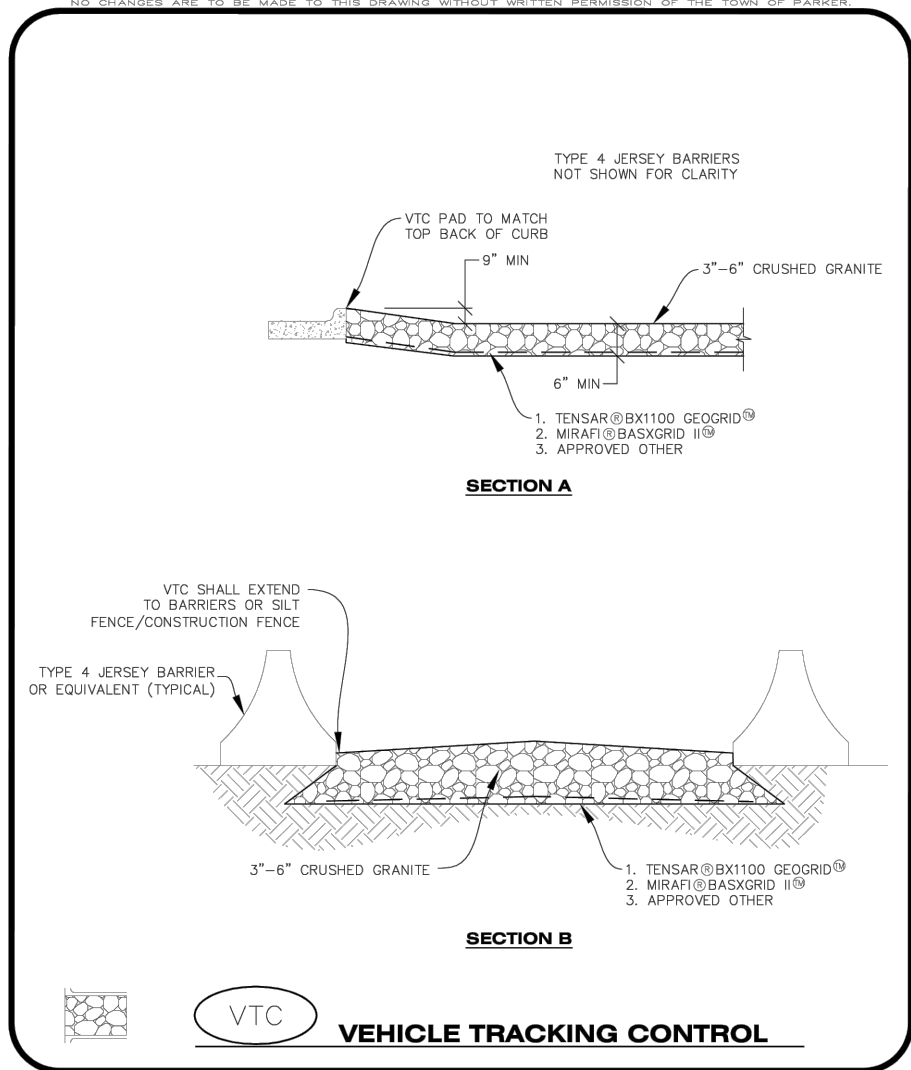
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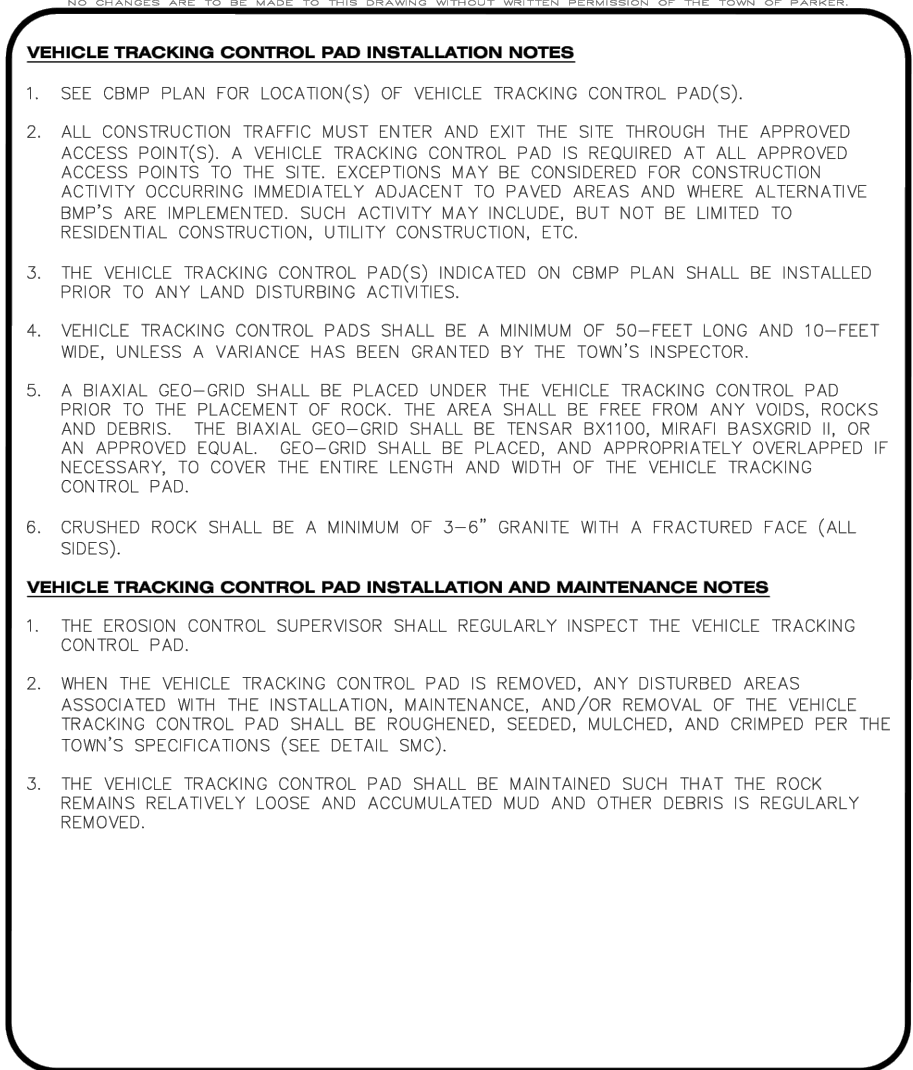
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The Town of Parker review constitutes general compliance with the Town's Standards and approved variances, subject to these plans being stamped, signed, and dated by the professional engineer of record. Review by the Town does not constitute approval of the plan design or accuracy and correctness of engineering calculations. Errors in the design or calculations remain the responsibility of the registered professional engineer whose stamp and signature are affixed to this document.

This review does not constitute approval of any private on-site improvements which may be shown. Construction cannot commence until all required drainage/traffic report(s), final development plan(s), special review(s), grading permit, and/or other permits are complete, approved and on file with the Town of Parker.

04/30/2026
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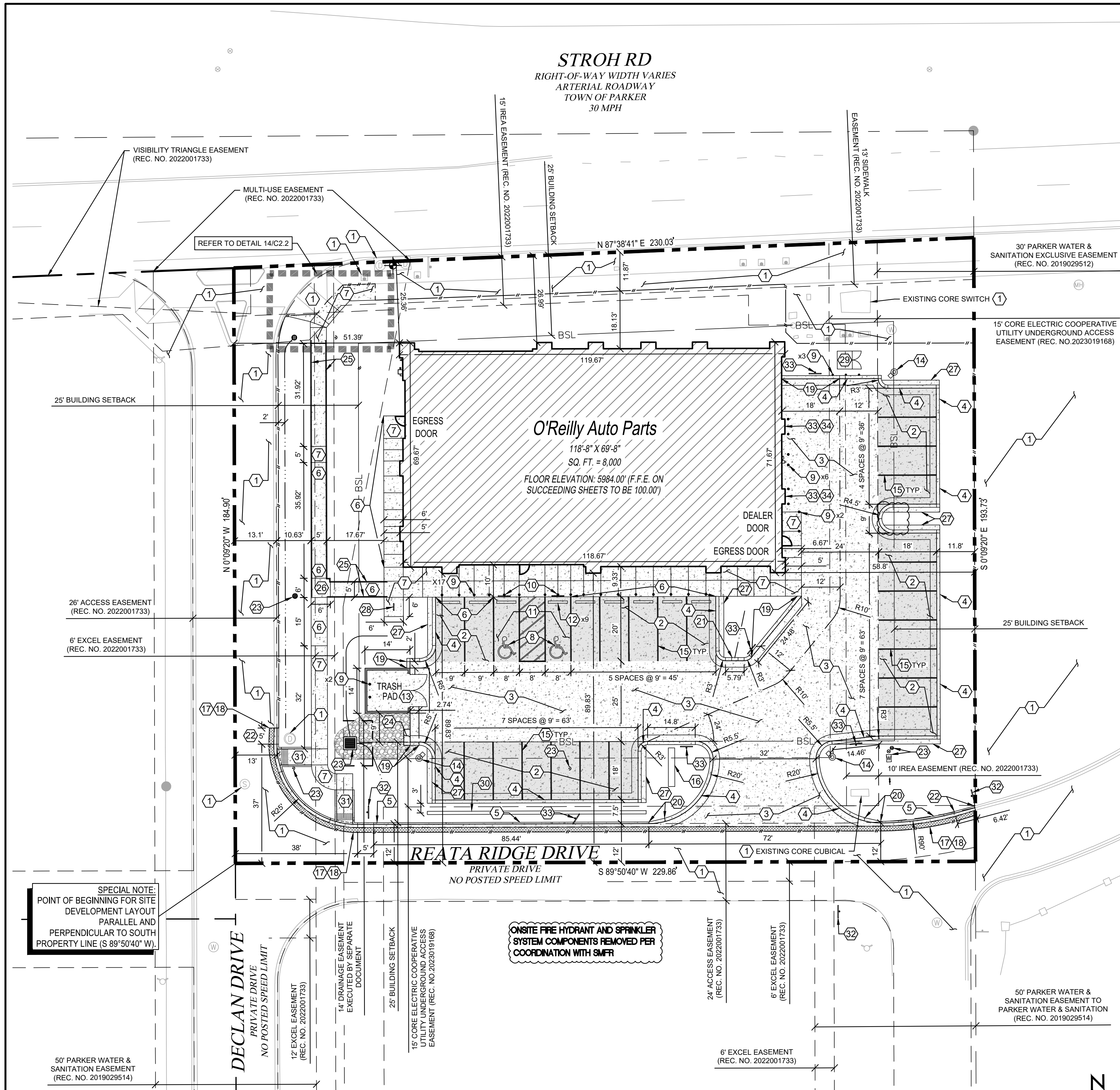
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1 SITE DEVELOPMENT PLAN

C2.1 SCALE: 1" = 20'-0"

CAUTION:
INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.



BENCHMARK

DOUGLAS COUNTY BENCHMARK 1.060032, EL=5,903.17 FEET (NAVD88) - 3 1/4" INCH ALUMINUM CAP (DOUGLAS COUNTY GIS SECONDARY CONTROL MONUMENT 1.060032) AT THE SOUTHEAST CORNER OF THE PARKING LOT OF STROH RANCH SOCCER FIELDS, ON THE NORTH SIDE OF STROH RD, EAST OF THE INTERSECTION OF STROH ROAD AND N. MOTSENBOCKER ROAD, CITY OF PARKER, COLORADO.

BASIS OF BEARING

BEARINGS SHOWN HEREON ARE BASED ON THE NORTHERLY LINE OF THE NORTHEAST QUARTER OF SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M., MONUMENTED AS SHOWN ON THIS SURVEY PLAT AS BEARING NORTH 89°33'14" EAST, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

UNAUTHORIZED CHANGES & USES

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES OF THESE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS PRIOR TO CONSTRUCTION. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

NOTE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES, AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THERE MAY BE EXISTING UTILITIES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION OF THOSE UNDERGROUND UTILITIES TO BE USED PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.

KEY NOTES

- 1 PROTECT EXISTING IMPROVEMENTS IN PLACE.
- 2 CONCRETE PAVING (STANDARD DUTY) AT PARKING AREAS. REFER TO DETAIL 2/C2.2
- 3 CONCRETE PAVING (HEAVY DUTY) AT DRIVE AREAS, DRIVE APRONS, FIRE LANES, AND REFUSE AREA. REFER TO DETAIL 1/C2.2
- 4 INSTALL CONCRETE CURB PER DETAIL 3/C2.2.
- 5 INSTALL TOWN OF PARKER MEDIAN CURB AND GUTTER SECTION PER DETAIL 13 ON SHEET C2.4.
- 6 INSTALL CONCRETE SIDEWALK CURB PER DETAIL 4/C2.2. REFER TO STRUCTURAL DRAWINGS FOR LAYOUT OF CONTROL AND EXPANSION JOINTS ADJACENT TO BUILDING PERIMETER.
- 7 INSTALL CONCRETE SIDEWALK OR DOOR LANDING PER DETAIL 5/C2.2. REFER TO STRUCTURAL DRAWINGS FOR LAYOUT ADJACENT TO BUILDING PERIMETER.
- 8 INSTALL ACCESSIBLE PARKING SYMBOL PAVEMENT STRIPING PER DETAIL 6/C2.2.
- 9 INSTALL STEEL BOLLARD PER DETAIL 7/C2.2. PROVIDE (2) AT REFUSE CONTAINER AREA, (2) AT DEALER DOOR, (6) ALONG EAST SIDE OF BUILDING, (3) AT TRANSFORMER PAD, AND (17) AT FRONT ENTRY. REFER TO STRUCTURAL DRAWINGS FOR BOLLARDS ADJACENT TO BUILDING PERIMETER.
- 10 INSTALL ACCESSIBLE PARKING SIGN PER DETAIL 8/C2.2.
- 11 ACCESSIBLE PARKING SPACE WITH ACCESS AISLE (ADA COMPLIANT) TO SLOPE 2% MAXIMUM IN ALL DIRECTIONS. PROVIDE PAVEMENT MARKINGS TO MATCH STRIPING COLOR UNLESS OTHERWISE REQUIRED TO COMPLY WITH GOVERNING ACCESSIBILITY REGULATIONS.
- 12 INSTALL CONCRETE BUMPER BLOCK (8" W X 5" H X 6'-0" L) ANCHORED TO PAVING WITH (2) 1'-6" LONG #4 REBAR.
- 13 REFUSE ENCLOSURE. REFER TO 1/C2.3.
- 14 PARKING LOT LIGHTING SHOWN FOR REFERENCE ONLY. REFER TO SHEET US1 FOR MORE DETAIL.
- 15 INSTALL 4" WIDE PAVEMENT STRIPING AS SHOWN USING HIGHWAY MARKING PAINT - YELLOW (2 COATS).
- 16 SITE SIGN SHOWN FOR REFERENCE ONLY. REFER TO SHEET SG1.1 FOR CONSTRUCTION TYPE AND LOCATION. SIGN IS OWNER FURNISHED AND INSTALLED (REFER TO SCOPE OF WORK SCHEDULE). REFER TO SHEET US1 FOR ADDITIONAL REQUIREMENTS. NOTE: SIGN APPROVAL NOT A PART OF THIS SITE PLAN AND SHALL BE APPROVED THROUGH SEPARATE PERMIT.
- 17 LIMITS OF NEW PAVING. MATCH EXISTING PAVEMENT TRANSITION ELEVATIONS. AT TRANSITIONS OF NEW CONCRETE TO EXISTING CONCRETE PAVEMENT, EPOXY DOWEL #6 MINIMUM INTO EXISTING WITH #4 X 1'-6" SMOOTH DOWELS MATCHING NEW PAVEMENT REINFORCEMENT SPACING. PROVIDE SEALANT AT JOINTS.
- 18 1.5' WIDE, 2" DEEP GRADE SX ASPHALT MILL & OVERLAY PER GEOTECHNICAL RECOMMENDATIONS.
- 19 TRANSITION TO 0" CURB OVER DISTANCE AS SHOWN.
- 20 5' TRANSITION FROM 6" WIDE CURB TO 1' WIDE CURB.
- 21 2' CURB CUT PER DETAIL 9/C2.2.
- 22 TRANSITION TO EXISTING 6" CURB AND GUTTER.
- 23 REFER TO SHEET C3.1 FOR STORM AND UTILITY IMPROVEMENT DETAILS.
- 24 INSTALL 5' X 2' CONCRETE SPLASH PAD RECESSED 2" MIN. FROM PARKING ACCESS AISLE PAVEMENT. REFER TO GRADING PLAN FOR ELEVATIONS.
- 25 INSTALL SIDEWALK RAMP RAILING PER DETAIL 16/C2.2.
- 26 5' X 5' CLEAR SPACE AT RAMP CHANGE IN DIRECTION.
- 27 INSTALL 1.5' WIDE, 4" THICK CONCRETE STRIP ATTACHED TO PARKING STALL BACK OF CURB.
- 28 INSTALL INVERTED U BIKE RACK. SEE DETAIL 11/C2.2.
- 29 INSTALL TRANSFORMER PAD PER CORE ELECTRIC STANDARDS.
- 30 INSTALL PARKING LOT SCREENING WALL. REFER TO STRUCTURAL FOR MORE DETAIL.
- 31 INSTALL DIRECTIONAL CURB RAMP PER TOWN OF PARKER STANDARD DETAIL 15 ON SHEET C2.4. REFER TO DETAIL 14/C2.2 FOR SPECIFIC CONSTRUCTION DIMENSIONS.
- 32 INSTALL R1-1 STOP SIGN PER LATEST MUTCD STANDARDS.
- 33 INSTALL "NO PARKING FIRE LANE" SIGN PER DETAIL ON SHEET C2.4 AND THE LATEST MUTCD STANDARDS.
- 34 WALL MOUNT "NO PARKING FIRE LANE" SIGN PER DETAIL ON SHEET C2.4 TO BUILDING EXTERIOR PER ARCHITECT RECOMMENDATIONS.

ZONING CODE

ZONING CLASSIFICATION:	MIXED-USE COMMUNITY
PROPERTY AREA:	43,516 SF (0.999 AC)
PROPOSED BUILDING AREA:	8,000 SF
PROPOSED PARKING PAVEMENT:	12,900 SF
PROPOSED SIDEWALK PAVEMENT:	2,250 SF

PARKING SUMMARY	
PARKING FORMULA:	1 SP. PER 300 SF GFA
SPACE SIZE:	9' x 20' AT BUILDING
	9' x 18' ALL OTHER LOCATIONS
SPACES REQUIRED:	27
SPACES PROVIDED:	27
H.C. SPACES PROVIDED:	2

GENERAL NOTES

- A REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS. ALL ON SITE CONCRETE TO BE 4,500 PSI.
- B SITE DIMENSIONS TO FACE OF CONCRETE FOUNDATION, SIDEWALK, CURB GUTTER LINE, PROPERTY LINE, OR CENTER LINE OF STRIPING UNLESS OTHERWISE NOTED.
- C COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- D REFER TO STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS AND LAYOUT OF SIDEWALKS ADJACENT TO BUILDING PERIMETER.
- E PRIOR TO INSTALLATION, CONTRACTOR TO VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING, AND UTILITIES DO NOT CONFLICT WITH SITE SIGN LOCATION SHOWN. IF CONFLICT IS DISCOVERED, CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.

SYMBOLS LEGEND

NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEGEND.

	RIGHT-OF-WAY
	O'REILLY PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	BSL - BUILDING SETBACK LINE
	ROAD CENTERLINE
	LIMIT OF DISTURBANCE
	PROPOSED SAWCUT
	PROPOSED FLOWLINE
	PROPOSED SIGN
	PROPOSED WHEEL STOP
	PROPOSED BOLLARD
	PROPOSED FDC
	PROPOSED FIRE HYDRANT
	PROPOSED GATE VALVE
	PROPOSED CLEANOUT
	PROPOSED LIGHT POLE
	PROPOSED BUILDING FOOTPRINT
	PROPOSED LIGHT DUTY CONCRETE
	PROPOSED HEAVY DUTY CONCRETE
	PROPOSED MILL & OVERLAY
	PROPOSED RIPRAP

VERTICAL CONSTRUCTION

NO VERTICAL CONSTRUCTION MAY COMMENCE UNTIL CURB, GUTTER, AND CONCRETE DRIVE ACCESS PAVEMENT IS CONSTRUCTED. A SITE INSPECTION IS REQUIRED TO VERIFY THAT THIS REQUIREMENT IS SATISFIED BEFORE VERTICAL CONSTRUCTION CAN BEGIN.

THE TOWN OF PARKER APPROVAL/REMAIN T

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THIS REVI COMMENC OTHER PE

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Town of Parker, Director of Engineering
Date: 04/30/2026

DIVIDED VARIANCES, SUBJECT TO THE TOWN DOES NOT CONSTITUTE IN THE DESIGN OR CALCULATIONS AFFIXED TO THIS DOCUMENT.

NO CONSTRUCTION CANNOT (S), GRADING PERMIT, AND/OR

PREPARED UNDER THE SUPERVISION OF TAIT & ASSOCIATES, INC.

320 North Lincoln Avenue
Loveland, CO 80537
p: 970.613.1447
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STEVEN P. BURCH, P.E. 65775

LOT 1 PARKER POINTE SUBDIVISION FILING 1

PROJECT: NEW O'REILLY AUTO PARTS STORE
13111 REATA RIDGE DRIVE
PARKER, CO #2

SITE DEVELOPMENT PLAN

TIMOTHY M. GUILLOT
ARCHITECT

1736 East Sunshine, Suite 417
Springfield, Missouri 65804

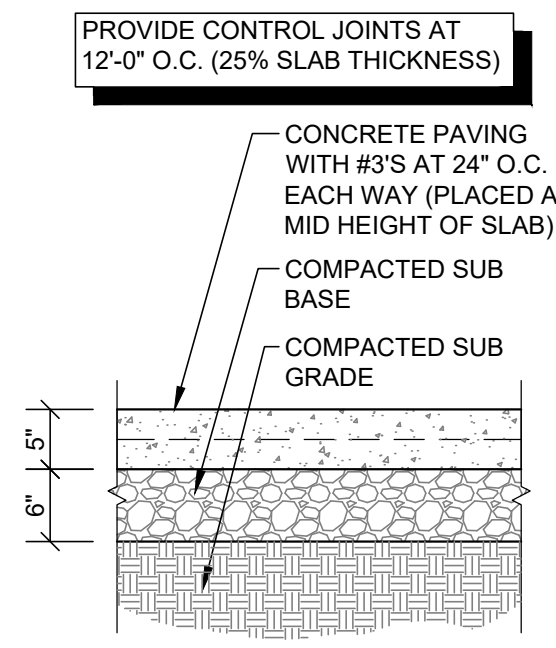
417.862.6558
Fax: 417.862.3265
e-mail: architect@estertyschneider.com

O'Reilly AUTO PARTS

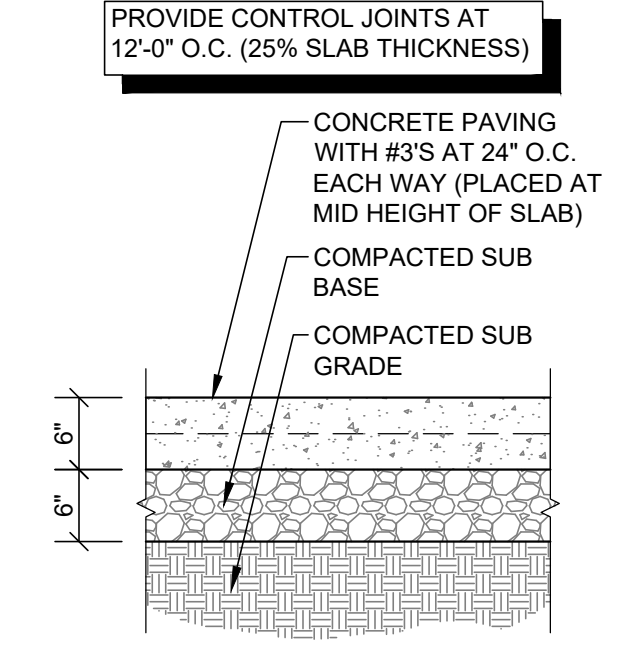
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2674 TELEPHONE

COMM #	4884
DATE:	02/14/2025
REVISION DATE:	05/02/2025
	07/01/2025
	07/30/2025
	08/22/2025
	09/03/2025

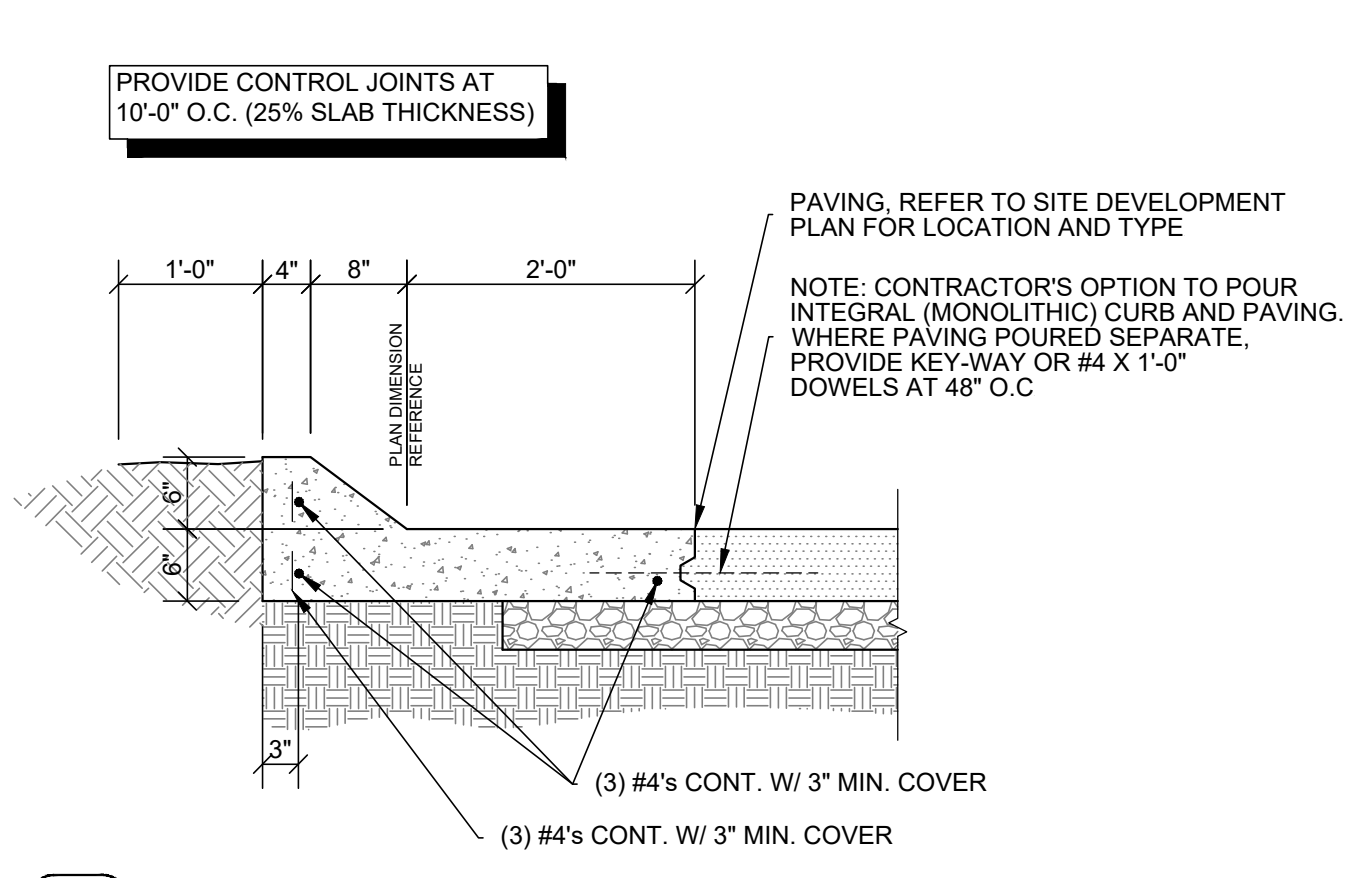
C2.1



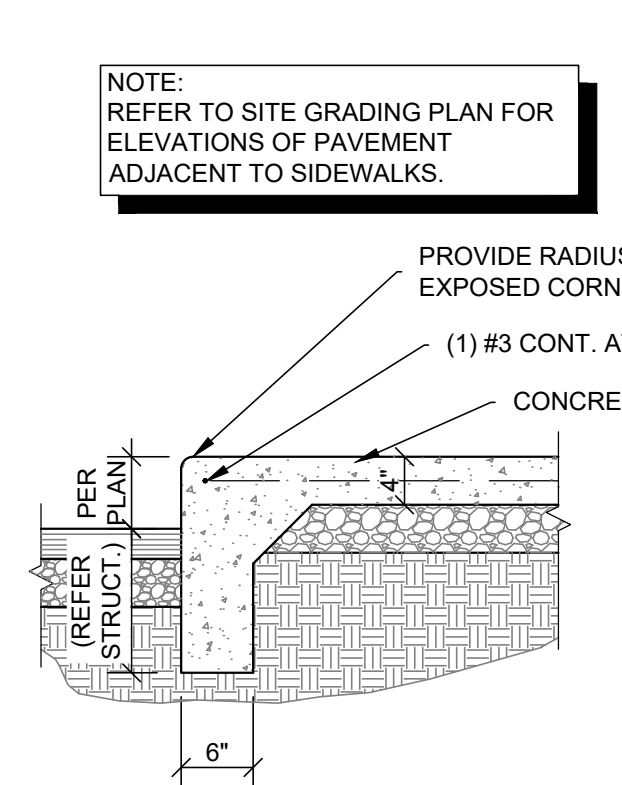
PROVIDE CONTROL JOINTS AT 12'-0\"/>



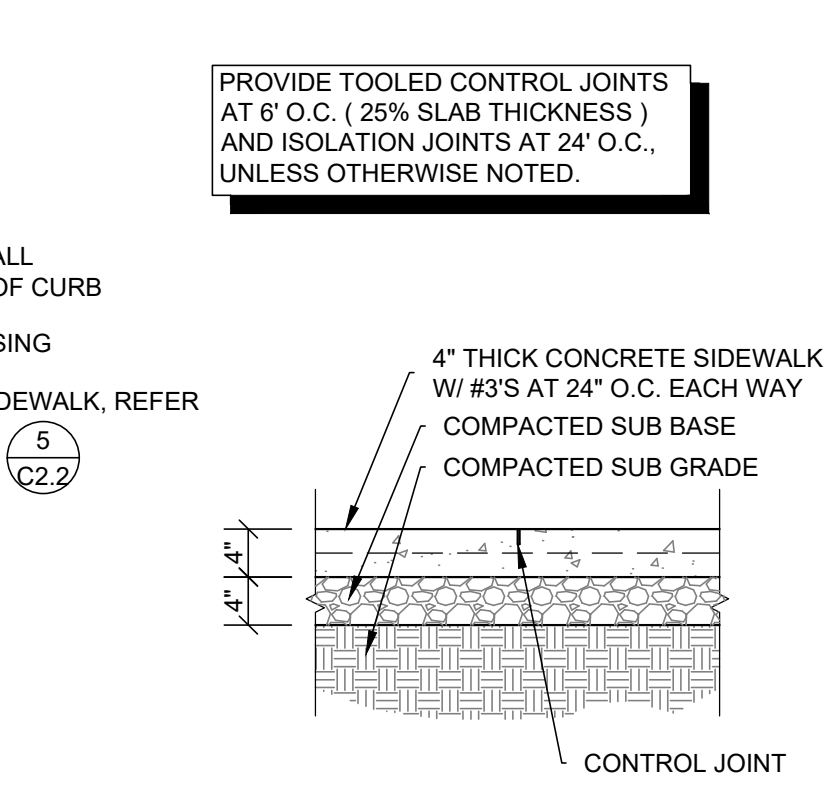
PROVIDE CONTROL JOINTS AT 12'-0\"/>



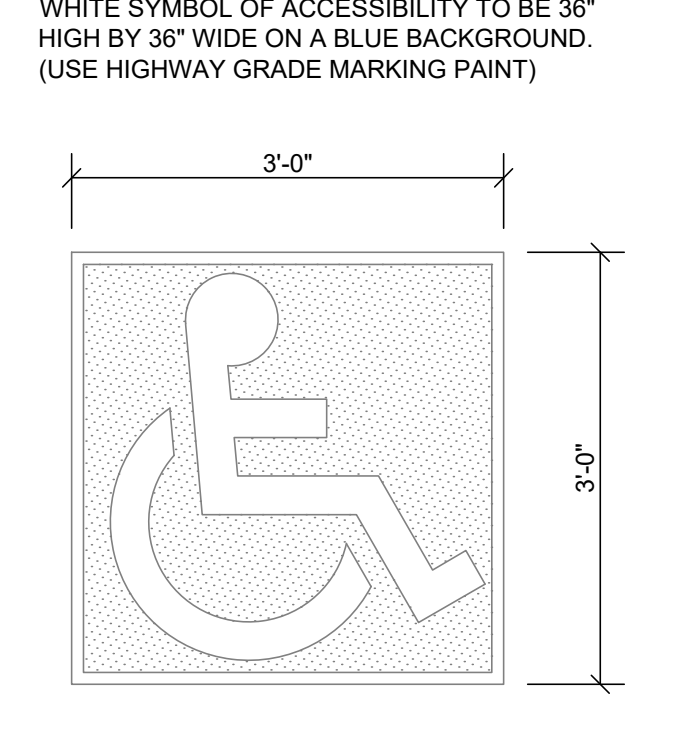
PROVIDE CONTROL JOINTS AT 10'-0\"/>



NOTE: REFER TO SITE GRADING PLAN FOR ELEVATIONS OF PAVEMENT ADJACENT TO SIDEWALKS.



PROVIDE TOOLED CONTROL JOINTS AT 6' O.C. (25% SLAB THICKNESS) AND ISOLATION JOINTS AT 24' O.C., UNLESS OTHERWISE NOTED.



WHITE SYMBOL OF ACCESSIBILITY TO BE 36\"/>

1 CONCRETE (STANDARD DUTY) PAVING SECTION
C2.2 SCALE: 3/4\"/>

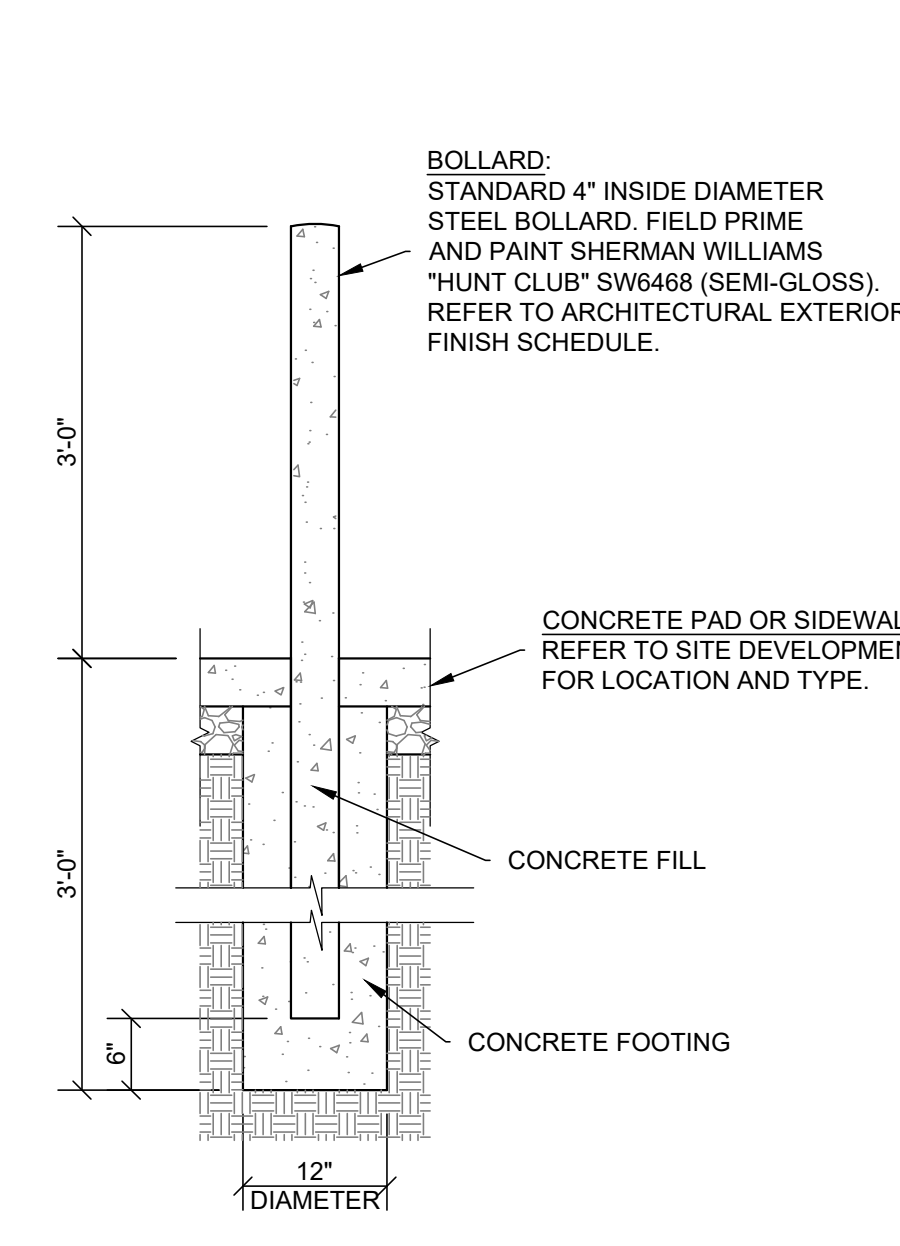
2 CONCRETE (HEAVY DUTY) PAVING SECTION
C2.2 SCALE: 3/4\"/>

3 CONCRETE CURB SECTION
C2.2 SCALE: 3/4\"/>

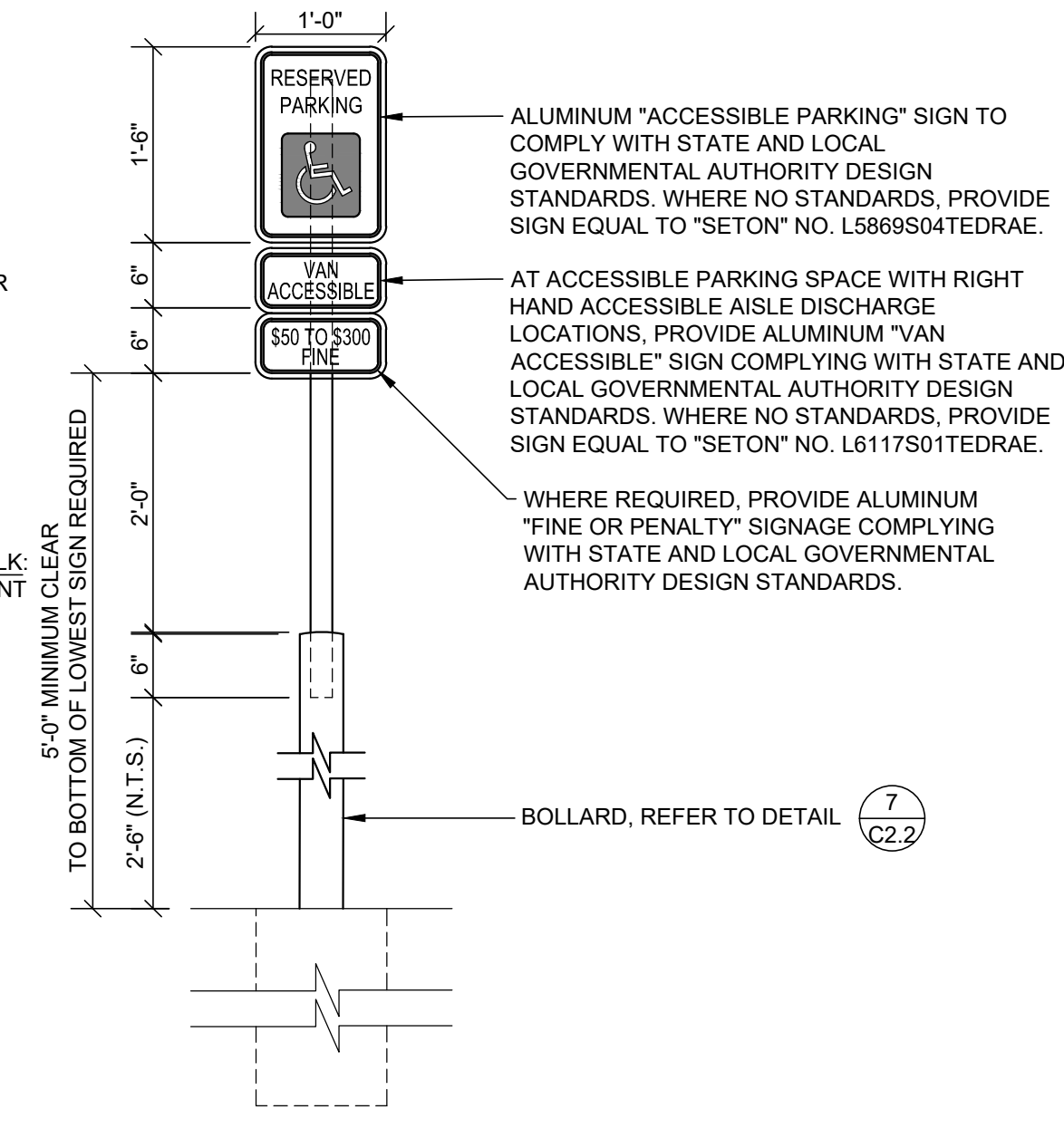
4 CONCRETE SIDEWALK CURB SECTION
C2.2 SCALE: 3/4\"/>

5 CONCRETE SIDEWALK SECTION
C2.2 SCALE: 3/4\"/>

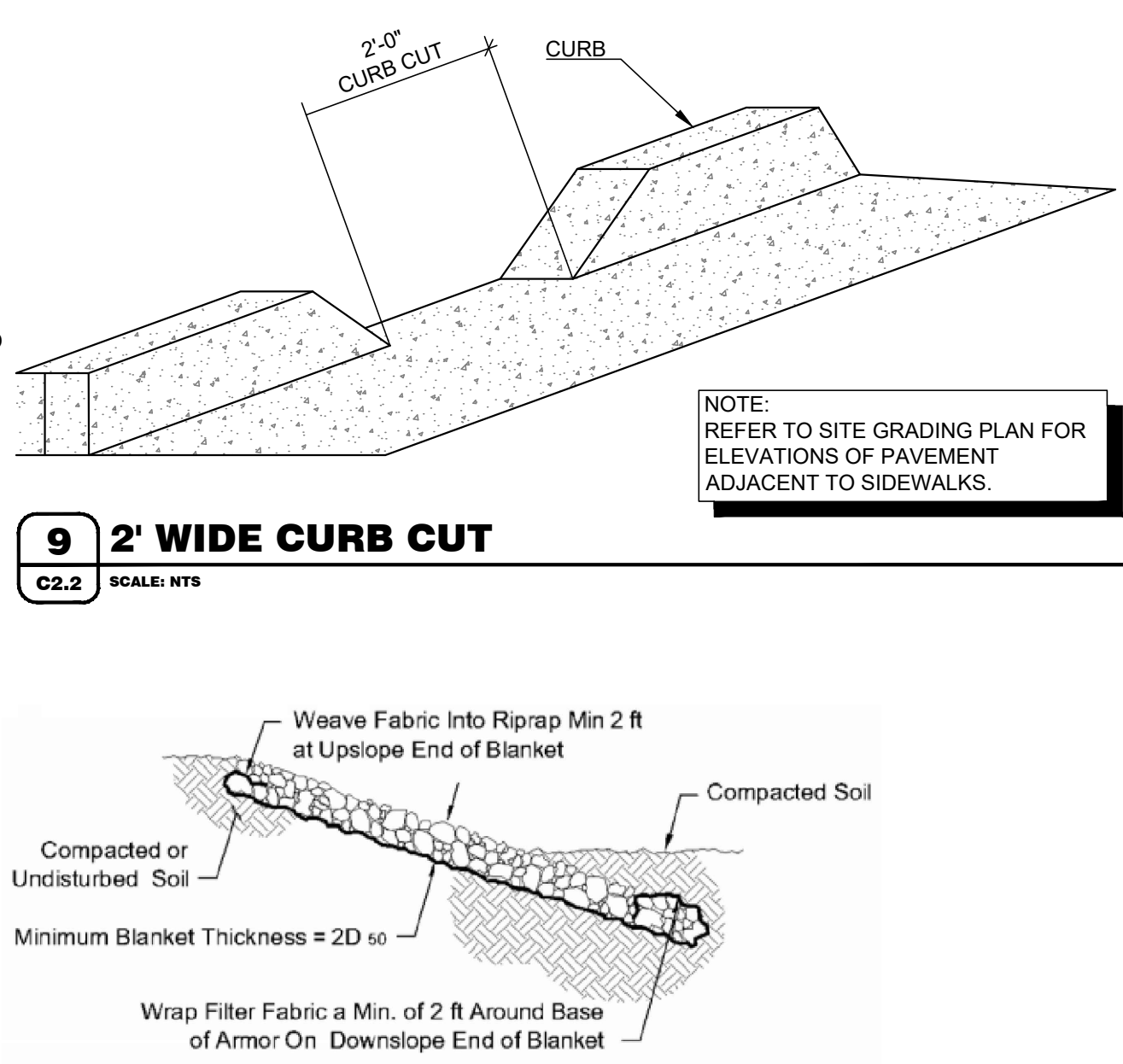
6 ACCESSIBLE PARKING PAVEMENT STRIPING DETAIL
C2.2 SCALE: 3/4\"/>



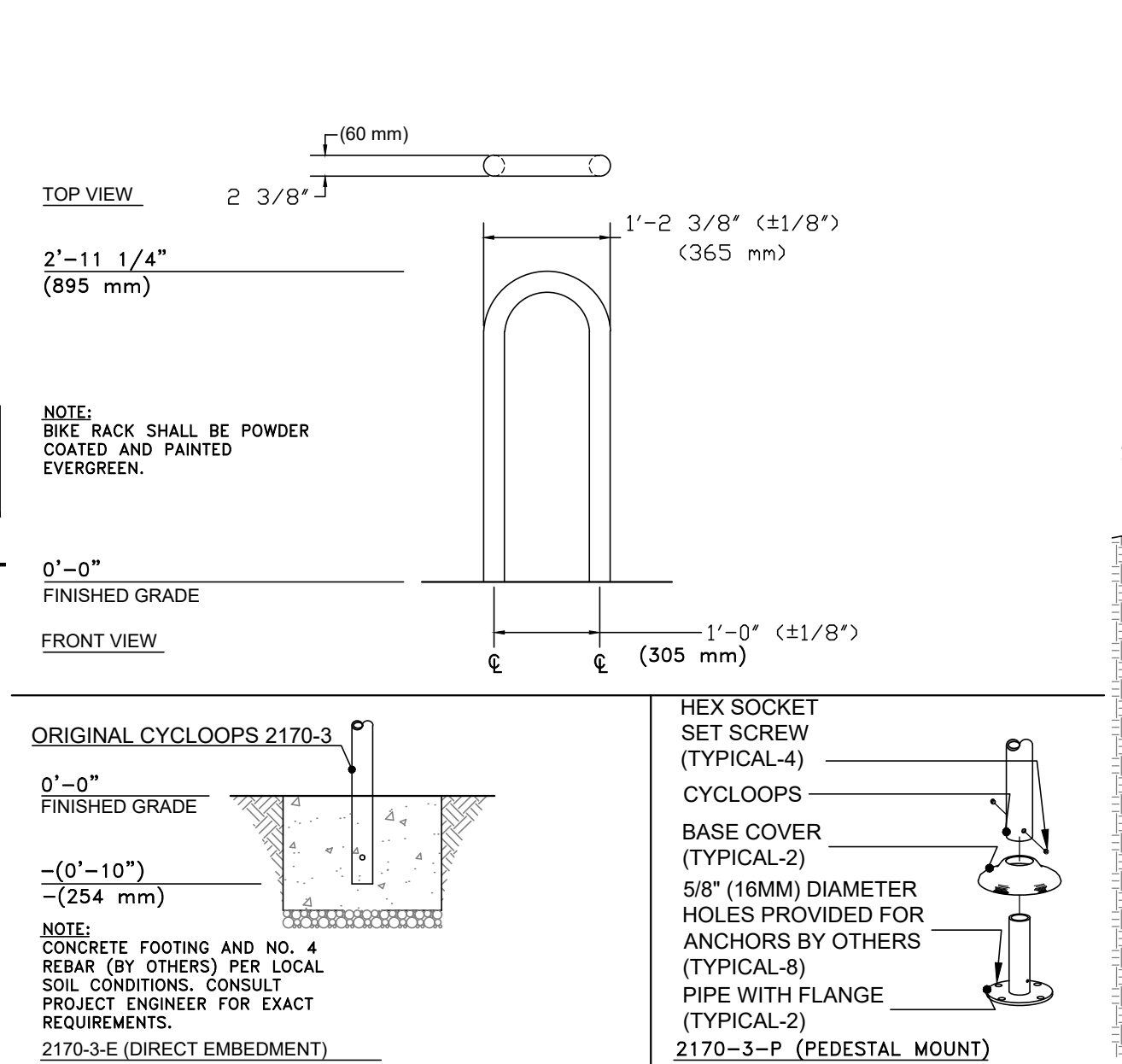
7 STEEL BOLLARD SECTION
C2.2 SCALE: 3/4\"/>



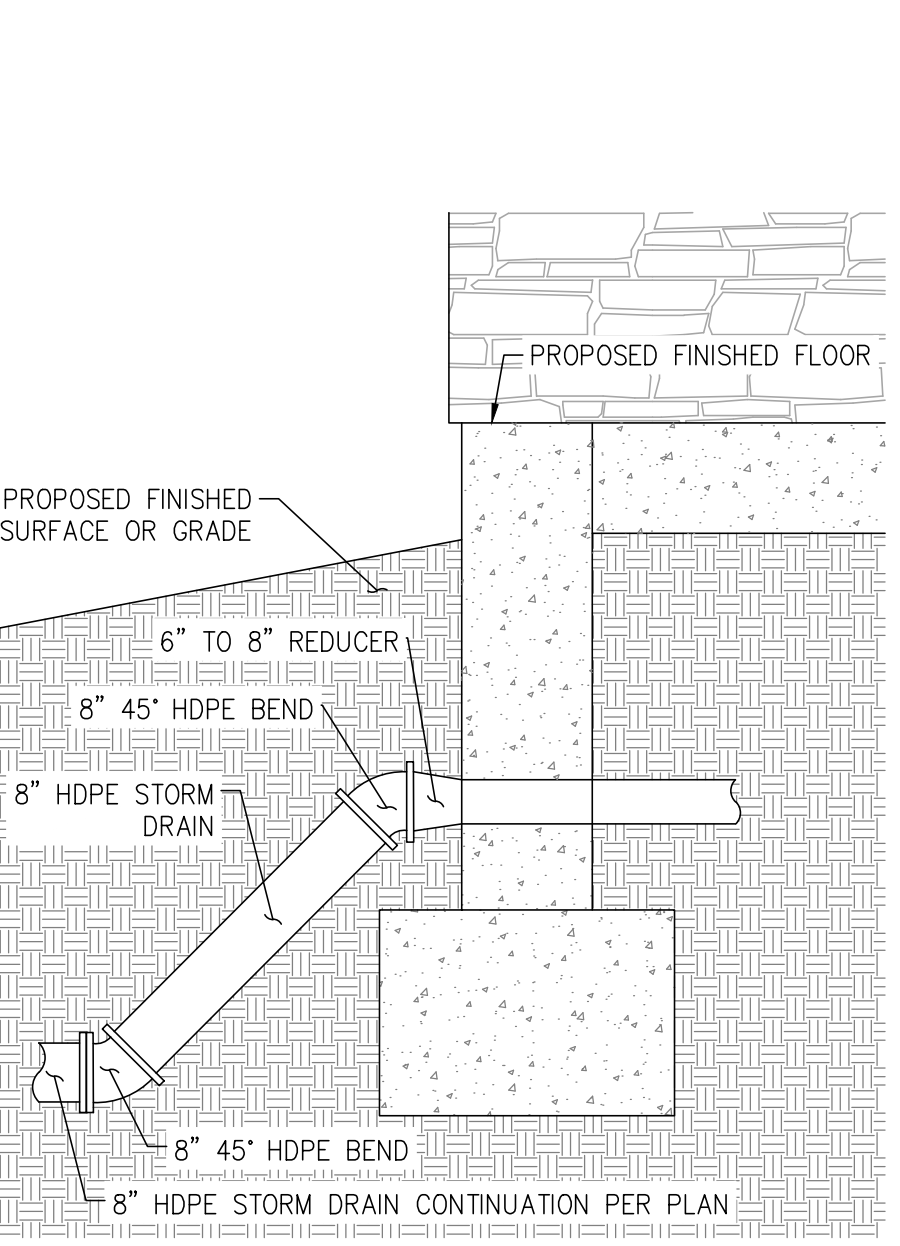
8 HANDICAP PARKING SIGN DETAIL
C2.2 SCALE: 3/4\"/>



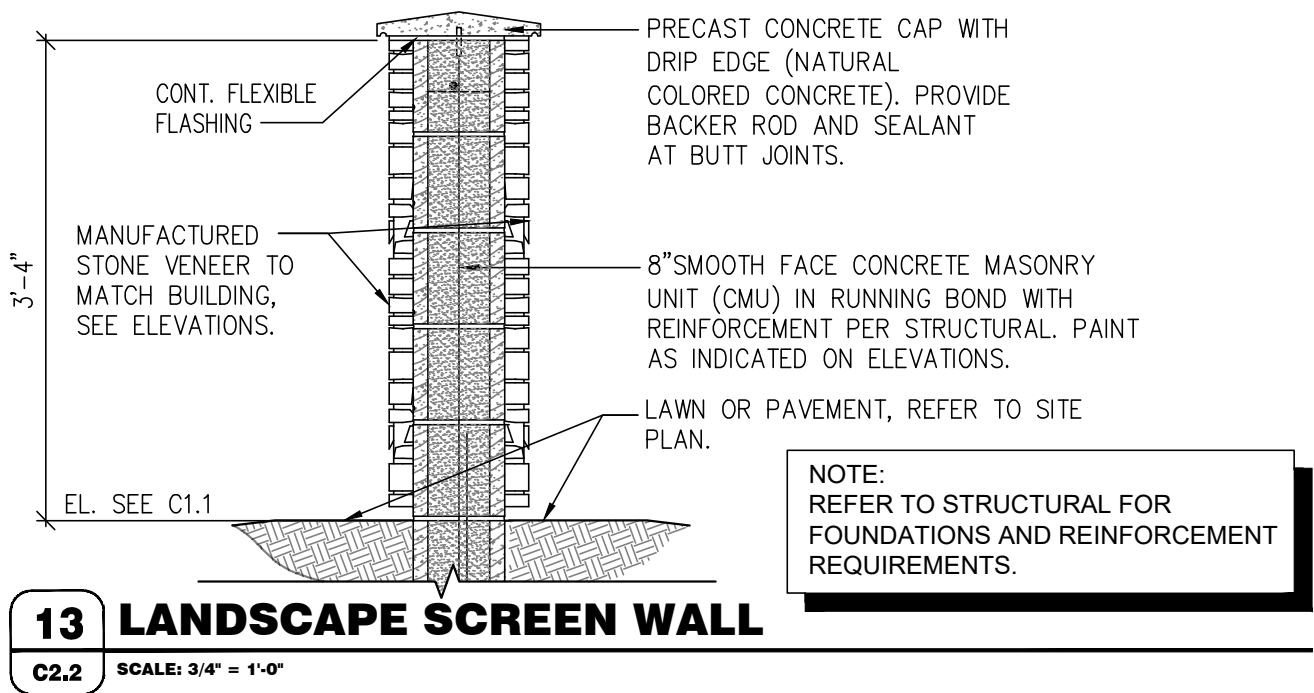
9 2' WIDE CURB CUT
C2.2 SCALE: NTS



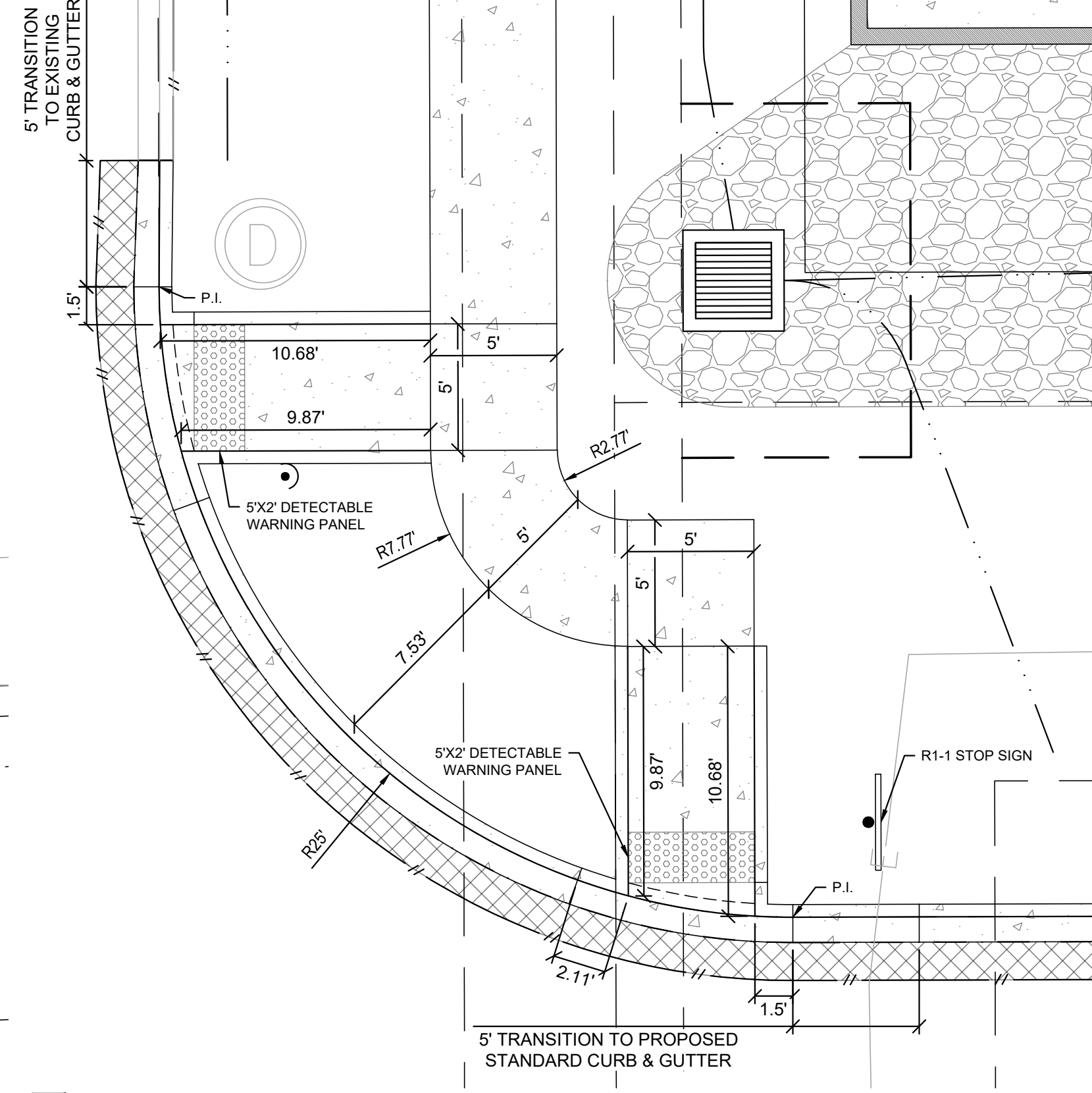
11 BICYCLE PARKING (INVERTED "U")
C2.2 SCALE: 3/4\"/>



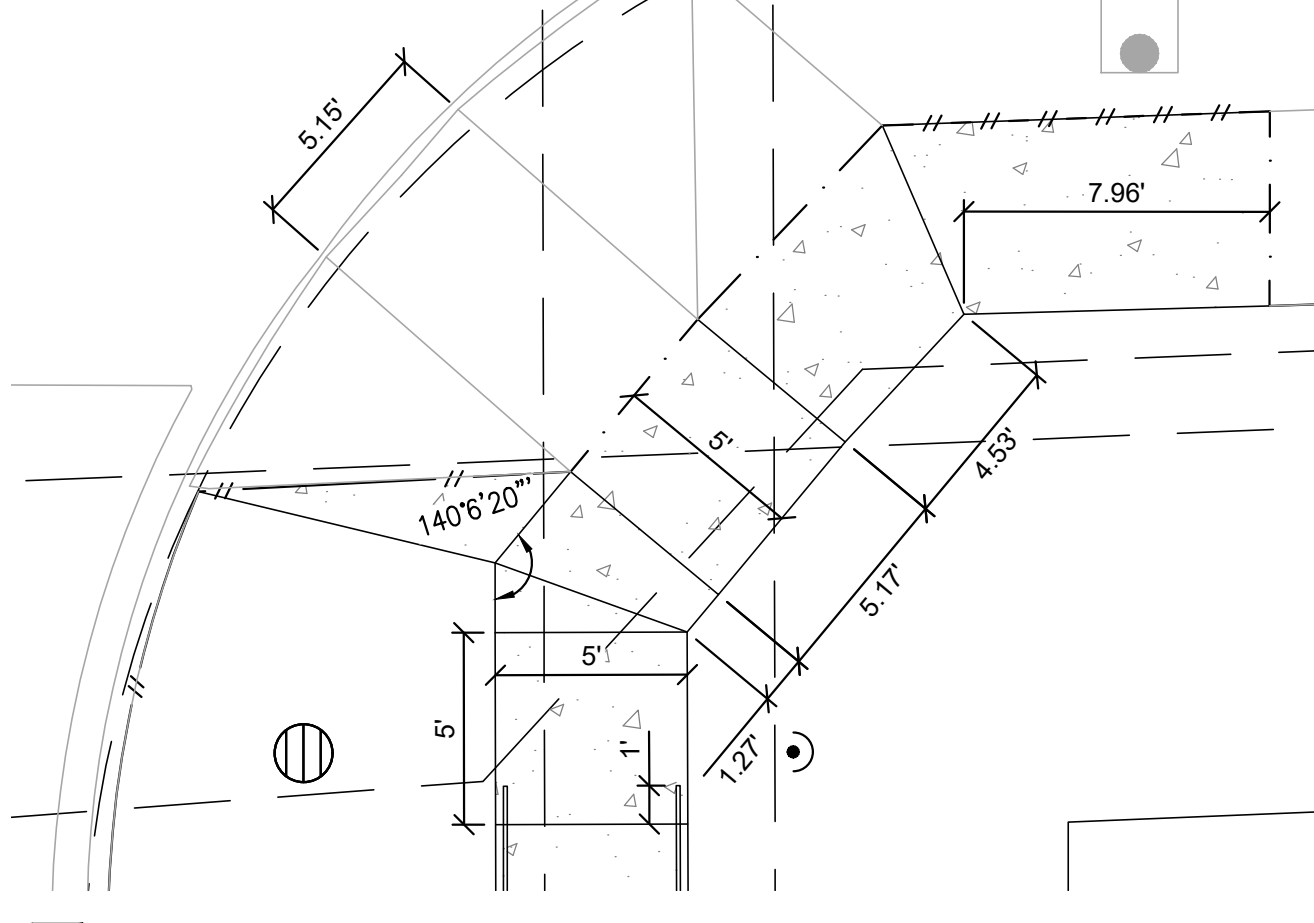
12 DOWNSPOUT CONNECTION
C2.2 SCALE: NTS



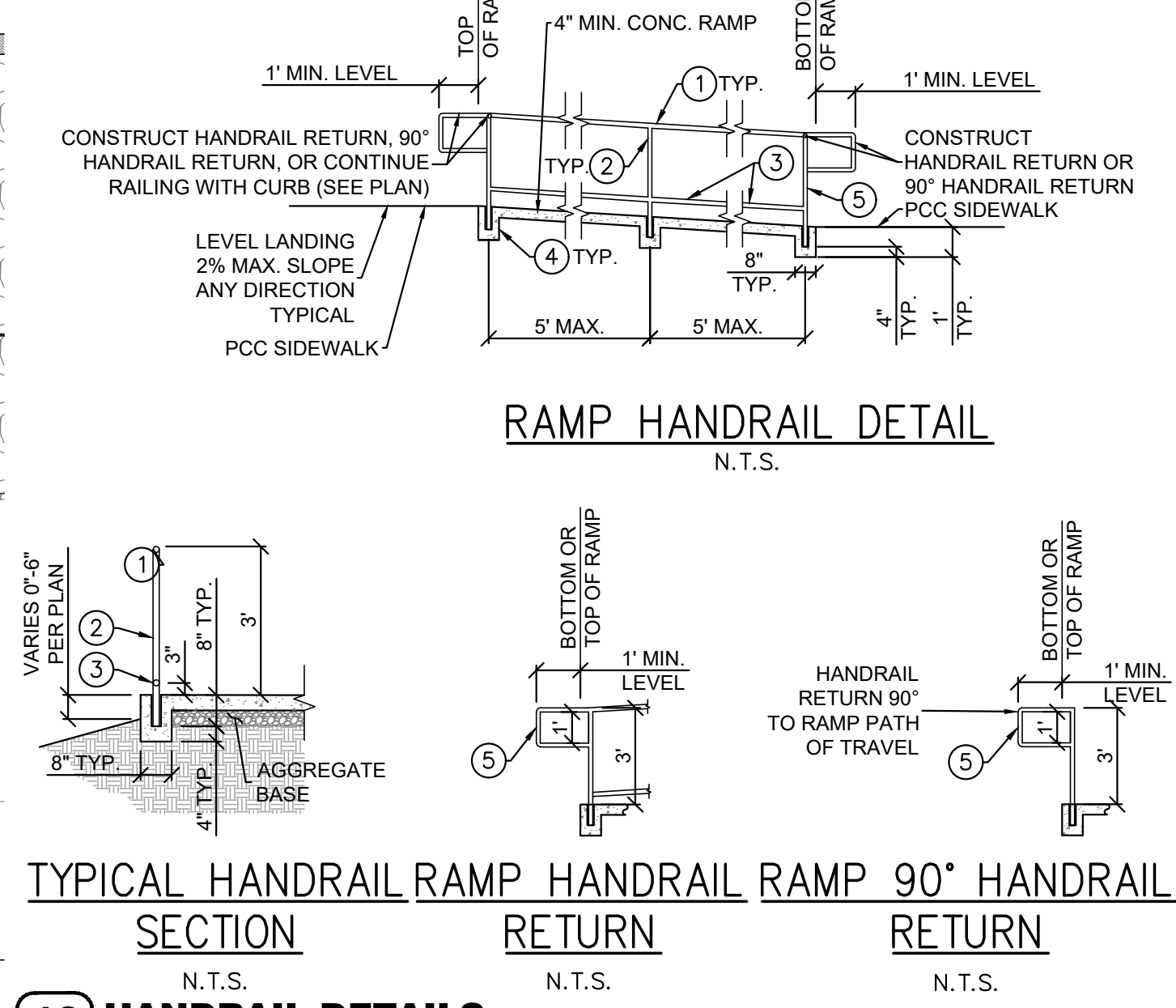
13 LANDSCAPE SCREEN WALL
C2.2 SCALE: 3/4\"/>



15 PROPOSED CURB RAMP DIMENSION DETAIL
C2.2 SCALE: 1\"/>



14 NORTHWEST ACCESSIBLE RAMP TIE-IN DETAIL
C2.2 SCALE: 1\"/>



16 HANDRAIL DETAILS
C2.2 SCALE: NTS

NOTE:

- ALL HANDRAILS, POSTS, AND APPURTENANCES TO BE PAINTED "CYBERSPACE" SW7076 (OR EQUAL) PER O'REILLY SPECIFICATIONS AND ARCHITECT RECOMMENDATIONS.
- HANDRAIL GRIPPING SURFACES AND ANY SURFACES ADJACENT TO THEM SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS AND SHALL HAVE ROUNDED EDGES.
- HANDRAILS SHALL NOT ROTATE WITHIN THEIR FITTINGS.

LEGEND:

- 1 1/2" O.D. GALVANIZED STEEL HANDRAIL.
- 1 1/2" O.D. GALVANIZED STEEL POST.
- 1 1/2" O.D. GALVANIZED STEEL GUIDE RAIL.
- BLOCK OUT 2 1/2" x 2 1/2" x 8" DEEP SQUARE POST OPENING PRIOR TO POURING CONCRETE. FILL WITH NON-SHRINK GROUT AFTER POST IS PLACED, ALIGNED AND LEVELED. OR CORE DRILL 2 1/2" DIA. x 8" DEEP HOLE AND FILL WITH NON-SHRINK GROUT AFTER POST IS PLACED, ALIGNED AND LEVELED.
- 1 1/2" STEEL HANDRAIL EXTENSION RETURN. EXTENSION SHALL EXTEND A MINIMUM OF 1' IN DIRECTION OF RAMP. IF EXTENSION WOULD CREATE A HAZARD, THE EXTENSION MAY BE TURNED 90 DEGREES TO THE RUN OF THE RAMP.

ANY WELDS SHALL BE SLOT OR FILLET WELDS EQUAL TO THICKNESS OF PIPE. WELD ALL JOINTS ALL AROUND.

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Denver Sacramento San Luis Obispo Riverside

TIMOTHY M. GUILLOT
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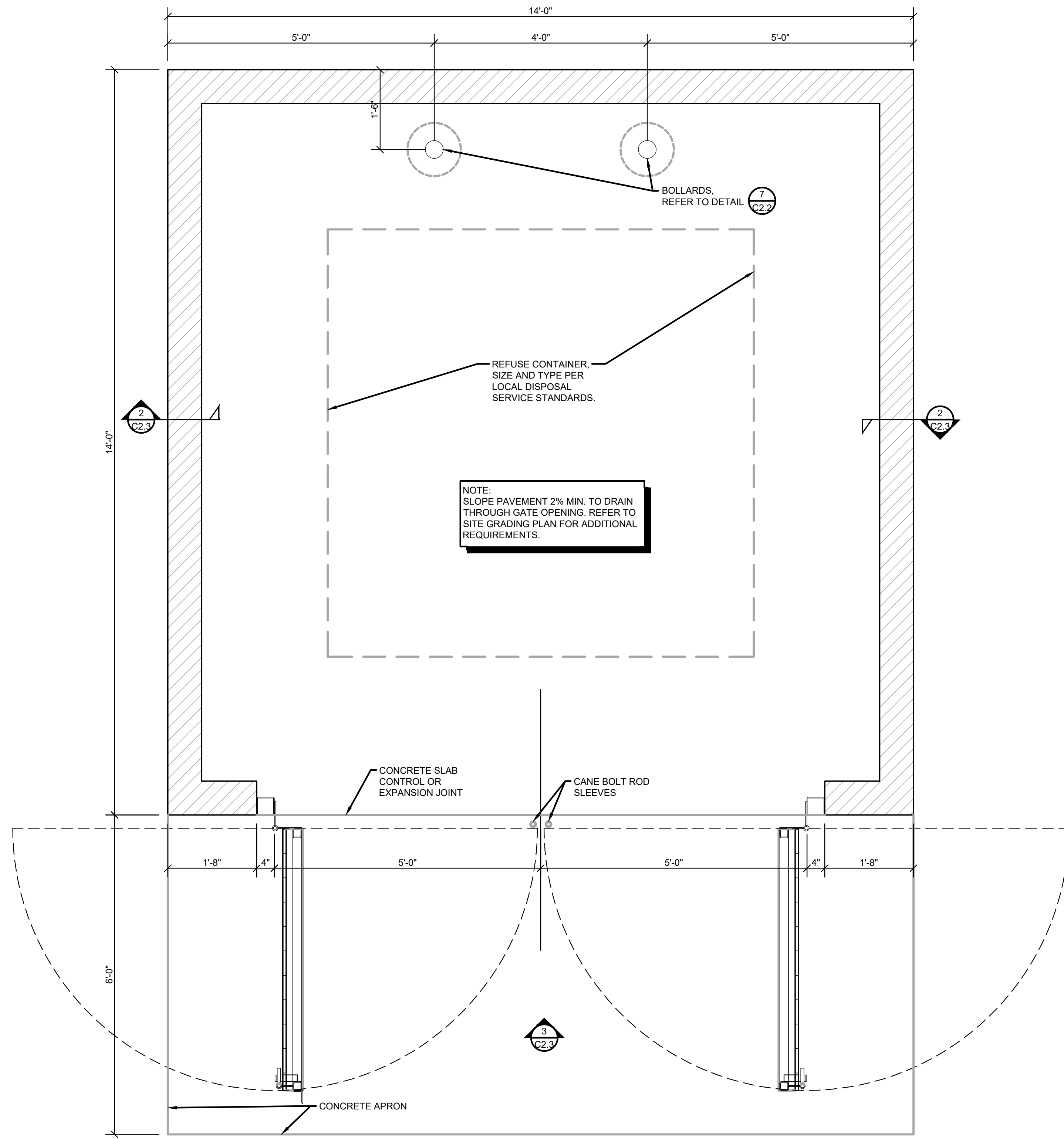
417.862.6558
417.862.3265
e-mail: architect@esteryschneider.com

LOT 1 PARKER POINTE SUBDIVISION FILING 1

PROJECT:
NEW O'REILLY AUTO PARTS STORE
13111 REATA RIDGE DRIVE
PARKER, CO #2

SITE DETAILS

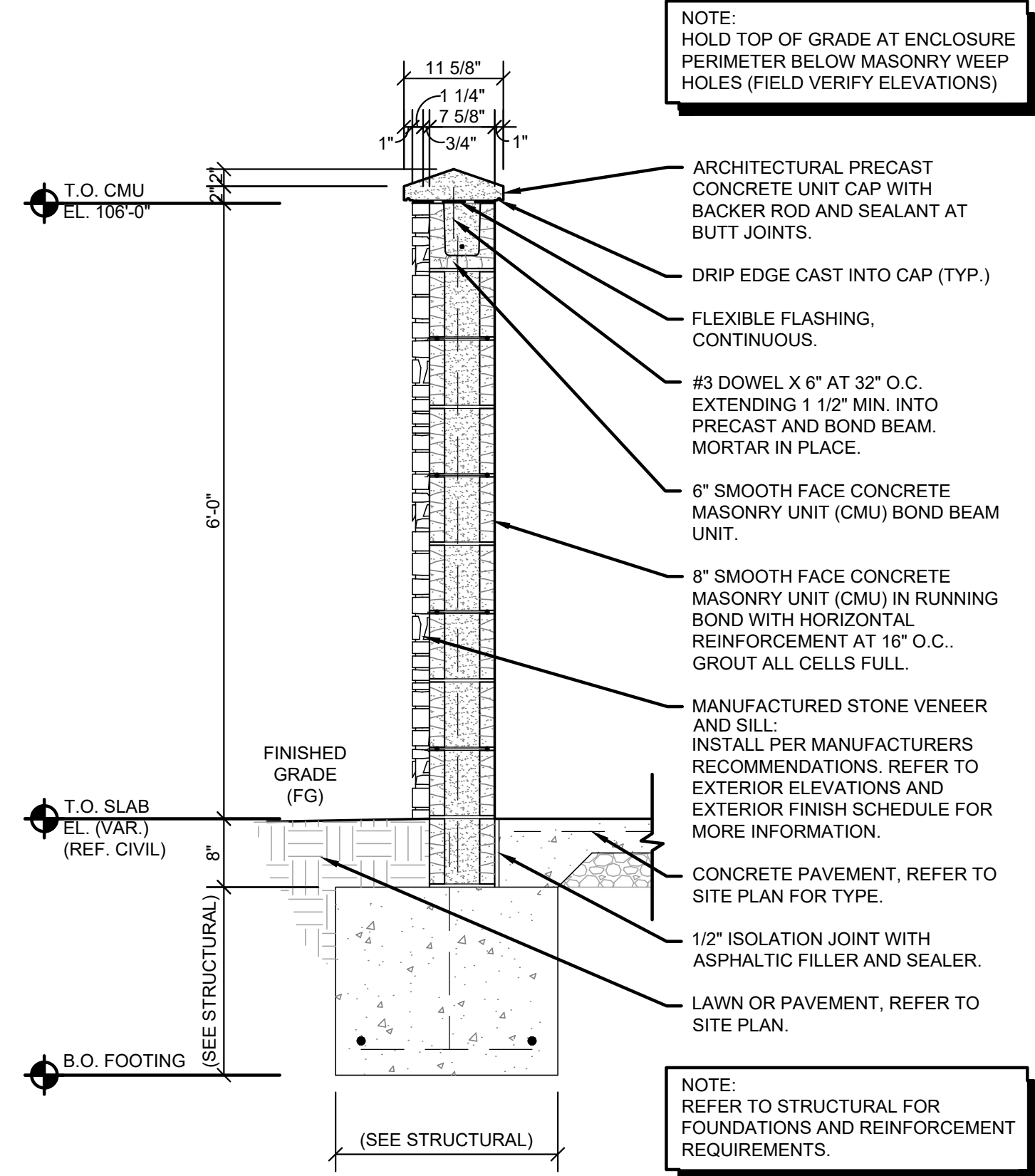
COMM # 4884
DATE: 02/14/2025
REVISION
DATE: 05/02/2025
07/01/2025
07/30/2025
08/22/2025



NOTE: SLOPE PAVEMENT 2% MIN. TO DRAIN THROUGH GATE OPENING. REFER TO SITE GRADING PLAN FOR ADDITIONAL REQUIREMENTS.

NOTE: REFER TO SITE DEVELOPMENT PLAN FOR REFUSE ENCLOSURE LOCATION AND ORIENTATION.

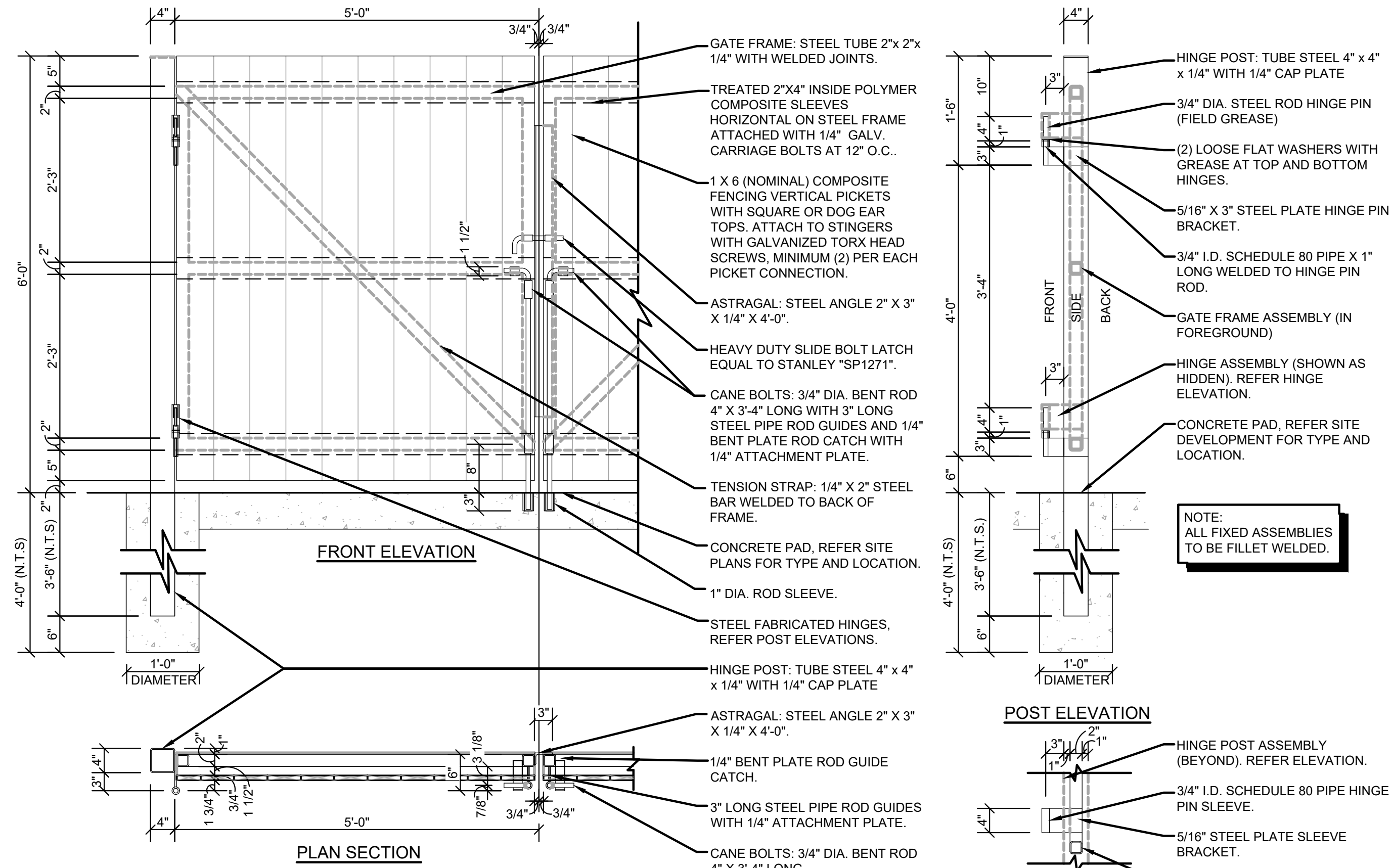
1 MASONRY SCREEN FENCE REFUSE ENCLOSURE PLAN
C2.3 SCALE: 3/4" = 1'-0"



NOTE: HOLD TOP OF GRADE AT ENCLOSURE PERIMETER BELOW MASONRY WEEP HOLES (FIELD VERIFY ELEVATIONS)

NOTE: REFER TO STRUCTURAL FOR FOUNDATIONS AND REINFORCEMENT REQUIREMENTS.

2 MASONRY SCREEN FENCE SECTION
C2.3 SCALE: 3/4" = 1'-0"



3 SCREEN FENCE GATE DETAILS
C2.3 SCALE: 3/4" = 1'-0"

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Date: 04/30/2026

APPROVED VARIANCES, SUBJECT TO THE TOWN DOES NOT CONSTITUTE REVIEW(S), GRADING PERMIT, AND/OR

GENERAL NOTES

- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- (B) DIMENSIONS ARE TO ROUGH FACE OF CONCRETE, FRAMING, OR CENTER LINE OF STRUCTURE UNLESS OTHERWISE INDICATED.
- (C) REFER TO CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- (D) REFER TO ARCHITECTURAL EXTERIOR FINISH SCHEDULE FOR MATERIAL TYPES, COLORS, AND FINISHES. UNLESS OTHERWISE INDICATED PROVIDE FINISHES AS FOLLOWS:

1. ALL NON-GALVANIZED METAL PARTS TO BE PRIMED AND PAINTED (2) COATS SHERWIN WILLIAMS SW6468 "HUNT CLUB".
2. COMPOSITE FENCING MATERIAL COLOR TO BE EQUAL TO LOUISIANA-PACIFIC - LP ELEMENTS ATLAS COLLECTION-76 SERIES "PRIMED" AND PAINTED SHERWIN WILLIAMS "LATTE" SW6108.

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LOT 1 PARKER POINTE SUBDIVISION FILING 1

PROJECT:
NEW O'REILLY AUTO PARTS STORE
13111 REATA RIDGE DRIVE
PARKER, CO #2

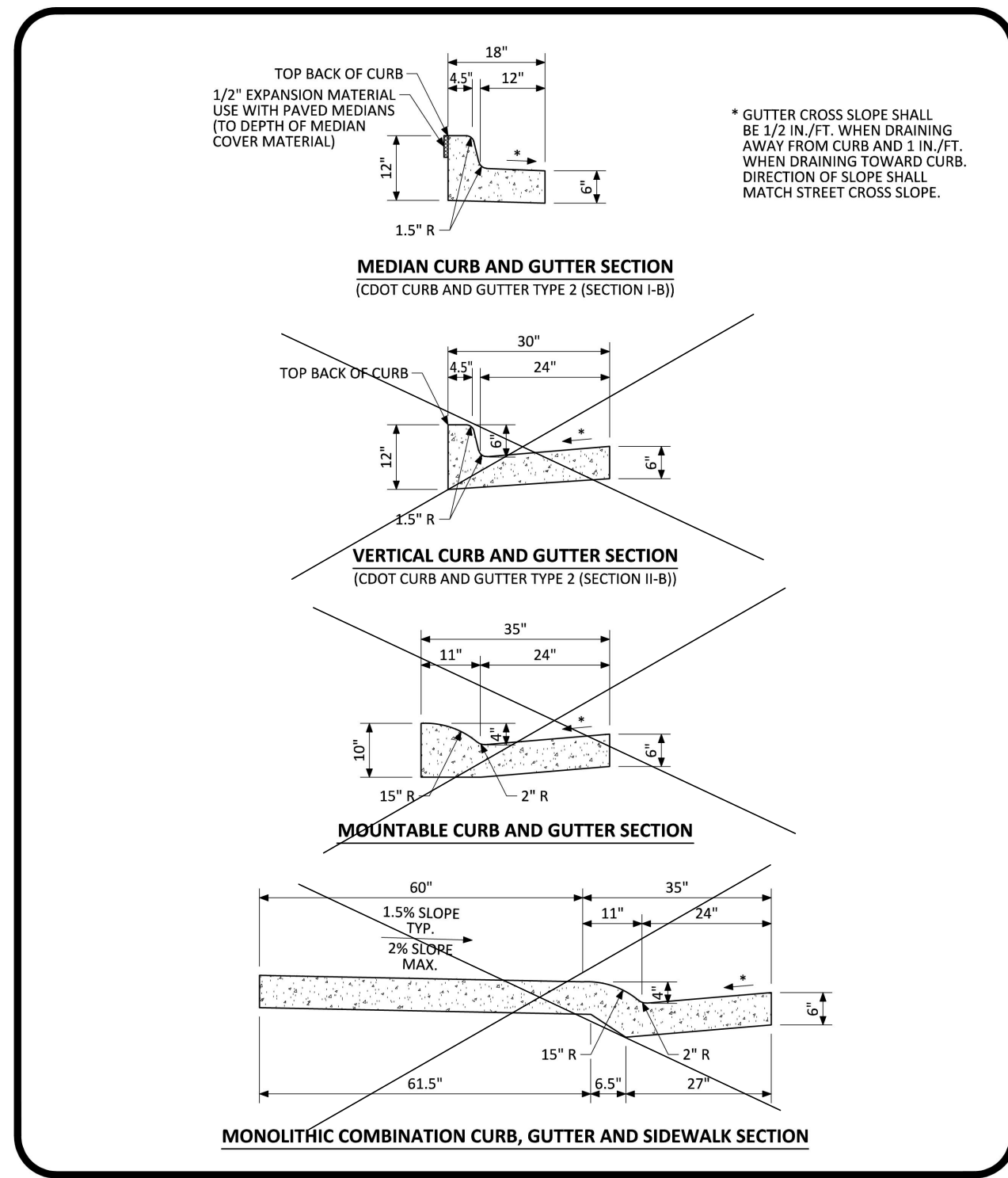
O'Reilly AUTO PARTS
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2674 TELEPHONE

COMM # 4884
DATE: 02/14/2025
REVISION
DATE: 07/30/2025
08/22/2025

C2.3

TIMOTHY M. GUILLOT
ARCHITECT
1736 East Sunshine, Suite 417
Springfield, Missouri 65804
417-862-0558
Fax: 417-862-3265
e-mail: architect@esterfyschneider.com

Steven P. Bunch, PE 65775



NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

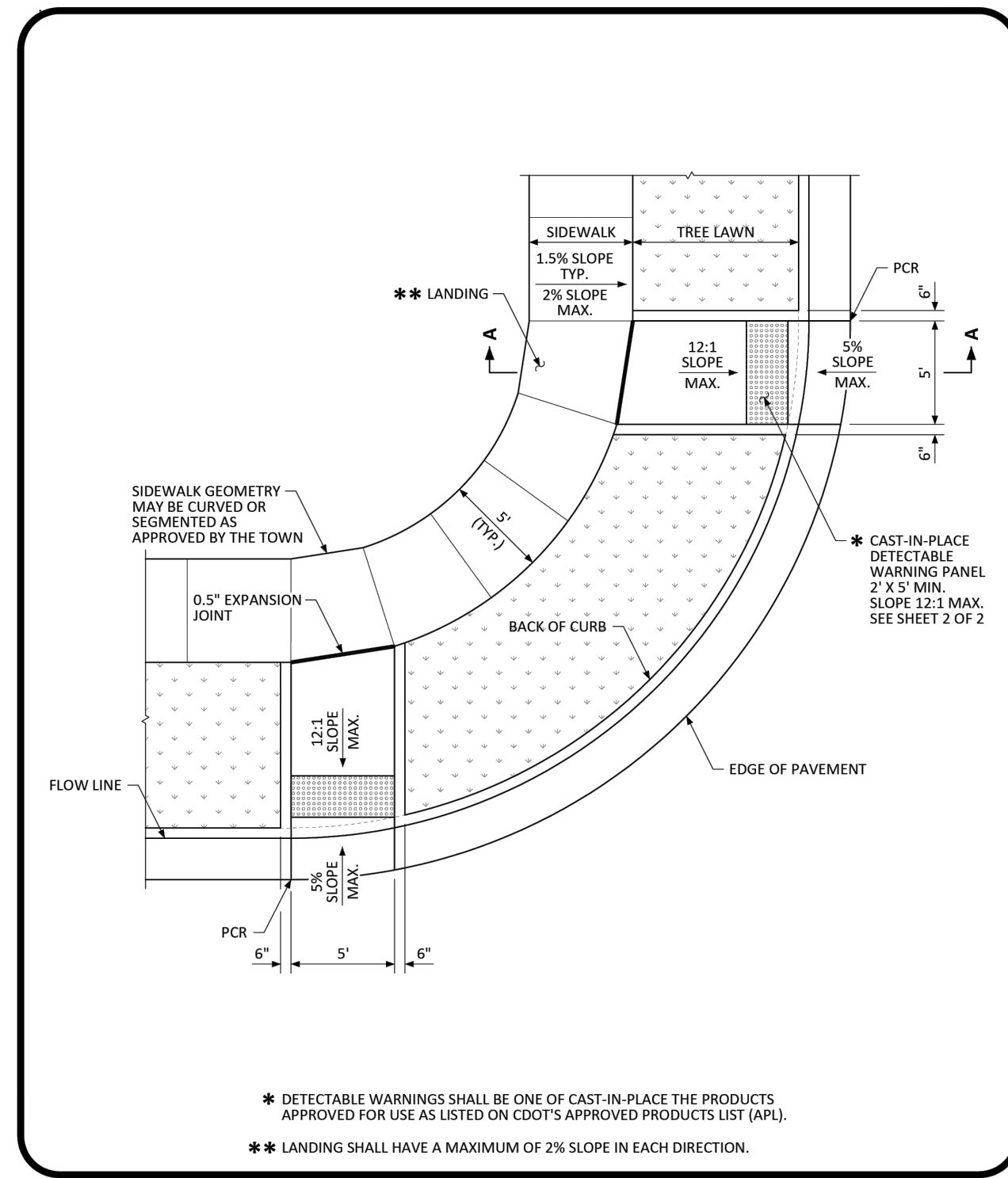
PARKER COLORADO

CURB, GUTTER, AND SIDEWALK SECTIONS STANDARD DETAIL

DATE NOVEMBER 2020

DETAIL 3

1 OF 1



NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

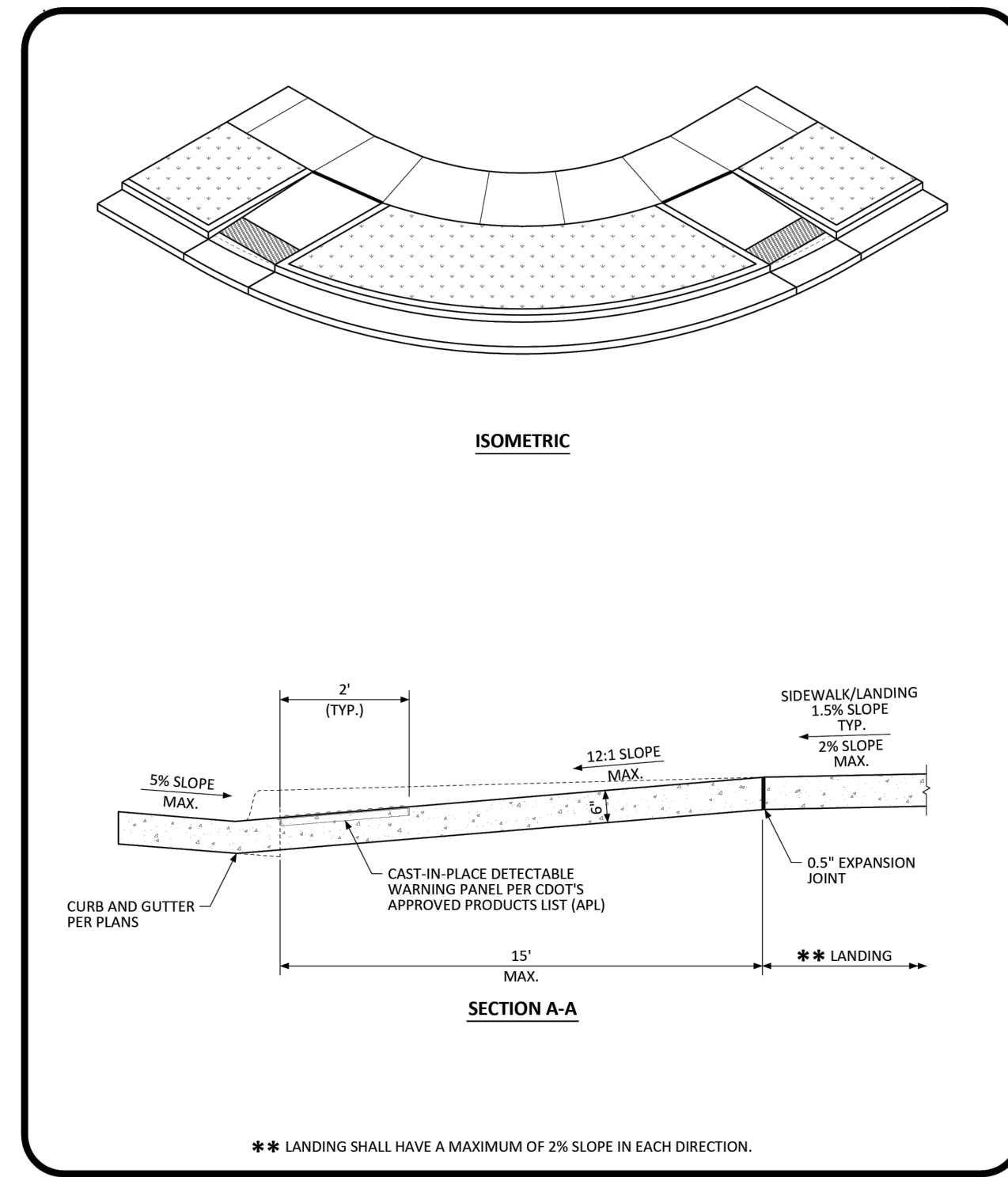
PARKER COLORADO

DIRECTIONAL CURB RAMP LAYOUT STANDARD DETAIL

DATE NOVEMBER 2020

DETAIL 15

3 OF 4



NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

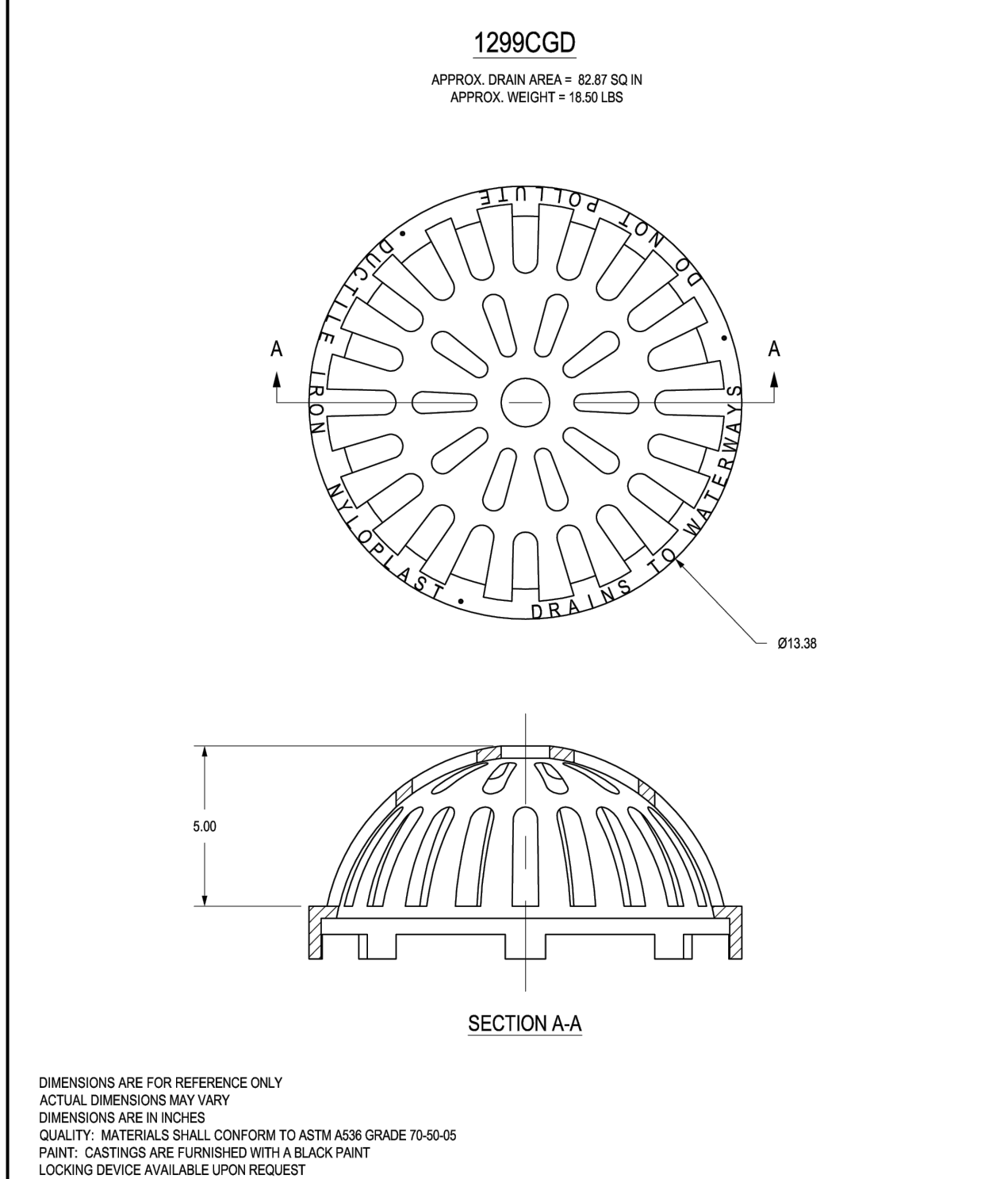
PARKER COLORADO

DIRECTIONAL CURB RAMP LAYOUT STANDARD DETAIL

DATE NOVEMBER 2020

DETAIL 15

4 OF 4



NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

PARKER COLORADO

DIRECTIONAL CURB RAMP LAYOUT STANDARD DETAIL

DATE NOVEMBER 2020

DETAIL 15

4 OF 4

PREPARED UNDER THE SUPERVISION OF TAIT & ASSOCIATES, INC.

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Dabbs

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BURLINGAME, CA 94010
PH: (415) 932-2400
WWW.NYLOPLAST.COM

DATE 03-04-20
REVIEWED BY GCA PROJECT NO NAME TITLE 12 IN DOME GRATE
DATE 08-30-13
DWG SIZE A SCALE 1:4 SHEET 1 OF 1 DWG NO. 700-110-206 REV E

Steven P. Bunch, PE 65775

TIMOTHY M. GUILLOT
ARCHITECT
1736 East Sunshine, Suite 417
Springfield, Missouri 65804
417-862-0558
Fax: 417-862-3265
e-mail: architect@esterlyschneiter.com

LOT 1 PARKER POINTE SUBDIVISION FILING 1

PROJECT:
NEW O'REILLY AUTO PARTS STORE
13111 REATA RIDGE DRIVE
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O'Reilly AUTO PARTS
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COMM # 4884
DATE: 02/14/2025
REVISION
DATE: 05/02/2025
08/22/2025

C2.4

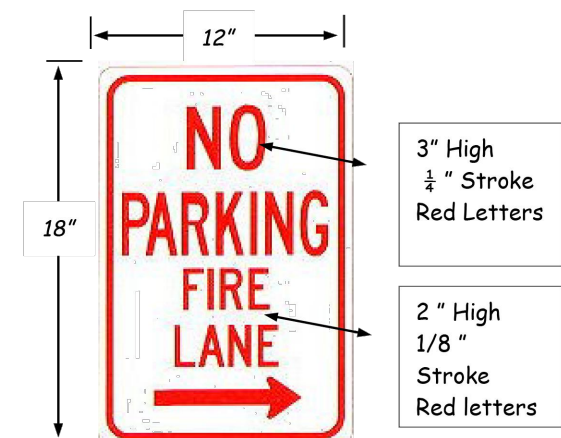
SOUTH METRO FIRE RESCUE
FIRE MARSHAL'S OFFICE



FIRE LANE SIGN INSTALLATION

Where the posting of designated "Fire Lane" signage is required, the following information shall serve as the guideline for said installation and shall be in accordance with the International Fire Code and/or the traffic code adopted by the local city or county.

Fire Lane Sign Dimensions. NO PARKING - FIRE LANE signs shall be 12 inches wide and 18 inches high.



Fire Lane Sign Characteristics: Signs shall be engineer grade reflective sheeting on 0.80 aluminum with red lettering on a white background.

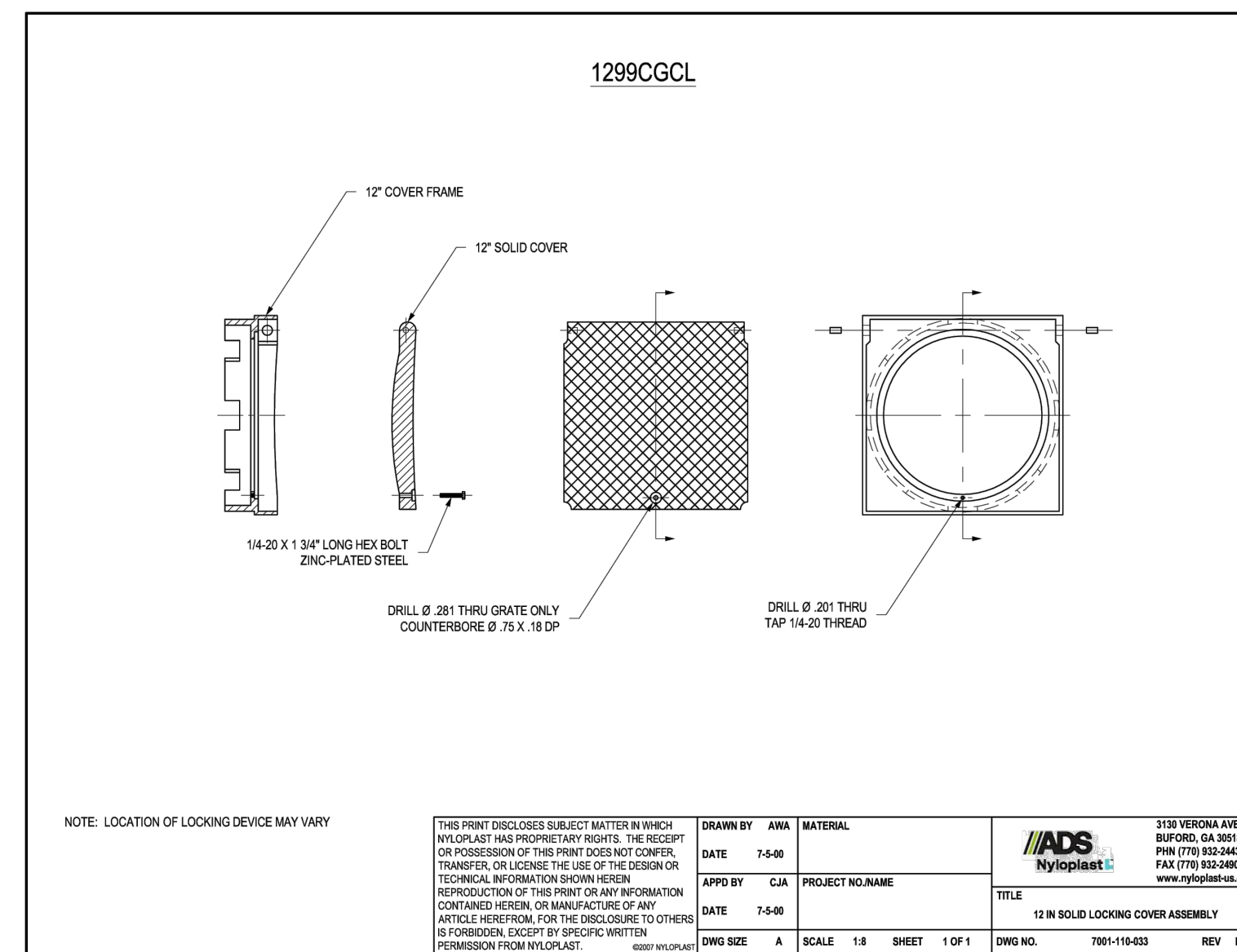
IFC Section 503.3: Fire lanes shall be designated on site design documents along with sign locations and details. Fire apparatus access roads shall be signed "NO PARKING FIRE LANE" as follows:

- On both sides of roads less than 26 feet wide;
- On one side of roads at least 26 feet wide and less than 32 feet wide;
- Roads at least 32 feet wide do not need fire lane signs;
- Other locations as determined by the fire department.

Fire Lane Sign Installation. NO PARKING - FIRE LANE signs shall be installed as follows:

- Bottom edge of the signs shall be 7 feet above surface (sidewalk) and post shall be placed 24 inches from flow line (curb).
- One sign at the beginning of the restriction (one arrow pointing towards the restriction zone).
- One sign at the end of the restriction (one arrow pointing back into restriction zone).
- One sign at least every 150 ft. within the restricted area (double arrow pointing in each direction, to indicate the continuing restriction).
- Spaced evenly within the restriction (for straight curbs/zones). For example, if the parking restriction zone is 300 ft long, only one double arrow sign is required at a distance of 150 ft. from the beginning of the restriction. If the restriction zone is 400 ft. long, two double arrow signs are required, spaced 100 ft. evenly from each other and from the beginning/ending signs.
- Spaced so that at least one readable sign is visible in front of a parked vehicle from any point along the restriction (for curved curbs/zones and areas that may present visual obstacles.)
- Set at an angle of no fewer than 30 degrees and no more than 45 degrees with the lane of traffic flow visible to approaching traffic.

Fire Lane Sign Types. The diagrams below indicate the types of signs that may be used, and the recommended placement.



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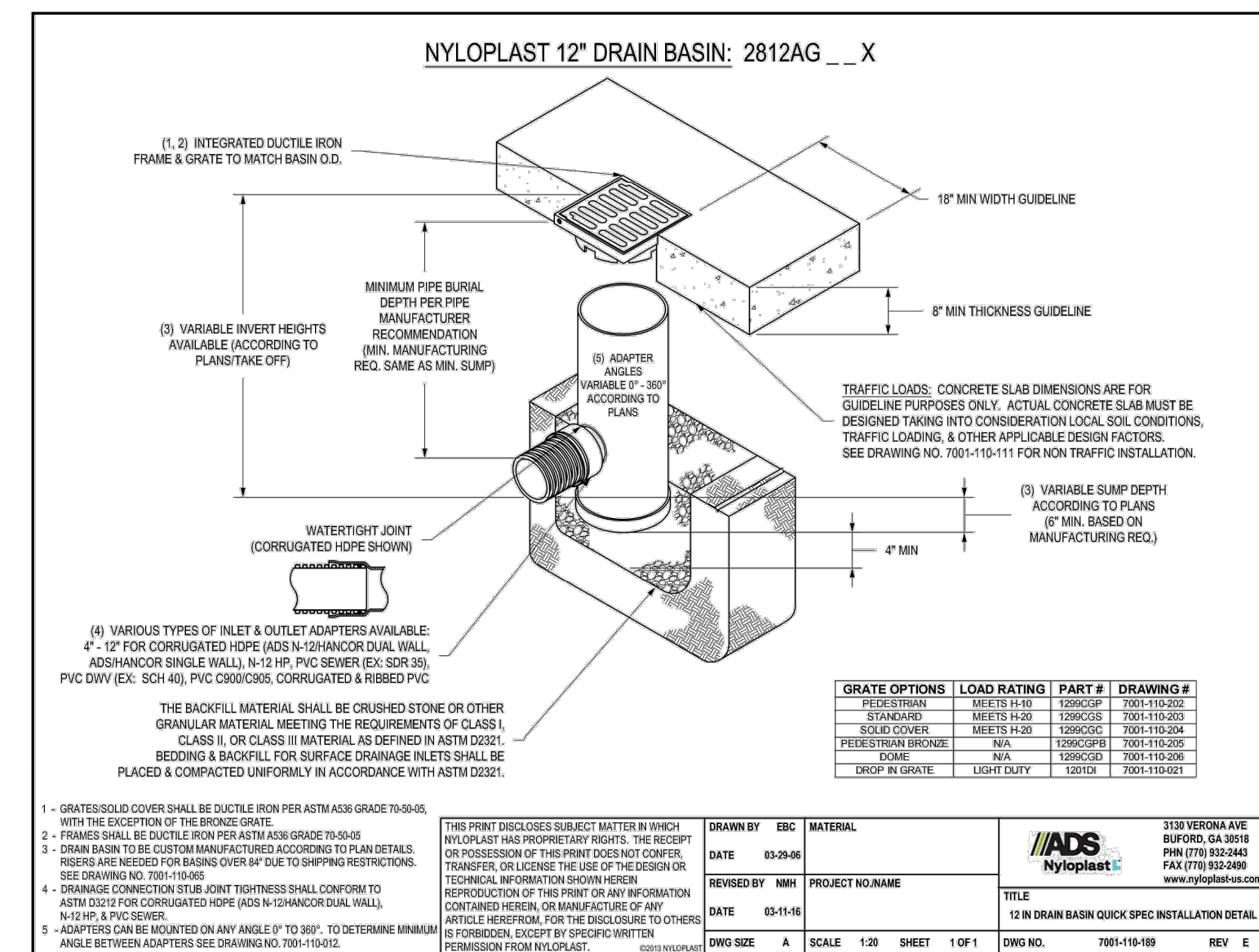
PARKER COLORADO

DIRECTIONAL CURB RAMP LAYOUT STANDARD DETAIL

DATE NOVEMBER 2020

DETAIL 15

4 OF 4



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PARKER COLORADO

DIRECTIONAL CURB RAMP LAYOUT STANDARD DETAIL

DATE NOVEMBER 2020

DETAIL 15

4 OF 4

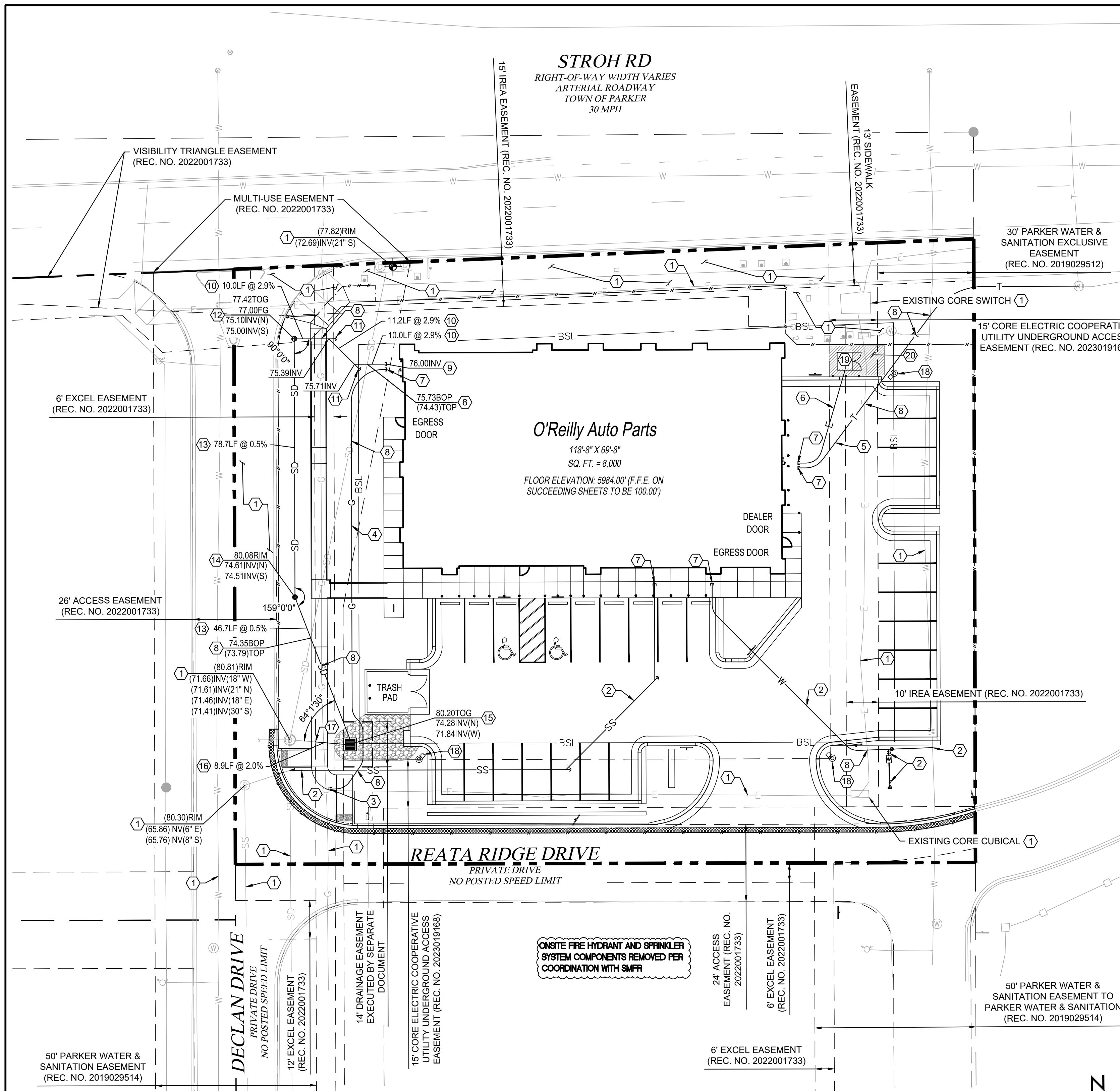
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[Signature]
Town of Parker, Director of Engineering
Date: 04/30/2026

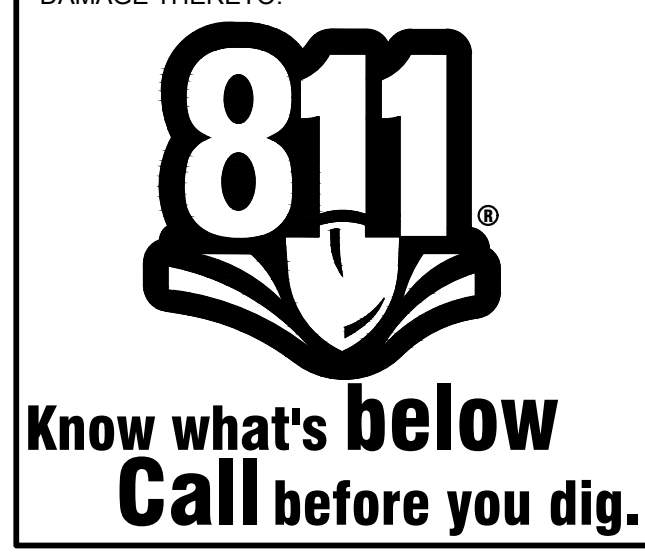
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BE SHOWN. CONSTRUCTION CANNOT BE SHOWN. CONSTRUCTION CANNOT BE SHOWN. CONSTRUCTION CANNOT BE SHOWN.



1 SITE UTILITY PLAN
C3.1 SCALE: 1" = 20'-0"

CAUTION:
 INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.



BENCHMARK

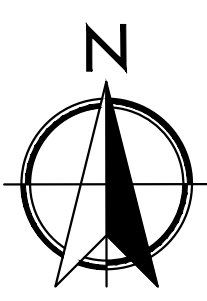
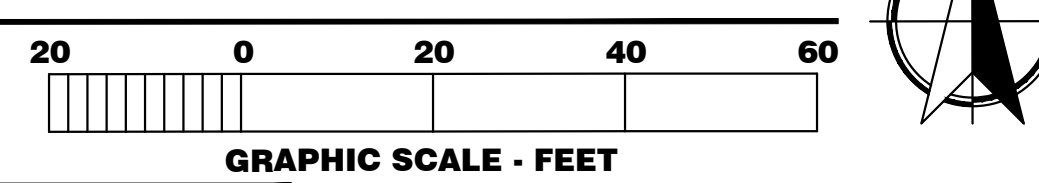
DOUGLAS COUNTY BENCHMARK 1.060032, EL=5,903.17 FEET (NAVD88) - 3 1/4" INCH ALUMINUM CAP (DOUGLAS COUNTY GIS SECONDARY CONTROL MONUMENT 1.060032) AT THE SOUTHEAST CORNER OF THE PARKING LOT OF STROTH RANCH SOCCER FIELDS, ON THE NORTH SIDE OF STROTH RD, EAST OF THE INTERSECTION OF STROTH ROAD AND N. MOTSENBOCKER ROAD, CITY OF PARKER, COLORADO.

BASIS OF BEARING

BEARINGS SHOWN HEREON ARE BASED ON THE NORTHERLY LINE OF THE NORTHEAST QUARTER OF SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M., MONUMENTED AS SHOWN ON THIS SURVEY PLAT AS BEARING NORTH 89°33'14" EAST, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

UNAUTHORIZED CHANGES & USES

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES OF THESE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS PRIOR TO CONSTRUCTION. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.



KEY NOTES

- PROTECT EXISTING IMPROVEMENTS IN PLACE.
- REFER TO PARKER WATER AND SANITATION DISTRICT (PWS&D) PLANS FOR WATER AND SANITARY SEWER DETAILS.
- GAS SERVICE CONNECTION TO EXISTING GAS SERVICE STUB.
- GAS SERVICE LINE SHOWN FOR REFERENCE ONLY. REFER TO US1 FOR MORE DETAIL.
- TELEPHONE LINE SHOWN FOR REFERENCE ONLY. REFER TO US1 FOR MORE DETAIL.
- ELECTRIC SERVICE LINE SHOWN FOR REFERENCE ONLY. REFER TO US1 FOR MORE DETAIL.
- UTILITY CONNECTION AT BUILDING. REFER TO MEP PLANS FOR CONTINUATION.
- UTILITY CROSSING. CONTRACTOR TO VERIFY ELEVATIONS AND NOTIFY ENGINEER OF CONFLICT.
- TRANSITION ROOF DRAIN TO 8" ADS N-12 STORM DRAIN PER DETAIL 12/C2.2.
- INSTALL 8" ADS N-12 DUAL WALL STORM DRAIN.
- INSTALL 8" STORM DRAIN CLEANOUT.
- INSTALL 12" NYLOPLAST DRAIN BASIN WITH DOME GRATE. REFER TO SHEET C2.4 FOR MORE DETAIL.
- INSTALL 12" ADS N-12 DUAL WALL STORM DRAIN.
- INSTALL 12" NYLOPLAST DRAIN BASIN WITH SOLID COVER. REFER TO SHEET C2.4 FOR MORE DETAIL.
- INSTALL 36" CDOT TYPE-C INLET WITH STANDARD GRATE AND 70% MINIMUM OPEN AREA.
- INSTALL 18" RCP STORM DRAIN.
- CONNECT PROPOSED 18" RCP STORM DRAIN TO EXISTING 18" RCP STORM DRAIN STUB.
- LIGHT POLE SHOWN FOR REFERENCE ONLY. REFER TO US1 FOR MORE DETAIL.
- INSTALL THREE PHASE PAD MOUNT FIBERGLASS VAULT PER CORE ELECTRIC STANDARDS.
- TRANSFORMER CLEAR AREA. 10' AT FRONT, 1.5' ON SIDES, AND 2.5' AT REAR OF TRANSFORMER.

LEGEND

- NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEGEND.
- RIGHT-OF-WAY
 - O'REILLY PROPERTY LINE
 - ADJACENT PROPERTY LINE
 - EXISTING EASEMENT
 - PROPOSED EASEMENT
 - BSL - BUILDING SETBACK LINE
 - ROAD CENTERLINE
 - LIMIT OF DISTURBANCE
 - PROPOSED SAWCUT
 - PROPOSED WATER LINE
 - PROPOSED STORM DRAIN LINE
 - PROPOSED SEWER LINE
 - PROPOSED ELECTRIC LINE
 - PROPOSED GAS LINE
 - PROPOSED TELEPHONE LINE
 - PROPOSED SIGN
 - PROPOSED WHEEL STOP
 - PROPOSED BOLLARD
 - PROPOSED FDC
 - PROPOSED FIRE HYDRANT
 - PROPOSED GATE VALVE
 - PROPOSED THRUST BLOCK
 - PROPOSED CLEANOUT
 - PROPOSED LIGHT POLE
 - PROPOSED RIPRAP
 - TRANSFORMER CLEAR AREA

GENERAL NOTES

- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES USING UTILITY CONTACT INFORMATION GIVEN, COORDINATE FOR ALL UTILITY WORK SHOWN. GIVE UTILITY COMPANIES NOTICE OF CONSTRUCTION START DATE AND ESTIMATED COMPLETION DATE.
- PRIOR TO INSTALLATION, GENERAL CONTRACTOR TO CONFIRM THAT LIGHT POLES, LANDSCAPING AND UTILITIES DO NOT CONFLICT WITH SIGN LOCATION SHOWN. IF ANY POTENTIAL CONFLICT IS DISCOVERED, GENERAL CONTRACTOR TO CONTACT THE O'REILLY PROJECT ADMINISTRATOR BEFORE PROCEEDING

EXISTING UTILITY NOTES

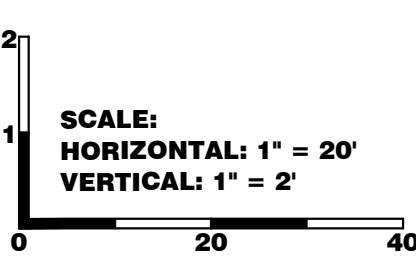
CONTRACTOR TO CONFIRM MINIMUM BURY DEPTH IS MAINTAINED OVER EXISTING UTILITIES.

EXISTING CONDITIONS NOTE

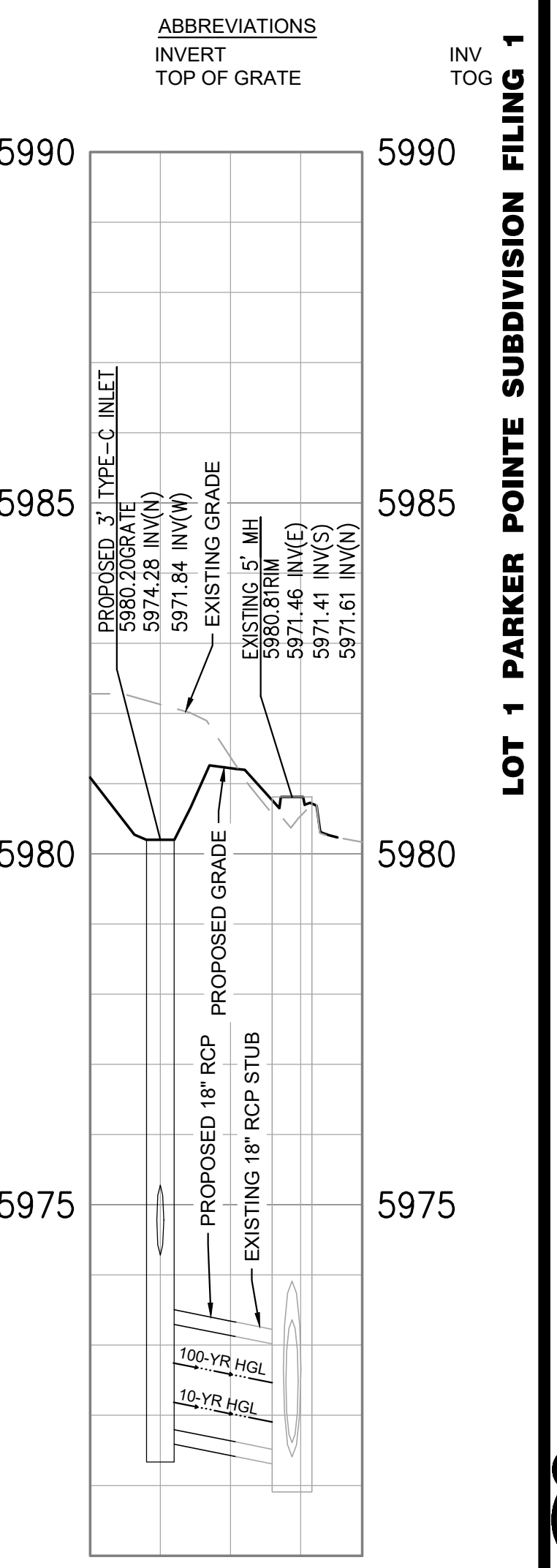
- THE CONTRACTOR IS OBLIGATED TO INSPECT FOR EXISTING CONDITIONS/INSTALLATIONS AND AVAILABLE INFORMATION PRIOR TO SUBMITTING A BID. REFER TO SPECIFICATIONS ALSO.
- EXISTING INSTALLATIONS (SUCH AS WATER MAINS/LINES, GAS MAINS/LINES, SEWER MAINS/LINES, TELEPHONE LINES, POWER LINES, AND UTILITY STRUCTURES IN THE VICINITY OF THE WORK TO BE DONE) ARE INDICATED ON THE DRAWINGS ONLY TO THE EXTENT THAT SUCH INFORMATION HAS BEEN MADE AVAILABLE TO OR DISCOVERED BY THE ENGINEER IN PREPARING THE DRAWINGS. THERE IS NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION, AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS THEREOF IS EXPRESSLY DISCLAIMED.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING ALL EXISTING INSTALLATIONS.
- ANY DELAY, ADDITIONAL WORK, FEES OR EXTRA COST TO THE CONTRACTOR CAUSED BY RESULTING FROM DAMAGE TO OR MODIFICATIONS OF EXISTING INSTALLATIONS BY THE CONTRACTOR OR AFFECTED UTILITY COMPANY SHALL NOT CONSTITUTE A CLAIM FOR EXTRA WORK, ADDITIONAL PAYMENT OR DAMAGES.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION PRIOR TO SUBMITTING HIS BID. NO EXTRAS WILL BE PAID DUE TO UNANTICIPATED EXISTING CONDITIONS / INSTALLATIONS.

PARKER UTILITY NOTE

ANY PROPOSED UTILITY CONNECTION WITHIN AN EXISTING ROADWAY WITHIN PUBLIC RIGHT OF WAY WILL REQUIRE A TOWN RIGHT-OF-WAY PERMIT PRIOR TO COMMENCING WORK. THE TOWN REQUIRES CONNECTIONS TO BE BORED TO THE EXTENT POSSIBLE, AND ANY STREET CUT ALLOWED BY THE TOWN WILL BE REQUIRED TO BE PATCHED ACCORDING TO THE TOWN'S CONSTRUCTION STANDARDS AND DETAILS. THE LIMITS OF PATCHING WILL BE DETERMINED BY THE TOWN AT THE TIME OF CONSTRUCTION. THE TOWN OF PARKER DOES NOT ALLOW ROADWAY CLOSURES FOR UTILITY WORK.



2 18" RCP STORM PROFILE
C3.1 SCALE: 1" = 20'-0" HORIZONTAL 1" = 2'-0" VERTICAL



NOTE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES, AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THERE MAY BE EXISTING UTILITIES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION OF THOSE UNDERGROUND UTILITIES TO BE USED PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.

THE TOWN OF PARKER review constitutes general compliance with the Town's Standards and approved variances, subject to these plans being stamped, signed, and dated by the professional engineer of record. Review by the Town does not constitute approval of the plan design or accuracy and correctness of engineering calculations. Errors in the design or calculations remain the responsibility of the registered professional engineer whose stamp and signature are affixed to this document.

THIS REVI COMMENC OTHER PE

This review does not constitute approval of any private on-site improvements which may be shown. Construction cannot commence until all required drainage/traffic report(s), final development plan(s), special review(s), grading permit, and/or other permits are complete, approved and on file with the Town of Parker.

TOWN OF PARKER, Director of Engineering
 Date: 04/30/2026

DIVIDED VARIANCES. SUBJECT TO THE TOWN DOES NOT CONSTITUTE IN THE DESIGN OR CALCULATIONS ARE AFFIXED TO THIS DOCUMENT.

IN CONSTRUCTION CANNOT (S), GRADING PERMIT, AND/OR

PREPARED UNDER THE SUPERVISION OF TAIT & ASSOCIATES, INC.

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 Loveland, CO 80537
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 e-mail: architee@esteryschneider.com

LOT 1 PARKER POINTE SUBDIVISION FILING 1

PROJECT:
NEW O'REILLY AUTO PARTS STORE
13111 REATA RIDGE DRIVE
PARKER, CO #2

SITE UTILITY PLAN

O'Reilly AUTO PARTS

CORPORATE OFFICES
 233 SOUTH PATTERSON
 SPRINGFIELD, MISSOURI 65802
 (417) 862-2674 TELEPHONE

COMM #	4884
DATE:	02/14/2025
REVISION	
DATE:	05/02/2025
	07/01/2025
	07/30/2025
	08/22/2025
	09/03/2025

C3.1