



Your kind of place.

TO: Brian Wilson, CVL Consultants of Colorado, Inc.

FROM: Stacey Nerger, Associate Planner

DATE: March 15, 2018

SUBJECT: Trails at Crowfoot Filing No. 9 – Final Plat
[Application SUB17-040]

The following are the comments regarding your application. All comments must be responded to, and if you disagree with a comment please indicate the reasoning of your disagreement. Please sign and return this memo with your next submittal. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance.

TOWN OF PARKER PLANNING DEPARTMENT:
ATTN: STACEY NERGER
E-MAIL: snerger@parkeronline.org
FAX: 303-841-3223
PHONE: 303-805-3199

TRAILS AT CROWFOOT FILING NO. 9

Final Plat:

1. Please refer to the attached “redline” comments within the Final Plat for staff’s requested changes.

Complied: Yes No

Response:

2. Please add signature blocks which are currently on page 2 of the plat to the first page since there is room.

Complied: Yes No

Response:



Your kind of place.

3. Please delete Note 9 as this note is a duplicate of Note 8.

Complied: Yes No

Response:

4. Please change the last part of Note 10 from “as park of Trails at Crowfoot...” to “as part of Trails at Crowfoot...”

Complied: Yes No

Response:

5. Please add the following to the end of Note 11: or as identified within the associated subdivision agreement approved by the Town of Parker as part of Trails at Crowfoot Filing No. 9.

Complied: Yes No

Response:

6. Please ensure that the title used within the Land Use Summary Chart “Future Residential Development” matches the wording used in the Tract Summary Table “Future Mixed Use Land”. Choose which title best describes the land and make them consistent within both tables.

Complied: Yes No

Response:

7. During our conversations regarding the viability of Tract E for commercial uses, we discussed continuing Alpine Phlox Street to the southern boundary to obtain access to the full movement intersection within the county in the development to the south. Is this something that should still be explored? If so, ROW should be reserved on this plat.

Complied: Yes No

Response:



Your kind of place.

Landscaping Plan:

8. Please refer to the attached “redline” comments within the Landscape Plan for staff’s requested changes.

Complied: Yes No

Response:

9. Please ensure that all areas which are adjacent to ROW meet the streetscape requirements (See the redlines for more details).

Complied: Yes No

Response:

General:

10. A draft Subdivision Agreement has been forwarded to the applicant for review. Please review this agreement and let us know if you have any questions.

Complied: Yes No

Response:

11. Please see the redline comments regarding the cost estimate.

Complied: Yes No

Response:



Your kind of place.

12. Please submit a cost estimate for the Regional Park that is separate from the other landscape cost estimates. This estimate will be included in the Filing No. 9 Subdivision Agreement.

Complied: Yes No

Response:

OUTSIDE REFERRAL AGENCY COMMENTS

13. Please address all outside referral agency comments with a written response. Copies of these comments can be found within the case file in TRAKiT.

Complied: Yes No

Response:

Property Owner

Date

Project Representative

Date

TRAILS AT CROWFOOT SUBDIVISION FILING NO. 9

A PART OF THE SECTION 9, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6th PRINCIPAL MERIDIAN,
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
SHEET 1 OF 12

TOTAL ACREAGE = 152.368 ACRES, 1 LOTS, 16 TRACTS

DEDICATION STATEMENT:

THE UNDERSIGNED, BEING ALL THE OWNERS, MORTGAGEES, BENEFICIARIES OF DEEDS OF TRUST AND HOLDERS OF OTHER INTERESTS IN THE LANDS DESCRIBED HEREIN, HAVE LAID OUT, SUBDIVIDED AND PLATTED SAID LANDS INTO LOTS, TRACTS, BLOCKS, STREETS AND EASEMENTS AS SHOWN HEREON UNDER THE NAME AND SUBDIVISION OF THE TRAILS AT CROWFOOT FILING NO. 9. THE UTILITY EASEMENTS AS SHOWN HEREON ARE HEREBY DEDICATED FOR PUBLIC UTILITIES AND CABLE COMMUNICATION SYSTEMS AND OTHER PURPOSES AS SHOWN HEREON. THE ENTITIES ARE RESPONSIBLE FOR PROVIDING THE UTILITY SERVICES FOR WHICH THE EASEMENTS ARE ESTABLISHED ARE HEREBY GRANTED THE PERPETUAL RIGHT OF INGRESS AND EGRESS FROM AND TO ADJACENT PROPERTIES FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF UTILITY LINES AND RELATED FACILITIES. THE OWNERS OF THE LANDS DESCRIBED HEREIN ARE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF DRAINAGE EASEMENTS SHOWN HEREON AND RELATED FACILITIES, AS PROVIDED IN THE STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL, AS AMENDED. THE UNDERSIGNED GRANTS THE TOWN OF PARKER A PERPETUAL RIGHT OF INGRESS AND EGRESS FROM AND TO ADJACENT PROPERTY TO MAINTAIN, OPERATE AND RECONSTRUCT THE DRAINAGE EASEMENTS AND RELATED FACILITIES COVERED BY CHAPTER 4.08 OF THE PARKER MUNICIPAL CODE, AS AMENDED; AND TO MAINTAIN, OPERATE AND RECONSTRUCT THE DRAINAGE EASEMENTS AND RELATED FACILITIES NOT COVERED BY CHAPTER 4.08 OF THE PARKER MUNICIPAL CODE AS AMENDED, WHEN THE OWNER(S) FAIL TO ADEQUATELY MAINTAIN SUCH DRAINAGE EASEMENTS AND RELATED FACILITIES, WHICH MAINTENANCE, OPERATION AND RECONSTRUCTION SHALL BE AT THE COST OF THE OWNER(S). ALL PUBLIC STREETS AND RIGHTS-OF-WAY SHOWN HEREON ARE DEDICATED AND CONVEYED TO THE TOWN OF PARKER, COLORADO, IN FEE SIMPLE ABSOLUTE, FOR PUBLIC USES AND PURPOSES. DRAINAGE AND DETENTION EASEMENTS AS SHOWN HEREON ARE HEREBY DEDICATED TO THE TOWN. THE TOWN IS HEREBY GRANTED THE PERPETUAL RIGHT OF INGRESS AND EGRESS FROM AND TO THE ADJACENT PROPERTIES FOR CONSTRUCTION, REPAIR, MAINTENANCE, OPERATION AND REPLACEMENT OF STORM SEWERS AND DRAINAGE FACILITIES. THE UNDERSIGNED GRANTS TO THE TOWN A SIGHT EASEMENT(S) AS SHOWN HEREON WITHIN THE SUBDIVISION TO MAINTAIN ADEQUATE SIGHT DISTANCE AT ALL ROADWAY INTERSECTIONS AS PROVIDED BY THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AS AMENDED. THE TOWN IS HEREBY GRANTED THE PERPETUAL RIGHT OF INGRESS AND EGRESS ACROSS ALL LOTS AND TRACTS WITHIN THE SUBDIVISION TO REMOVE ANY OBSTRUCTION TO THE PROPER SITE DISTANCE, INCLUDING, BUT NOT LIMITED TO, ANY STRUCTURE, FENCE, UTILITY BOX, RAISED MEDIAN AND LANDSCAPING, AT THE SOLE COST AND EXPENSE OF THE OWNER OF THE LOT AND/OR TRACT UPON WHICH SUCH OBSTRUCTION IS SITUATED. THE OWNERS OR ADJACENT PROPERTY OWNERS OF THE LANDS ARE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SIGHT EASEMENTS SHOWN HEREON. WHEN THE OWNER(S) OR ADJACENT OWNERS FAIL TO ADEQUATELY MAINTAIN SUCH SIGHT EASEMENTS, THE MAINTENANCE, OPERATION AND RECONSTRUCTION SHALL BE AT THE COST OF THE OWNER(S). THE UNDERSIGNED HEREBY DEDICATES SIDEWALK EASEMENTS AS SHOWN FOR PUBLIC SIDEWALK PURPOSES. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL SIDEWALK ADJACENT TO THE PROPERTY IN GOOD CONDITION AND FREE FROM ANY HAZARD. THE UNDERSIGNED GRANTS THE TOWN THE PERPETUAL RIGHTS OF INGRESS AND EGRESS UPON THE PROPERTY FOR THE OPERATION, MAINTENANCE, AND RECONSTRUCTION OF THE PUBLIC SIDEWALK WHEN THE OWNERS FAIL TO MAINTAIN SUCH PUBLIC SIDEWALK, WHICH MAINTENANCE, OPERATION AND RECONSTRUCTION SHALL BE AT THE COST OF THE OWNER(S). THE TOWN SHALL ALSO HAVE THE RIGHT TO REMOVE AN OBSTRUCTION THAT WOULD ADVERSELY AFFECT THE OPERATION AND MAINTENANCE OF THE SIDEWALK, AS DETERMINED BY THE TOWN.

ACKNOWLEDGEMENT

THE UNDERSIGNED, BEING ALL THE OWNERS, MORTGAGEES, BENEFICIARIES OF DEEDS OF TRUST AND HOLDERS OF OTHER INTERESTS OF THE LANDS DESCRIBED HEREIN, HEREBY ACKNOWLEDGE THAT ANY SUBDIVISION APPROVAL OBTAINED BY THE TOWN OF PARKER DOES NOT OBIVATE SAID UNDERSIGNED'S NEED OR RESPONSIBILITY TO COMPLY WITH THE REQUIREMENTS OF THE ENDANGERED SPECIES ACT OF 1973, 16 U.S.C. 1 531, ET SEQ., AS AMENDED OR WITH ANY OTHER APPLICABLE FEDERAL, STATE OR LOCAL LAWS OR REGULATIONS.

OWNER (AS TO PARCEL 1)

HR935, LLC, A COLORADO LIMITED LIABILITY COMPANY

SIGNATURE _____

BY: _____

AS _____ OF HR935, LLC, A COLORADO LIMITED LIABILITY COMPANY

SUBSCRIBED AND SWORN BEFORE ME THIS _____ DAY OF _____, 20____, BY _____ AS _____ OF HR935, LLC, A COLORADO LIMITED LIABILITY COMPANY.

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES _____

DEED OF TRUST HOLDER (AS TO PARCEL 1)

TREZ CAPITAL (2015) CORPORATION, A BRITISH COLUMBIA CORPORATION

SIGNATURE _____

BY: _____

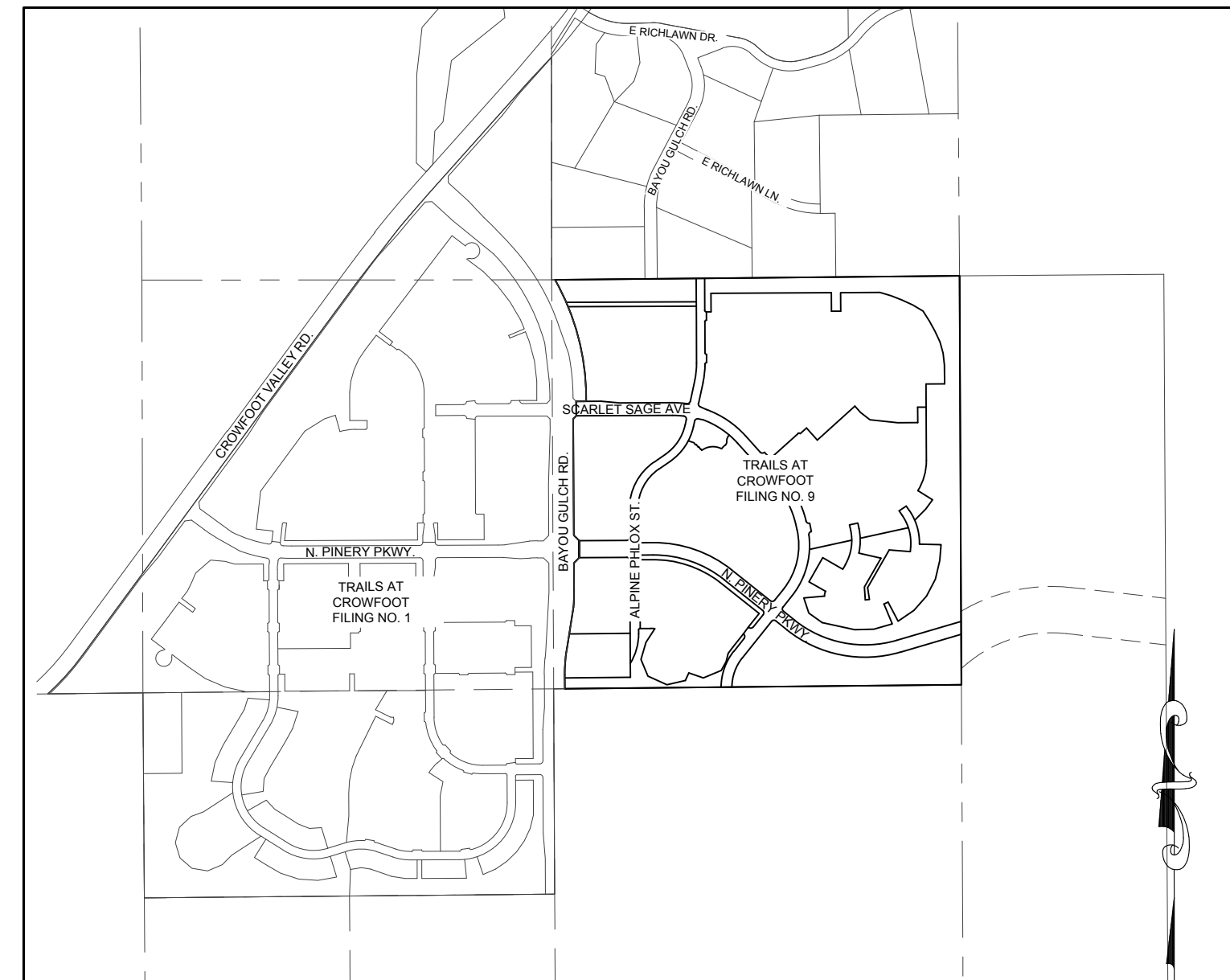
AS _____ OF TREZ CAPITAL (2015) CORPORATION, A BRITISH COLUMBIA CORPORATION

SUBSCRIBED AND SWORN BEFORE ME THIS _____ DAY OF _____, 20____, BY _____ AS _____ OF TREZ CAPITAL (2015) CORPORATION, A BRITISH COLUMBIA CORPORATION.

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES _____



VICINITY MAP

SCALE: 1" = 1000'

LEGAL DESCRIPTION:

A PARCEL OF LAND BEING A PART OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 9 AND CONSIDERING THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 9 BEING MONUMENTED AT THE NORTHEAST CORNER OF SAID SECTION 9 BY A 3-1/4" ALUMINUM CAP STAMPED LS 23053 AND AT THE EAST QUARTER CORNER OF SAID SECTION 9 BY A 2-1/2" ALUMINUM CAP STAMPED LS 6935 TO BEAR SOUTH 00°15'06" EAST, 2648.70 FEET WITH ALL BEARINGS CONTAINED HEREIN BEING RELATIVE THERETO;

THENCE SOUTH 00°15'06" EAST ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 9, A DISTANCE OF 2648.70 FEET TO THE EAST QUARTER CORNER OF SAID SECTION 9;

THENCE SOUTH 89°25'59" WEST ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 9, A DISTANCE OF 2568.85 FEET;

THENCE NORTH 00°16'45" WEST, A DISTANCE OF 89.92 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 968.00 FEET, A CENTRAL ANGLE OF 09°17'08", AN ARC LENGTH OF 156.88 FEET, THE CHORD OF WHICH BEARS NORTH 04°21'49" EAST, 156.70 FEET TO A POINT OF TANGENCY;

THENCE NORTH 09°00'23" EAST, A DISTANCE OF 284.62 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 1115.00 FEET, A CENTRAL ANGLE OF 05°04'56", AN ARC LENGTH OF 98.90 FEET, THE CHORD OF WHICH BEARS NORTH 02°15'40" EAST, 98.87 FEET TO A POINT OF TANGENCY;

THENCE NORTH 00°16'48" WEST, A DISTANCE OF 187.34 FEET;

THENCE NORTH 44°43'12" EAST, A DISTANCE OF 49.50 FEET;

THENCE NORTH 00°16'48" WEST, A DISTANCE OF 110.00 FEET;

THENCE NORTH 45°16'48" WEST, A DISTANCE OF 49.50 FEET;

THENCE NORTH 00°16'48" WEST, A DISTANCE OF 754.01 FEET;

THENCE NORTH 44°43'12" EAST, A DISTANCE OF 28.28 FEET;

THENCE NORTH 00°16'48" WEST, A DISTANCE OF 94.00 FEET;

THENCE NORTH 89°43'12" EAST, A DISTANCE OF 65.00 FEET;

THENCE NORTH 00°16'48" WEST, A DISTANCE OF 27.17 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 1560.00 FEET, A CENTRAL ANGLE OF 29°11'26", AN ARC LENGTH OF 794.77 FEET, THE CHORD OF WHICH BEARS NORTH 14°52'31" WEST, 786.20 FEET TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 9;

THENCE NORTH 89°26'53" EAST ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 9, A DISTANCE OF 2620.27 FEET TO THE POINT OF BEGINNING;

SAID PARCEL CONTAINING A CALCULATED AREA OF 6,637,151 SQUARE FEET OR 152.368 ACRES, MORE OR LESS.

PLANNING COMMISSION STATEMENT:

THE PRELIMINARY PLAN FOR THIS PLAT WAS REVIEWED BY THE PLANNING COMMISSION ON OCTOBER 12, 2017.

PLANNING DIRECTOR, ON BEHALF OF THE PLANNING COMMISSION

DATE _____

CLERK AND RECORDER'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAT WAS FILED IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY, COLORADO

ON THIS _____ DAY OF _____, 20____, AT _____ O'CLOCK _____ M. AT

RECEPTION NUMBER _____

COUNTY CLERK AND RECORDER

Please add additional signature blocks from page 2 to this page.

TRAILS AT CROWFOOT SUBDIVISION FILING NO. 9

A PART OF THE SECTION 9, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6th PRINCIPAL MERIDIAN,
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
SHEET 2 OF 12

NOTES:

- NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE (3) YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN (10) YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACTS ANY PUBLIC LAND SURVEY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
- THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY CVL CONSULTANTS OF COLORADO, INC. TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS-OF-WAY AND TITLE OF RECORD, CVL CONSULTANTS OF COLORADO, INC. RELIED UPON COMMITMENT FOR TITLE INSURANCE, COMMITMENT NO. H0513966-023-CNX-CN, AMENDMENT NO. 1 ISSUED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY AND HAVING AN EFFECTIVE DATE OF NOVEMBER 17, 2017 AT 8:00 A.M.
- BASIS OF BEARINGS: BASIS OF BEARINGS: THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 9 BEING MONUMENTED AT THE NORTHEAST CORNER OF SAID SECTION 9 BY A 3-1/4" ALUMINUM CAP STAMPED LS 23053 AND AT THE EAST QUARTER CORNER OF SAID SECTION 9 BY A 2-1/2" ALUMINUM CAP STAMPED LS 6935 BEING ASSUMED TO BEAR SOUTH 00°15'06" EAST, 2648.70 FEET.
- BENCHMARK: DOUGLAS COUNTY CONTROL POINT KNOWN AS 1.060032, BEING A 3-1/4" ALUMINUM CAP, BEING LOCATED IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, HAVING A PUBLISHED ELEVATION OF 1799.2870 METERS (5903.13 FEET) NAVD '88 DATUM.
- WITHIN THE SIGHT TRIANGLES, AS SHOWN, LIMITED LANDSCAPING SHALL BE ALLOWED BUT NO SOLID STRUCTURES OR TREES WILL BE PERMITTED. SOLID STRUCTURES SHALL INCLUDE, BUT NOT BE LIMITED TO, FENCES, MAILBOXES, AND UTILITY BOXES. LANDSCAPING WITHIN THE SIGHT TRIANGLES WILL BE LIMITED TO SHRUBS AND PLANTINGS THAT AT MATURITY WILL BE NO TALLER THAN TWO FEET. LANDSCAPING WITHIN THE SIGHT TRIANGLE SHALL BE MAINTAINED BY THE PROPERTY OWNER OR APPROPRIATE ASSOCIATION.
- BLANKET DRAINAGE EASEMENTS ARE HEREBY DEDICATED TO THE TOWN OF PARKER OVER AND ACROSS TRACTS A, C, AND I FOR THE PURPOSE OF ACCESSING, MAINTAINING, AND REPAIRING STORMWATER MANAGEMENT IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, RIPRAP, DETENTION BASINS, FOREBAYS, MICROPOOLS, AND WATER QUALITY FACILITIES IN THE EVENT THAT THE PROPERTY OWNER FAILS TO SATISFACTORILY MAINTAIN OR REPAIR SAID FACILITIES.
- TRACTS K, L, M, N, AND O ARE HEREBY ESTABLISHED AS PARCELS TO BE RE-PLATTED IN THE FUTURE INTO BUILDABLE LOTS. AT SUCH TIME AS A REPLAT IS APPROVED FOR THIS TRACT, PUBLIC IMPROVEMENTS ASSOCIATED WITH THE RESULTING LOTS WILL BE DETERMINED BY A SIGNED AND FINANCIALLY SECURED SUBDIVISION AGREEMENT WITH EACH REPLAT APPLICATION. NO PORTION OF THE TRACT SHALL BE DEVELOPED, INCLUDING BUT NOT LIMITED TO, STAKING, OVERLOT GRADING, OR THE ERECTION OF ANY STRUCTURE, TEMPORARY OR OTHERWISE, UNTIL THE PROPERTY IS RE-PLATTED AND/OR SITE PLAN APPROVAL IS OBTAINED, EXCEPT AS ALLOWED FOR IN THE TRAILS AT CROWFOOT FILING 9 CONSTRUCTION PLANS.
- TRACTS K, L, M, N, AND O ARE HEREBY ESTABLISHED AS UNBUILDABLE TRACTS AND SHALL REQUIRE A REPLAT FOR FUTURE DEVELOPMENT. NO PORTION OF THIS TRACT SHALL BE DEVELOPED, WHICH INCLUDES EARTHWORK, SURFACE IMPROVEMENTS OR THE ERECTION OF ANY STRUCTURE, TEMPORARY OR OTHERWISE, EXCEPT AS PROVIDED IN THE CONSTRUCTION DRAWINGS AND THE ASSOCIATED SUBDIVISION AGREEMENT APPROVED BY THE TOWN OF PARKER AS PART OF TRAILS AT CROWFOOT FILING NO. 9.
- TRACTS A, B, C, D, E, F, G, H, I, AND J ARE HEREBY ESTABLISHED AS OPEN SPACE TRACTS. NO PORTION OF THESE TRACTS SHALL BE DEVELOPED, WHICH INCLUDES SURFACE IMPROVEMENTS OR THE ERECTION OF ANY STRUCTURE, TEMPORARY OR OTHERWISE, WITH THE EXCEPTION OF UNDERGROUND UTILITY EASEMENTS WHICH INCLUDE THE INSTALLATION OF UNDERGROUND UTILITIES TO CONNECT PLANNING AREAS WITH UTILITIES WHICH INCLUDE, BUT ARE NOT LIMITED TO, WATER AND SEWER MAINS, STORMWATER MAINS, ELECTRICAL, TELEPHONE AND CABLE TELEVISION AND AS IDENTIFIED WITHIN THE ASSOCIATED SUBDIVISION AGREEMENT APPROVED BY THE TOWN OF PARKER AS PART OF TRAILS AT CROWFOOT FILING NO. 9.
- LOT 1 IS HEREBY ESTABLISHED AS PARK LOT. NO PORTION OF THIS LOT SHALL BE DEVELOPED, WHICH INCLUDES SURFACE IMPROVEMENTS OR THE ERECTION OF ANY STRUCTURE, TEMPORARY OR OTHERWISE, UNTIL THE LOT HAS BEEN GRANTED AN APPROVED SITE PLAN AND BUILDING PERMIT.
- THOSE PORTIONS OF REAL PROPERTY WHICH ARE LABELED AS SIDEWALK & UTILITY EASEMENTS AND AS UTILITY EASEMENTS ON THIS PLAT ARE FOR THE INSTALLATION AND MAINTENANCE OF UTILITIES, INCLUDED, BUT NOT LIMITED TO, ELECTRIC LINES, GAS LINES, TELEPHONE LINES, TOGETHER WITH WITH A PERPETUAL RIGHT OF INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES; SAID EASEMENTS AND RIGHT ARE TO BE UTILIZED IN A RESPONSIBLE AND PRUDENT MANNER.
- A. AS SHOWN TEN-FOOT (10') WIDE DRY UTILITY EASEMENTS ARE HEREBY DEDICATED ON PRIVATE PROPERTY ABUTTING ALL PUBLIC STREETS, AND AROUND THE PERIMETER OF EACH COMMERCIAL/INDUSTRIAL LOT IN THE SUBDIVISION OR PLATTED AREA.
B. AS SHOWN ALLEY-TYPE LOTS, SIX-FOOT (6') WIDE DRY UTILITY EASEMENTS WITHIN THE LOTS FOR NATURAL GAS FACILITIES INCLUDING SPACE FOR SERVICE TRUCKS TO DRIVE ARE REQUIRED. IF GAS AND ELECTRIC ARE WITHIN THE SAME TRENCH, A TEN (10') WIDE DRY UTILITY EASEMENT IS REQUIRED, NOT TO OVERLAP ANY WET UTILITY EASEMENT.
- THE LINEAL UNIT USED IN THE PREPARATION OF THIS PLAT IS THE U.S. SURVEY FOOT AS DEFINED BY THE UNITED STATES DEPARTMENT OF COMMERCE, NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY.
- ALL 50' PARKER WATER & SANITATION DISTRICT UTILITY EASEMENTS ARE DEDICATED TO PARKER WATER & SANITATION DISTRICT BY SEPARATE DOCUMENT.
- THERE ARE A TOTAL OF 1 LOT AND 16 TRACTS IN TRAILS AT CROWFOOT SUBDIVISION FILING NO. 9.

Note can be deleted as this is the same as Note 8.

Add to the end of this sentence: or as identified within the associated subdivision agreement approved by the Town of Parker as part of Trails at Crowfoot Filing No. 9.

TRACT	SQ. FT.	ACRES	USE	OWNERSHIP	MAINTENANCE
A	130,676 S.F.	3.000 AC	OPEN SPACE / DRAINAGE / UTILITIES / SIDEWALK	OWNER/DEV.	OWNER/DEV.
B	463,376 S.F.	10.638 AC	SCHOOL SITE	SCHOOL DIST.	SCHOOL DIST.
C	798,732 S.F.	18.336 AC	OPEN SPACE / DRAINAGE / UTILITIES / SIDEWALK	OWNER/DEV.	OWNER/DEV.
D	671,684 S.F.	15.420 AC	PARK LAND	TOWN OF PARKER	TOWN OF PARKER
E	180,990 S.F.	4.155 AC	FUTURE MIXED USE LAND	OWNER/DEV.	OWNER/DEV.
F	118,050 S.F.	2.710 AC	FIRE STATION SITE	PARKER FIRE	PARKER FIRE
G	94,145 S.F.	2.161 AC	OPEN SPACE / UTILITIES	OWNER/DEV.	OWNER/DEV.
H	380,974 S.F.	8.746 AC	OPEN SPACE / UTILITIES	OWNER/DEV.	OWNER/DEV.
I	30,384 S.F.	0.698 AC	OPEN SPACE / DRAINAGE / UTILITIES	OWNER/DEV.	OWNER/DEV.
J	50,265 S.F.	1.154 AC	OPEN SPACE / UTILITIES	OWNER/DEV.	OWNER/DEV.
K	1,264,134 S.F.	29.021 AC	FUTURE MIXED USE LAND	OWNER/DEV.	OWNER/DEV.
L	438,317 S.F.	10.062 AC	FUTURE MIXED USE LAND	OWNER/DEV.	OWNER/DEV.
M	624,164 S.F.	14.329 AC	FUTURE MIXED USE LAND	OWNER/DEV.	OWNER/DEV.
N	351,366 S.F.	8.066 AC	FUTURE MIXED USE LAND	OWNER/DEV.	OWNER/DEV.
O	399,494 S.F.	9.171 AC	FUTURE MIXED USE LAND	OWNER/DEV.	OWNER/DEV.
P	23,703 S.F.	0.544 AC	OPEN SPACE / DRAINAGE / UTILITIES / SIDEWALK	OWNER/DEV.	OWNER/DEV.

Please make sure that these match.

TYPE	SQ. FT.	ACRES	% OF TOTAL AREA
FUTURE RESIDENTIAL DEVELOPMENT	3,258,465 S.F.	74.804 AC	49.10%
FIRE STATION	118,050 S.F.	2.710 AC	1.78%
SCHOOL SITE	463,376 S.F.	10.638 AC	6.98%
OPEN SPACE AREAS	1,508,879 S.F.	34.639 AC	22.73%
PARK LAND	705,676 S.F.	16.200 AC	10.63%
ROAD RIGHTS OF WAY	582,705 S.F.	13.377 AC	8.78%
TOTAL	6,637,151 S.F.	152.368 AC.	100%

TITLE VERIFICATION:

WE, COMMONWEALTH LAND TITLE INSURANCE COMPANY, A QUALIFIED TITLE INSURANCE COMPANY, DO HEREBY CERTIFY THAT WE HAVE EXAMINED THE TITLE OF ALL LAND PLATTED HERON AND THAT TITLE TO SUCH LAND IS IN THE DEDICATOR(S) FREE AND CLEAR OF ALL LIENS, TAXES AND ENCUMBRANCES.

SIGNATURE _____

BY: _____

AS: _____ OF COMMONWEALTH LAND TITLE INSURANCE COMPANY

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____, BY _____

AS _____ OF COMMONWEALTH LAND TITLE INSURANCE COMPANY.

WITNESS MY HAND AND OFFICIAL SEAL

MY COMMISSION EXPIRES _____
NOTARY PUBLIC _____

SURVEYOR'S CERTIFICATION:

I, WILLIAM F. HESSELBACH, JR., A PROFESSIONAL LAND SURVEYOR LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY OF TRAILS AT CROWFOOT FILING NO. 9 WAS MADE BY ME OR DIRECTLY UNDER MY SUPERVISION ON OR ABOUT THE _____ DAY OF _____, 20____, AND THAT THE SURVEY IS BASED UPON MY KNOWLEDGE, INFORMATION AND BELIEF THAT ALL MONUMENTS EXIST AS SHOWN HEREON; IT HAS BEEN PREPARED IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE, THAT MATHEMATICAL CLOSURE ERRORS ARE LESS THAN 1:50,000 (SECOND ORDER); AND THAT SAID PLAT HAS BEEN PREPARED IN FULL COMPLIANCE WITH ALL APPLICABLE LAWS OF THE STATE OF COLORADO DEALING WITH MONUMENTS, SUBDIVISIONS OR SURVEYING OF LAND AND ALL PROVISIONS, WITHIN MY CONTROL, OF THE TOWN SUBDIVISION REGULATIONS. THIS SURVEY IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED, AND THE ACCOMPANYING PLAT ACCURATELY AND PROPERLY SHOWS SAID MINOR DEVELOPMENT PLAT AND THE SURVEY THEREOF.

I ATTEST THE ABOVE ON THIS _____ DAY OF _____, 20____.

WILLIAM F. HESSELBACH, JR., PLS NO. 25369
FOR AND ON BEHALF OF CVL CONSULTANTS OF COLORADO, INC.
10333 E. DRY CREEK ROAD, SUITE 240
ENGLEWOOD, CO 80112
(720)-249-3542

APPROVAL OF TOWN COUNCIL:

THIS PLAT WAS APPROVED BY TOWN COUNCIL AND/OR, WHERE APPLICABLE, THE PLANNING DIRECTOR AND DIRECTOR OF ENGINEERING OF THE TOWN OF PARKER, COLORADO, ON THE _____ DAY OF _____, FOR FILING. THE DEDICATIONS ARE HEREBY ACCEPTED.

ALL EXPENSES INCURRED WITH RESPECT TO IMPROVEMENTS FOR ALL UTILITY SERVICES, PAVING, GRADING, CURBS, GUTTER, SIDEWALKS, ROAD LIGHTING, ROAD SIGNS, FLOOD PROTECTION DEVICES, DRAINAGE STRUCTURES, AND ALL OTHER IMPROVEMENTS THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER AND NOT THE TOWN OF PARKER. THE TOWN SHALL ONLY ACCEPT MAINTENANCE OF THE ROADWAY IMPROVEMENTS AFTER CONSTRUCTION HAS BEEN COMPLETED, AND AFTER THE WARRANTY PERIOD, IN ACCORDANCE WITH TOWN REGULATIONS. THE RESPONSIBILITY FOR MAINTAINING THE PRIVATE ROADS, INCLUDING THE REMOVAL OF SNOW ACCUMULATIONS, SHALL BE WITH THE SUBDIVIDER OR HIS OR HER ASSIGNS IN PERPETUITY.

THIS ACCEPTANCE DOES NOT GUARANTEE THAT THE SOIL CONDITIONS, SUBSURFACE GEOLOGY, GROUNDWATER CONDITIONS OR FLOODING CONDITIONS OF ANY LOT SHOWN HEREON ARE SUCH THAT A BUILDING PERMIT WILL BE ISSUED.

PLANNING DIRECTOR, TOWN OF PARKER

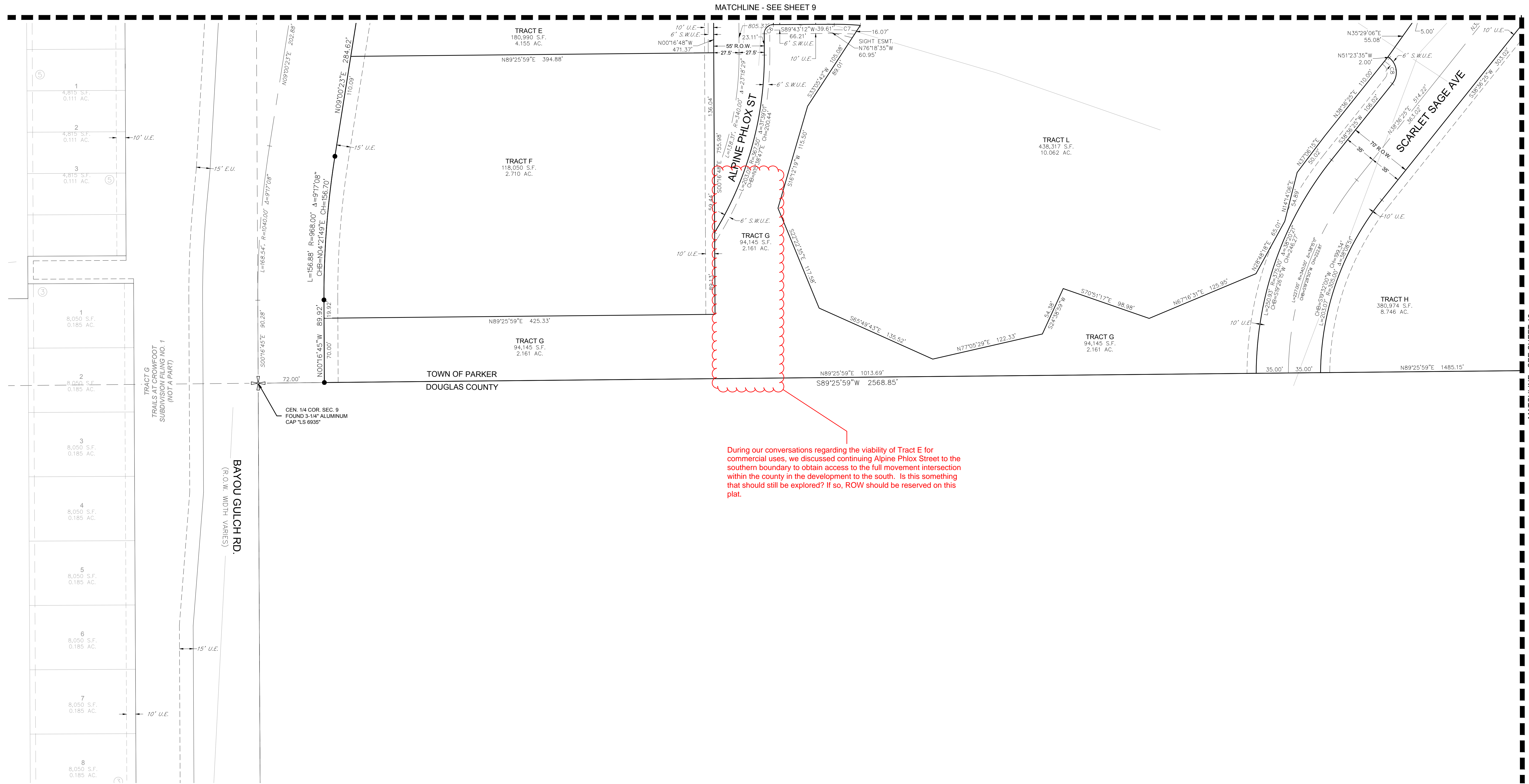
DIRECTOR OF ENGINEERING: TOWN OF PARKER

ENGINEER/SURVEYOR

CVL Consultants of Colorado, Inc.
10333 E. Dry Creek Rd., Suite 240
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Tel: (720) 482-9526 / Fax: (720) 482-9546

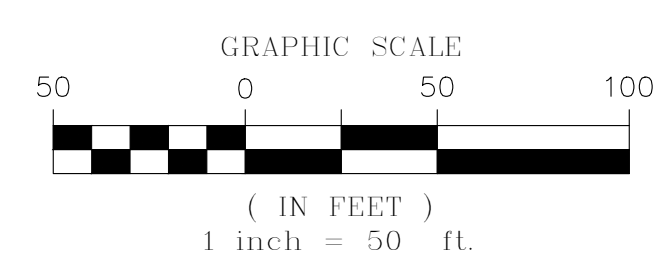
TRAILS AT CROWFOOT SUBDIVISION FILING NO. 9

A PART OF THE SECTION 9, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6th PRINCIPAL MERIDIAN,
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
SHEET 11 OF 12



During our conversations regarding the viability of Tract E for commercial uses, we discussed continuing Alpine Phlox Street to the southern boundary to obtain access to the full movement intersection within the county in the development to the south. Is this something that should still be explored? If so, ROW should be reserved on this plat.

LEGEND	
	FND. SECTION CORNER AS DESCRIBED
	R.O.W. RIGHT-OF-WAY
	S.W.U.E. SIDEWALK & UTILITY EASEMENT
	U.E. UTILITY EASEMENT
	D.U.E. DRAINAGE AND UTILITY EASEMENT
	EX U.E. EXISTING UTILITY EASEMENT
	P.W.S.D. U.E. PARKER WATER & SANITATION DISTRICT UTILITY EASEMENT
	SET NO. 6 REBAR, 30" LONG, w/2" ALUMINUM CAP STAMPED CVL LS NO. 25369 UNLESS OTHERWISE NOTED



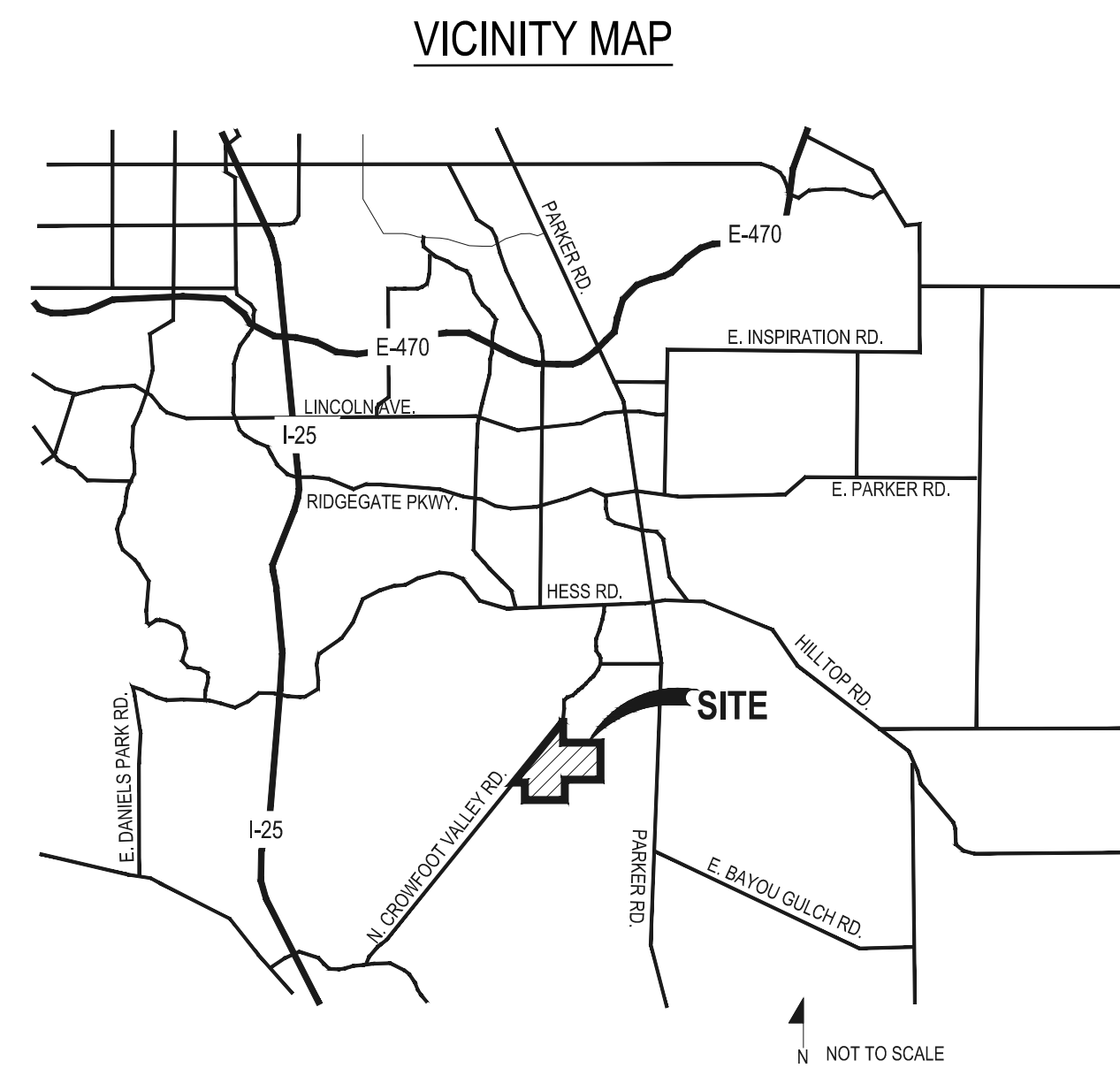
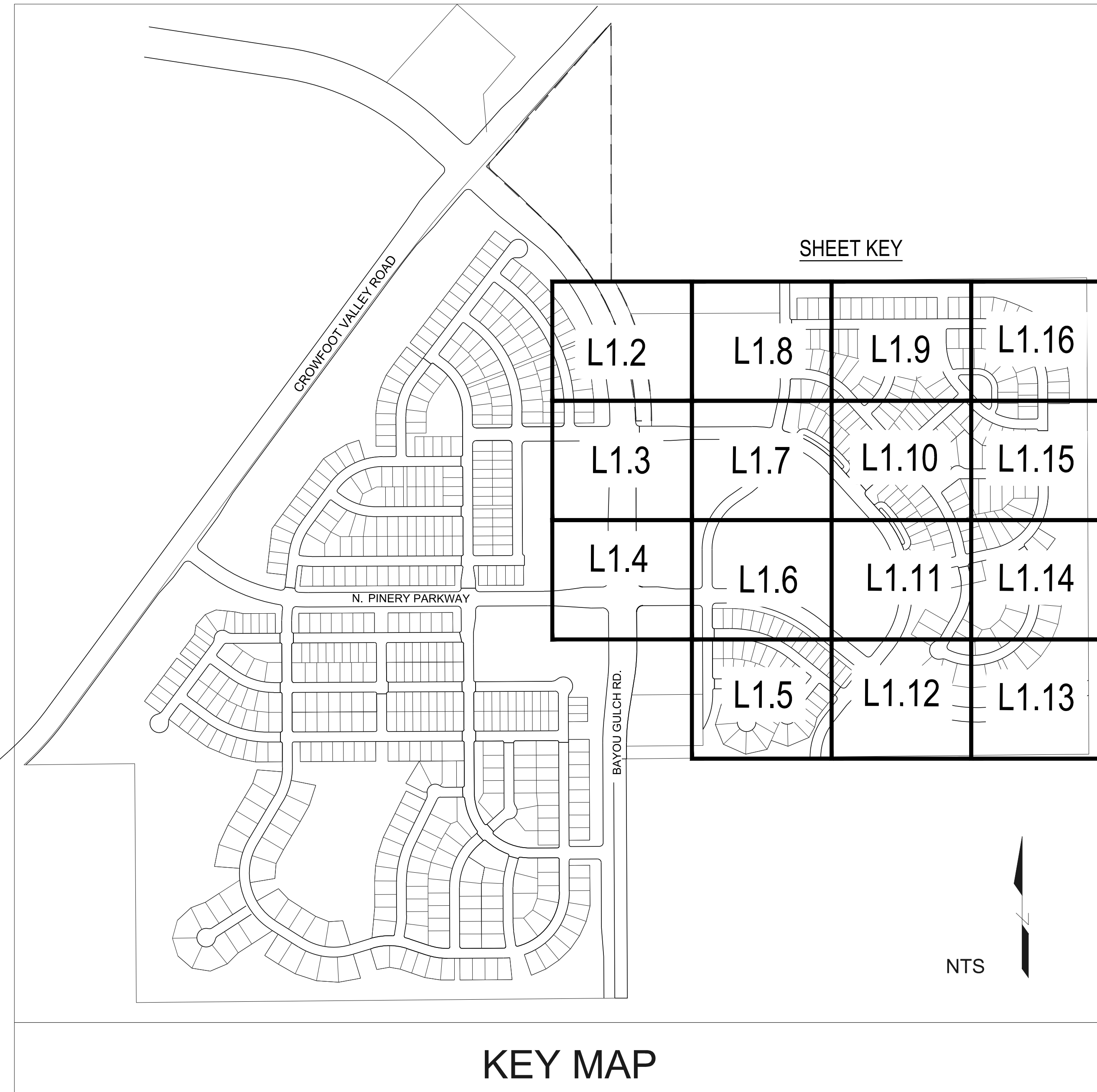
CURVE TABLE					
CURVE NO.	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C6	15.71'	10.00'	90°00'00"	S44°43'12"W	14.14'
C7	28.42'	312.50'	5°12'39"	N87°40'29"W	28.41'
C8	31.42'	20.00'	90°00'00"	N8°23'35"W	28.28'

TRAILS AT CROWFOOT

FILING NO. 9 FINAL LANDSCAPE PLANS

GENERAL NOTES

- DRAWINGS ARE INTENDED TO BE PRINTED ON 24 X 36 PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
- VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.
- THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.
- IF A GEOTECHNICAL SOILS REPORT IS NOT AVAILABLE AT THE TIME OF CONSTRUCTION, PCS GROUP, INC. RECOMMENDS A REPORT BE AUTHORIZED BY THE OWNER AND THAT ALL RECOMMENDATIONS OF THE REPORT ARE FOLLOWED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID. IF THE OWNER ELECTS TO PROVIDE A GEOTECHNICAL REPORT, THE CONTRACTOR SHALL REVIEW THE REPORT AND SUBMIT AN APPROPRIATE CHANGE ORDER TO THE OWNER'S REPRESENTATIVE IF ADDITIONAL COSTS ARE REQUESTED.
- CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
- CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-COMFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES AND REGULATORY AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
- UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
- ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE WORK AREA LIMIT SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMIT, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMIT OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
- SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS. NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
- COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEAN OUT AREAS WITH OWNER'S REPRESENTATIVE.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCKPILES CONCRETE IN THE STORM SEWER IS PROHIBITED.
- THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
- CONTRACTOR SHALL MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR AND OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
- THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.



Sheet Number	Sheet Title
L0.0	LANDSCAPE COVER SHEET
L0.1	LANDSCAPE NOTES & PLANT SCHEDULE
L1.1	OVERALL LANDSCAPE PLAN
L1.2	LANDSCAPE PLAN
L1.3	LANDSCAPE PLAN
L1.4	LANDSCAPE PLAN
L1.5	LANDSCAPE PLAN
L1.6	LANDSCAPE PLAN
L1.7	LANDSCAPE PLAN
L1.8	LANDSCAPE PLAN
L1.9	LANDSCAPE PLAN
L1.10	LANDSCAPE PLAN
L1.11	LANDSCAPE PLAN
L1.12	LANDSCAPE PLAN
L1.13	LANDSCAPE PLAN
L1.14	LANDSCAPE PLAN
L1.15	LANDSCAPE PLAN
L1.16	LANDSCAPE PLAN
L2.0	SITE & LANDSCAPE DETAILS
L3.0	MONUMENT DETAILS
IR1.0	IRRIGATION LEGEND AND NOTES
IR1.1	IRRIGATION WORKSHEETS
IR1.2-IR1.15	IRRIGATION PLANS
IR2.1	IRRIGATION DETAILS
IR2.2	IRRIGATION DETAILS

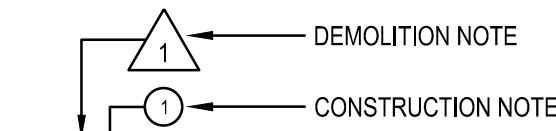
SYMBOLS & ABBREVIATIONS

AC = ACRE
 APPROXIMATE = APPROX.
 B&B = BALL AND BURLAP
 BOC = BACK OF CURB
 B.M. = BENCH MARK
 BLDG. = BUILDING
 B.S. = BOTTOM OF STAIR
 B.W. = BOTTOM OF WALL
 CAL. = CALIPER
 C.B. = CATCH BASIN
 CL. CATCH BASIN CENTER LINE
 C.O. = CLEANOUT
 COL. = COLUMN
 CONC. = CONCRETE
 CONT. = CONTINUOUS
 CONTR. = CONTRACTOR
 C.F. = CUBIC FEET
 C.Y. = CUBIC YARD
 DET. = DETAIL
 DIM. = DIMENSION
 DIA. = DIAMETER
 DWG. = DRAWING
 EA. = EACH
 ELEV. = ELEVATION
 EXIST. = EXISTING
 E.P. = EDGE OF PAVING

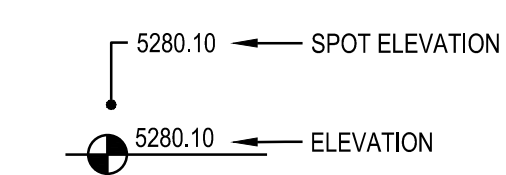
EXP. = EXPANSION
 E.W. = EACH WAY
 F.F. = FINISH FLOOR
 F.G. = FINISH GRADE
 FIN. = FINISH
 F.H. = FIRE HYDRANT
 FL. = FLOW LINE
 FTG. = FOOTING
 FT. = FEET
 GA. = GAUGE
 GALV. = GALVANIZED
 H.W. = HEAD WALL
 H.P. = HIGH POINT
 HT. = HEIGHT
 HORIZ. = HORIZON
 I.D. = INNER DIAMETER
 IN. = INCH
 INV. = INVERT
 L.P. = LOW POINT
 L.F. = LINEAR FEET
 MAX. = MAXIMUM
 M.H. = MAN HOLE
 MIN. = MINIMUM
 MISC. = MISCELLANEOUS
 N.I.C. = NOT IN CONTRACT
 N.T.S. = NOT TO SCALE

O.C. = ON CENTER
 O.D. = OUTSIDE DIAMETER
 P.O.B. = POINT OF BEGINNING
 P.O.C. = POINT OF CONNECTION
 P.V.C. = POLYVINYL CHLORIDE
 PIPE
 PL. = PROPERTY LINE
 R. = RADIUS
 R.C.P. = REINFORCED CONCRETE PIPE
 R.O.W. = RIGHT OF WAY
 REQ'D. = REQUIRED
 REINF. = REINFORCED
 SHT. = SHEET
 SPEC. = SPECIFICATIONS
 SO. = SQUARE
 S.F. = SQUARE FEET
 S.Y. = SQUARE YARD
 S.S. = STAINLESS STEEL
 T.C. = TOP OF CURB
 T.S. = TOP OF STAIR
 T.W. = TOP OF WALL
 TYP. = TYPICAL
 VERT. = VERTICAL
 W/O = WITH OUT
 W.W.M. = WOVEN WIRE MESH

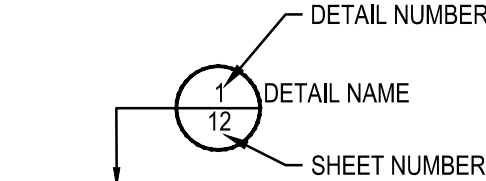
NOTE IDENTIFICATION



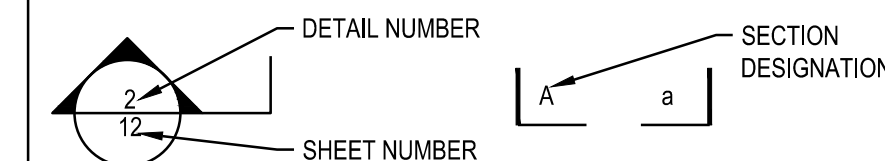
ELEVATION IDENTIFICATION



DETAIL IDENTIFICATION



DETAIL SECTION IDENTIFICATION



OWNER / DEVELOPER PLANNER / LANDSCAPE ARCHITECT CIVIL ENGINEER

ESX MANAGEMENT
 7353 SOUTH ALTON WAY
 CENTENNIAL, CO 80112

people creating spaces
 pcs group inc. www.pcsgroupco.com
 #3, B-180 Independence plaza
 1007 16th street, denver co 80265
 1 303.531.4905, f 303.531.4908

CVL
 CONSULTANTS
 10333 E. DRY CREEK RD. #240
 ENGLEWOOD, CO 80112
 720-482-9526

Prepared For

ESX MANAGEMENT
 7353 SOUTH ALTON WAY
 CENTENNIAL, CO 80112

Land Planning



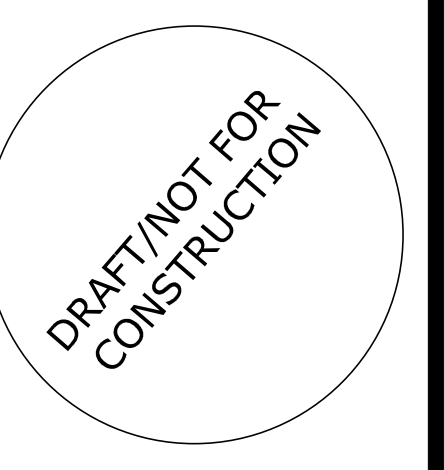
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Engineering

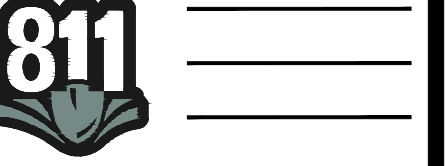


10333 E. DRY CREEK RD. #240
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 720-482-9526

TRAILS AT CROWFOOT
 FILING NO. 9
 PARKER, COLORADO
 LANDSCAPE PLANS



Drawn by: JWI, BEM, GG
 Checked by: PCS STAFF
 Submittal Date: 12.08.2017
 Date: 01.26.2017
 Call before you dig: 02.20.2018



Sheet Name
 LANDSCAPE COVER SHEET

Sheet Number

L0.0

LANDSCAPE NOTES

SITE PREP

- LANDSCAPE CONTRACTOR TO REFERENCE CIVIL ENGINEERING DRAWINGS REGARDING DRAINAGE AND EROSION CONTROL NOTES, DETAILS AND PROCEDURES.
- ALL WORK SHALL CONFORM TO LOCAL MUNICIPAL CODES. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE LANDSCAPE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR USE OF MAINTENANCE EQUIPMENT ENTRY.
- SEE CIVIL ENGINEER'S DRAWINGS FOR GRADING AND DRAINAGE, EROSION CONTROL, PAVING AND SLEEVES, UTILITIES, AND OTHER ENGINEERED DETAILS.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
- A PRE-CONSTRUCTION MEETING MAY BE REQUIRED BETWEEN THE LANDSCAPE CONTRACTOR, PROPERTY OWNER AND LANDSCAPE ARCHITECT BEFORE START OF CONSTRUCTION.
- CONTRACTOR SHALL MINIMIZE ALL DISTURBANCE TO NON-IMPACTED AREAS.
- SITE MUST BE CLEAN AND FREE OF ALL CONSTRUCTION DEBRIS BEFORE FINAL ACCEPTANCE.
- CONTRACTOR IS RESPONSIBLE FOR SETUP OF BARRICADES, WARNING SIGNAGE, OR OTHER PROTECTIVE DEVICES IF ANY EXCAVATIONS ARE LEFT EXPOSED AFTER ON-SITE WORK HOURS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACQUIRE ALL NECESSARY PERMITS FOR CONSTRUCTION WORK WITHIN THE LOCAL JURISDICTION. A SEPARATE LANDSCAPE CONSTRUCTION PERMIT IS REQUIRED AND USE AND SALES TAX WILL BE COLLECTED. WATER CONNECTION FEES ARE TO BE PAID PRIOR TO THE METER SETTING. A BACK FLOW PERMIT AND INSPECTION IS REQUIRED PRIOR TO THE METER BEING INSTALLED IN THE VAULT.
- TOPSOIL IS TO BE STRIPPED & STOCKPILED ON-SITE FOR LATER USE.
- CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY EXISTING OR NEW SITE IMPROVEMENTS DISTURBED OR DAMAGED DUE TO THEIR OPERATIONS. DAMAGED MATERIALS SHALL BE REPLACED/REPAIRED TO ITS PRIOR CONDITION.
- LOCATE ALL UTILITIES PRIOR TO ANY DIGGING OR LANDSCAPE PLANTING. CONTRACTOR SHALL HAND DIG ALL PLANTING PITS ADJACENT TO UTILITIES. IF UTILITIES ARE DAMAGED, REPAIRS SHALL BE MADE AT THE CONTRACTOR'S EXPENSE.
- PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED & AMENDED.
- ALL LANDSCAPE AREAS SHALL RECEIVE SOIL AMENDMENT ROTOTILLED AT A MIN. 8" DEPTH AT A RATE OF 4 CUBIC YARDS PER 1,000 SF.
- CONTRACTOR SHALL SUBMIT SOIL AMENDMENT SPECIFICATIONS FOR APPROVAL PRIOR TO INSTALLATION.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECH REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%, MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY LANDSCAPE ARCHITECT.

TURF, PLANT & GROUND COVER MATERIAL

- ANY SUBSTITUTION OR ALTERATION OF PLANT OR LANDSCAPE MATERIALS IN LOCATION, SPECIES, TYPE, ETC. SHALL BE ALLOWED ONLY WITH APPROVAL OF THE LANDSCAPE ARCHITECT. OVERALL PLANT QUANTITY AND QUALITY TO BE CONSISTENT WITH APPROVED PLANS.
- ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH AAN SPECIFICATIONS FOR NUMBER ONE GRADE.
- PROPOSED TREE LOCATIONS SHALL HAVE A MINIMUM SEPARATION OF 4' BETWEEN WATER OR SEWER SERVICE LINES AND A MINIMUM SEPARATION OF 10' BETWEEN WATER OR SEWER MAIN LINES. PROPOSED TREE LOCATIONS SHALL HAVE A MINIMUM SEPARATION OF 4' BETWEEN GAS LINES.
- ALL PROPOSED IRRIGATED TURF AREAS SHALL BE SODDED WITH THE BLEND SPECIFIED IN THESE PLANS. SOD SHALL BE LAID ON A FIRM BED WITH TIGHT JOINTS AND WITHOUT VOIDS.
- TREE WRAP TO BE APPLIED IN LATE FALL AFTER INSTALLATION, AND REMOVED THE FOLLOWING SPRING. REMOVE ANY STRING OR WIRE AROUND TREE TRUNKS AT TIME OF INSTALLATION.
- CONTRACTOR SHALL REPORT ANY DISCREPANCY FOUND IN THE FIELD VERSUS THE LANDSCAPE DRAWINGS IMMEDIATELY TO THE LANDSCAPE ARCHITECT. OWNER'S REPRESENTATIVE, AND/OR THE CITY/COUNTY PRIOR TO ANY CONSTRUCTION OR DEMOLITION ACTIVITY. FAILURE TO MAKE SUCH CONFLICTS KNOWN WILL RESULT IN THE CONTRACTOR'S LIABILITY TO RELOCATE AND REPAIR.
- MAINTAIN A MINIMUM THREE FOOT CLEARANCE AROUND FIRE HYDRANTS, FIRE DEPARTMENT CONNECTIONS OR OTHER FIRE SERVICE EQUIPMENT. NO TREES OR SHRUBS WILL BE ALLOWED WITHIN THIS AREA.
- TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, AREAS OR UTILITY EASEMENTS. CONTACT LANDSCAPE ARCHITECT FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.

FINE GRADING NOTES

- SLOPES NOT TO EXCEED 4:1 MAX. -1% MIN.
- SATISFACTORY SOILS: ASTM D 2487 SOIL CLASSIFICATION GROUPS GW, GP, GM, SW, SP, AND SM, OR A COMBINATION OF THESE GROUP SYMBOLS; FREE OF ROCK OR GRAVEL LARGER THAN 3 INCHES (75 MM) IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATTER.
- STRIP TOPSOIL TO WHATEVER DEPTHS ARE ENCOUNTERED IN A MANNER TO PREVENT INTERMINGLING WITH UNDERLYING SUBSOIL OR OTHER WASTE MATERIALS.
- STRIP EXISTING SURFACES OF UNSUITABLE TOPSOIL, INCLUDING TRASH, DEBRIS, WEEDS, ROOTS, AND OTHER WASTE MATERIALS.
- STOCKPILE TOPSOIL MATERIALS ON-SITE WITHOUT INTERMINGLING WITH SUBSOIL.
- REMOVE EXISTING VEGETATION, DEBRIS, UNSATISFACTORY SOIL MATERIALS, OBSTRUCTIONS, AND DELETERIOUS MATERIALS FROM GROUND SURFACE BEFORE PLACING FILLS.
- FLOW, SCARIFY, BENCH, OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL SO FILL MATERIAL WILL BOND WITH EXISTING MATERIAL.
- PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED CROSS-SECTIONS, ELEVATIONS AND GRADES WITH SATISFACTORY SOIL MATERIAL.
- UNIFORMLY GRADE AREAS TO A SMOOTH SURFACE, FREE FROM IRREGULAR SURFACE CHANGES. COMPLY WITH COMPACTION REQUIREMENTS AND GRADE TO CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED.

SEEDING ESTABLISHMENT NOTES:

- SEED SHALL BE LABELED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF AGRICULTURE, RULES AND REGULATIONS AND FEDERAL SEED ACT. SEED SHALL BE EQUAL IN QUALITY TO THE STANDARDS FOR "CERTIFIED SEED" AND SHALL BE FURNISHED IN SEALED, UNOPENED, STANDARD CONTAINERS. SEED SHALL BE FRESH, CLEAN, PURE LIVE SEED WITH THE VARIETIES MIXED IN PROPORTIONS BY WEIGHT SHOWN AND MEETING THE MINIMUM PERCENTAGES OF PURITY AND GERMINATION SPECIFIED.
- SEED SHALL BE APPLIED AT A RATE SHOWN BY MIX. SEED SHALL PASS GOVERNMENT TEST OF GERMINATION OF EIGHTY PERCENT (80%) AND FOR PURITY OF NINETY PERCENT (90%). THE PURE LIVE SEED SHALL NOT BE LESS THAN SIXTY SEVEN ON ONE-HALF PERCENT (67.5%) FOR ANY ONE VARIETY, WITH THE AVERAGE OF THE MIXTURE, NO LESS THAN SEVENTY TWO PERCENT (72%). ALL SEED SHALL BE FREE OF POA ANNUA AND ALL NOXIOUS OBJECTIONABLE WEEDS WITH A MAXIMUM PROPORTION OF ONE-TENTH PERCENT (0.1%) AND A MAXIMUM WEED OF ONE TENTH PERCENT (0.1%). IF SEED AVAILABLE ON THE MARKET DOES NOT MEET THE MINIMUM PURITY AND GERMINATION PERCENTAGES SPECIFIED, THE CONTRACTOR MUST COMPENSATE BY FURNISHING SUFFICIENT ADDITIONAL SEED TO EQUAL THE SPECIFIED PRODUCT.
- SPREAD ORGANIC SOIL AMENDMENT MATERIALS, AT A RATE OF 3 C.Y. PER 1000 SQUARE FEET, EVENLY OVER ENTIRE DISTURBED AREA AND THOROUGHLY INCORPORATE, BY MIXING, ROTOTILLING OR FINELY DISKING (MAX. 1" SIZE), TO A DEPTH OF SIX INCHES. ALL STONES, STICKS AND DEBRIS BROUGHT TO THE SURFACE SHALL BE REMOVED FROM THE SITE PROPERLY DISPOSED OF BY THE CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNER. ALL SEED AREAS WILL THEN BE RAKED AND ROLLED TO THE DESIRED FINISHED GRADES WITH GENTLY SLOPING SURFACES TO ADEQUATELY DRAIN ALL SURFACE WATER RUNOFF. THE FINISHED SURFACE SHALL BE EVEN AND UNIFORM AND NO DIRT CLODS LARGER THAN ONE INCH (1") IN DIAMETER SHALL APPEAR ON THE SURFACE. THE SOIL SURFACE SHALL BE SMOOTH, LOOSE AND OF FINE TEXTURE, AND BE FLUSH WITH ALL PAVING EDGES.
- CONTRACTOR SHALL USE APPROPRIATE MECHANICAL POWER (BRILLION SEEDER OR EQUAL) TO DRILL THE SEED INTO THE SEEDBED WHEREVER POSSIBLE. SEED SHALL BE SOWN TO A DEPTH OF ONE-HALF INCH (1/2"). DRILLING SHALL BE DONE IN 2 SEPARATE APPLICATIONS CROSSING THE AREA AT RIGHT ANGLES TO ONE ANOTHER TO GUARANTEE PROPER COVERAGE. ON SLOPING LAND, SEEDING OPERATIONS SHALL FOLLOW THE GENERAL CONTOUR. AREAS TOO SMALL TO DRILL SEED MAY BE BROADCAST BY HAND AND APPLICATION RATES SHALL BE DOUBLED. SEEDING OF ANY KIND WILL NOT BE PERMITTED WHEN WIND VELOCITY IS SUCH AS TO PREVENT UNIFORM SEED DISTRIBUTION. NO APPLICATION SHALL TAKE PLACE WITH THE PRESENCE OF FREE SURFACE WATER OR WHEN GROUND IS FROZEN OR CANNOT BE TILLED. ADDITIONAL TOPICAL OVER SEEDING MAY BE APPLIED TO PREVIOUSLY SEEDED AREAS IN ORDER TO ACHIEVE ADEQUATE GROUND COVER AND EROSION RESISTANCE.
- SEEDED AREAS MAY REQUIRE TEMPORARY ABOVE GROUND SPRAY IRRIGATION UNTIL ESTABLISHMENT. IRRIGATION SHALL BE REMOVED UPON ACCEPTANCE BY THE CITY. WHERE STEEP SLOPES OCCUR, LANDSCAPE CONTRACTOR MAY REQUIRE VARIOUS METHODS OF TEMPORARY IRRIGATION TO ACHIEVE SEED ESTABLISHMENT. SUCH METHODS SHALL BE IN COMPLIANCE WITH THE PROJECT'S EROSION CONTROL METHODS, BMP'S AND ALL CITY CODES AND REQUIREMENTS.

NOTES:

- DISTURBED AREAS TO BE RE-VEGETATED PER THE GRADING AND EROSION CONTROL PLANS.
- PER TREE CONSERVATION PLAN, ALL MITIGATED SHRUBS FROM REMOVAL OF EXISTING SHRUB MASSES SHALL BE PLANTED WITHIN THE PROPOSED LANDSCAPE.
- LANDSCAPE PLACEMENT IN THE TREE LAWN ADJACENT TO LOTS IS NOT FINAL AND MAY CHANGE BASED UPON DRIVEWAY AND UTILITY LOCATIONS.
- NO FENCES OR STRUCTURES WILL BE ALLOWED WITHIN SIGHT TRIANGLES.
- SHRUBS AND PLANTINGS WILL BE NO TALLER THAN 3 FEET, AND TREE CANOPIES WILL BE NO LOWER THAN 8 FEET WITHIN THE SIGHT TRIANGLE.
- TEMPORARY IRRIGATION FOR ESTABLISHMENT OF NATIVE VEGETATION MUST BE INSTALLED ABOVE GROUND, AND REMOVED IMMEDIATELY AFTER ESTABLISHMENT IS COMPLETE, OR IN NO CASE, ANY LONGER THAN ONE GROWING SEASON.

- THE CENTER OF EVERGREEN TRESS SHALL NOT BE PLACED CLOSER THAN 8' AND THE CENTER OF ORNAMENTAL TRESS CLOSER THAN 6' FROM A SIDEWALK, STREET OR DRIVE ANE. EVERGREEN TREES SHALL NOT BE LOCATED ANY CLOSER THAN 15' FROM IRRIGATION ROTOR HEADS. NOTIFY LANDSCAPE ARCHITECT IF TREE LOCATIONS CONFLICT WITH THESE STANDARDS FOR FURTHER DIRECTION.
- ALL EVERGREEN TREES SHALL BE FULLY BRANCHED TO THE GROUND AND SHALL NOT EXHIBIT SIGNS OF ACCELERATED GROWTH AS DETERMINED BY LANDSCAPE ARCHITECT.
- NO PLANT MATERIAL SHALL BE PLANTED WITHIN 10' OF ANY EXISTING OR PROPOSED ELECTRICAL SWITCHGEARS, TRANSFORMERS OR OTHER ELECTRICAL UTILITY EQUIPMENT. PLANT MATERIAL MAY BE FIELD ADJUSTED TO PROVIDE THE 10' CLEAR SPACE AND ACCESSIBILITY REQUIRED BY THE UTILITY'S OWNER/OPERATOR.
- ANY TREES INSTALLED ABOVE RETAINING WALLS UTILIZING GEO-GRID MUST BE DUG TO PROTECT GEO-GRID. IF GEO-GRID MUST BE CUT TO INSTALL TREES, APPROVAL MUST BE GIVEN BY LANDSCAPE ARCHITECT PRIOR TO DOING WORK.
- PROPOSED PLANT SPECIES MAY BE SUBJECT TO CHANGE PENDING COMMERCIAL AVAILABILITY AT TIME OF CONSTRUCTION. ALL SPECIES SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. OVERALL PLANT QUANTITIES & SIZES SHALL REMAIN AS INDICATED ON THE PLANT SCHEDULE. CONTRACTOR SHALL VERIFY THAT ANY SUBSTITUTED PLANT SPECIES ARE ACCEPTABLE TO THE LOCAL MUNICIPALITY OR GOVERNING JURISDICTIONS.
- IF SPECIFIED PLANTS ARE NOT COMMERCIALY AVAILABLE AT TIME OF CONSTRUCTION/INSTALLATION, CONTRACTOR SHALL COORDINATE WITH LANDSCAPE ARCHITECT FOR A SUBSTITUTION.

PLANTING BEDS

- ALL PROPOSED PLANTING BEDS SHALL CONTAIN THE SPECIFIED MULCH. ROCK MULCH BEDS SHALL INCLUDE MIRAFI WEED BARRIER FABRIC OR EQUAL SECURED WITH PINS. OVERLAP FABRIC MIN. 24" AT EDGES. NO FABRIC IS REQUIRED IN WOOD MULCH AREAS.
- ALL MULCH TO BE 4" DEPTH
- WOOD MULCH SHALL BE 'GORILLA HAIR' OR EQUAL SHREDDED CEDAR MULCH, 4" DEPTH.
- NO EDGING IS REQUIRED AGAINST HARDSCAPE/WALK AREAS OR AT TREE RING EDGES. EDGING SHALL BE INSTALLED TO AVOID IMPEDING DRAINAGE. RE: DETAILS FOR INSTALLATION IN LOW DRAINAGE AREAS.
- FOR TREES NOT IN PLANTING BEDS, ALLOW A 6"-10" DIAMETER BED (TREE RING) WITHOUT SOD AROUND ROOT COLLAR. APPLY SPECIFIED WOOD MULCH 6" DEPTH AROUND COLLAR FOLLOWING SOD INSTALLATION. NO FABRIC OR STEEL EDGER IS NECESSARY WITHIN TREE RINGS IN NATIVE AREAS. TREES IN PLANTING BEDS SHALL NOT HAVE WEED BARRIER INSTALLED WITHIN 6' OF THEIR TRUNKS.

HARDSCAPE

- REFER TO SITE PLANS & DETAILS FOR SPECIALTY CONCRETE LOCATIONS WHERE APPLICABLE.

IRRIGATION

- PERMANENT UNDERGROUND IRRIGATION IS REQUIRED IN ALL LANDSCAPE AREAS. 2) TURF AREAS ARE ZONED SEPARATELY FROM BED AREAS, 3) CONTROLLER TO INCLUDE RAIN SHUT-OFF, 4) HYDROZONES WILL BE ON SEPARATE IRRIGATION ZONES ACCORDING TO WATER-DEMAND.
- REFER TO IRRIGATION PLANS FOR LIMIT AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM STANDARDS FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATIONS DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECH REPORT.
- TURF & IRRIGATED NATIVE AREAS (WHERE APPLICABLE) SHALL BE IRRIGATED BY AUTOMATIC POP-UP SPRAY SYSTEM. SHRUBS & PLANTING BEDS SHALL BE IRRIGATED WITH DRIP/BUBBLER SYSTEM.
- ALL TREES & SHRUBS OUTSIDE OF BEDS WITHIN NATIVE AREAS SHALL BE DRIP IRRIGATED. ALL IRRIGATION SHALL BE AN AUTOMATIC UNDERGROUND SYSTEM
- REFER TO IRRIGATION PLANS FOR DETAILED INFORMATION.

MAINTENANCE

- CONTRACTOR IS TO MAINTAIN ALL PLANTINGS AND ASSOCIATED IRRIGATION SYSTEM INSTALLED UNDER THIS CONTRACT UNTIL FINAL ACCEPTANCE BY THE TOWN AND TURNOVER TO OWNER. THIS MAINTENANCE SHALL INCLUDE PROPER WATERING OF ALL PLANTS, AND MOVING OF TURF/SEED AREAS IF NECESSARY.
- SITE MUST BE CLEAN AND FREE OF ALL CONSTRUCTION DEBRIS BEFORE FINAL ACCEPTANCE.
- ALL PLANT MATERIAL WILL BE COVERED BY A WARRANTY PERIOD. THE CONTRACTOR SHALL REPLACE DEAD, UNHEALTHY, OR OTHERWISE UNSATISFACTORY MATERIAL THROUGHOUT THIS PERIOD. THE WARRANTY SHALL BEGIN UPON FINAL ACCEPTANCE OF THE JOB.
- LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A LIVING CONDITION BY THE OWNER OR ASSIGNS OR OWNERS ASSOCIATION. TREES AND SHRUBS MUST HAVE A 100% ONGOING SURVIVAL RATE. ANY DEAD OR DAMAGED PLANT MATERIAL (AS DETERMINED BY THE LOCAL MUNICIPALITY) SHALL BE REPLACED. NON-LIVING GROUND COVERS, SUCH AS ROCK OR MULCH, MUST BE 100% INTACT AFTER ONE YEAR AND 100% INTACT THEREAFTER.
- LANDSCAPE AREAS WITHIN THE PROPERTY AND WITHIN THE ADJACENT RIGHT OF WAY SHALL BE MAINTAINED BY THE PROPERTY OWNER.

- PROVIDE A SMOOTH TRANSITION BETWEEN ADJACENT EXISTING GRADES AND NEW GRADES.
- CUT OUT SOFT SPOTS, FILL LOW SPOTS AND TRIM HIGH SPOTS TO COMPLY WITH REQUIRED SURFACE TOLERANCES.
- SITE GRADING: SLOPE GRADES TO DIRECT WATER AWAY FROM ADJACENT STRUCTURES AND TO PREVENT PONDING. FINISH SUBGRADES TO REQUIRED ELEVATIONS WITHIN THE FOLLOWING TOLERANCES:
 - A. AT LOCATIONS DESIGNATED FOR LAWN OR UNPAVED AREAS: PLUS OR MINUS 1/2 INCH (25 MM).
 - B. AT DESIGNATED PAVEMENT LOCATIONS: PLUS OR MINUS 1/2 INCH (13 MM).
- GRADING ON SLOPES: INSTALL EROSION STABILIZATION FABRIC PER MANUFACTURERS RECOMMENDATIONS ON SLOPED SURFACES EQUAL TO OR GREATER THAN A RATIO OF 1) VERTICAL TO 1) HORIZONTAL FEET.
- CONTRACTOR WILL ENGAGE A QUALIFIED INDEPENDENT GEOTECHNICAL ENGINEERING TESTING AGENCY TO PERFORM FIELD QUALITY-CONTROL TESTING.
- PROTECT NEWLY GRADED AREAS FROM TRAFFIC, FREEZING, AND EROSION. KEEP FREE OF TRASH AND DEBRIS.
- REPAIR AND REESTABLISH GRADES TO SPECIFIED TOLERANCES WHERE DEVELOPED OR PARTIALLY DEVELOPED SURFACES BECOME ERODED, RUTTED, SETTLED, OR WHERE THEY LOSE COMPACTION DUE TO SUBSEQUENT CONSTRUCTION OPERATIONS OR WEATHER CONDITIONS.
- WHERE SETTLING OCCURS BEFORE PROJECT CORRECTION PERIOD ELAPSES, REMOVE FINISHED SURFACE GRADING, BACKFILL WITH ADDITIONAL SOIL MATERIAL, COMPACT, AND RECONSTRUCT SURFACE GRADING.
- TRANSPORT SURPLUS SATISFACTORY SOIL TO DESIGNATED STORAGE AREAS ON OWNER'S PROPERTY. STOCKPILE OR SPREAD SOIL AS DIRECTED BY OWNER.

- MULCH WILL BE HYDRO MULCH. HYDRO MULCH SHALL BE CONWED 200 AND TACKIFIER OR APPROVED SUBSTITUTE MEETING THE FOLLOWING REQUIREMENTS:
 - I. VIRGIN WOOD CELLULOSE FIBER: MAY NOT CONTAIN ANY SUBSTANCE OR FIBER THAT MAY INHIBIT GERMINATION OF GROWTH OF GRASS SEEDS AND PLANTS.
 - II. DYE TO APPROPRIATE COLOR TO ALLOW PROPER METERING OF APPLICATION.
 - III. FIBERS MUST HAVE ABILITY TO BECOME EVENLY DISPERSED AND SUSPENDED WHEN AGITATED IN WATER.
 - IV. WHEN SPRAYED UNIFORMLY ON SURFACE OF SOIL, FIBERS SHALL FORM BLOTTER - LIKE GROUND COVER THAT READILY ABSORBS WATER, AND ALLOWS INFILTRATION TO UNDERLYING SOIL.
 - V. WEIGHT SPECIFICATIONS SHALL REFER ONLY TO AIR DRY WEIGHT OF FIBERS WITH A STANDARD MOISTURE CONTENT OF TEN PERCENT (10%).
 - VI. MULCH MATERIAL SHALL BE SUPPLIED IN CONTAINERS NOT WEIGHING OVER ONE HUNDRED (100) LBS AND SHOWING AIR DRY WEIGHT OF FIBERS.
 - VII. ORGANIC TACKIFIER MAY BE SUPPLIED WITH HYDROMULCH FIBERS OR BE ADDED AT A LATER TIME.

WEED MANAGEMENT

- BEFORE SEEDING, REMOVE EXISTING WEEDS BY PULLING, TILLING UNDER AND/OR, APPLYING A GLYPHOSATE HERBICIDE SUCH AS ROUNDUP®. OR BY A COMBINATION OF THESE METHODS. FOR ADDITIONAL WEED CONTROL AFTER SITE PREPARATION, A SOIL FUNGICIDE MAY BE USED, OR THE AREA MAY BE IRRIGATED TO ENCOURAGE WEED GROWTH AND THEN SPRAYED WITH A GENERAL HERBICIDE.
- IN VERY WEEDY AREAS, THE FOLLOWING METHOD IS SUGGESTED: (1) TILL SOIL OR SPRAY VEGETATION WITH ROUNDUP®, WHEN USING AN HERBICIDE, ALLOW VEGETATION TO DIE, THEN RAKE OUT THE DEAD DEBRIS. IF PERENNIAL WEEDS SUCH AS BINDWEED ARE PRESENT, USING AN HERBICIDE IS MORE EFFECTIVE THAN TILLING. (2) IRRIGATE TO ENCOURAGE GERMINATION OF WEED SEEDS NEAR THE SURFACE; MOST SEEDS WILL GERMINATE WITHIN TWO WEEKS IF CONSISTENT MOISTURE IS AVAILABLE. DO NOT TILL THE SOIL AGAIN BECAUSE THIS WILL BRING EVEN MORE WEED SEEDS UP TO THE SURFACE. (3) SPRAY ANY NEW GROWTH WITH ROUNDUP®. (4) AFTER RAKING OUT DEAD VEGETATION, ALLOW SOIL TO RECOVER FOR 4 WEEKS BEFORE PLANTING SEE. A RECOVERY PERIOD OF THIS DURATION IS ADVISABLE BECAUSE EXTENSIVE USE OF GLYPHOSATE HERBICIDES MAY CAUSE A DELAY IN GERMINATION AND IN THE VIGOROUS GROWTH OF SEEDLINGS. ONCE THE SEEDS HAVE GERMINATED, FURTHER WEED CONTROL IS USUALLY NECESSARY. IF PRACTICAL, PULL ALL WEEDS AS SOON AS THEY CAN BE IDENTIFIED. OTHER SUCCESSFUL TECHNIQUES ARE SPOT-SPRAYING WITH A GENERAL HERBICIDE OR SELECTIVELY CUTTING WEEDS WITH A STRING TRIMMER. BE SURE TO REMOVE WEEDS BEFORE THEY RESEED.
- ONCE ESTABLISHED, NATIVE AREAS MAY BE MOWED TWICE A SEASON OR AS REQUIRED TO MINIMIZE WEED GROWTH. FURTHER MOWING ADJACENT TO ROADWAYS AND PARK AREAS MAY BE REQUIRED AS SEASONAL DROUGHT AND FIRE CONDITIONS MAY DICTATE.

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL / SIZE
AE	20	ACER PLATANOIDES 'EMERALD QUEEN'	EMERALD QUEEN MAPLE	B & B	2.5" CAL
AS	11	ACER PLATANOIDES 'SCHWEDLERI'	SCHWEDLER MAPLE	B & B	2.5" CAL
BR	4	BETULA NIGRA	RIVER BIRCH	B & B	2.5" CAL
HAC	5	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	2.5" CAL
GS	8	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' TM	SHADEMASTER LOCUST	B & B	2.5" CAL
GI	38	GLEDITSIA TRIACANTHOS 'IMPERIAL'	IMPERIAL HONEYLOCUST	B & B	2.5" CAL
GK	35	GYMNOCLADUS DIOICA	KENTUCKY COFFEE TREE	B & B	2.5" CAL
OV	11	OSTRYA VIRGINIANA	AMERICAN HORNBREAM	B & B	2.5" CAL
PO	30	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	B & B	2.5" CAL
QB	1	QUERCUS BICOLOR	SWAMP WHITE OAK	B & B	2.5" CAL
QC	19	QUERCUS MACDANIELLI 'CLEMONS' TM	HERITAGE OAK	B & B	2.5" CAL
QM	7	QUERCUS MACROCARPA	BURR OAK	B & B	2.5" CAL
QM2	11	QUERCUS MUEHLENBERGII	CHINKAPIN OAK	B & B	2.5" CAL
QR	25	QUERCUS RUBRA	RED OAK	B & B	2.5" CAL
RAL	17	TILIA AMERICANA 'REDMOND'	REDMOND AMERICAN LINDEN	B & B	2.5" CAL
TG2	25	TILIA CORDATA 'GREENLEVEN'	GREENLEVEN LITTLELEAF LINDEN	B & B	2.5" CAL
TG	39	TILIA CORDATA 'GLENSPIRE'	GLENSPIRE LITTLELEAF LINDEN	B & B	2.5" CAL
UP	19	ULMUS AMERICANA 'PRINCETON'	AMERICAN ELM	B & B	2.5" CAL

EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL / SIZE
PP	6	PINUS EDULIS	PINON PINE	B & B	6'-8" HT
YAN	19	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMID PINE	B & B	6'-8" HT
PNP	26	PINUS FLEXILIS	LIMBER PINE	B & B	6'-8" HT
PS	12	PINUS NIGRA	AUSTRIAN BLACK PINE	B & B	6'-8" HT
PPI	24	PINUS PONDEROSA	PONDEROSA PINE	B & B	6'-8" HT

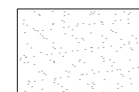

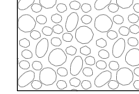


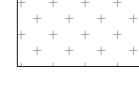

ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL / SIZE
AG2	28	ACER GLABRUM	ROCKY MOUNTAIN MAPLE	B & B	2" CAL
AH	9	ACER TATARICUM 'HOT WINGS'	HOT WINGS TATARIAN MAPLE	B & B	2" CAL

ANNUALS/PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT X SPD
BES	57	RUBRBECKIA FULGIDA SULLIVANTII 'GOLDSTURM'	BLACK-EYED SUSAN	1 GAL	1.5' X 1.5'
SP	41	SCABIOSA CAUCASICA 'PERFECTA BLUE'	PINCUSHION FLOWER	1 GAL	2.5' X 1.5'

DECIDUOUS SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT X SPD
SSB	49	AMELANCHIER ALNIFOLIA 'REGENT'	SASKATOON SERVICEBERRY	5 GAL	12' X 8'
AG	51	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	'AUTUMN BRILLIANCE' SERVICEBERRY	5 GAL	15' X 10'
CD	22	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT'	BLUE MIST SHRUB	5 GAL	3' X 4'
CB	10	CORNUS SERICEA 'BAILEY'	RED TWIG DOGWOOD	5 GAL	8' X 8'
CH	42	COTONEASTER HORIZONTALIS	ROCK COTONEASTER	5 GAL	3' X 5'
FN	6	FORESTIERA NEOMEXICANA	NEW MEXICO PRIVET	5 GAL	6' X 6'
PS2	16	PENSTEMON STRICTUS	ROCKY MOUNTAIN PENSTEMON	5 GAL	2' X 3'
PA	26	PEROVSKIA ATRIPLOCLIFIA	RUSSIAN SAGE	5 GAL	5' X 4'
SCH	56	PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES SAND CHERRY	5 GAL	18' X 6'
RHU	6	RHUS AROMATICA 'GRO-Low'	GRO-LOW FRAGRANT SUMAC	5 GAL	3' X 6'
RW	70	ROSA MEIDLAND SERIES 'WHITE'	WHITE MEIDLAND ROSE	5 GAL	2' X 4'
SP2	10	SALIX PURPUREA 'NANA'	DWARF ARCTIC WILLOW	5 GAL	8' X 8'

EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT X SPD
AC	167	ARCTOSTAPHYLOS X COLORADOENSIS 'CHIEFTAIN'	MANZANITA	5 GAL	2' X 5'
JB	33	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	5 GAL	8' X 10'
BLJ	154	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	5 GAL	2' X 6'
PS	95	PINUS MUGO 'SLOWMOUND'	MUGO PINE	5 GAL	2.5' X 5'

ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT X SPD
CK	226	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL	4.5' X 2'
MY	473	MISCANTHUS SINENSIS 'YAKU JIMA'	YAKU JIMA DWARF MAIDEN GRASS	1 GAL	3' X 3'
PH	31	PANICUM VIRGATUM 'HEAVY METAL'	BLUE SWITCH GRASS	1 GAL	5' X 3'
PB2	79	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	1 GAL	1' X 2'

GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT
	100,024 SF	ENVIROTURF RE: LANDSCAPE NOTES	ENVIROTURF SOD	SOD
	28,449 SF	ROCK MULCH GREY, 4" DIA. COBBLE 4" DEPTH, RE: LDESCP NOTES	ROCK MULCH GREY, 4" DIA. COBBLE	MULCH
	8,049 SF	ROCK MULCH TAN, 4" DIA. COBBLE 4" DEPTH, RE: LDESCP NOTES	ROCK MULCH TAN, 4" DIA. COBBLE	MULCH
	101,975 SF	SEED MIX 1 TOWN OF PARKER - SEED MIX 1, RE: LANDSCAPE NOTES	SEED MIX 1	SEED
	20,261 SF	SEED MIX 2 TOWN OF PARKER - SEED MIX 2, RE: LANDSCAPE NOTES	SEED MIX 2	SEED
		TEMPORARILY IRRIGATED NATIVE SEED MIX RE: LANDSCAPE NOTES		
		TREES CANOPIES WITHIN SIGHT TRIANGLES WILL BE NO LOWER THAN 8'		

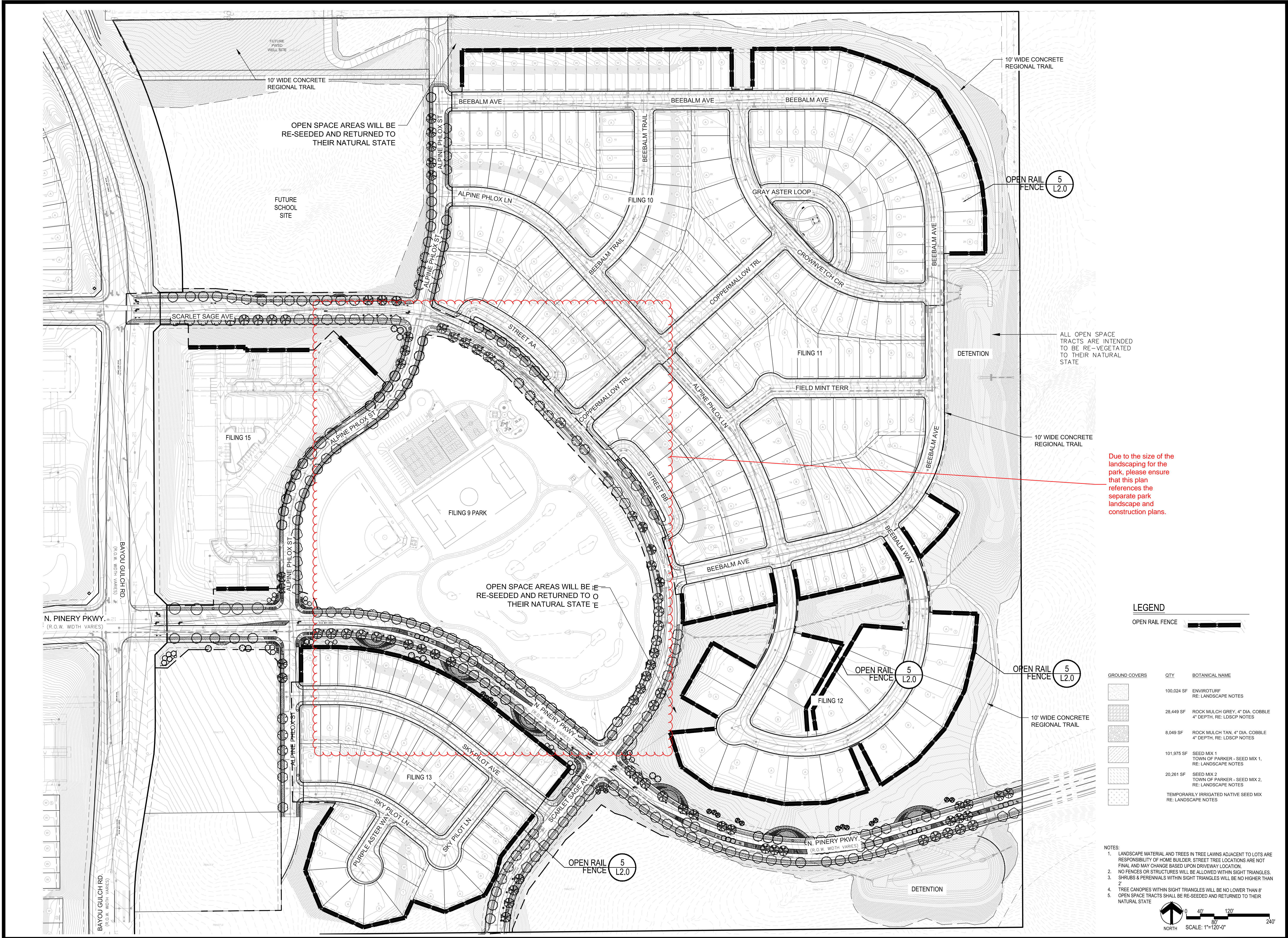
Please ensure that these quantities match the cost estimates.

SEED MIXES

TOWN OF PARKER SEED MIX 1

COMMON NAME	PERCENTAGE
CANADA WILDRYE	20%
CRESTED WHEATGRASS	15%
SLENDER WHEATGRASS	15%
ANNUAL RYEGRASS	10%
SHEEP FESCUE	10%
BIG BLUESTEM	10%
SIDE-OATS GRAMA	10%
CANADA BLUEGRASS	5%
BLUE GRAMA	5%

SEEDING RATE
DRILLED: 25 LBS./AC.
BROADCAST: 50LBS./AC.



Prepared For
 E5X MANAGEMENT
 7353 SOUTH ALTON WAY
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Land Planning
 people creating spaces
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CVL
 CONSULTANTS
 10333 E. DRY CREEK RD., #240
 ENGLEWOOD, CO 80112
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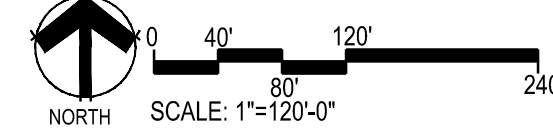
TRAILS AT CROWFOOT
 FILING NO. 9
 PARKER, COLORADO
 LANDSCAPE PLANS

Due to the size of the landscaping for the park, please ensure that this plan references the separate park landscape and construction plans.

LEGEND

GROUND COVERS	QTY	BOTANICAL NAME
[Symbol]	100,024 SF	ENVIROTURF RE: LANDSCAPE NOTES
[Symbol]	28,449 SF	ROCK MULCH GREY, 4" DIA. COBBLE 4" DEPTH, RE: LDCSP NOTES
[Symbol]	8,049 SF	ROCK MULCH TAN, 4" DIA. COBBLE 4" DEPTH, RE: LDCSP NOTES
[Symbol]	101,976 SF	SEED MIX 1 TOWN OF PARKER - SEED MIX 1, RE: LANDSCAPE NOTES
[Symbol]	20,261 SF	SEED MIX 2 TOWN OF PARKER - SEED MIX 2, RE: LANDSCAPE NOTES
[Symbol]		TEMPORARILY IRRIGATED NATIVE SEED MIX RE: LANDSCAPE NOTES

- NOTES:
- LANDSCAPE MATERIAL AND TREES IN TREE LAWNS ADJACENT TO LOTS ARE RESPONSIBILITY OF HOME BUILDER. STREET TREE LOCATIONS ARE NOT FINAL AND MAY CHANGE BASED UPON DRIVEWAY LOCATION.
 - NO FENCES OR STRUCTURES WILL BE ALLOWED WITHIN SIGHT TRIANGLES.
 - SHRUBS & PERENNIALS WITHIN SIGHT TRIANGLES WILL BE NO HIGHER THAN 2'
 - TREE CANOPIES WITHIN SIGHT TRIANGLES WILL BE NO LOWER THAN 8'
 - OPEN SPACE TRACTS SHALL BE RE-SEEDDED AND RETURNED TO THEIR NATURAL STATE



DRAFT/NOT FOR CONSTRUCTION

Drawn by: JWI, BEM, GG
 Checked by: PCS STAFF
 Submittal Date: 12.08.2017
 Date: 01.26.2017
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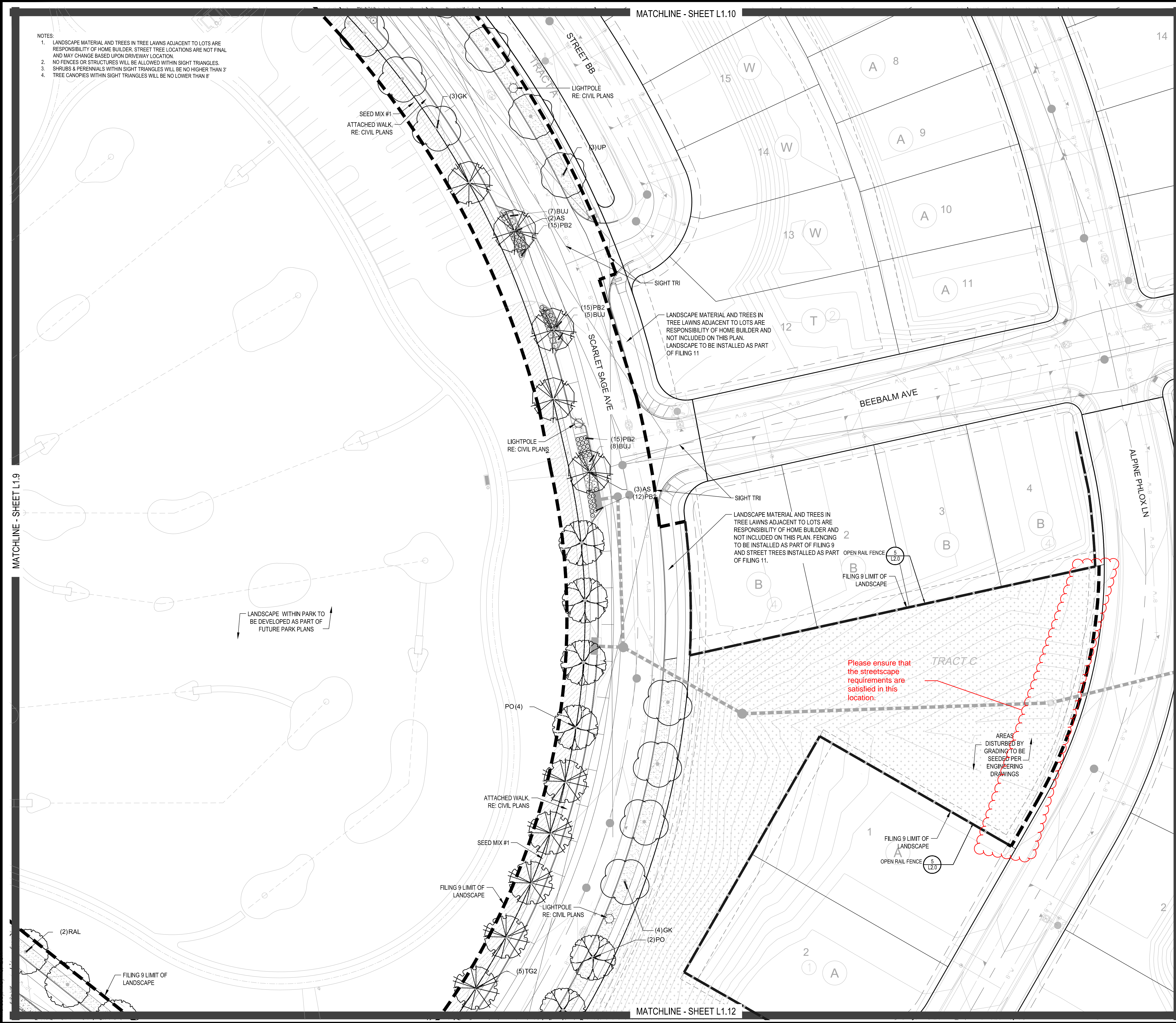
Sheet Name
OVERALL LANDSCAPE PLAN

Sheet Number
L1.1

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MATCHLINE - SHEET L1.9

MATCHLINE - SHEET L1.14



PLANT & GROUND COVER LIST

DECIDUOUS TREES	COMMON NAME
UP	AMERICAN ELM
OV	AMERICAN HORNBEEAM
PO	AMERICAN SYCAMORE
QM	BURF OAK
QM2	CHINKAPIN OAK
HAC	COMMON HACKBERRY
AE	EMERALD QUEEN MAPLE
TG2	GLENLEVEN LITTLELEAF LINDEN
TG	GREENSPIRE LITTLELEAF LINDEN
QC	HERITAGE OAK
GI	IMPERIAL HONEYLOCUST
GK	KENTUCKY COFFEE TREE
JR	RED OAK
RAL	REDMOND AMERICAN LINDEN
BR	RIVER BIRCH
AS	SCHWEDLER MAPLE
GS	SHADEMASTER LOCUST
QB	SWAMP WHITE OAK

EVERGREEN TREES	COMMON NAME
PN	AUSTRIAN BLACK PINE
PSP	LIMBER PINE
PP	PINON PINE
PP1	PONDEROSA PINE
VAN	VANDERWOLF'S PYRAMID PINE

ORNAMENTAL TREES	COMMON NAME
AH	HOT WINGS TATARIAN MAPLE
AG2	ROCKY MOUNTAIN MAPLE

ANNUALS/PERENNIALS	COMMON NAME
BES	BLACK-EYED SUSAN
SP	PINCUSHION FLOWER

DECIDUOUS SHRUBS	COMMON NAME
CD	BLUE MIST SHRUB
SP2	DWARF ARCTIC WILLOW
RHU	GRO-LOW FRAGRANT SUMAC
FN	NEW MEXICO PRIVET
SCH	PAWNEE BUTTES SAND CHERRY
CB	RED TWIG DOGWOOD
CH	ROCK COTONEASTER
PS2	ROCKY MOUNTAIN PENSTEMON
PA	RUSSIAN SAGE
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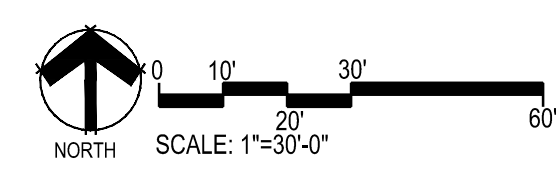
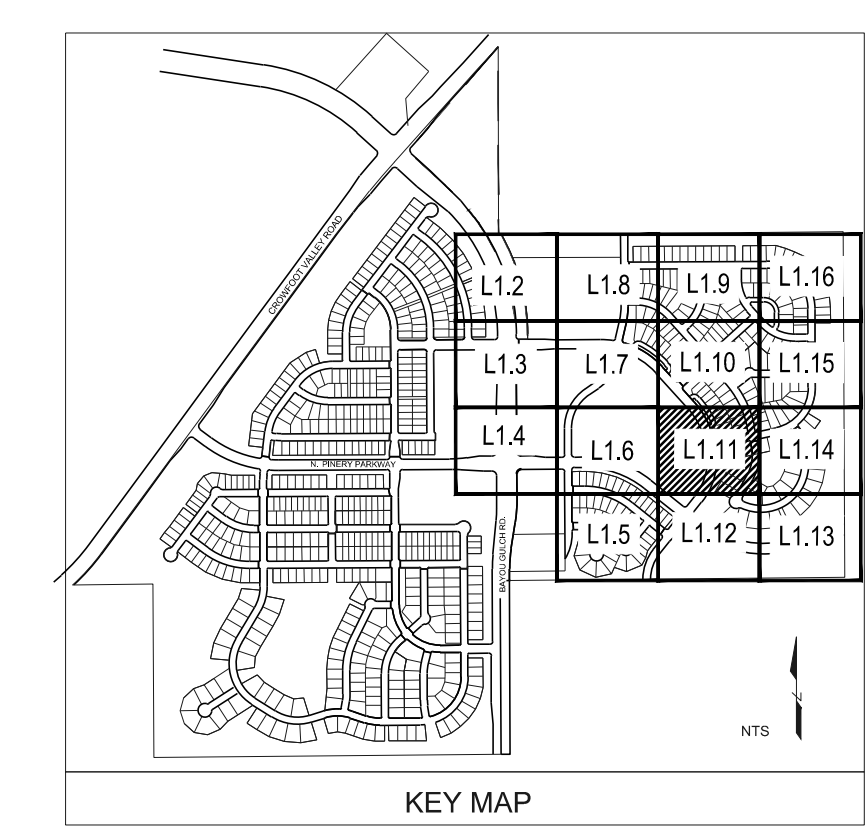
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 PARKER, COLORADO
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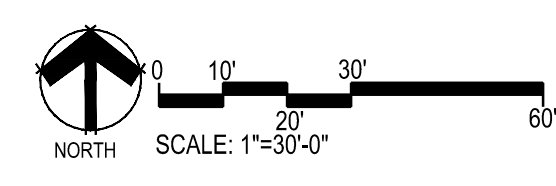
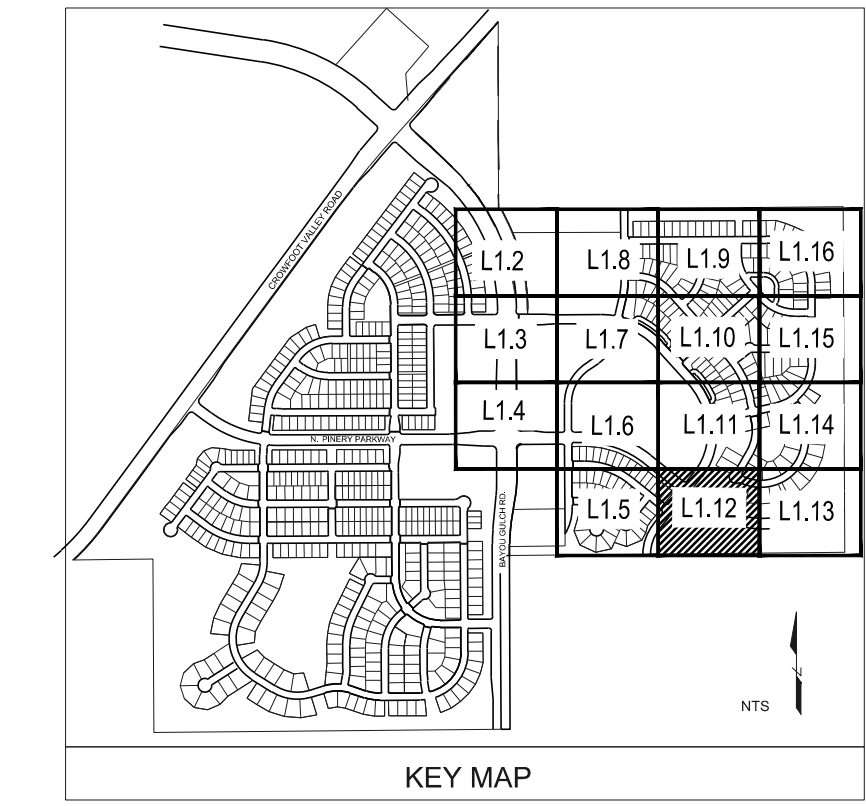
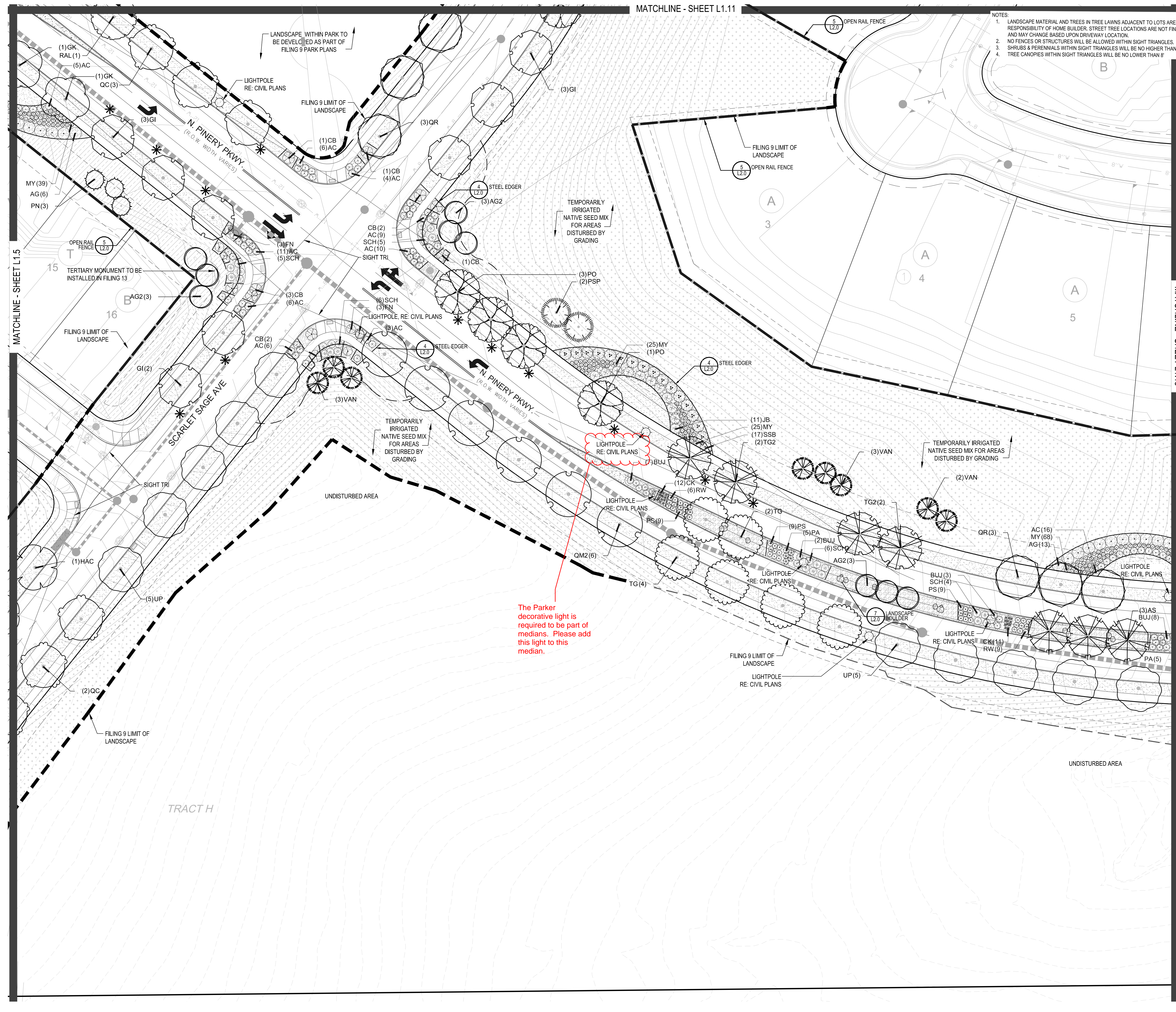
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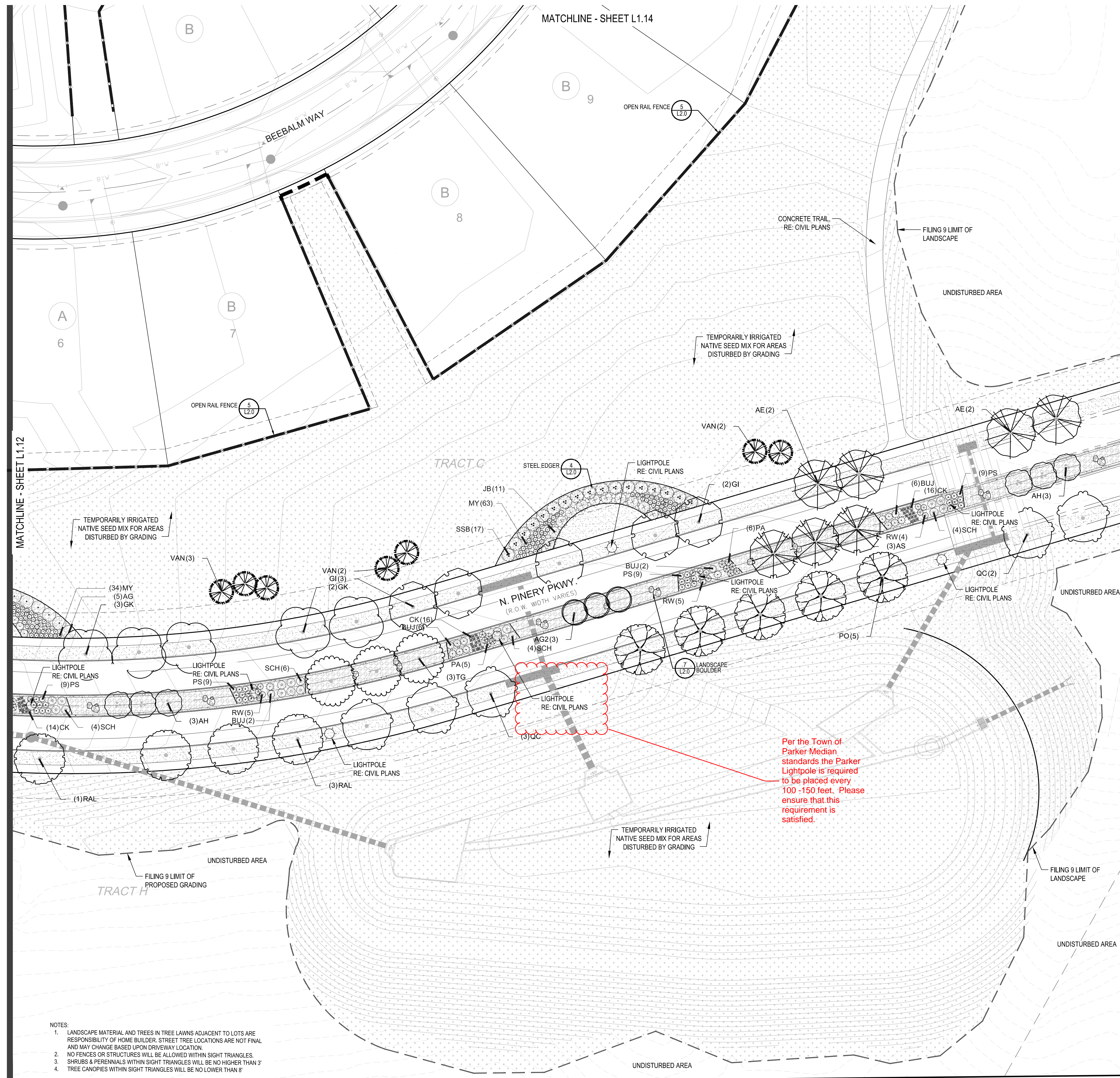
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L1.12



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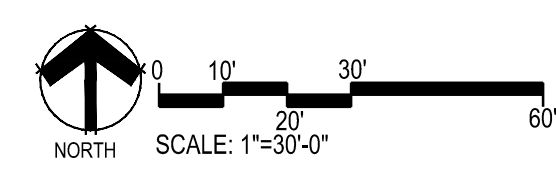
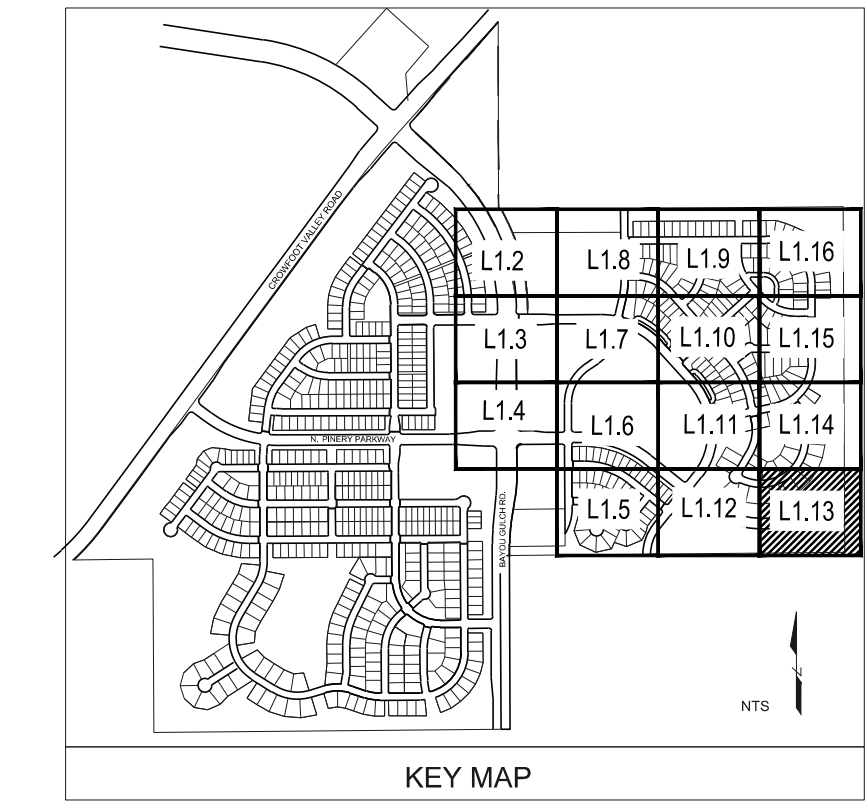
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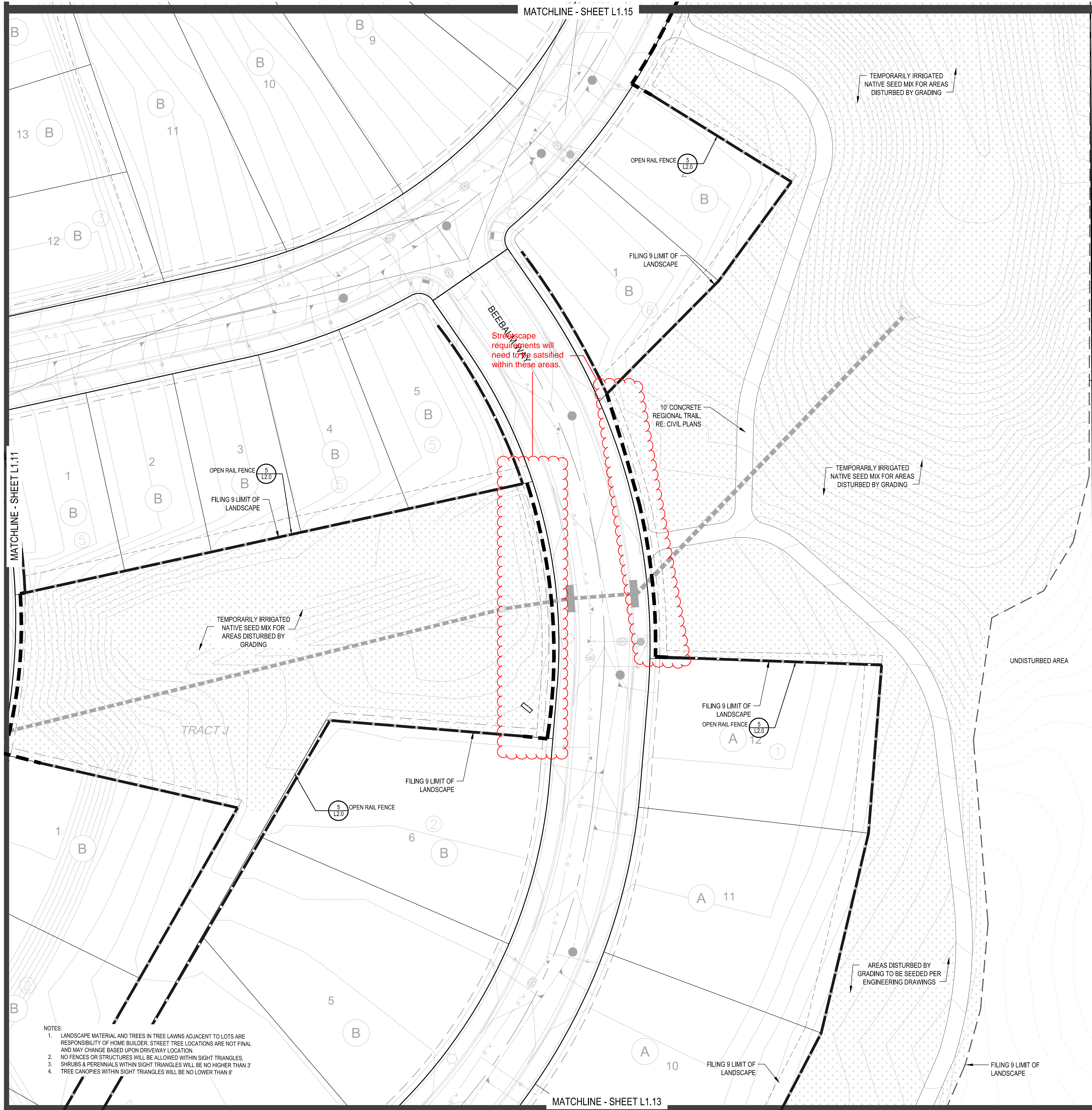
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MATCHLINE - SHEET L1.15



MATCHLINE - SHEET L1.11

MATCHLINE - SHEET L1.13

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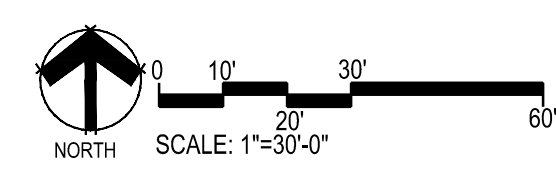
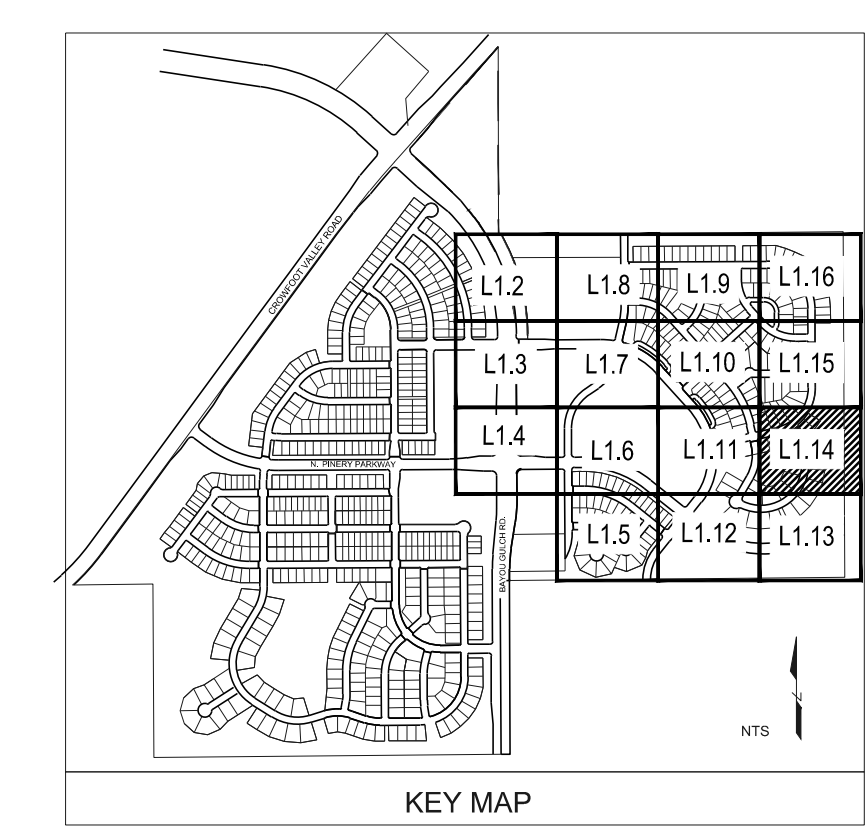
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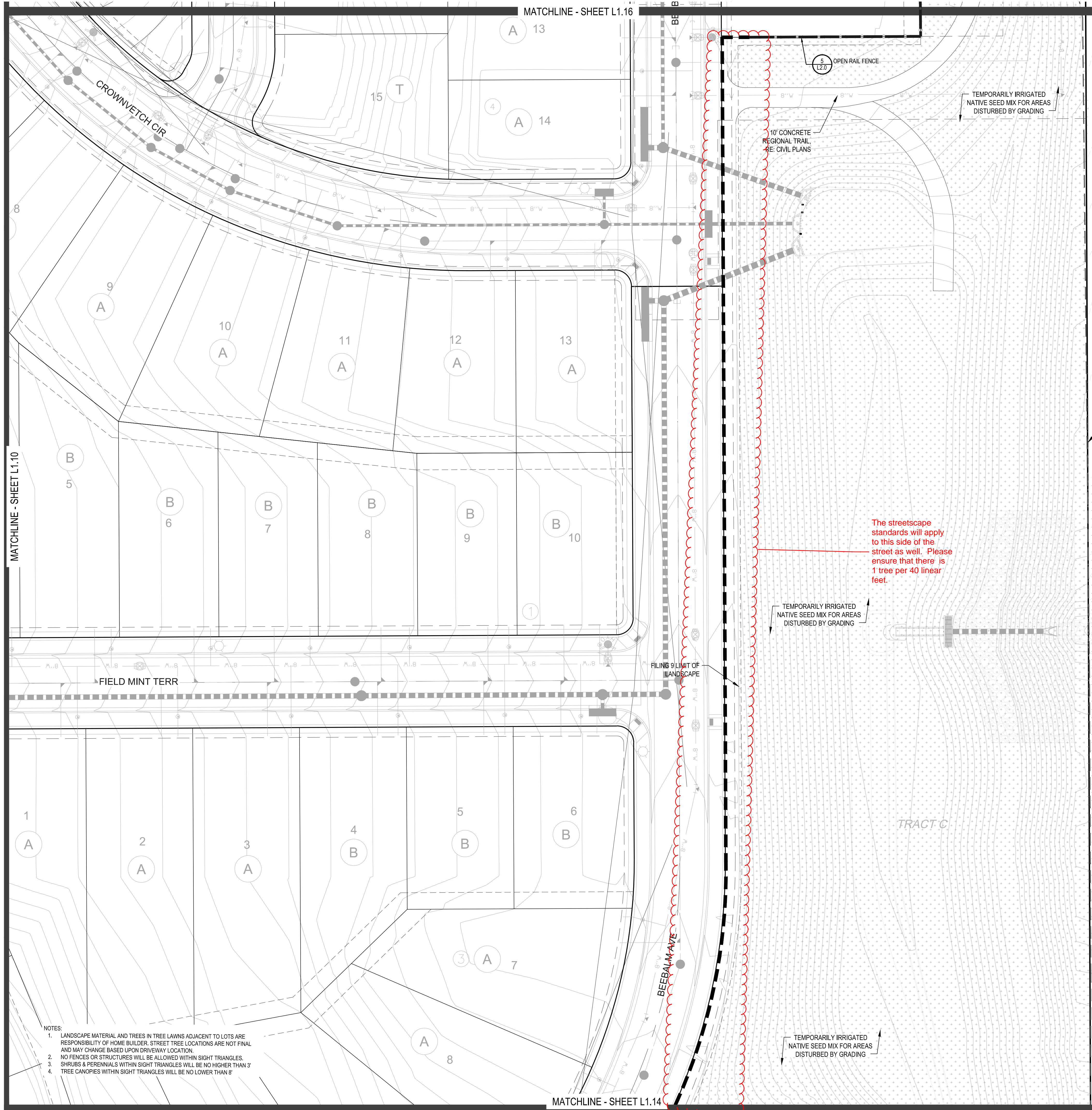
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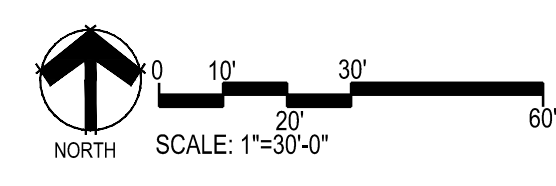
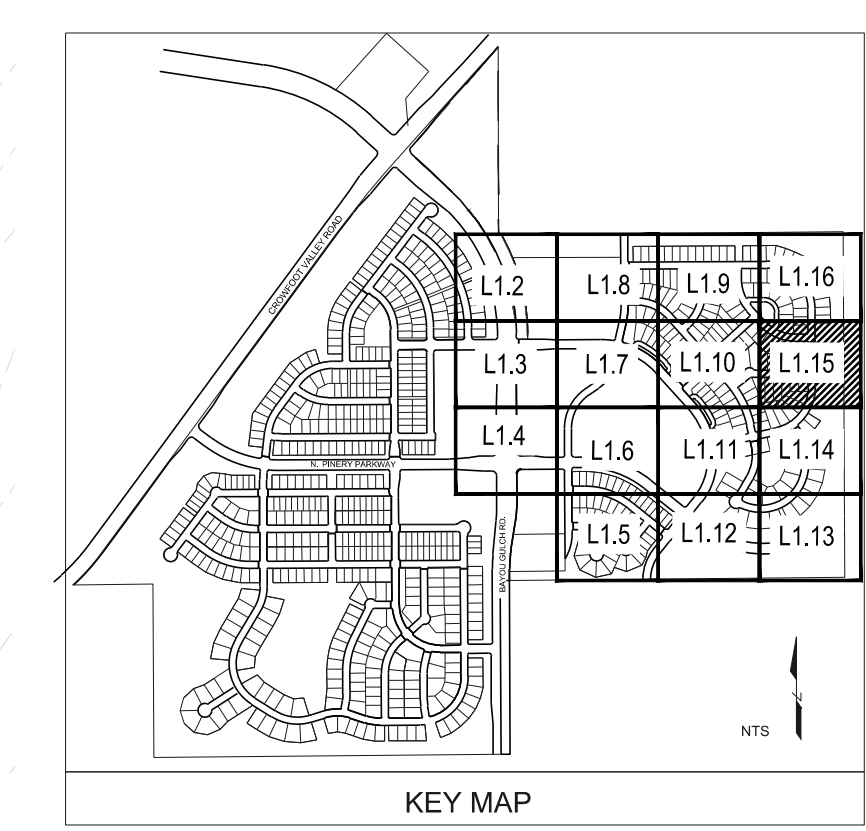
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Sheet Number
L1.15

Please ensure that these numbers match the cost estimate and are updated to reflect the comments.

Trails at Crowfoot JDA Filing 9- Preliminary Landscape Cost Estimate-Streetscape

PCS Group

Opinion of Probable Cost

Date: 3.2.2018

Filing 9- Streetscape & Medians					
North Pinery Parkway East/Scarlet Sage Ave/Alpine Phlox st.					
Improvement	Quantity	Unit	Unit Cost	Total	
Deciduous Trees (2.5" cal)	300	EA	\$ 560.00	\$ 168,000.00	
Ornamental Trees (2" cal)	18	EA	\$ 480.00	\$ 8,640.00	
Deciduous Shrubs (5 gal)	173	EA	\$ 50.00	\$ 8,650.00	
Evergreen Shrubs (5 gal)	324	EA	\$ 50.00	\$ 16,200.00	
Ornamental Grasses	238	EA	\$ 25.00	\$ 5,950.00	
Cobble rock mulch (1.5" Gray, 4" Depth)	19,713	SF	\$ 1.25	\$ 24,641.25	
Native Seed - <i>Permenantly irrigated (w/prep)</i>	21,168	SF	\$ 0.75	\$ 15,876.00	
Enviro-Turf (<i>w/prep</i>)	94,859	SF	\$ 1.00	\$ 94,859.00	
Steel Edger	555	LF	\$ 3.00	\$ 1,665.00	
Landscape Boulders	65	EA	\$ 400.00	\$ 26,000.00	
Irrigation (<i>Spray for native and turf areas</i>)	116,027	SF	\$ 0.90	\$ 104,424.30	
Irrigation (<i>Drip emitters for shrub beds</i>)	1	LS	\$ 16,400.00	\$ 16,400.00	
				Sub-Total	\$ 491,305.55
				15% Contingency	\$ 73,695.83
				Total	\$ 565,001.38
				110% SIA Total	\$ 621,501.52

Please include a cost estimate for all lightpoles within the medians and a cost estimate for any required water taps for the medians.

*The control system and POC components for irrigation are figured into the sq.ft. price

**Temporary native seed for disturbed areas and detention areas are included in the Earthwork budget by civil engineer.

***All streetscape and Median Lighting is included in Engineer's cost estimate.

Disclaimer

STREETSCAPE

This opinion of probable landscape construction cost is made on the basis of the Planner / Landscape Architect's experience and qualifications and represents the best judgment as an experienced and qualified professional generally familiar with the industry. However, since the Planner / Landscape Architect does not have control over the cost of labor, materials, equipment, services furnished by others, the Contractors' methods of determining prices, competitive bidding or market conditions; the Planner / Landscape Architect cannot and does not guarantee that proposals, bids, or actual construction costs will not vary from this estimate of probably landscape construction costs. If the OWNER wishes greater assurance as to probable construction costs, the OWNER shall employ an independent cost estimator or contractor. Prior to probationary acceptance of the Public Improvements for the Property, the Developer shall install all plant material and related irrigation facilities within all tracts as described in the landscape plans approved by the Town for the Property (the "Landscape Improvements"), subject to the warranty provisions of this Agreement. If installation of the Landscape Improvements cannot be reasonably accomplished prior to probationary acceptance of the Public Improvements for the Property, the Developer shall post a letter of credit amounting to one hundred ten percent (110%) (the "Landscape Security") of the materials cost as described and will complete the Landscape Improvements according to the landscape plans prior to final acceptance of the Public Improvements by the Town. The Town may reduce the Landscape Security, in the exercise of its sole discretion, as the Landscape Improvements are completed on a tract-by-tract basis and accepted by the Town for probationary acceptance, subject to the warranty provisions of this Agreement and Section 13.07.150(c) of the Town's Land Development Ordinance for the Landscape Improvements.

Trails at Crowfoot JDA Filing 9- Preliminary Landscape Cost Estimate-Open Space

PCS Group

Opinion of Probable Cost

Date: 3.2.2018

Please make sure that these quantities match the landscape plan.

Filing 9-Open Space					
Landscape Tracts East of Bayour Gulch Rd.					
Improvement	Quantity	Unit	Unit Cost	Total	
Evergreen Trees	43	EA	\$ 690.00	\$ 29,670.00	
Ornamental Trees	14	EA	\$ 480.00	\$ 6,720.00	
Deciduous Shrubs (5 gal)	170	EA	\$ 50.00	\$ 8,500.00	
Evergreen Shrubs (5 gal)	133	EA	\$ 50.00	\$ 6,650.00	
Ornamental Grasses	574	EA	\$ 25.00	\$ 14,350.00	
Perennials	53	EA	\$ 15.00	\$ 795.00	
Native Seed -Permenantly irrigated (w/prep)	83,747	SF	\$ 0.75	\$ 62,810.25	
Enviro-Turf (w/prep)	4,438	SF	\$ 1.00	\$ 4,438.00	
Cobble rock mulch	15,479	SF	\$ 1.25	\$ 19,348.75	
Steel Edger	2,466	LF	\$ 50.00	\$ 123,300.00	
Landscape Boulders	22	EA	\$ 400.00	\$ 8,800.00	
Irrigation (Spray for native and turf areas)	88,185	SF	\$ 0.90	\$ 79,366.50	
Irrigation (Drip emitters for shrub beds)	1	LS	\$ 12,900.00	\$ 12,900.00	
Open Rail Cross Buck Fence	9,044	LF	\$ 25.00	\$ 226,100.00	
				Sub-Total	\$ 603,748.50
				15% Contingency	\$ 90,562.28
				Total	\$ 694,310.78
				110% SIA Total	\$ 763,741.85

*The control system and POC components for irrigation are figured into the sq.ft. price

**Temporary native seed for disturbed areas and detention areas are included in the Earthwork budget by civil engineer.

***All streetscape and Median Lighting is included in Engineer's cost estimate.

Disclaimer

OPEN SPACE COST ESTIMATE

This opinion of probable landscape construction cost is made on the basis of the Planner / Landscape Architect's experience and qualifications and represents the best judgment as an experienced and qualified professional generally familiar with the industry. However, since the Planner / Landscape Architect does not have control over the cost of labor, materials, equipment, services furnished by others, the Contractors' methods of determining prices, competitive bidding or market conditions; the Planner / Landscape Architect cannot and does not guarantee that proposals, bids, or actual construction costs will not vary from this estimate of probably landscape construction costs. If the OWNER wishes greater assurance as to probable construction costs, the OWNER shall employ an independent cost estimator or contractor. Prior to probationary acceptance of the Public Improvements for the Property, the Developer shall install all plant material and related irrigation facilities within all tracts as described in the landscape plans approved by the Town for the Property (the "Landscape Improvements"), subject to the warranty provisions of this Agreement. If installation of the Landscape Improvements cannot be reasonably accomplished prior to probationary acceptance of the Public Improvements for the Property, the Developer shall post a letter of credit amounting to one hundred ten percent (110%) (the "Landscape Security") of the materials cost as described and will complete the Landscape Improvements according to the landscape plans prior to final acceptance of the Public Improvements by the Town. The Town may reduce the Landscape Security, in the exercise of its sole discretion, as the Landscape Improvements are completed on a tract-by-tract basis and accepted by the Town for probationary acceptance, subject to the warranty provisions of this Agreement and Section 13.07.150(c) of the Town's Land Development Ordinance for the Landscape Improvements.