



Your kind of place.

**TO:** CVL Consultants  
 Attn: Brian Wilson  
 10333 E Dry Creek Ste 240  
 Englewood, CO, 80112  
 bwilsoncolorado@gmail.com

**FROM:** Jaxon Fagan, Associate Planner, Baseline Corporation  
 Stacey Nerger, Associate Planner

**DATE:** October 30, 2017

**SUBJECT:** Trails at Crowfoot Filing 6 – Final Plat  
 [Application SUB17-047]

The following are review comments regarding the first submittal of SUB17-047. All comments must be responded to and if there is disagreement with a comment please indicate the reasoning for the disagreement. Please sign and return this memo with the next submittal. A follow-up Development Review Team (DRT) meeting with reviewing agencies can be scheduled to provide additional guidance on these comments. Please contact case planner Stacey Nerger at [snerger@parkeronline.org](mailto:snerger@parkeronline.org) to schedule a DRT meeting.

**TOWN OF PARKER PLANNING DEPARTMENT:**  
**ATTN: STACEY NERGER**  
**E-MAIL:** [snerger@parkeronline.org](mailto:snerger@parkeronline.org)  
**FAX:** 303-841-3223  
**PHONE:** 303-805-3199

**TRAILS AT CROWFOOT FILING NO. 6**

**Final Plat:**

1. Please refer to the attached “redline” comments within the Final Plat for staff’s requested changes.

Complied:  Yes  No  
 Response:

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- 2. The first couple pages of the plat would not allow redlines. Please see highlighted areas and other filings for additional changes to be made.

Complied:  Yes  No  
 Response:

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- 3. The Town recently adopted new language to be used as the Surveyor’s Certificate. Please use the following language:

*I, (name), a professional land surveyor licensed to practice land surveying in the State of Colorado, do hereby certify that the survey of (plat name) was made by me or directly under my supervision on or about the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, and that the survey is based upon my knowledge, information and belief that all monuments exist as shown hereon; it has been prepared in accordance with applicable standards of practice, that mathematical closure errors are less than 1:50,000 (second order); and that said plat has been prepared in full compliance with all applicable laws of the State of Colorado dealing with monuments, subdivisions or surveying of land and all provisions, within my control, of the Town subdivision regulations. This survey is not a guaranty or warranty, either expressed or implied, and the accompanying plat accurately and properly shows said minor development plat and the survey thereof.*

*I attest the above on this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_\_.*

*(Signature)\_\_\_\_\_*

*(Name)\_\_\_\_\_, P.L.S. #\_\_\_\_\_*

*For and on behalf of (Company Name)*

*Surveyor's seal shall appear with this certificate.*

Complied:  Yes  No  
 Response:

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**Landscaping Plan:**

- 4. Please refer to the attached “redline” comments within the Landscape Plan for staff’s requested changes.

Complied:  Yes  No  
 Response:

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5. All landscaping proposed within the Filing shall be included within the landscape plan. This includes the tract landscaping and streetscape to be installed. If landscaping within the filing will be constructed/installed with a different filing, please include the landscaping, but gray it out and add a note as to when the landscaping will be installed.

Complied:  Yes  No  
Response:

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6. Please add notes showing where the limits of Filing No. 6 are. This could include notes stating “No a Part of this plan” or “To be completed as part of Filing No. ??”. All grayed out landscaping should include a note, at least one on each page, describing when this landscaping will be installed.

Complied:  Yes  No  
Response:

**General:**

7. Please see the attached draft address plat. If you are okay with the drafted addressed, please add these address to the Address Plat and resubmit for review and finalization.

Complied:  Yes  No  
Response:

8. A draft subdivision agreement is being written. As soon as the agreement is completed a copy will be forwarded to the applicant.

Complied:  Yes  No  
Response:



*Your kind of place.*

9. Please submit a separate cost estimate for the streetscape and the tract landscaping that will be completed as part of Filing No. 6. These cost estimates are included within the Subdivision Agreement.

Complied:  Yes  No  
Response:

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### **OUTSIDE REFERRAL AGENCY COMMENTS**

Please address all referral agency comments with a written response. Please log into eTrackit Project No. SUB17-047, and ensure all comments and memorandums uploaded to the project are addressed and resolved prior to a resubmittal.

# TRAILS AT CROWFOOT SUBDIVISION FILING NO. 6

A RESUBDIVISION OF LOT 2, BLOCK 4, LOT 4, BLOCK 3, AND LOT 1, BLOCK 5 OF TRAILS AT CROWFOOT FILING NO. 1  
 A PART OF THE SECTIONS 4, 8 AND 9, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6th PRINCIPAL MERIDIAN,  
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
 SHEET 1 OF 5

OCTOBER 12

OF EASEMENTS OF

~~HESS RANCH PLANNED DEVELOPMENT -- PLANNING AREA 42~~  
 TOTAL ACREAGE = 14.782 ACRES, 51 LOTS 3 TRACT

**DEDICATION STATEMENT:**

THE UNDERSIGNED, BEING ALL THE OWNERS, MORTGAGEES, BENEFICIARIES OF DEEDS OF TRUST AND HOLDERS OF OTHER INTERESTS IN THE LANDS DESCRIBED HEREIN, HAVE LAID OUT, SUBDIVIDED AND PLATTED SAID LANDS INTO LOTS, TRACTS, BLOCKS, STREETS AND EASEMENTS AS SHOWN HEREON UNDER THE NAME AND SUBDIVISION OF THE TRAILS AT CROWFOOT FILING NO. 1. THE UTILITY EASEMENTS AS SHOWN HEREON ARE HEREBY DEDICATED FOR PUBLIC UTILITIES AND CABLE COMMUNICATION SYSTEMS AND OTHER PURPOSES AS SHOWN HEREON. THE ENTITIES ARE RESPONSIBLE FOR PROVIDING THE UTILITY SERVICES FOR WHICH THE EASEMENTS ARE ESTABLISHED ARE HEREBY GRANTED THE PERPETUAL RIGHT OF INGRESS AND EGRESS FROM AND TO ADJACENT PROPERTIES FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF UTILITY LINES AND RELATED FACILITIES. THE OWNERS OF THE LANDS DESCRIBED HEREIN ARE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF DRAINAGE EASEMENTS, STORM SEWERS AND DRAINAGE FACILITIES PROVIDED IN THE STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL FOR THE TOWN OF PARKER, COLORADO, IN FEE SIMPLE ABSOLUTE, FOR PUBLIC USES AND PURPOSES. DRAINAGE AND DETENTION EASEMENTS AS SHOWN HEREON ARE HEREBY DEDICATED TO THE TOWN. PERPETUAL RIGHT OF INGRESS AND EGRESS FROM AND TO ADJACENT PROPERTIES FOR CONSTRUCTION, REPAIR, MAINTENANCE, OPERATION AND REPLACEMENT OF STORM SEWERS AND DRAINAGE FACILITIES. THE UNDERSIGNED GRANTS TO THE TOWN A SIGHT EASEMENT(S) AS SHOWN HEREON WITHIN THE SUBDIVISION TO MAINTAIN ADEQUATE SIGHT DISTANCE AT ALL ROADWAY INTERSECTIONS AS PROVIDED BY THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AS AMENDED. THE TOWN IS HEREBY GRANTED THE PERPETUAL RIGHT OF INGRESS AND EGRESS ACROSS ALL LOTS AND TRACTS WITHIN THE SUBDIVISION TO REMOVE ANY OBSTRUCTION TO THE PROPER SITE DISTANCE, INCLUDING, BUT NOT LIMITED TO, ANY STRUCTURE, FENCE, UTILITY BOX, RAISED MEDIAN AND LANDSCAPING, AT THE SOLE COST AND EXPENSE OF THE OWNER OF THE LOT AND/OR TRACT UPON WHICH SUCH OBSTRUCTION IS SITUATED. THE OWNERS OR ADJACENT PROPERTY OWNERS OF THE LANDS ARE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SIGHT EASEMENTS SHOWN HEREON. WHEN THE OWNER(S) OR ADJACENT OWNERS FAIL TO ADEQUATELY MAINTAIN SUCH SIGHT EASEMENTS, THE MAINTENANCE, OPERATION AND RECONSTRUCTION SHALL BE AT THE COST OF THE OWNER(S). THE UNDERSIGNED HEREBY DEDICATES SIDEWALK EASEMENTS AS SHOWN FOR PUBLIC SIDEWALK PURPOSES. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL SIDEWALK ADJACENT TO THE PROPERTY IN GOOD CONDITION AND FREE FROM ANY HAZARD. THE UNDERSIGNED GRANTS THE TOWN THE PERPETUAL RIGHTS OF INGRESS AND EGRESS UPON THE PROPERTY FOR THE OPERATION, MAINTENANCE, AND RECONSTRUCTION OF THE PUBLIC SIDEWALK WHEN THE OWNERS FAIL TO MAINTAIN SUCH PUBLIC SIDEWALK, WHICH MAINTENANCE, OPERATION AND RECONSTRUCTION SHALL BE AT THE COST OF THE OWNER(S). THE TOWN SHALL ALSO HAVE THE RIGHT TO REMOVE AN OBSTRUCTION THAT WOULD ADVERSELY AFFECT THE OPERATION AND MAINTENANCE OF THE SIDEWALK, AS DETERMINED BY THE TOWN.

**ACKNOWLEDGEMENT**

THE UNDERSIGNED, BEING ALL THE OWNERS, MORTGAGEES, BENEFICIARIES OF DEEDS OF TRUST AND HOLDERS OF OTHER INTERESTS OF THE LANDS DESCRIBED HEREIN, HEREBY ACKNOWLEDGE THAT ANY SUBDIVISION APPROVAL OBTAINED BY THE TOWN OF PARKER DOES NOT OBTAIN SAID UNDERSIGNED'S NEED OR RESPONSIBILITY TO COMPLY WITH THE REQUIREMENTS OF THE ENDANGERED SPECIES ACT OF 1973, 16 U.S.C. 1 531, ET SEQ., AS AMENDED OR WITH ANY OTHER APPLICABLE FEDERAL, STATE OR LOCAL LAWS OR REGULATIONS.

OWNER (AS TO PARCEL 1)

What is parcel 1??

HR935, LLC, A COLORADO LIMITED LIABILITY COMPANY

SIGNATURE

BY: \_\_\_\_\_

AS \_\_\_\_\_ OF HR935, LLC, A COLORADO LIMITED LIABILITY COMPANY

SUBSCRIBED AND SWORN BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2017. BY \_\_\_\_\_ AS \_\_\_\_\_ OF HR935, LLC, A COLORADO LIMITED LIABILITY COMPANY.

WITNESS MY HAND AND OFFICIAL SEAL

← NOTARY PUBLIC

MY COMMISSION EXPIRES \_\_\_\_\_

DEED OF TRUST HOLDER (AS TO PARCEL 1)

What is parcel 1??

TREZ CAPITAL (2015) CORPORATION, A BRITISH COLUMBIA CORPORATION

SIGNATURE

BY: \_\_\_\_\_

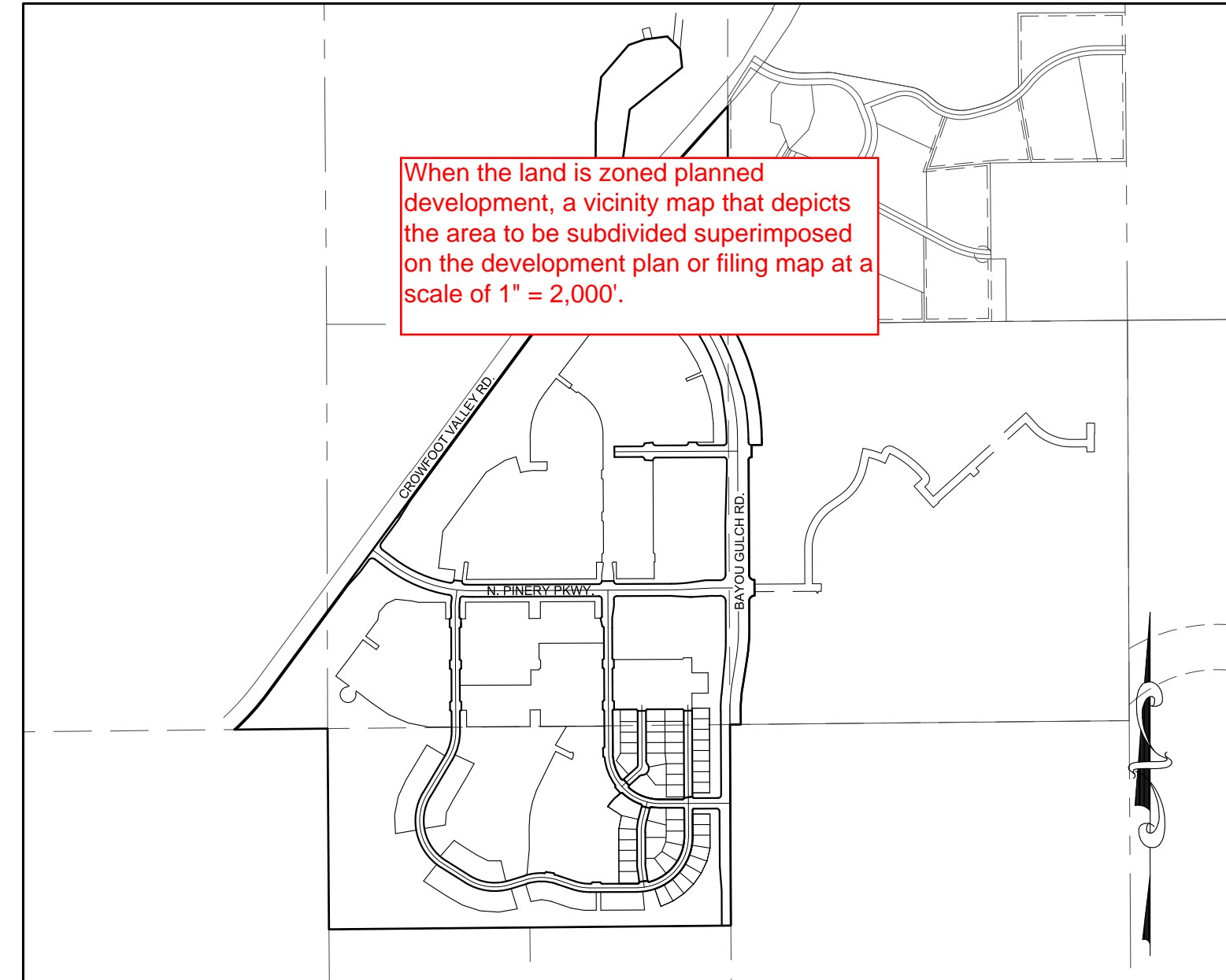
AS \_\_\_\_\_ OF TREZ CAPITAL (2015) CORPORATION, A BRITISH COLUMBIA CORPORATION

SUBSCRIBED AND SWORN BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2017. BY \_\_\_\_\_ AS \_\_\_\_\_ OF TREZ CAPITAL (2015) CORPORATION, A BRITISH COLUMBIA CORPORATION.

WITNESS MY HAND AND OFFICIAL SEAL

← NOTARY PUBLIC

MY COMMISSION EXPIRES \_\_\_\_\_



VICINITY MAP  
 SCALE: 1" = 1000'

**PLANNING COMMISSION STATEMENT:**

THE PRELIMINARY PLAN FOR THIS PLAT WAS REVIEWED BY THE PLANNING COMMISSION ON \_\_\_\_\_, 2017.

PLANNING DIRECTOR, ON BEHALF OF THE PLANNING COMMISSION

DATE

**CLERK AND RECORDER**

STATE OF COLORADO )  
 ) ss. COUNTY OF DOUGLAS )

I hereby certify that this plat was filed in my office on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ A.D., at \_\_\_\_\_ a.m./p.m., and was recorded at Reception Number \_\_\_\_\_.

(Signature)  
 County Clerk and Recorder

**LEGAL DESCRIPTION: (PARCEL 1)**

A PARCEL OF LAND BEING A PART OF SECTIONS 4, 8 AND 9, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 LOT 2, BLOCK 4; LOT 4, BLOCK 3; AND LOT 1, BLOCK 5, TRAILS AT CROWFOOT SUBDIVISION FILING NO. 1

A block in the lower right-hand corner shall include the following: the preparation date; a north arrow designated as true north; a written and graphic scale; the names and addresses of the applicant, developer, engineer or surveyor who prepared the exhibit; and the number of the sheet and the total number of sheets.

ENGINEER/SURVEYOR

**CVL** Consultants  
 of Colorado, Inc.  
 10333 E. Dry Creek Rd., Suite 240  
 Englewood, CO 80112  
 Tel: (720) 482-9526 / Fax: (720) 482-9546

# TRAILS AT CROWFOOT SUBDIVISION FILING NO. 6

A RESUBDIVISION OF LOT 2, BLOCK 4, LOT 4, BLOCK 3, AND LOT 1, BLOCK 5 OF TRAILS AT CROWFOOT FILING NO. 1  
 A PART OF THE SECTIONS 4, 8 AND 9, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6th PRINCIPAL MERIDIAN,  
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
 SHEET 2 OF 5

**NOTES:**

- NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE (3) YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN (10) YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
- THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY CVL CONSULTANTS OF COLORADO, INC. TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS-OF-WAY AND TITLE OF RECORD, CVL CONSULTANTS OF COLORADO, INC. RELIED UPON COMMITMENT FOR TITLE INSURANCE, COMMITMENT NO. 5514-2556675, AMENDMENT NO. 11 ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY AND HAVING AN EFFECTIVE DATE OF APRIL 21, 2016 AT 5:00 P.M.
- BASIS OF BEARINGS: BASIS OF BEARINGS: THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 9 BEING MONUMENTED AT THE NORTHEAST CORNER OF SAID SECTION 9 BY A 3-1/4" ALUMINUM CAP STAMPED LS 23053 AND AT THE EAST QUARTER CORNER OF SAID SECTION 9 BY A 2-1/2" ALUMINUM CAP STAMPED LS 6935 BEING CONSIDERED TO BEAR SOUTH 00°15'06" EAST, 2648.70 FEET.
- BENCHMARK: DOUGLAS COUNTY CONTROL POINT KNOWN AS 1.060032, BEING A 3-1/4" ALUMINUM CAP, BEING LOCATED IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, HAVING A PUBLISHED ELEVATION OF 1799.2870 METERS (5903.13 FEET) NAVD '88 DATUM.
- WITHIN ALL SIGHT TRIANGLES, LIMITED LANDSCAPING SHALL BE ALLOWED BUT NOT SOLID STRUCTURES. SOLID STRUCTURES SHALL INCLUDE, BUT NOT BE LIMITED TO, FENCES AND UTILITY BOXES. LANDSCAPING WITHIN THE INTERSECTION SIGHT DISTANCE TRIANGLES WILL BE LIMITED TO SHRUBS AND PLANTING THAT AT MATURITY WILL BE NO TALLER THAN TWO (2) FEET. TREES PLANTED WITHIN THE SIGHT DISTANCE TRIANGLE WILL NOT BE ALLOWED. LANDSCAPING WITHIN THE SIGHT DISTANCE TRIANGLE AREA SHALL BE MAINTAINED BY THE PROPERTY OWNER OR APPROPRIATE ASSOCIATION.
- THOSE PORTIONS OF REAL PROPERTY WHICH ARE LABELED AS SIDEWALK & UTILITY EASEMENTS AND AS UTILITY EASEMENTS ON THIS PLAT ARE FOR THE INSTALLATION AND MAINTENANCE OF UTILITIES, INCLUDED, BUT NOT LIMITED TO, ELECTRIC LINES, GAS LINES, TELEPHONE LINES, TOGETHER WITH A PERPETUAL RIGHT OF INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES; SAID EASEMENTS AND RIGHT ARE TO BE UTILIZED IN A RESPONSIBLE AND PRUDENT MANNER.
- THE LINEAL UNIT USED IN THE PREPARATION OF THIS PLAT IS THE U.S. SURVEY FOOT AS DEFINED BY THE UNITED STATES DEPARTMENT OF COMMERCE, NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY.

8. THERE ARE A TOTAL OF 736 LOTS AND 35 TRACTS IN THE TRAILS AT CROWFOOT SUBDIVISION.

**UTILITY EASEMENT ACKNOWLEDGEMENT**

THOSE PORTIONS OF REAL PROPERTY WHICH ARE LABELED AS UTILITY EASEMENTS ON THIS PLAT ARE FOR THE INSTALLATION AND MAINTENANCE OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, ELECTRIC LINES, GAS LINES, TELEPHONE LINES, TOGETHER WITH A PERPETUAL RIGHT OF INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE, AND REPLACEMENT OF SUCH LINES; SAID EASEMENTS AND RIGHTS ARE TO BE UTILIZED IN A RESPONSIBLE AND PRUDENT MANNER.

**TITLE VERIFICATION:**

WE, FIRST AMERICAN TITLE INSURANCE COMPANY, A QUALIFIED TITLE INSURANCE COMPANY, DO HEREBY CERTIFY THAT WE HAVE EXAMINED THE TITLE OF ALL LAND PLATTED HERON AND THAT TITLE TO SUCH LAND IS IN THE DEDICATION(S) FREE AND CLEAR OF ALL LIENS, TAXES AND ENCUMBRANCES.

SIGNATURE \_\_\_\_\_

BY: \_\_\_\_\_

AS: \_\_\_\_\_ OF FIRST AMERICAN TITLE INSURANCE COMPANY

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_

AS \_\_\_\_\_ OF FIRST AMERICAN TITLE INSURANCE COMPANY.

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES \_\_\_\_\_

**APPROVAL OF TOWN COUNCIL:**

THIS PLAT WAS APPROVED BY TOWN COUNCIL AND/OR, WHERE APPLICABLE, THE PLANNING DIRECTOR AND DIRECTOR OF ENGINEERING OF THE TOWN OF PARKER, COLORADO, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2017, FOR FILING. THE DEDICATIONS ARE HEREBY ACCEPTED.

ALL EXPENSES INCURRED WITH RESPECT TO IMPROVEMENTS FOR ALL UTILITY SERVICES, PAVING, GRADING, CURBS, GUTTER, SIDEWALKS, ROAD LIGHTING, ROAD SIGNS, FLOOD PROTECTION DEVICES, DRAINAGE STRUCTURES, AND ALL OTHER IMPROVEMENTS THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER AND NOT THE TOWN OF PARKER. THE TOWN SHALL ONLY ACCEPT MAINTENANCE OF THE ROADWAY IMPROVEMENTS AFTER CONSTRUCTION HAS BEEN COMPLETED, AND AFTER THE WARRANTY PERIOD, IN ACCORDANCE WITH TOWN REGULATIONS. THE RESPONSIBILITY FOR MAINTAINING THE PRIVATE ROADS, INCLUDING THE REMOVAL OF SNOW ACCUMULATIONS, SHALL BE WITH THE SUBDIVIDER OR HIS OR HER ASSIGNS IN PERPETUITY.

THIS ACCEPTANCE DOES NOT GUARANTEE THAT THE SOIL CONDITIONS, SUBSURFACE GEOLOGY, GROUNDWATER CONDITIONS OR FLOODING CONDITIONS OF ANY LOT SHOWN HEREON ARE SUCH THAT A BUILDING PERMIT WILL BE ISSUED.

MAYOR, TOWN OF PARKER

ATTEST: \_\_\_\_\_  
 TOWN CLERK

**SURVEYOR**

I, (name), a professional land surveyor licensed to practice land surveying in the State of Colorado, do hereby certify that the survey of (plat name) was made by me or directly under my supervision on or about the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, and that the survey is based upon my knowledge, information and belief that all monuments exist as shown hereon; it has been prepared in accordance with applicable standards of practice, that mathematical closure errors are less than 1:50,000 (second order); and that said plat has been prepared in full compliance with all applicable laws of the State of Colorado dealing with monuments, subdivisions or surveying of land and all provisions, within my control, of the Town subdivision regulations. This survey is not a guaranty or warranty, either expressed or implied, and the accompanying plat accurately and properly shows said minor development plat and the survey thereof.

I attest the above on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

(Signature) \_\_\_\_\_

(Name) \_\_\_\_\_, P.L.S. # \_\_\_\_\_

For and on behalf of (Company Name)

(Surveyor's seal)

TRACT	AREA	USE	OWNERSHIP	MAINTENANCE
A	0.500 AC	OPEN SPACE / UTILITIES	METRO DIST	METRO DIST
B	0.638 AC	PARK LAND / OPEN SPACE / UTILITIES	METRO DIST	METRO DIST
C	0.518 AC	OPEN SPACE / UTILITIES	METRO DIST	METRO DIST

Please add square feet

TYPE	AREA	% OF TOTAL AREA
SINGLE FAMILY RESIDENTIAL LOTS	11.089 AC.	75%
PARK LAND	0.638 AC.	4%
OPEN SPACE AREAS	1.018 AC.	7%
ROAD RIGHTS OF WAY	2.037 AC.	14%
TOTAL	14.782 AC.	100%

These should be:  
 75.02%  
 4.32%  
 6.89%  
 13.78%

Please add a table showing the average, minimum and maximum lot size for this filing.

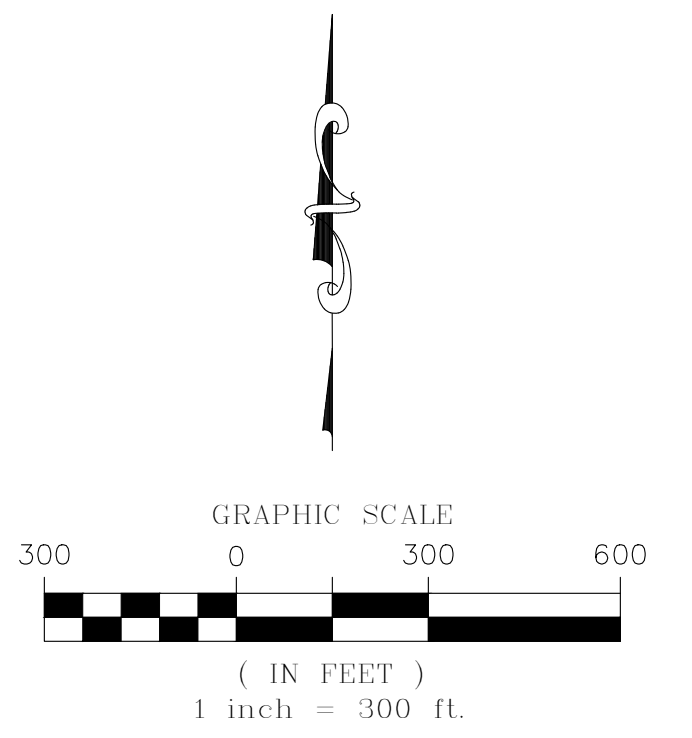
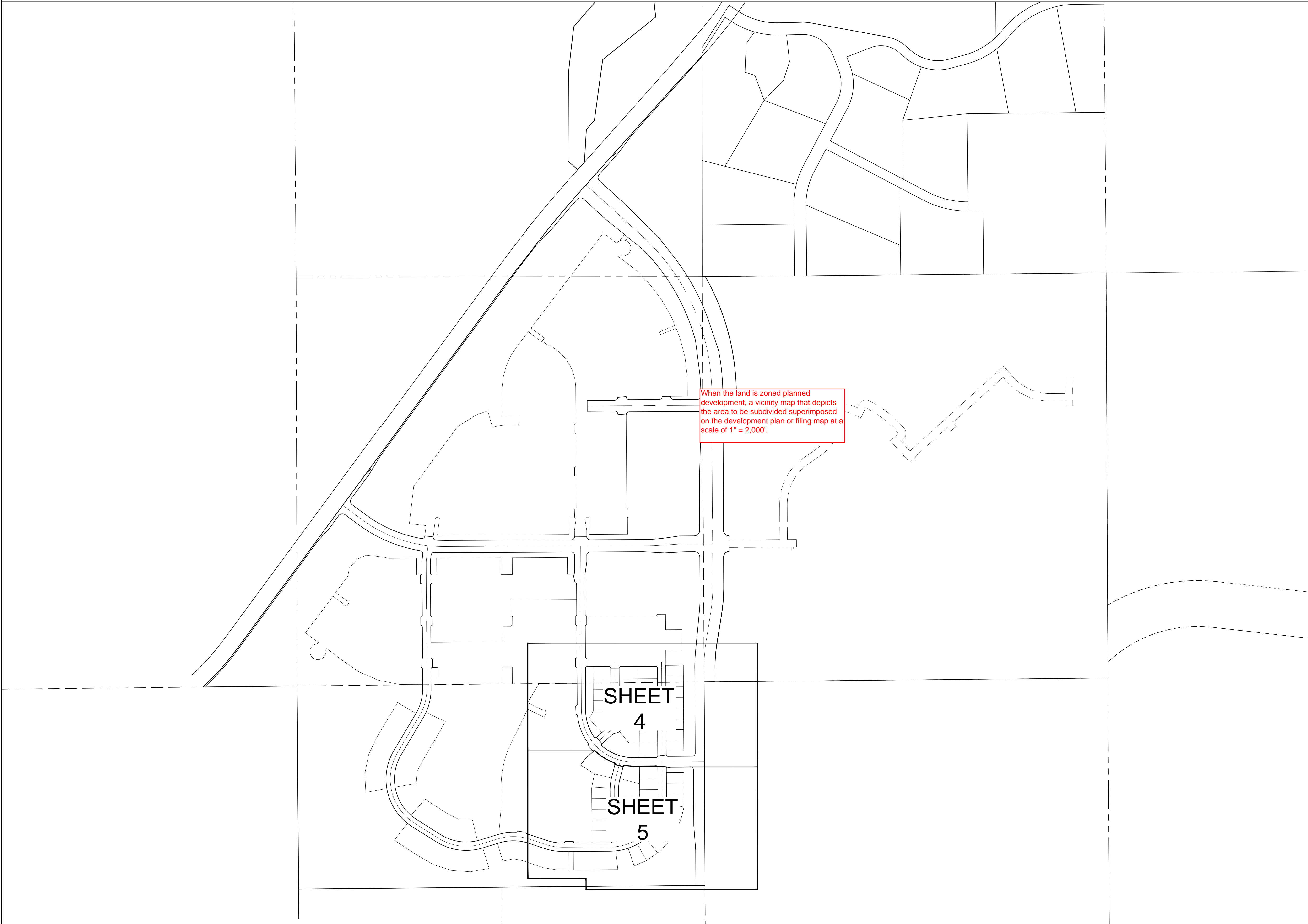
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TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
SHEET 3 OF 5

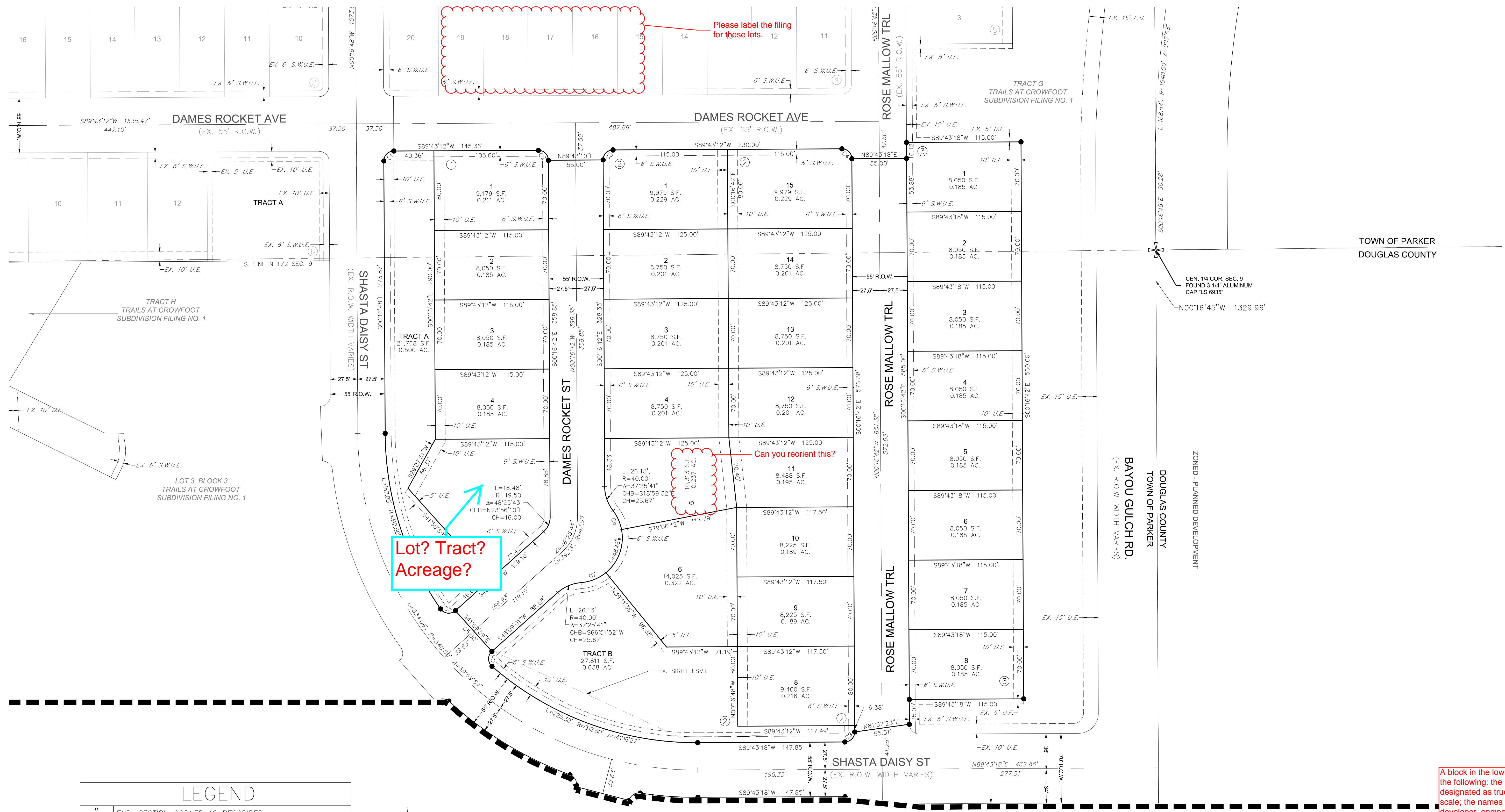


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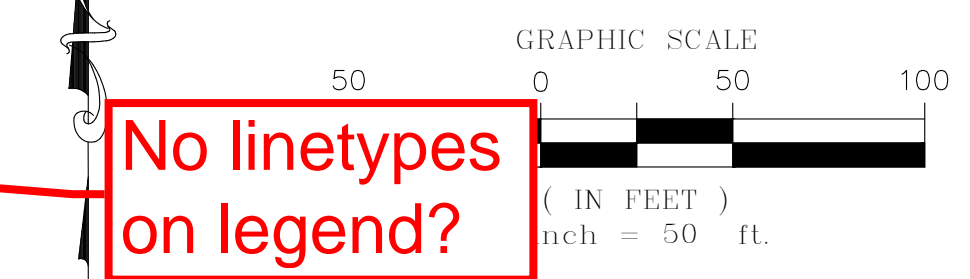
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 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
 SHEET 4 OF 5



LEGEND	
	FND. SECTION CORNER AS DESCRIBED
	R.O.W. RIGHT-OF-WAY
	S.W.U.E. SIDEWALK & UTILITY EASEMENT
	U.E. UTILITY EASEMENT
	D.U.E. DRAINAGE AND UTILITY EASEMENT
	A.E. ACCESS EASEMENT
	G.E. GAS EASEMENT
	EX. U.E. EXISTING UTILITY EASEMENT



No linetypes on legend?

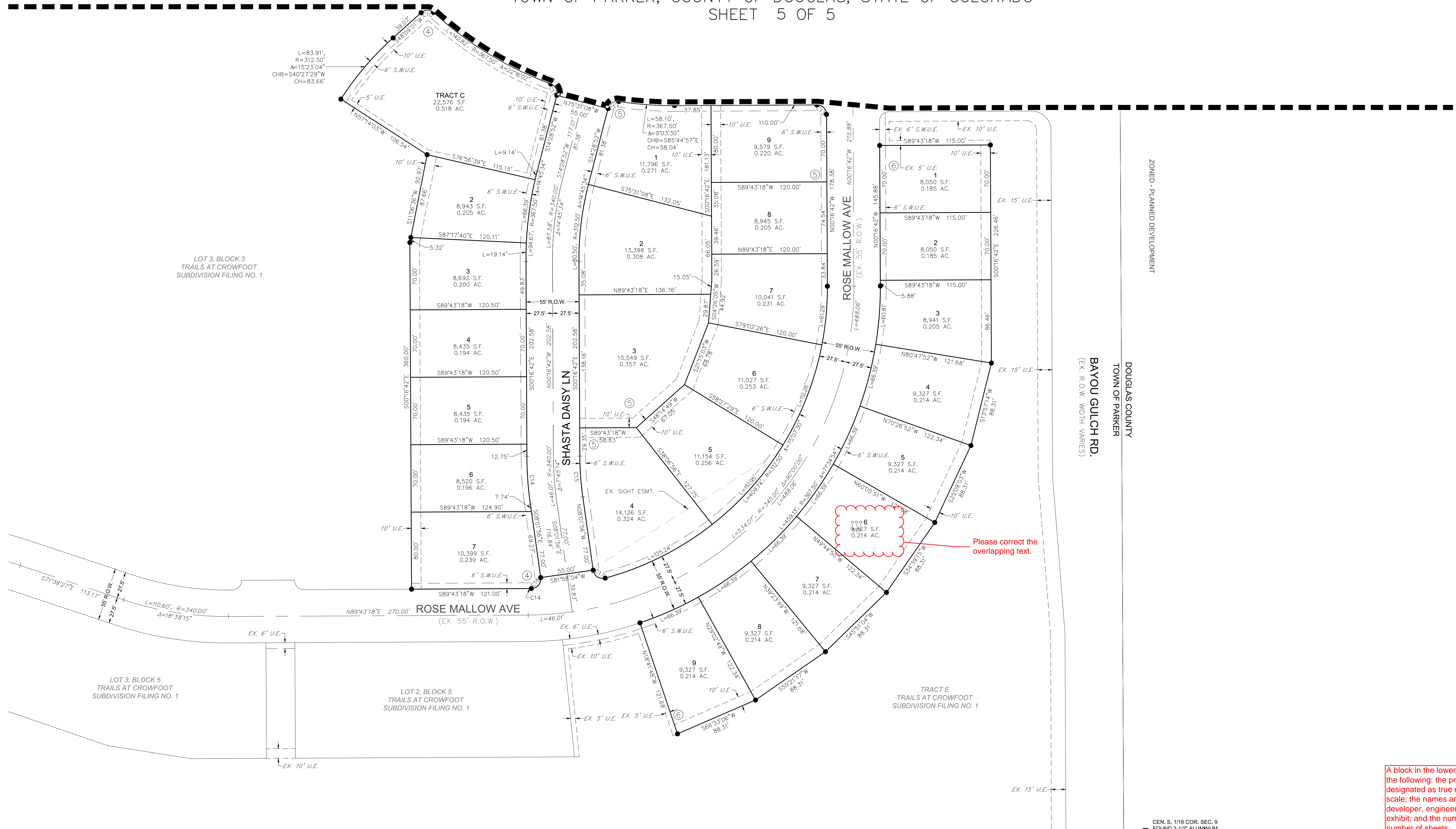
CURVE TABLE					
CURVE NO.	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	15.71'	10.00'	90°00'00"	S44°43'12"W	14.14'
C2	15.71'	10.00'	90°00'06"	N45°16'45"W	14.14'
C3	15.71'	10.00'	89°59'54"	S44°43'15"W	14.14'
C4	15.71'	10.00'	90°00'06"	N45°16'45"W	14.14'
C5	16.95'	10.00'	97°07'16"	S83°17'21"E	14.99'
C6	21.08'	45.00'	26°48'35"	N24°18'05"W	20.86'
C7	27.31'	45.00'	34°46'19"	N68°11'33"E	26.89'
C8	16.95'	10.00'	97°07'16"	S0°24'37"E	14.99'
C9	15.71'	10.00'	90°00'00"	N44°43'18"E	14.14'

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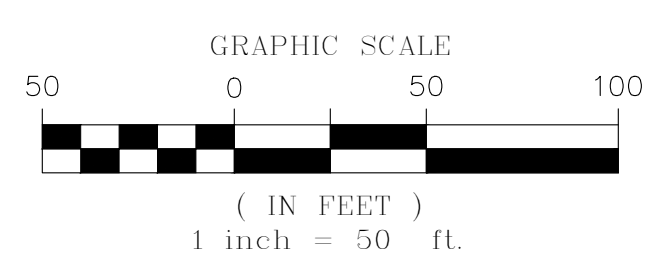
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 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
 SHEET 5 OF 5



LEGEND	
	FND. SECTION CORNER AS DESCRIBED
	R.O.W. RIGHT-OF-WAY
	S.W.U.E. SIDEWALK & UTILITY EASEMENT
	U.E. UTILITY EASEMENT
	D.U.E. DRAINAGE AND UTILITY EASEMENT
	A.E. ACCESS EASEMENT
	G.E. GAS EASEMENT
	EX U.E. EXISTING UTILITY EASEMENT

No linetypes on legend?



A block in the lower right-hand corner shall include the following: the preparation date; a north arrow designated as true north; a written and graphic scale; the names and addresses of the applicant, developer, engineer or surveyor who prepared the exhibit, and the number of the sheet and the total number of sheets.

CEN. S. 1/16 COR. SEC. 9 FOUND 2-1/2" ALUMINUM CAP 1.5 6935 1991

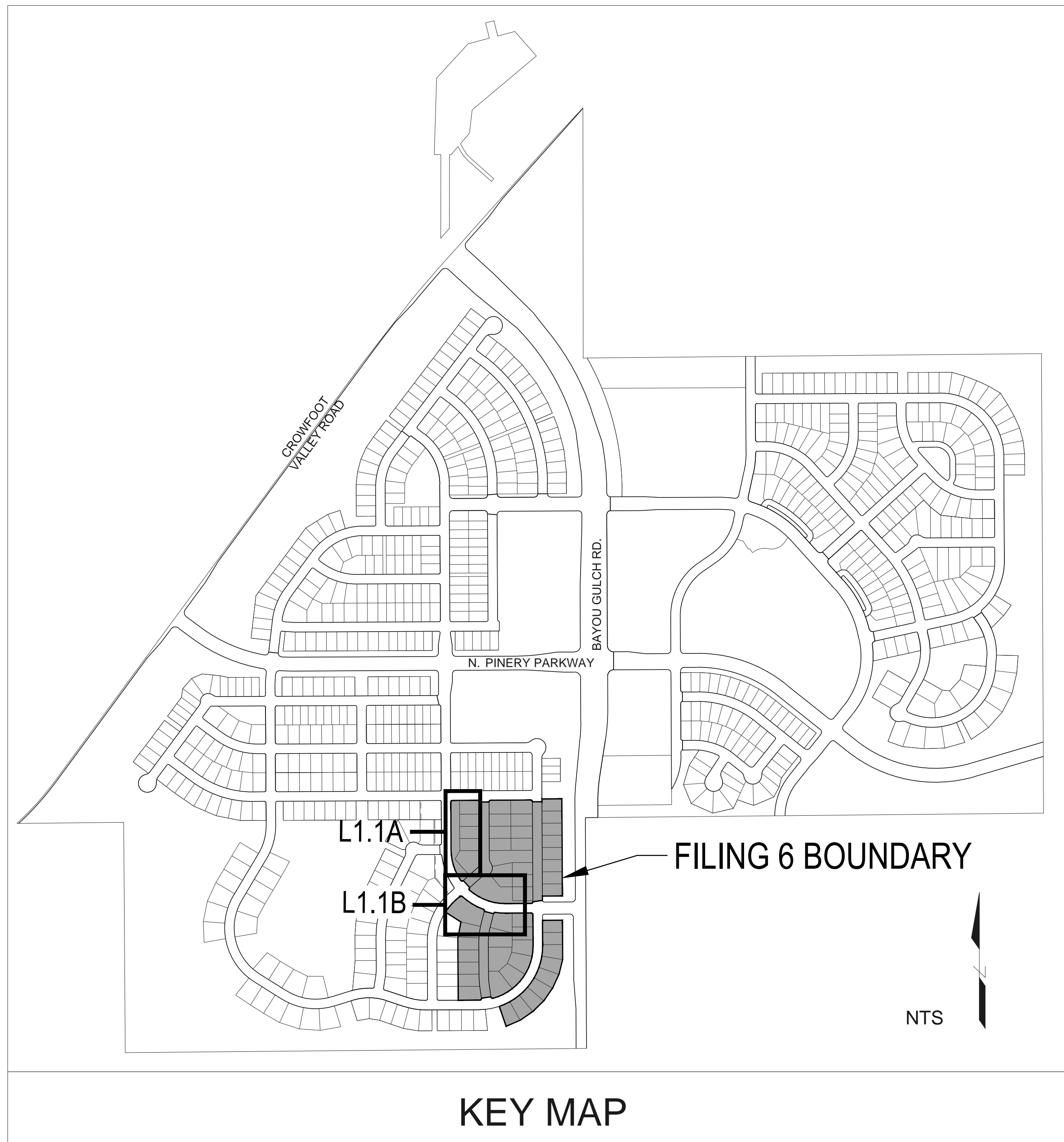
MATCHLINE - SEE SHEET 5

ENGINEER/SURVEYOR  
**CVL** Consultants of Colorado, Inc.  
 10333 E. Dry Creek Rd., Suite 240  
 Englewood, CO 80112  
 Tel: (720) 482-9526 / Fax: (720) 482-9546

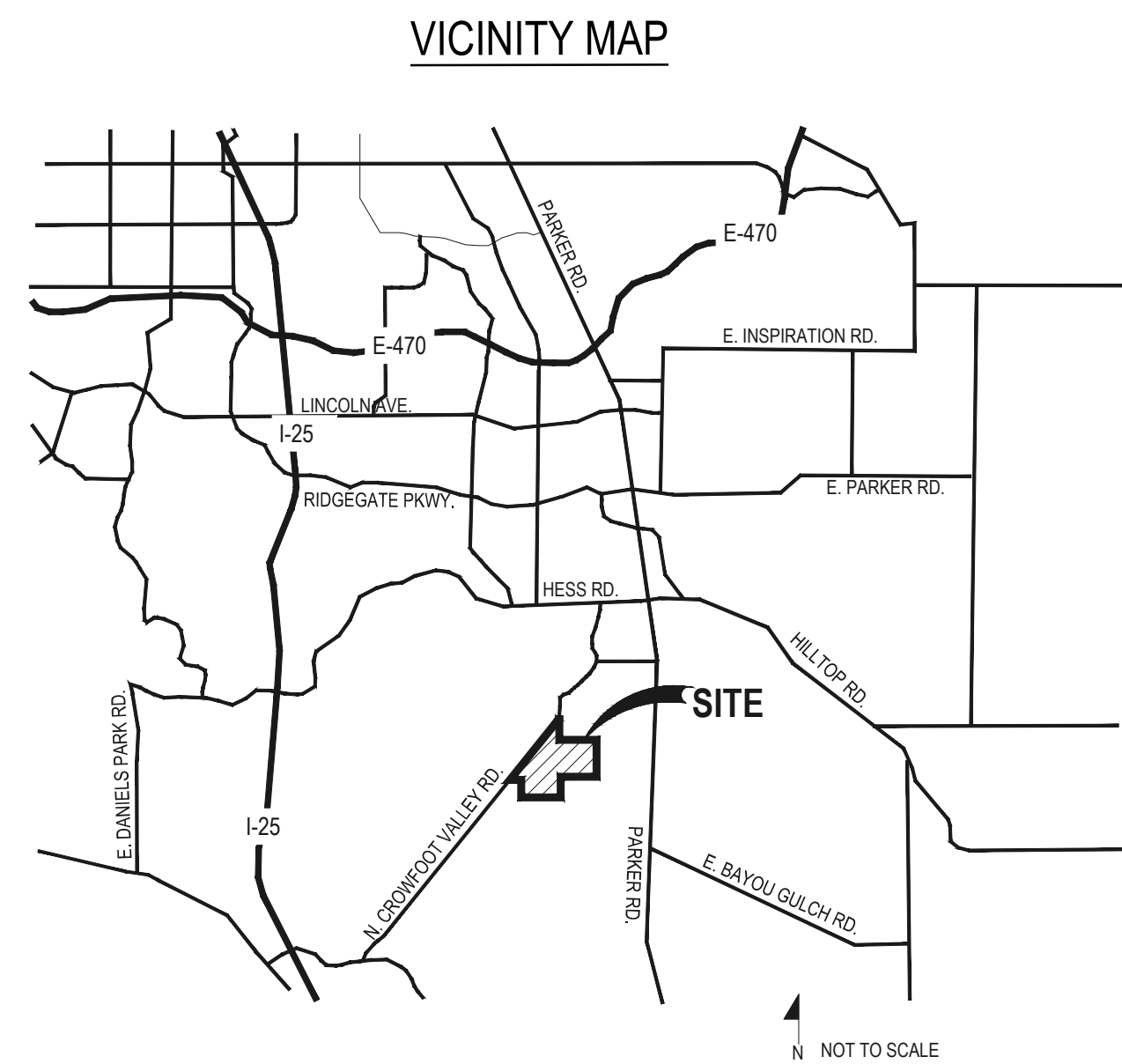
# TRAILS AT CROWFOOT

FINAL LANDSCAPE PLANS

FILING 6



KEY MAP



VICINITY MAP

SHEET INDEX	
Sheet Number	Sheet Title
L0.0	LANDSCAPE COVER SHEET
L0.1	LANDSCAPE NOTES & PLANT SCHEDULE
L1.0	OVERALL LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN
L2.0	SITE & LANDSCAPE DETAILS
L2.1	SITE & LANDSCAPE DETAILS
IR1.0	IRRIGATION LEGEND & NOTES
IR1.1	IRRIGATION PLAN
IR2.1	IRRIGATION DETAILS

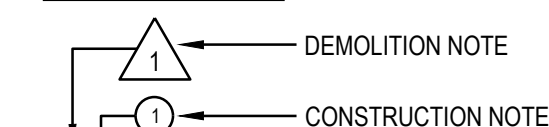
## SYMBOLS & ABBREVIATIONS

AC = ACRE  
 APPROXIMATE = APPROX.  
 BAB = BALL AND BURLAP  
 BOC = BACK OF CURB  
 B.M. = BENCH MARK  
 BLDG. = BUILDING  
 B.S. = BOTTOM OF STAIR  
 B.W. = BOTTOM OF WALL  
 CAL. = CALIPER  
 C.B. = CATCH BASIN  
 CL. CATCH BASIN CENTER LINE  
 C.O. = CLEANOUT  
 COL. = COLUMN  
 CONC. = CONCRETE  
 CONT. = CONTINUOUS  
 CONTR. = CONTRACTOR  
 C.F. = CUBIC FEET  
 C.Y. = CUBIC YARD  
 DET. = DETAIL  
 DIM. = DIMENSION  
 DIA. = DIAMETER  
 DWG. = DRAWING  
 EA. = EACH  
 ELEV. = ELEVATION  
 EXIST. = EXISTING  
 E.P. = EDGE OF PAVING

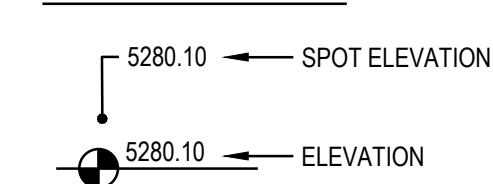
EXP. = EXPANSION  
 E.W. = EACH WAY  
 F.F. = FINISH FLOOR  
 F.G. = FINISH GRADE  
 FIN. = FINISH  
 F.H. = FIRE HYDRANT  
 FL. = FLOW LINE  
 FTG. = FOOTING  
 FT. = FEET  
 GA. = GAUGE  
 GALV. = GALVANIZED  
 H.W. = HEAD WALL  
 H.P. = HIGH POINT  
 HT. = HEIGHT  
 HORIZ. = HORIZON  
 I.D. = INNER DIAMETER  
 IN. = INCH  
 INW. = INVERT  
 L.P. = LOW POINT  
 L.F. = LINEAR FEET  
 MAX. = MAXIMUM  
 M.H. = MAN HOLE  
 MIN. = MINIMUM  
 MISC. = MISCELLANEOUS  
 N.I.C. = NOT IN CONTRACT  
 N.T.S. = NOT TO SCALE

O.C. = ON CENTER  
 O.D. = OUTSIDE DIAMETER  
 P.O.B. = POINT OF BEGINNING  
 P.O.C. = POINT OF CONNECTION  
 P.V.C. = POLYVINYL CHLORIDE  
 PIPE  
 PL. = PROPERTY LINE  
 R. = RADIUS  
 R.C.P. = REINFORCED CONCRETE PIPE  
 R.O.W. = RIGHT OF WAY  
 REQD. = REQUIRED  
 REINF. = REINFORCED  
 S.V. = SQUARE YARD  
 S.S. = STAINLESS STEEL  
 T.C. = TOP OF CURB  
 T.S. = TOP OF STAIR  
 T.W. = TOP OF WALL  
 TYP. = TYPICAL  
 VERT. = VERTICAL  
 W/O = WITH OUT  
 W.W.M. = WOVEN WIRE MESH

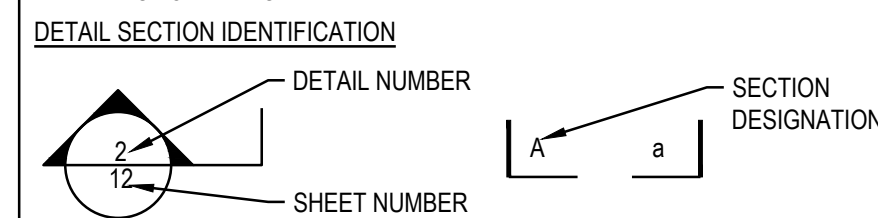
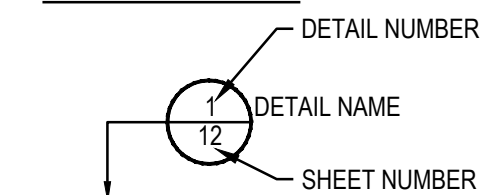
## NOTE IDENTIFICATION



## ELEVATION IDENTIFICATION



## DETAIL IDENTIFICATION



## GENERAL NOTES

- DRAWINGS ARE INTENDED TO BE PRINTED ON 24 X 36 PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
- VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.
- THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.
- IF A GEOTECHNICAL SOILS REPORT IS NOT AVAILABLE AT THE TIME OF CONSTRUCTION, PCS GROUP, INC. RECOMMENDS A REPORT BE AUTHORIZED BY THE OWNER AND THAT ALL RECOMMENDATIONS OF THE REPORT ARE FOLLOWED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID. IF THE OWNER ELECTS TO PROVIDE A GEOTECHNICAL REPORT, THE CONTRACTOR SHALL REVIEW THE REPORT AND SUBMIT AN APPROPRIATE CHANGE ORDER TO THE OWNER'S REPRESENTATIVE IF ADDITIONAL COSTS ARE REQUESTED.
- CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
- CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-CONFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES AND REGULATORY AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
- UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
- ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE WORK AREA LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
- SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS. NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
- COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEAN OUT AREAS WITH OWNER'S REPRESENTATIVE.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCKPILES CONCRETE IN THE STORM SEWER IS PROHIBITED.
- THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
- CONTRACTOR SHALL MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR AND OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
- THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.

Please remove the signature blocks from the landscape plan. Landscape Plans are reviewed and approved by Planning.

The Town of Parker review constitutes general compliance with the Town's Standards and approved variances. Subject to these plans being stamped, signed, and dated by the professional engineer of record. Review by the Town does not constitute approval of the plan design or accuracy and correctness of engineering calculations. Errors in the design or calculations remain the responsibility of the registered professional engineer whose stamp and signature are affixed to this document.

This review does not constitute approval of any private on-site improvements which may be shown. Construction cannot commence until all required drainage report(s), final development plan(s), special review(s), grading permit, and/or other permits are complete, approved and on file with the Town of Parker.

Town of Parker, Director of Engineering \_\_\_\_\_ Date \_\_\_\_\_

All fire hydrants shall be installed according to water utility standards. The number and locations of the fire hydrants as shown on the Overall Utility Plan are correct as specified by the Town of Parker, Community Development Department.

Fire Code Official or Designated Representative \_\_\_\_\_ Date \_\_\_\_\_

(NOTE - Underground Fire Line (UFL) submittal documents must meet the requirements of NFPA 24 when submitting for review.)

Y:\Hess\_Ranch\LANDSCAPE\_ARCHITECTURE\CURRENT DWGS\Hess-LDSCP PLANS - FILING 6.DWG  
 Friday, May 19, 2017

OWNER / DEVELOPER

ESX MANAGEMENT  
 7353 SOUTH ALTON WAY  
 CENTENNIAL, CO 80112

PLANNER / LANDSCAPE ARCHITECT



pcs group inc. www.pcsgruopco.com  
 #3, B-180 Independence plaza  
 1007 14th street, denver co 80265  
 1.303.531.4905, 1.303.531.4908

CIVIL ENGINEER

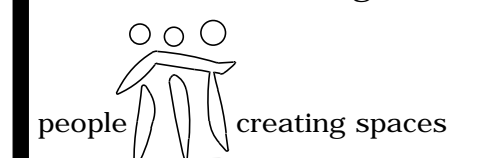


10333 E. DRY CREEK RD. #240  
 ENGLEWOOD, CO 80112  
 720-482-9526

Prepared For

ESX MANAGEMENT  
 7353 SOUTH ALTON WAY  
 CENTENNIAL, CO 80112

Land Planning



pcs group inc. www.pcsgruopco.com  
 #3, B-180 Independence plaza  
 1007 14th street, denver co 80265  
 1.303.531.4905, 1.303.531.4908

Engineering



10333 E. DRY CREEK RD. #240  
 ENGLEWOOD, CO 80112  
 720-482-9526

TRAILS AT CROWFOOT  
 FILING NO. 6

PARKER, COLORADO

LANDSCAPE PLANS

DRAFT/NOT FOR CONSTRUCTION

Drawn by: JWI, BEM, GG  
 Checked by: PCS STAFF  
 Submittal Date: xx.xx.2017



Sheet Name

LANDSCAPE COVER SHEET

Sheet Number

L0.0

**LANDSCAPE NOTES**

- SITE PREP**
- LANDSCAPE CONTRACTOR TO REFERENCE CIVIL ENGINEERING DRAWINGS REGARDING DRAINAGE AND EROSION CONTROL NOTES, DETAILS AND PROCEDURES.
  - ALL WORK SHALL CONFORM TO LOCAL MUNICIPAL CODES. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE LANDSCAPE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS. ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR USE OF MAINTENANCE EQUIPMENT ENTRY.
  - SEE CIVIL ENGINEER'S DRAWINGS FOR GRADING AND DRAINAGE, EROSION CONTROL, PAVING AND SLEEVES, UTILITIES, AND OTHER ENGINEERED DETAILS.
  - CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
  - A PRE-CONSTRUCTION MEETING MAY BE REQUIRED BETWEEN THE LANDSCAPE CONTRACTOR, PROPERTY OWNER AND LANDSCAPE ARCHITECT BEFORE START OF CONSTRUCTION.
  - CONTRACTOR SHALL MINIMIZE ALL DISTURBANCE TO NON-IMPACTED AREAS.
  - SITE MUST BE CLEAN AND FREE OF ALL CONSTRUCTION DEBRIS BEFORE FINAL ACCEPTANCE.
  - CONTRACTOR IS RESPONSIBLE FOR SETUP OF BARRICADES, WARNING SIGNAGE, OR OTHER PROTECTIVE DEVICES IF ANY EXCAVATIONS ARE LEFT EXPOSED AFTER ON-SITE WORK HOURS.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACQUIRE ALL NECESSARY PERMITS FOR CONSTRUCTION WORK WITHIN THE LOCAL JURISDICTION. A SEPARATE LANDSCAPE CONSTRUCTION PERMIT IS REQUIRED AND USE AND SALES TAX WILL BE COLLECTED. WATER CONNECTION FEES ARE TO BE PAID PRIOR TO THE METER SETTING. A BACK FLOW PERMIT AND INSPECTION IS REQUIRED PRIOR TO THE METER BEING INSTALLED IN THE VAULT.
  - TOPSOIL IS TO BE STRIPPED & STOCKPILED ON-SITE FOR LATER USE.
  - CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY EXISTING OR NEW SITE IMPROVEMENTS DISTURBED OR DAMAGED DUE TO THEIR OPERATIONS. DAMAGED MATERIALS SHALL BE REPLACED/REPAIRED TO ITS PRIOR CONDITION.
  - LOCATE ALL UTILITIES PRIOR TO ANY DIGGING OR LANDSCAPE PLANTING. CONTRACTOR SHALL HAND DIG ALL PLANTING PITS ADJACENT TO UTILITIES. IF UTILITIES ARE DAMAGED, REPAIRS SHALL BE MADE AT THE CONTRACTOR'S EXPENSE.
  - PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED & AMENDED.
  - ALL LANDSCAPE AREAS SHALL RECEIVE SOIL AMENDMENT ROTOTILLED AT A MIN. 8" DEPTH AT A RATE OF 4 CUBIC YARDS PER 1,000 SF.
  - CONTRACTOR SHALL SUBMIT SOIL AMENDMENT SPECIFICATIONS FOR APPROVAL PRIOR TO INSTALLATION.
  - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECH REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE SLOPE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%. MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY LANDSCAPE ARCHITECT.
  - ALL CHANGES TO THE approved landscape plan will require Town approval.
  - TURF, PLANT & GROUND COVER MATERIAL**
  - ANY SUBSTITUTION OR ALTERATION OF PLANT OR LANDSCAPE MATERIALS IN LOCATION, SPECIES, TYPE, ETC. SHALL BE ALLOWED ONLY WITH APPROVAL OF THE LANDSCAPE ARCHITECT. OVERALL PLANT QUANTITY AND QUALITY TO BE CONSISTENT WITH APPROVED PLANS.
  - ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH ALL SPECIFICATIONS FOR NUMBER ONE GRADE.
  - PROPOSED TREE LOCATIONS SHALL HAVE A MINIMUM SEPARATION OF 4' BETWEEN WATER OR SEWER SERVICE LINES AND A MINIMUM SEPARATION OF 10' BETWEEN WATER OR SEWER MAIN LINES. PROPOSED TREE LOCATIONS SHALL HAVE A MINIMUM SEPARATION OF 4' BETWEEN GAS LINES.
  - ALL PROPOSED IRRIGATED TURF AREAS SHALL BE SODDED WITH THE BLEND SPECIFIED IN THESE PLANS. SOD SHALL BE LAID ON A FIRM BED WITH TIGHT JOINTS AND WITHOUT VOIDS.
  - TREE WRAP TO BE APPLIED IN LATE FALL AFTER INSTALLATION, AND REMOVED THE FOLLOWING SPRING. REMOVE ANY STRING OR WIRE AROUND TREE TRUNKS AT TIME OF INSTALLATION.
  - CONTRACTOR SHALL REPORT ANY DISCREPANCY FOUND IN THE FIELD VERSUS THE LANDSCAPE DRAWINGS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, OWNER'S REPRESENTATIVE, AND/OR THE CITY/COUNTY PRIOR TO ANY CONSTRUCTION OR DEMOLITION ACTIVITY. FAILURE TO MAKE SUCH CONFLICTS KNOWN WILL RESULT IN THE CONTRACTOR'S LIABILITY TO RELOCATE AND REPAIR.
  - MAINTAIN A MINIMUM THREE FOOT CLEARANCE AROUND FIRE HYDRANTS, FIRE DEPARTMENT CONNECTIONS OR OTHER FIRE SERVICE EQUIPMENT. NO TREES OR SHRUBS WILL BE ALLOWED WITHIN THIS AREA.
  - TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, AREAS OR UTILITY EASEMENTS. CONTACT LANDSCAPE ARCHITECT FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
  - THE CENTER OF EVERGREEN TREES SHALL NOT BE PLACED CLOSER THAN 8' AND THE CENTER OF ORNAMENTAL TREES CLOSER THAN 6' FROM A SIDEWALK, STREET OR DRIVE LANE. EVERGREEN TREES SHALL NOT BE LOCATED ANY CLOSER THAN 15' FROM IRRIGATION ROTOR HEADS. NOTIFY

**FINE GRADING NOTES**

- SLOPES NOT TO EXCEED 4:1 MAX. - 1% MIN.
- SATISFACTORY SOILS: ASTM D 2487 SOIL CLASSIFICATION GROUPS GW, GP, GM, SW, SP, AND SM, OR A COMBINATION OF THESE GROUP SYMBOLS; FREE OF ROCK OR GRAVEL LARGER THAN 3 INCHES (75 MM) IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATTER.
- STRIP TOPSOIL TO WHATEVER DEPTHS ARE ENCOUNTERED IN A MANNER TO PREVENT INTERMINGLING WITH UNDERLYING SUBSOIL OR OTHER WASTE MATERIALS.
- STRIP EXISTING SURFACES OF UNSUITABLE TOPSOIL, INCLUDING TRASH, DEBRIS, WEEDS, ROOTS, AND OTHER WASTE MATERIALS.
- STOCKPILE TOPSOIL MATERIALS ON-SITE WITHOUT INTERMIXING WITH SUBSOIL.
- REMOVE EXISTING VEGETATION, DEBRIS, UNSATISFACTORY SOIL MATERIALS, OBSTRUCTIONS, AND DELETERIOUS MATERIALS FROM GROUND SURFACE BEFORE PLACING FILLS.
- FLOW, SCARIFY, BENCH, OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL SO FILL MATERIAL WILL BOND WITH EXISTING MATERIAL.
- PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED CROSS-SECTIONS, ELEVATIONS AND GRADES WITH SATISFACTORY SOIL MATERIAL.
- UNIFORMLY GRADE AREAS TO A SMOOTH SURFACE, FREE FROM IRREGULAR SURFACE CHANGES. COMPLY WITH COMPACTION REQUIREMENTS AND GRADE TO CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED.

**SEEDING ESTABLISHMENT NOTES:**

- SEED SHALL BE LABELED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF AGRICULTURE, RULES AND REGULATIONS AND FEDERAL SEED ACT. SEED SHALL BE EQUAL IN QUALITY TO THE STANDARDS FOR 'CERTIFIED SEED' AND SHALL BE FURNISHED IN SEALED, UNOPENED, STANDARD CONTAINERS. SEED SHALL BE FRESH, CLEAN, PURE LIVE SEED WITH THE VARIETIES MIXED IN PROPORTIONS BY WEIGHT SHOWN AND MEETING THE MINIMUM PERCENTAGES OF PURITY AND GERMINATION SPECIFIED.
- SEED SHALL BE APPLIED AT A RATE SHOWN BY MIX. SEED SHALL PASS GOVERNMENT TEST OF GERMINATION OF EIGHTY PERCENT (80%) AND FOR PURITY OF NINETY PERCENT (90%). THE PURE LIVE SEED SHALL NOT BE LESS THAN SIXTY SEVEN ON ONE-HALF PERCENT (67.5%) FOR ANY ONE VARIETY, WITH THE AVERAGE OF THE MIXTURE, NO LESS THAN SEVENTY TWO PERCENT (72%). ALL SEED SHALL BE FREE OF POA ANNUA AND ALL NOXIOUS OBJECTIONABLE WEEDS WITH A MAXIMUM CROP OF ONE-TENTH PERCENT (0.1%) AND MAXIMUM WEED OF ONE TENTH PERCENT (0.1%). IF SEED AVAILABLE ON THE MARKET DOES NOT MEET THE MINIMUM PURITY AND GERMINATION PERCENTAGES SPECIFIED, THE CONTRACTOR MUST COMPENSATE BY FURNISHING SUFFICIENT ADDITIONAL SEED TO EQUAL THE SPECIFIED PRODUCT.
- SPREAD ORGANIC SOIL AMENDMENT MATERIALS, AT A RATE OF 3 C.Y. PER 1000 SQUARE FEET, EVENLY OVER ENTIRE DISTURBED AREA AND THOROUGHLY INCORPORATE, BY MIXING, ROTOTILLING OR FINELY DISKING (MAX. 1" SIZE), TO A DEPTH OF SIX INCHES. ALL STONES, STICKS AND DEBRIS BROUGHT TO THE SURFACE SHALL BE REMOVED FROM THE SITE PROPERLY DISPOSED OF BY THE CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNER. ALL SEED AREAS WILL THEN BE RAKED AND ROLLED TO THE DESIRED FINISHED GRADES WITH GENTLY SLOPING SURFACES TO ADEQUATELY DRAIN ALL SURFACE WATER RUNOFF. THE FINISHED SURFACE SHALL BE EVEN AND UNIFORM AND NO DIRT CLODS LARGER THAN ONE INCH (1") IN DIAMETER SHALL APPEAR ON THE SURFACE. THE SOIL SURFACE SHALL BE SMOOTH, LOOSE AND OF FINE TEXTURE, AND BE FLUSH WITH ALL PAVING EDGES.
- CONTRACTOR SHALL USE APPROPRIATE MECHANICAL POWER (BRILLION SEEDER OR EQUAL) TO DRILL THE SEED INTO THE SEEDBED WHEREVER POSSIBLE. SEED SHALL BE SOWN TO A DEPTH OF ONE-HALF INCH (1/2"). DRILLING SHALL BE DONE IN 2 SEPARATE APPLICATIONS CROSSING THE AREA AT RIGHT ANGLES TO ONE ANOTHER TO GUARANTEE PROPER COVERAGE. ON SLOPING LAND, SEEDING OPERATIONS SHALL FOLLOW THE GENERAL CONTOUR. AREAS TOO SMALL TO DRILL SEED MAY BE BROADCAST BY HAND AND APPLICATION RATES SHALL BE DOUBLED. SEEDING OF ANY KIND WILL NOT BE PERMITTED WHEN WIND VELOCITY IS SUCH AS TO PREVENT UNIFORM SEED DISTRIBUTION. NO APPLICATION SHALL TAKE PLACE WITH THE PRESENCE OF FREE SURFACE WATER OR WHEN GROUND IS FROZEN OR CANNOT BE TILLED. ADDITIONAL TOPICAL OVER SEEDING MAY BE APPLIED TO PREVIOUSLY SEEDED AREAS IN ORDER TO ACHIEVE ADEQUATE GROUND COVER AND EROSION RESISTANCE.
- SEEDED AREAS MAY REQUIRE TEMPORARY ABOVE GROUND SPRAY IRRIGATION UNTIL ESTABLISHMENT. IRRIGATION SHALL BE REMOVED UPON ACCEPTANCE BY THE CITY. WHERE STEEP SLOPES OCCUR, LANDSCAPE CONTRACTOR MAY REQUIRE VARIOUS METHODS OF TEMPORARY

- NOTES:
- DISTURBED AREAS TO BE RE-VEGETATED PER THE GRADING AND EROSION CONTROL PLANS.
  - PER TREE CONSERVATION PLAN, ALL MITIGATED SHRUBS FROM REMOVAL OF EXISTING SHRUB MASSES SHALL BE PLANTED WITHIN THE PROPOSED LANDSCAPE.
  - LANDSCAPE PLACEMENT IN THE TREE LAWN ADJACENT TO LOTS IS NOT FINAL AND MAY CHANGE BASED UPON DRIVEWAY AND UTILITY LOCATIONS.
  - NO FENCES OR STRUCTURES WILL BE ALLOWED WITHIN SIGHT TRIANGLES.
  - SHRUBS AND PLANTINGS WILL BE NO TALLER THAN 3 FEET, AND TREE CANOPIES WILL BE NO LOWER THAN 8 FEET WITHIN THE SIGHT TRIANGLE.
  - TEMPORARY IRRIGATION FOR ESTABLISHMENT OF NATIVE VEGETATION MUST BE INSTALLED ABOVE GROUND, AND REMOVED IMMEDIATELY AFTER ESTABLISHMENT IS COMPLETE, OR IN NO CASE, ANY LONGER THAN ONE GROWING SEASON.

- LANDSCAPE ARCHITECT IF TREE LOCATIONS CONFLICT WITH THESE STANDARDS FOR FURTHER DIRECTION.
- ALL EVERGREEN TREES SHALL BE FULLY BRANCHED TO THE GROUND AND SHALL NOT EXHIBIT SIGNS OF ACCELERATED GROWTH AS DETERMINED BY LANDSCAPE ARCHITECT.
  - NO PLANT MATERIAL SHALL BE PLANTED WITHIN 10' OF ANY EXISTING OR PROPOSED ELECTRICAL SWITCHGEARS, TRANSFORMERS OR OTHER ELECTRICAL UTILITY EQUIPMENT. PLANT MATERIAL MAY BE FIELD ADJUSTED TO PROVIDE THE 10' CLEAR SPACE AND ACCESSIBILITY REQUIRED BY THE UTILITIES' OWNER/OPERATOR.
  - ANY TREES INSTALLED ABOVE RETAINING WALLS UTILIZING GEO-GRID MUST BE DUG TO PROTECT GEO-GRID. IF GEO-GRID MUST BE CUT TO INSTALL TREES, APPROVAL MUST BE GIVEN BY LANDSCAPE ARCHITECT PRIOR TO DOING WORK.
  - PROPOSED PLANT SPECIES MAY BE SUBJECT TO CHANGE PENDING COMMERCIAL AVAILABILITY AT TIME OF CONSTRUCTION. ALL SPECIES SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. OVERALL PLANT QUANTITIES & SIZES SHALL REMAIN AS INDICATED ON THE PLANT SCHEDULE. CONTRACTOR SHALL VERIFY THAT ANY SUBSTITUTED PLANT SPECIES ARE ACCEPTABLE TO THE LOCAL MUNICIPALITY OR GOVERNING JURISDICTIONS.
  - IF SPECIFIED PLANTS ARE NOT COMMERCIALY AVAILABLE AT TIME OF CONSTRUCTION/INSTALLATION, CONTRACTOR SHALL COORDINATE WITH LANDSCAPE ARCHITECT FOR A SUBSTITUTION.

**PLANTING BEDS**

- ALL PROPOSED PLANTING BEDS SHALL CONTAIN THE SPECIFIED MULCH. ROCK MULCH BEDS SHALL INCLUDE MIRAFI WEED BARRIER FABRIC OR EQUAL SECURED WITH PINS. OVERLAP FABRIC MIN. 24" AT EDGES. NO FABRIC IS REQUIRED IN WOOD MULCH AREAS.
- ROCK MULCH AROUND VEGETATION SHALL CONTAIN 1 1/2"-2" DIA. ROUND RIVER COBBLE, TAN COLOR, 4" DEPTH.
- WOOD MULCH SHALL BE 'GORILLA HAIR' OR EQUAL SHREDDED CEDAR MULCH, 4" DEPTH.
- EDGING BETWEEN TURF AND PLANTING BEDS SHALL BE 12-GAUGE, GREEN COLOR, ROLLED-TOP, STEEL EDGING OR EQUIVALENT. ANY NO EDGING IS REQUIRED AGAINST HARDSCAPE/WALK AREAS OR AT TREE RING EDGES. EDGING SHALL BE INSTALLED TO AVOID IMPEDING DRAINAGE. RE: DETAILS FOR INSTALLATION IN LOW DRAINAGE AREAS.
- FOR TREES NOT IN PLANTING BEDS, ALLOW A 6-8" DIAMETER BED (TREE RING) WITHOUT SOD AROUND ROOT COLLAR. APPLY SPECIFIED WOOD MULCH & DEPTH AROUND COLLAR FOLLOWING SOD INSTALLATION. NO FABRIC OR STEEL EDGER IS NECESSARY WITHIN TREE RINGS IN NATIVE AREAS. TREES IN PLANTING BEDS SHALL NOT HAVE WEED BARRIER INSTALLED WITHIN 6" OF THEIR TRUNKS.

**HARDSCAPE**

- REFER TO SITE PLANS & DETAILS FOR SPECIALTY CONCRETE LOCATIONS WHERE APPLICABLE.

**IRRIGATION**

- IRRIPIPMENT UNDERGROUND IRRIGATION IS REQUIRED IN ALL LANDSCAPE AREAS. 2) TURF AREAS ARE ZONED SEPARATELY FROM BED AREAS, 3) CONTROLLER TO INCLUDE RAIN SHUT-OFF 4) HYDROZONES WILL BE ON SEPARATE IRRIGATION ZONES ACCORDING TO WATER DEMAND.
- REFER TO IRRIGATION PLANS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM STANDARDS FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATIONS DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECH REPORT.
- TURF & IRRIGATED NATIVE AREAS (WHERE APPLICABLE) SHALL BE IRRIGATED BY AUTOMATIC POP-UP SPRAY SYSTEM. SHRUBS & PLANTING BEDS SHALL BE IRRIGATED WITH DRIP/BUBBLER SYSTEM.
- ALL TREES & SHRUBS OUTSIDE OF BEDS WITHIN NATIVE AREAS SHALL BE DRIP IRRIGATED. ALL IRRIGATION SHALL BE AN AUTOMATIC UNDERGROUND SYSTEM
- REFER TO IRRIGATION PLANS FOR DETAILED INFORMATION.

**MAINTENANCE**

- CONTRACTOR IS TO MAINTAIN ALL PLANTINGS AND ASSOCIATED IRRIGATION SYSTEM INSTALLED UNDER THIS CONTRACT UNTIL FINAL ACCEPTANCE BY THE CITY AND TURNOVER TO OWNER. THIS MAINTENANCE SHALL INCLUDE PROPER WATERING OF ALL PLANTS, AND MOWING OF TURF/SEED AREAS IF NECESSARY.
- SITE MUST BE CLEAN AND FREE OF ALL CONSTRUCTION DEBRIS BEFORE FINAL ACCEPTANCE.
- ALL PLANT MATERIAL WILL BE COVERED BY A WARRANTY PERIOD. THE CONTRACTOR SHALL REPLACE DEAD, UNHEALTHY, OR OTHERWISE UNSATISFACTORY MATERIAL THROUGHOUT THIS PERIOD. THE WARRANTY SHALL BEGIN UPON FINAL ACCEPTANCE OF THE JOB.
- LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A LIVING CONDITION BY THE OWNER OR ASSIGNS OR OWNERS ASSOCIATION. TREES AND SHRUBS MUST HAVE A 100% ONGOING SURVIVAL RATE. ANY DEAD OR DAMAGED PLANT MATERIAL (AS DETERMINED BY THE LOCAL MUNICIPALITY) SHALL BE REPLACED. NON-LIVING GROUND COVERS, SUCH AS ROCK OR MULCH, MUST BE 100% INTACT AFTER ONE YEAR AND 100% INTACT THEREAFTER.
- LANDSCAPE AREAS WITHIN THE PROPERTY AND WITHIN THE ADJACENT RIGHT OF WAY SHALL BE MAINTAINED BY THE PROPERTY OWNER.

- PROVIDE A SMOOTH TRANSITION BETWEEN ADJACENT EXISTING GRADES AND NEW GRADES.
- CUT OUT SOFT SPOTS, FILL LOW SPOTS AND TRIM HIGH SPOTS TO COMPLY WITH REQUIRED SURFACE TOLERANCES.
- SITE GRADING: SLOPE GRADES TO DIRECT WATER AWAY FROM ADJACENT STRUCTURES AND TO PREVENT PONDING. FINISH SUBGRADES TO REQUIRED ELEVATIONS WITHIN THE FOLLOWING TOLERANCES:
  - A. AT LOCATIONS DESIGNATED FOR LAWN OR UNPAVED AREAS: PLUS OR MINUS 1 INCH (25 MM).
  - B. AT DESIGNATED PAVEMENT LOCATIONS: PLUS OR MINUS 1/2 INCH (13 MM).
- GRADING ON SLOPES: INSTALL EROSION STABILIZATION FABRIC PER MANUFACTURERS RECOMMENDATIONS ON SLOPED SURFACES EQUAL TO OR GREATER THAN A RATIO OF 1) VERTICAL FOOT TO 3) HORIZONTAL FEET.
- CONTRACTOR WILL ENGAGE A QUALIFIED INDEPENDENT GEOTECHNICAL ENGINEERING TESTING AGENCY TO PERFORM FIELD QUALITY-CONTROL TESTING.
- PROTECT NEWLY GRADED AREAS FROM TRAFFIC, FREEZING, AND EROSION. KEEP FREE OF TRASH AND DEBRIS.
- REPAIR AND REESTABLISH GRADES TO SPECIFIED TOLERANCES WHERE COMPLETED OR PARTIALLY COMPLETED SURFACES BECOME ERODED, RUTTED, SETTLED, OR WHERE THEY LOSE COMPACTION DUE TO SUBSEQUENT CONSTRUCTION OPERATIONS OR WEATHER CONDITIONS.
- WHERE SETTLING OCCURS BEFORE PROJECT CORRECTION PERIOD ELAPSES, REMOVE FINISHED SURFACE GRADING, BACKFILL WITH ADDITIONAL SOIL MATERIAL, COMPACT, AND RECONSTRUCT SURFACE GRADING.
- TRANSPORT SURPLUS SATISFACTORY SOIL TO DESIGNATED STORAGE AREAS ON OWNER'S PROPERTY. STOCKPILE OR SPREAD SOIL AS DIRECTED BY OWNER.

IRRIGATION TO ACHIEVE SEED ESTABLISHMENT. SUCH METHODS SHALL BE IN COMPLIANCE WITH THE PROJECT'S EROSION CONTROL METHODS, BMP'S AND ALL CITY CODES AND REQUIREMENTS.

- MULCH WILL BE HYDRO MULCH. HYDRO MULCH SHALL BE CONWED 200 AND TACKIFIER OR APPROVED SUBSTITUTE MEETING THE FOLLOWING REQUIREMENTS:
  - I. VIRGIN WOOD CELLULOSE FIBER: MAY NOT CONTAIN ANY SUBSTANCE OR FIBER THAT MAY INHIBIT GERMINATION OF GROWTH OF GRASS SEEDS AND PLANTS.
  - II. DYE TO APPROPRIATE COLOR TO ALLOW PROPER METERING OF APPLICATION.
  - III. FIBERS MUST HAVE ABILITY TO BECOME EVENLY DISPERSED AND SUSPENDED WHEN AGITATED IN WATER.
  - IV. WHEN SPRAYED UNIFORMLY ON SURFACE OF SOIL, FIBERS SHALL FORM BLOTTER - LIKE GROUND COVER THAT READILY ABSORBS WATER, AND ALLOWS INFILTRATION TO UNDERLYING SOIL.
  - V. WEIGHT SPECIFICATIONS SHALL REFER ONLY TO AIR DRY WEIGHT OF FIBERS WITH A STANDARD MOISTURE CONTENT OF TEN PERCENT (10%).
  - VI. MULCH MATERIAL SHALL BE SUPPLIED IN CONTAINERS NOT WEIGHING OVER ONE HUNDRED (100) LBS AND SHOWING AIR DRY WEIGHT OF FIBERS.
  - VII. ORGANIC TACKIFIER MAY BE SUPPLIED WITH HYDROMULCH FIBERS OR BE ADDED AT A LATER TIME.

**WEED MANAGEMENT**

BEFORE SEEDING, REMOVE EXISTING WEEDS BY PULLING, TILLING UNDER AND/OR, APPLYING A GLYPHOSATE HERBICIDE SUCH AS ROUNDUP®, OR BY A COMBINATION OF THESE METHODS. FOR ADDITIONAL WEED CONTROL AFTER SITE PREPARATION, A SOIL FUMIGANT MAY BE USED, OR THE AREA MAY BE IRRIGATED TO ENCOURAGE WEED GROWTH AND THEN SPRAYED WITH A GENERAL HERBICIDE. IN VERY WEEDY AREAS, THE FOLLOWING METHOD IS SUGGESTED: (1) TILL SOIL OR SPRAY VEGETATION WITH ROUNDUP®, WHEN USING AN HERBICIDE, ALLOW VEGETATION TO DIE, THEN RAKE OUT THE DEAD DEBRIS. IF PERENNIAL WEEDS SUCH AS BINDWEED ARE PRESENT, USING AN HERBICIDE IS MORE EFFECTIVE THAN TILLING. (2) IRRIGATE TO ENCOURAGE GERMINATION OF WEED SEEDS NEAR THE SURFACE; MOST SEEDS WILL GERMINATE WITHIN TWO WEEKS IF CONSISTENT MOISTURE IS AVAILABLE. DO NOT TILL THE SOIL AGAIN BECAUSE THIS WILL BRING EVEN MORE WEED SEEDS UP TO THE SURFACE. (3) SPRAY ANY NEW GROWTH WITH ROUNDUP®, (4) AFTER RAKING OUT DEAD VEGETATION, ALLOW SOIL TO RECOVER FOR 4 WEEKS BEFORE PLANTING SEE. A RECOVERY PERIOD OF THIS DURATION IS ADVISABLE BECAUSE EXTENSIVE USE OF GLYPHOSATE HERBICIDES MAY CAUSE A DELAY IN GERMINATION AND IN THE VIGOROUS GROWTH OF SEEDLINGS. ONCE THE SEEDS HAVE GERMINATED, FURTHER WEED CONTROL IS USUALLY NECESSARY. IF PRACTICAL, PULL ALL WEEDS AS SOON AS THEY CAN BE IDENTIFIED. OTHER SUCCESSFUL TECHNIQUES ARE SPOT-SPRAYING WITH A GENERAL HERBICIDE OR SELECTIVELY CUTTING WEEDS WITH A STRING TRIMMER. BE SURE TO REMOVE WEEDS BEFORE THEY RESEED. ONCE ESTABLISHED, NATIVE AREAS MAY BE MOWED TWICE A SEASON OR AS REQUIRED TO MINIMIZE WEED GROWTH. FURTHER MOWING ADJACENT TO ROADWAYS AND PARK AREAS MAY BE REQUIRED AS SEASONAL DROUGHT AND FIRE CONDITIONS MAY DICTATE.

**PLANT SCHEDULE**

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL / SIZE	HT X SPD	IRR_ZONE
AS	4	ACER PLATANOIDES 'SCHWEDLERI'	SCHWEDLER MAPLE	B & B	2.5" CAL	50' X 30'	MODERATE
PO	2	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	B & B	2.5" CAL	80' X 80'	MODERATE
QM	4	QUERCUS MACROCARPA	BURR OAK	B & B	2.5" CAL	70' X 70'	VERY LOW
QM2	5	QUERCUS MUEHLLENBERGII	CHINKAPIN OAK	B & B	2.5" CAL	50' X 50'	LOW
QR	1	QUERCUS RUBRA	RED OAK	B & B	2.5" CAL	50' X 45'	LOW
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL / SIZE	HT X SPD	IRR_ZONE
PP	5	PINUS EDULIS	PINUS PINE	B & B	6'-8" HT	25' X 20'	VERY LOW
PSP	3	PINUS FLEXILIS	LUMBER PINE	B & B	6'-8" HT	50' X 25'	LOW
PN	12	PINUS NIGRA	AUSTRIAN BLACK PINE	B & B	6'-8" HT	50' X 30'	VERY LOW
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL / SIZE	HT X SPD	IRR_ZONE
AH	11	ACER TATARICUM 'HOT WINGS'	HOT WINGS TATARIAN MAPLE	B & B	2" CAL	30' X 15'	LOW-MOD
ANNUALS/PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT X SPD	IRR_ZONE	LIGHT REQ.
SP	30	SCABIOSA CAUCASICA 'PERFECTA BLUE'	PINCUSHION FLOWER	1 GAL	2.5" X 1.5"	LOW	FULL SUN
DECIDUOUS SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT X SPD	IRR_ZONE	LIGHT REQ.
CD	18	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT'	BLUE MIST SHRUB	5 GAL	3' X 4'	MODERATE	FULL SUN
CI	59	CERCOCARPUS INTRICATUS	LITTLE LEAF MOUNTAIN MAHOGANY	5 GAL	5' X 5'	LOW	FULL SUN
CH	19	COTONEASTER HORIZONTALIS	ROCK COTONEASTER	5 GAL	3' X 5'	MODERATE	FIP SUN
PS2	12	PENSTEMON STRICTUS	ROCKY MOUNTAIN PENSTEMON	5 GAL	2' X 3'	LOW	FULL SUN
PD	21	POTENTILLA FRUTICOSA 'GOLD DROP'	GOLD DROP POTENTILLA	5 GAL	3' X 3'	LOW	FIP SUN
RT	17	RHUS TRILOBATA	THREE LEAF SUMAC	5 GAL	4' X 5'	VERY LOW	FULL SUN
RG	4	RIBES AUREUM	GOLDEN CURRANT	5 GAL	4' X 6'	LOW	FIP SUN
EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT X SPD	IRR_ZONE	LIGHT REQ.
JH	7	JUNIPERUS HORIZONTALIS 'HUGHES'	HUGHES JUNIPER	5 GAL	1.5' X 6'	VERY LOW	FULL SUN
PS	26	PINUS MUGO 'SLOWMOUND'	MUGO PINE	5 GAL	2.5' X 5'	LOW	FULL SUN
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT X SPD	IRR_ZONE	LIGHT REQ.
BOG	116	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GAL	3' X 2'	LOW-MOD	FULL SUN
MY	14	MISCANTHUS SINENSIS 'YAKU JIMA'	YAKU JIMA DWARF MAIDEN GRASS	1 GAL	3' X 3'	HIGH	FULL SUN
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT			
	16,103 SF	BLUEGRASS SOD RE: LANDSCAPE NOTES	BLUEGRASS SOD	SOD			
	3,681 SF	BUFFALO GRASS RE: LANDSCAPE NOTES	BUFFALO GRASS	SOD			
	3,473 SF	ROCK MULCH GREY, 4" DIA. COBBLE 4" DEPTH, RE: LDSCP NOTES	ROCK MULCH GREY, 4" DIA. COBBLE	MULCH			
	21,071 SF	SEED MIX 1 TOWN OF PARKER - SEED MIX 1, RE: LANDSCAPE NOTES	SEED MIX 1	SEED			
	15,536 SF	SEED MIX 2 TOWN OF PARKER - SEED MIX 2, RE: LANDSCAPE NOTES	SEED MIX 2	SEED			

**GROUND COVERS**

	16,103 SF	BLUEGRASS SOD RE: LANDSCAPE NOTES	BLUEGRASS SOD	SOD
	3,681 SF	BUFFALO GRASS RE: LANDSCAPE NOTES	BUFFALO GRASS	SOD
	3,473 SF	ROCK MULCH GREY, 4" DIA. COBBLE 4" DEPTH, RE: LDSCP NOTES	ROCK MULCH GREY, 4" DIA. COBBLE	MULCH
	21,071 SF	SEED MIX 1 TOWN OF PARKER - SEED MIX 1, RE: LANDSCAPE NOTES	SEED MIX 1	SEED
	15,536 SF	SEED MIX 2 TOWN OF PARKER - SEED MIX 2, RE: LANDSCAPE NOTES	SEED MIX 2	SEED

\* TREES CANOPIES WILL BE NO LONGER THAN 8 FEET WITHIN THE SIGHT TRIANGLE

**SEED MIXES**

TOWN OF PARKER SEED MIX 1		SEED MIX 2	
COMMON NAME	PERCENTAGE	COMMON NAME	PERCENTAGE
CANADA WILDRYE	20%	SLENDER WHEATGRASS	22%
CRESTED WHEATGRASS	15%	SODAR STREAMBANK WHEATGRASS	18%
SLENDER WHEATGRASS	15%	ARIZONA FESCUE	13%
ANNUAL RYEGRASS	10%	BLUE GRAMA	13%
SHEEP FESCUE	10%	BUFFALO GRASS	12%
BIG BLUESTEM	10%	BARLEY OR OATS	12%
SIDEOATS GRAMA	10%	SPIKE MUHLY	5%
CANADA BLUEGRASS	5%	INDIAN RICEGRASS	5%
BLUE GRAMA	5%		

SEEDING RATE	SEEDING RATE
DRILLED: 25 LBS/AC.	DRILLED: 25 LBS/AC.
BROADCAST: 50LBS/AC.	BROADCAST: 50LBS/AC.

**SOD MIXES**

BLUEGRASS SOD: 'ENVIROTURF' BY TURF MASTERS, LLC.  
BUFFALO GRASS SOD: 'LEGACY' BUFFALOGASS BY GREEN VALLEY TURF CO.

Prepared For

ESX MANAGEMENT  
7353 SOUTH ALTON WAY  
CENTENNIAL, CO 80112

Land Planning



pcs group inc. www.pcsgruopco.com  
#3-B-180 Independence plaza  
1007 16th street, denver, co 80265  
1.303.531.4905 . 1.303.531.4908

Engineering



10333 E. DRY CREEK RD. #240  
ENGLEWOOD, CO 80112  
720-482-9526

TRAILS AT CROWFOOT  
FILING NO. 6  
PARKER, COLORADO

LANDSCAPE PLANS



Drawn by: JWI, BEM, GG  
Checked by: PCS STAFF  
Submittal Date: xx.xx.2017

Know what's below. Call before you dig.



Sheet Name  
LANDSCAPE NOTES & PLANT SCHEDULE

Sheet Number

L0.1

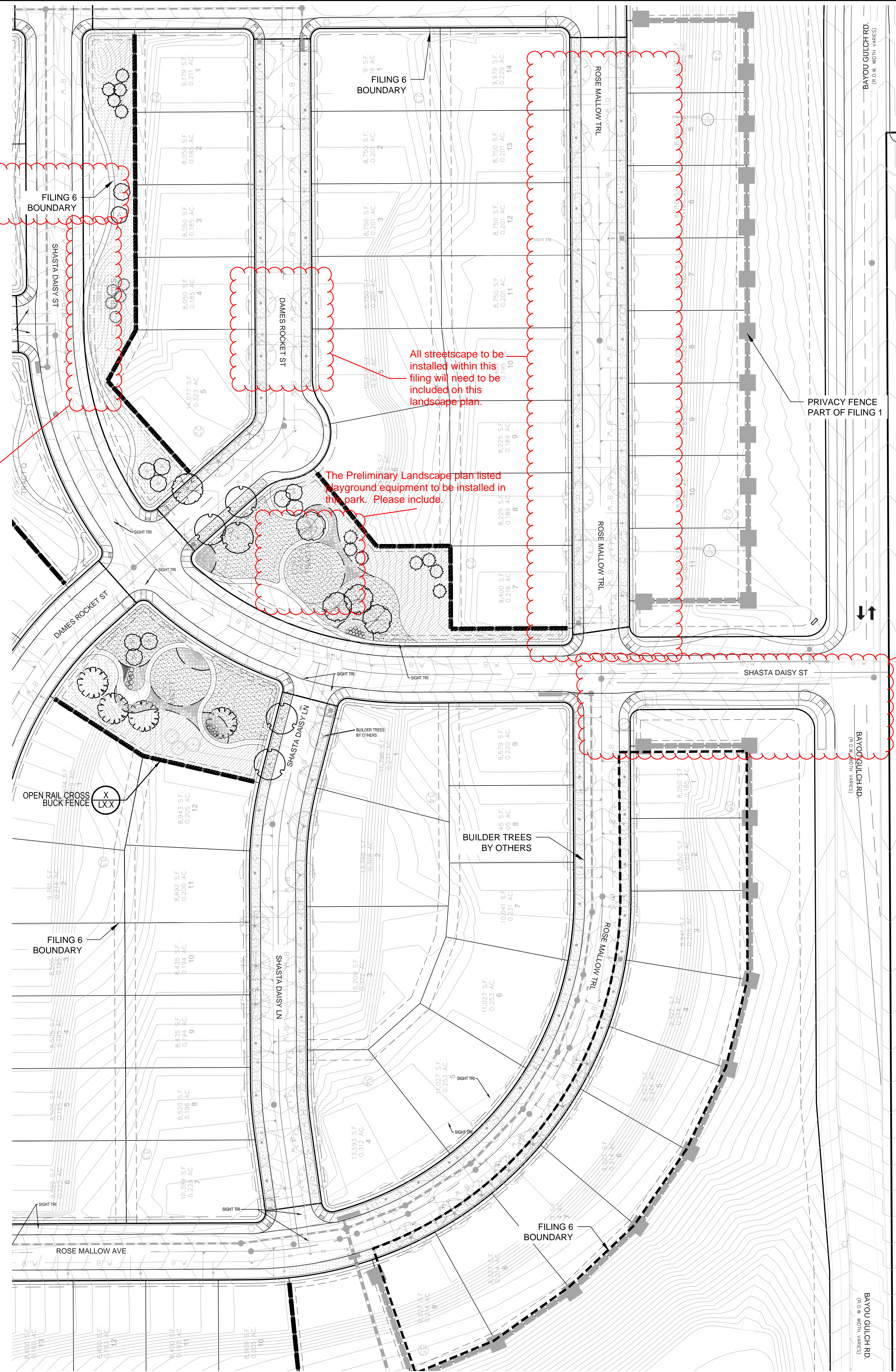
Should this arrow be pointing at back of sidewalk or fence?

Please show the street trees to be installed in this area. If to be installed in a different filing, please gray out and add a note as to which filing they will be installed.

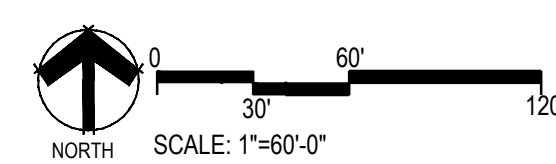
All streetscape to be installed within this filing will need to be included on this landscape plan.

The Preliminary Landscape plan listed playground equipment to be installed in this park. Please include.

Please show all landscaping on the plans. If landscaping is to be installed within a different filing, please gray out and add a note as to which filing it will be installed.



- NOTES:
1. LANDSCAPE MATERIAL AND TREES IN TREE LAWNS ADJACENT TO LOTS ARE RESPONSIBILITY OF HOME BUILDER. STREET TREE LOCATIONS ARE NOT FINAL AND MAY CHANGE BASED UPON DRIVEWAY LOCATION.
  2. NO FENCES OR STRUCTURES WILL BE ALLOWED WITHIN SIGHT TRIANGLES.
  3. SHRUBS AND WILL BE LOWER THAN 3' WITHIN SIGHT TRIANGLES.
  4. TREE CANOPIES WITHIN SIGHT TRIANGLES WILL BE NO LOWER THAN 8'



Prepared For  
E5X MANAGEMENT  
7353 SOUTH ALTON WAY  
CENTENNIAL, CO 80112

Land Planning  
people creating spaces  
pcs group inc. www.pcsgruopco.com  
43, 9-180 Independence plaza  
1007 16th street, denver, co 80265  
1 303.531.4905 . 1 303.531.4908

Engineering  
**CVL**  
CONSULTANTS  
10333 E. DRY CREEK RD. #240  
ENGLEWOOD, CO 80112  
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**TRAILS AT CROWFOOT**  
FILING NO. 6  
PARKER, COLORADO  
LANDSCAPE PLANS

DRAFT/NOT FOR CONSTRUCTION

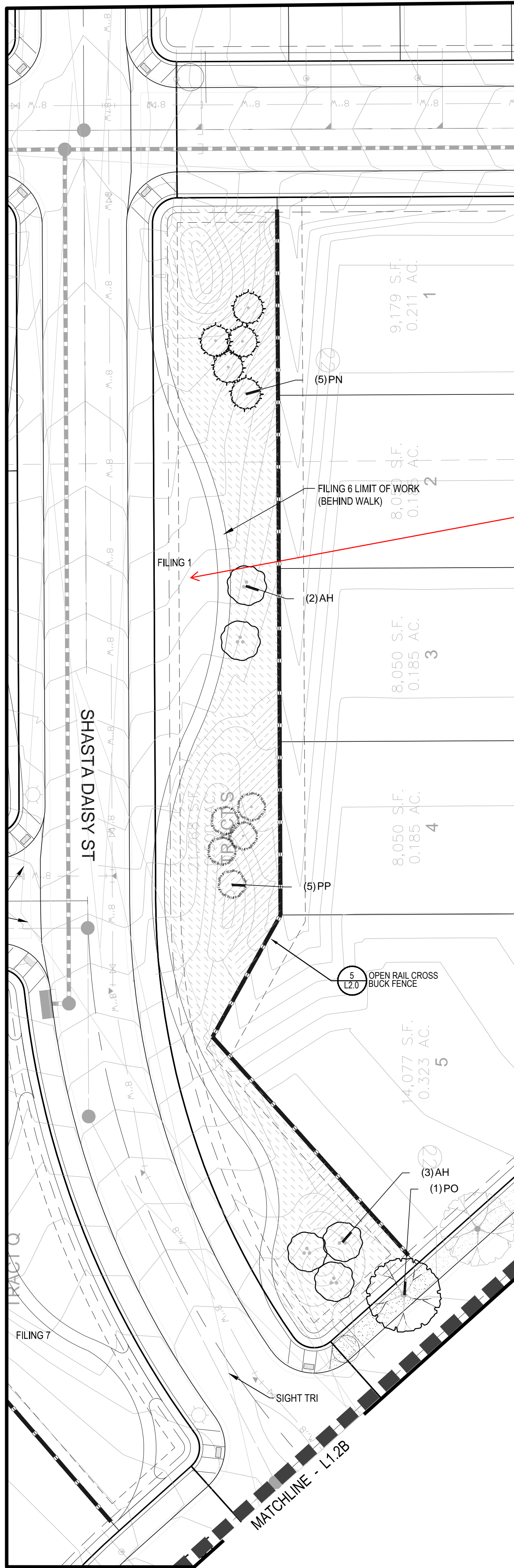
Drawn by: JWI, BEM, GG  
Checked by: PCS STAFF  
Submittal Date: xx.xx.2017



Sheet Name  
OVERALL LANDSCAPE PLAN

Sheet Number  
**L1.0**

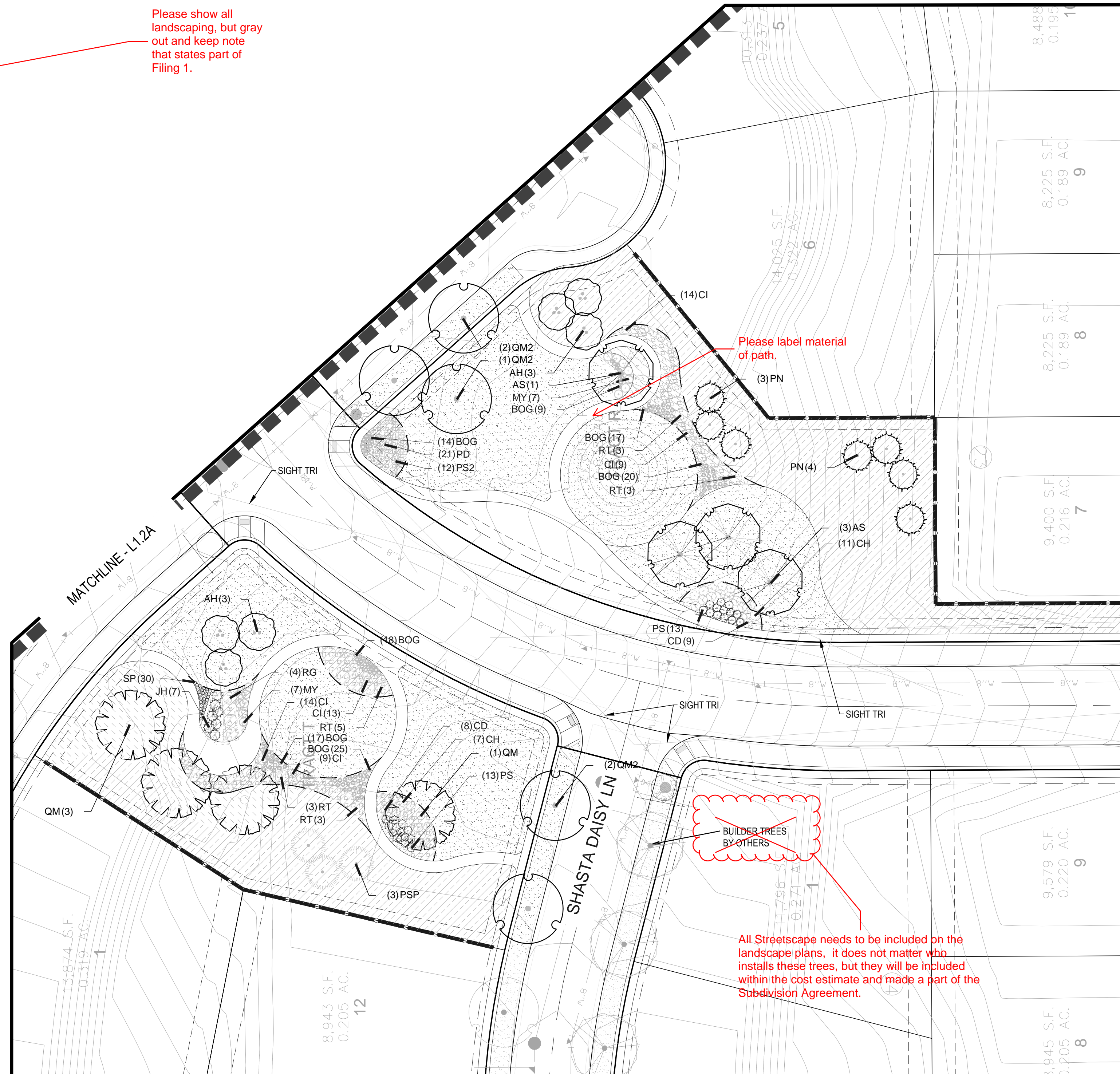
Y:\HESSE\_RANCH\LANDSCAPE\_ARCHITECTURE\CURRENT DWGS\HESSE-LDSCP PLANS - FILING 6.DWG  
Friday, May 19, 2017



L1.2A

**LAYOUT NOTES**

- REFER TO CIVIL ENGINEER DRAWINGS/DATA SETS FOR PROJECT BENCHMARK AND BASIS OF BEARING.
- SITE LAYOUT DATA INCLUDING COORDINATE POINTS ARE DERIVED FROM CIVIL ENGINEERING CONSULTANT. CONTACT CIVIL ENGINEER REGARDING ANY DISCREPANCIES OR CLARIFICATIONS REGARDING COORDINATE SYSTEMS, SURVEY MARKERS OR OTHER HORIZONTAL CONTROL DATA.
- UNLESS OTHERWISE NOTED, DIMENSIONS ARE TO THE FOLLOWING: CENTERLINES, EDGE OF PAVING, CENTERS OF COLUMNS/POSTS.
- ALL EDGES OF PAVEMENT ARE TO BE STRAIGHT OR OF CONSISTENT RADIUS, IN THE CASE OF CURVES, AS SHOWN HEREON; NO UNSPECIFIED TANGENTS OR KINKS WILL BE APPROVED.
- ALL CONSTRUCTION LAYOUT STAKING IS TO BE PERFORMED BY A LAND SURVEYOR OR PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF COLORADO, TO FACILITATE ACCURACY IN CONSTRUCTION STAKING. UPON WRITTEN REQUEST FROM CONTRACTOR, A CD CONTAINING THE ELECTRONIC DATA COMPRISING THESE SITE DEVELOPMENT DRAWINGS WILL BE FORWARDED FROM THE LANDSCAPE ARCHITECT TO THE LAND SURVEYOR OR PROFESSIONAL ENGINEER EMPLOYED TO PERFORM CONSTRUCTION STAKING.
- IN ORDER TO MAINTAIN THE INTEGRITY OF THE HORIZONTAL AND VERTICAL CONTROL FOR THE SITE, THE SURVEYOR OR PROFESSIONAL ENGINEER EMPLOYED BY THE CONTRACTOR TO PERFORM CONSTRUCTION LAYOUT STAKING SHALL SET AND PROTECT ADDITIONAL TRAVERSE POINTS OUTSIDE THE AREAS OF CONSTRUCTION ACTIVITY.



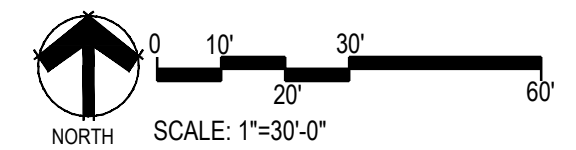
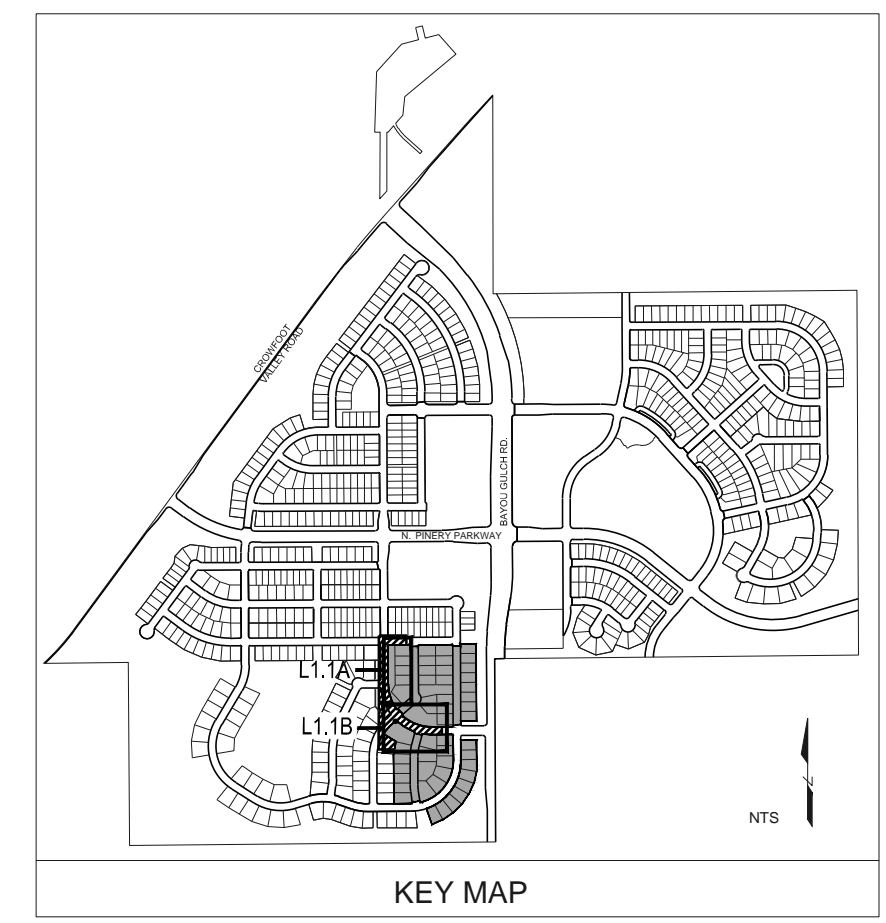
L1.2B

**PLANT & GROUND COVER LIST**

DECIDUOUS TREES	COMMON NAME
PO	AMERICAN SYCAMORE
QM	BURR OAK
QM2	CHINKAPIN OAK
QR	RED OAK
AS	SCHWEDLER MAPLE
EVERGREEN TREES	COMMON NAME
PN	AUSTRIAN BLACK PINE
PSP	LIMBER PINE
PP	PINON PINE
ORNAMENTAL TREES	COMMON NAME
AH	HOT WINGS TATARIAN MAPLE
ANNUALS/PERENNIALS	COMMON NAME
SP	PINCUSHION FLOWER
DECIDUOUS SHRUBS	COMMON NAME
CD	BLUE MIST SHRUB
PD	GOLD DROP POTENTILLA
RG	GOLDEN CURRANT
CI	LITTLE LEAF MOUNTAIN MAHOGANY
CH	ROCK COTONEASTER
PS2	ROCKY MOUNTAIN PENSTEMON
RT	THREE LEAF SUMAC
EVERGREEN SHRUBS	COMMON NAME
JH	HUGHES JUNIPER
PS	MUGO PINE
ORNAMENTAL GRASSES	COMMON NAME
BOG	BLUE OAT GRASS
MY	YAKU JIMA DWARF MAIDEN GRASS

GROUND COVERS	COMMON NAME
[Pattern]	BLUEGRASS SOD
[Pattern]	BUFFALO GRASS
[Pattern]	ROCK MULCH GREY, 4" DIA. COBBLE
[Pattern]	SEED MIX 1
[Pattern]	SEED MIX 2
*	TREES CANOPIES WILL BE NO LONGER THAN 8 FEET WITHIN THE SIGHT TRIANGLE

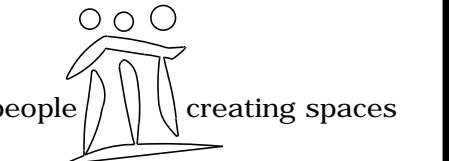
- NOTES:**
- LANDSCAPE MATERIAL AND TREES IN TREE LAWNS ADJACENT TO LOTS ARE RESPONSIBILITY OF HOME BUILDER. STREET TREE LOCATIONS ARE NOT FINAL AND MAY CHANGE BASED UPON DRIVEWAY LOCATION.
  - NO FENCES OR STRUCTURES WILL BE ALLOWED WITHIN SIGHT TRIANGLES.
  - SHRUBS AND WILL BE LOWER THAN 3' WITHIN SIGHT TRIANGLES.
  - TREE CANOPIES WITHIN SIGHT TRIANGLES WILL BE NO LOWER THAN 8'



Prepared For

ESX MANAGEMENT  
7353 SOUTH ALTON WAY  
CENTENNIAL, CO 80112

Land Planning



pcs group inc. www.pcsgroupco.com  
435 S. 180th Independence plaza  
1007 16th street, denver, co 80245  
1.303.531.4905 . 1.303.531.4908

Engineering



10333 E. DRY CREEK RD. #240  
ENGLEWOOD, CO 80112  
720-482-9526

**TRAILS AT CROWFOOT**  
FILING NO. 6  
PARKER, COLORADO  
LANDSCAPE PLANS

DRAFT/NOT FOR CONSTRUCTION

Drawn by: JWI, BEM, GG  
Checked by: PCS STAFF  
Submittal Date: xx.xx.2017



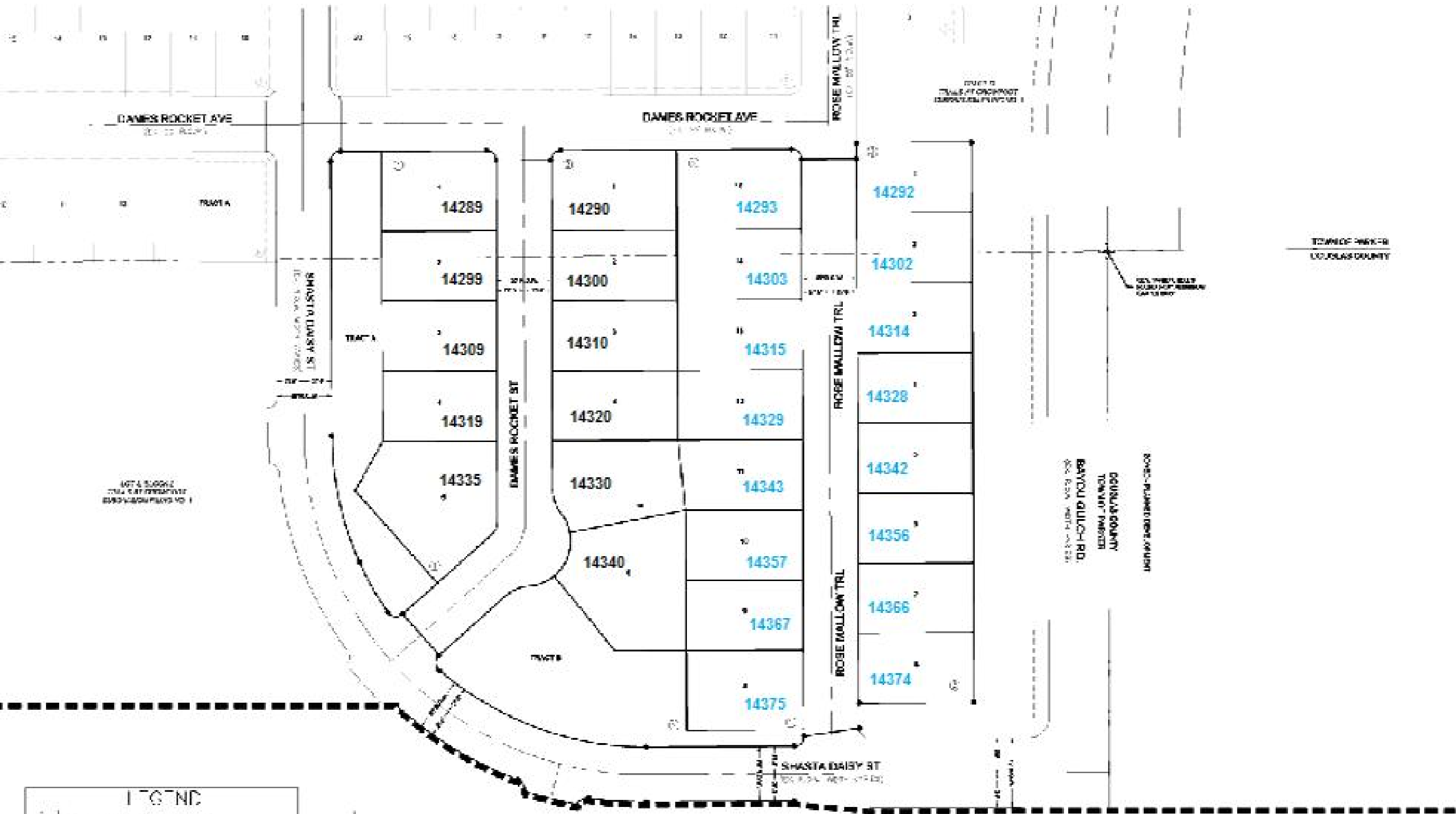
Sheet Name  
LANDSCAPE PLAN

Sheet Number

L1.2

# TRAILS AT CROWFOOT SUBDIVISION FILING NO. 6 ADDRESS PLAT

A RESUBDIVISION OF LOT 2, BLOCK 1, LOT 4, BLOCK 3, AND LOT 1, BLOCK 5 OF TRAILS AT CROWFOOT FILING NO. 1  
 A PART OF THE SECTIONS 4, 8 AND 9, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6th PRINCIPAL MERIDIAN,  
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
 SHEET 2 OF 3



**LEGEND**

- CENTER OF ROADWAY
- UTILITY LINE
- EASEMENT

