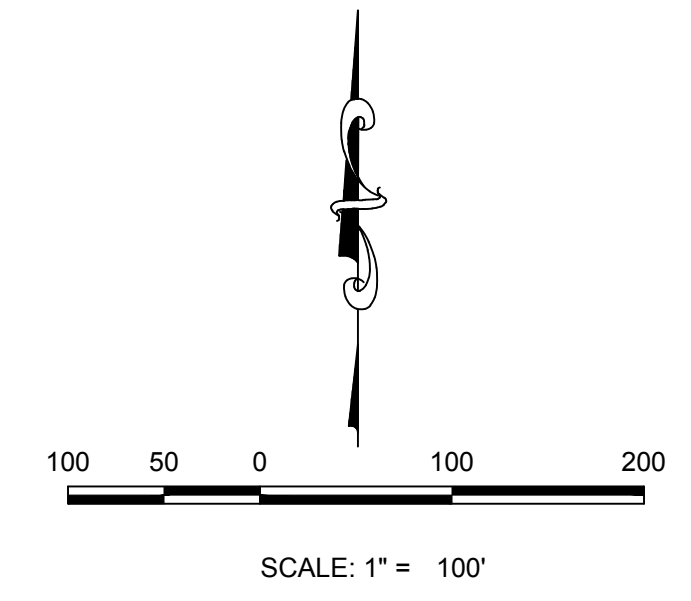
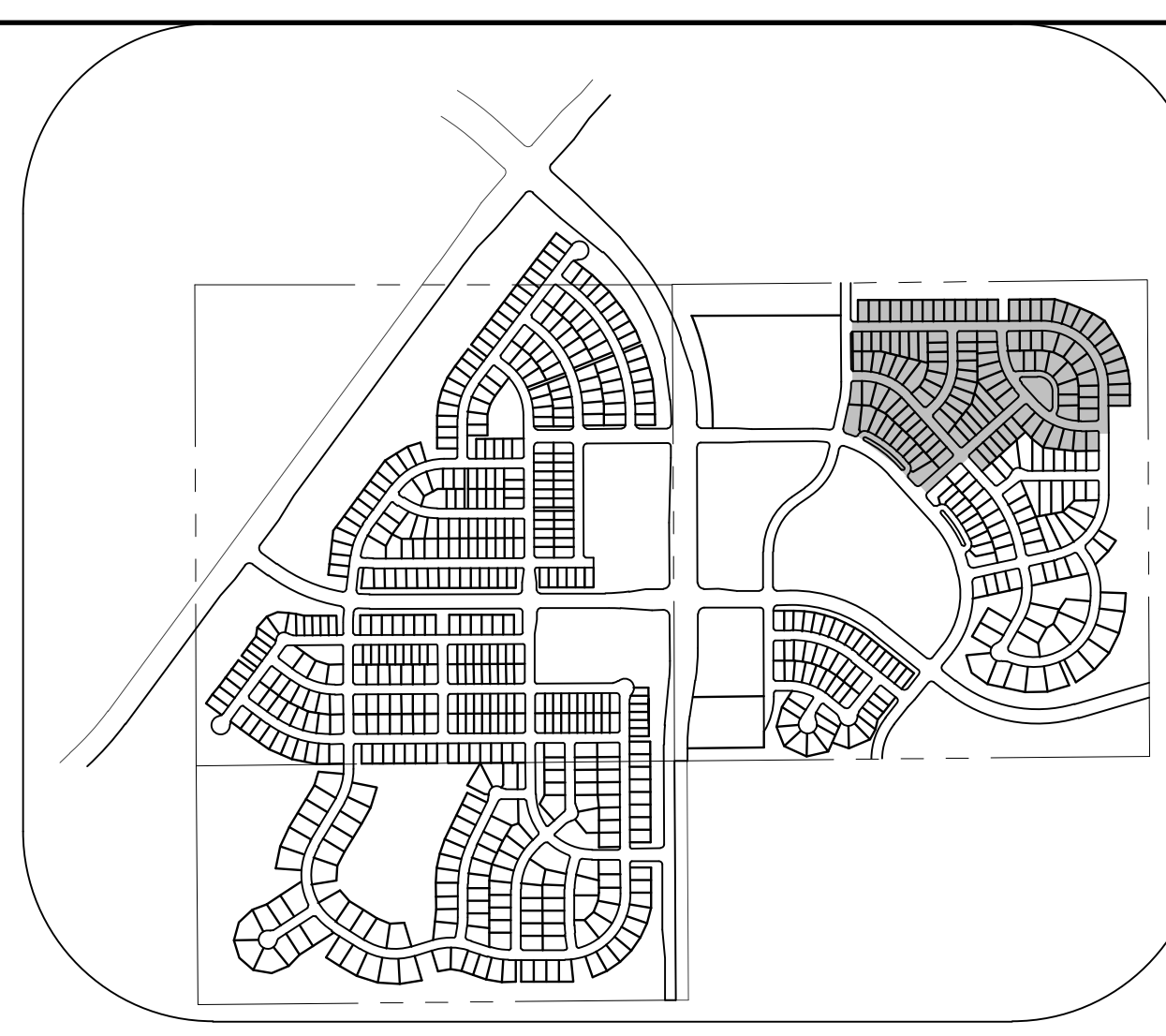
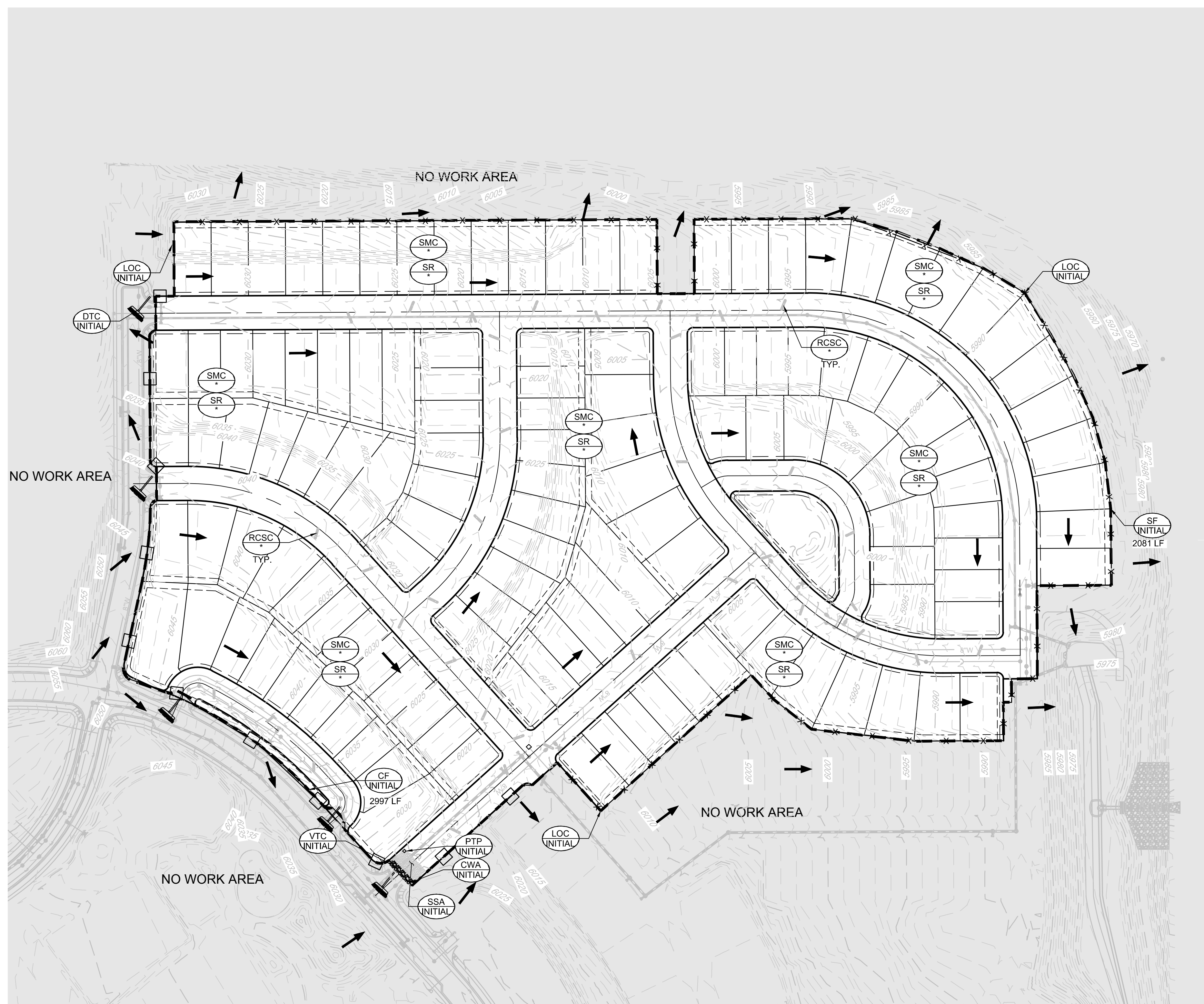








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**KEYMAP**  
N.T.S.

- LEGEND**
- EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - PROPOSED MAJOR CONTOUR
  - PROPOSED MINOR CONTOUR
  - NO WORK AREA
  - EXISTING SURFACE FLOW DIRECTION
  - PROPOSED SURFACE FLOW DIRECTION

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| <p><b>CBMP</b><br/>CONSTRUCTION BEST MANAGEMENT PRACTICES<br/>LEGEND<br/>1.0 - 1.1</p> | <p><b>CBMP</b><br/>CONSTRUCTION BEST MANAGEMENT PRACTICES<br/>LEGEND<br/>1.2 - 1.3</p> | <p><b>CBMP</b><br/>CONSTRUCTION BEST MANAGEMENT PRACTICES<br/>LEGEND<br/>1.4 - 1.5</p> |
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- NOTE:**
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  - ALL STREET CUTS SHALL BE CONTROLLED PER THE ROUGH CUT STREET CONTROL DETAIL. SEE BMP DETAILS.
  - TO REDUCE THE POTENTIAL FOR CLOGGING OF DEBRIS GATES, NO STRAW MULCH SHALL BE USED WITHIN THE EXCESS URBAN RUNOFF VOLUME OF A DETENTION BASIN. INSTEAD, EROSION CONTROL BLANKET SHALL BE INSTALLED FOR A WIDTH OF AT LEAST 6 FEET ON BOTH SIDES OF THE CONCRETE LOW FLOW CHANNELS OR UP TO A DEPTH OF 1-FOOT IN SOIL RIPRAP OR BENCHED LOW FLOW CHANNELS. ADDITIONALLY, HYDRAULICALLY APPLIED WOOD FIBER MULCH, STABILIZED FIBER MATRIX, BONDED FIBER MATRIX, OR FLEXIBLE GROWTH MEDIUM SHALL BE USED IN ALL OTHER AREAS WITHIN THE EXCESS URBAN RUNOFF VOLUME OF THE DETENTION BASIN. THE BLANKET AND HYDRAULICALLY APPLIED MULCH SHALL COMPLY WITH THE MATERIALS AND INSTALLATION REQUIREMENTS FOR EROSION CONTROL BLANKETS AS REQUIRED BY THE TOWN'S CBMP PROGRAM, AND WHERE APPLICABLE, THE PRODUCT MANUFACTURER.
  - IT MAY BE NECESSARY TO PROVIDE BACK OF WALK PROTECTION AND BACK OF CURB PROTECTION ONCE VERTICAL CONSTRUCTION HAS BEGUN.
  - INSTALL EOB IN TREE LAWN AFTER INSTALLATION OF CURB AND GUTTER AND SIDEWALK. TYPICAL THROUGHOUT SUBDIVISION.
  - LOT PROTECTION REQUIRED ON ALL RESIDENTIAL LOTS IN ALL UNLANDSCAPED AREAS PRIOR TO CO.
  - SEDIMENT CONTROL BMPs MAY BE NECESSARY ALONG LOT LINES DURING HOME CONSTRUCTION.

**CALL 811**  
TWO WORKING DAYS  
**BEFORE YOU DIG**  
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**BENCHMARK**  
DOUGLAS COUNTY CONTROL POINT KNOWN AS 1.060032, BEING A 3-1/4" ALUMINUM CAP, BEING LOCATED IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, HAVING A PUBLISHED ELEVATION OF 1799.2870 METERS (5903.13 FEET) NAVD '88 DATUM.

**BASIS OF BEARINGS:**  
THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 9 BEING MONUMENTED AT THE NORTHEAST CORNER OF SAID SECTION 9 BY A 3-1/4" ALUMINUM CAP STAMPED LS 23053 AND AT THE EAST QUARTER CORNER OF SAID SECTION 9 BY A 2-1/2" ALUMINUM CAP STAMPED LS 8935 BEING CONSIDERED TO BEAR SOUTH 00°15'06" EAST, 2648.70 FEET.

PREPARED UNDER THE SUPERVISION OF  
  
BRIAN P. WILSON  
COLORADO P.E. 0050067

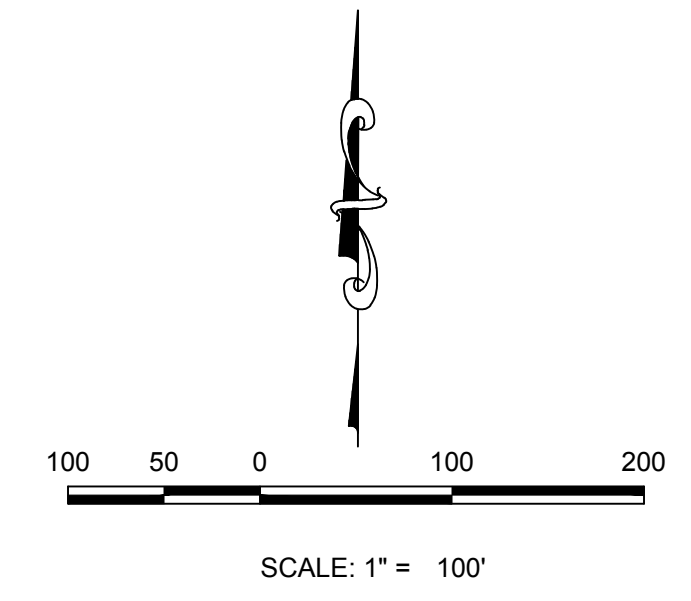
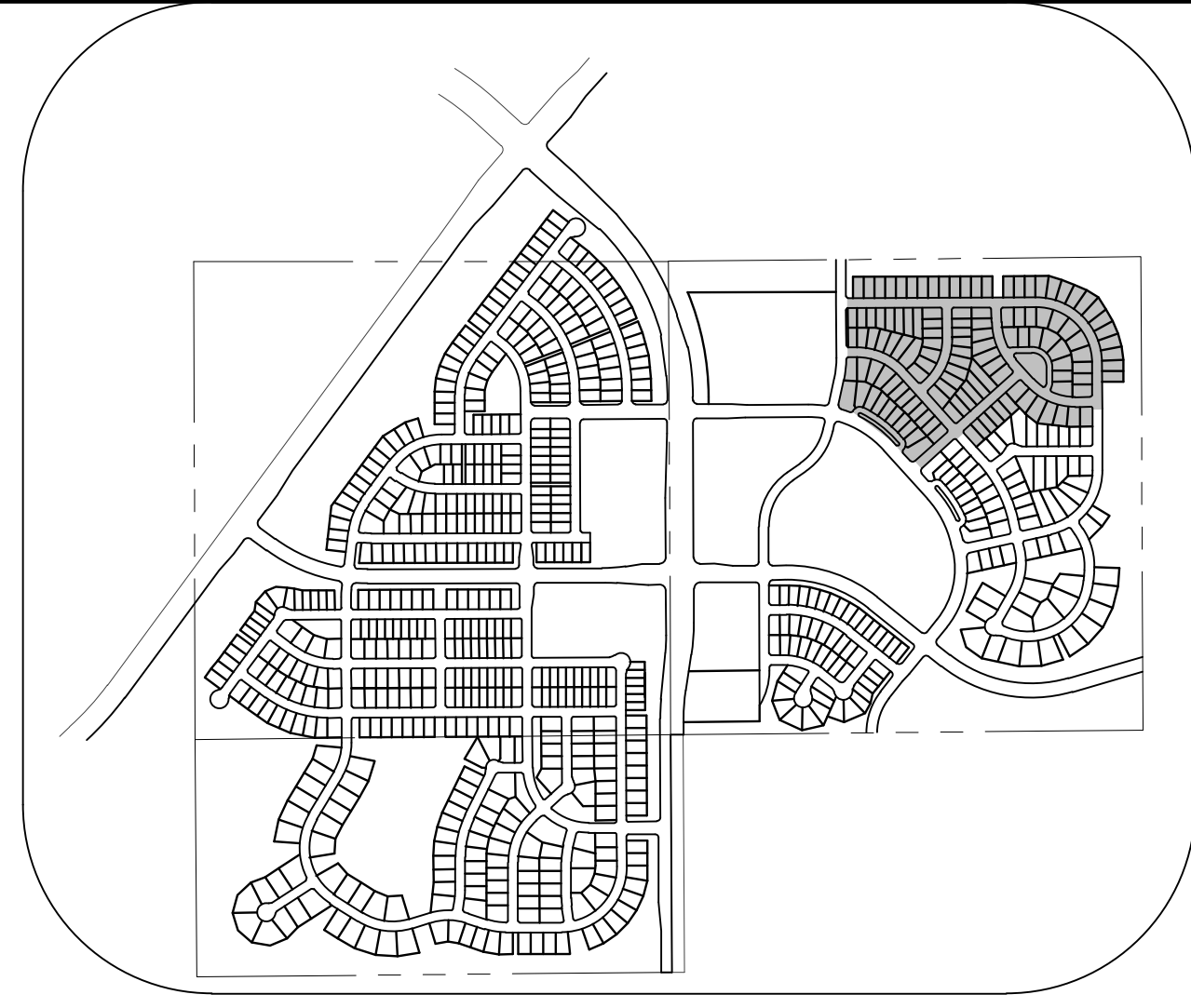
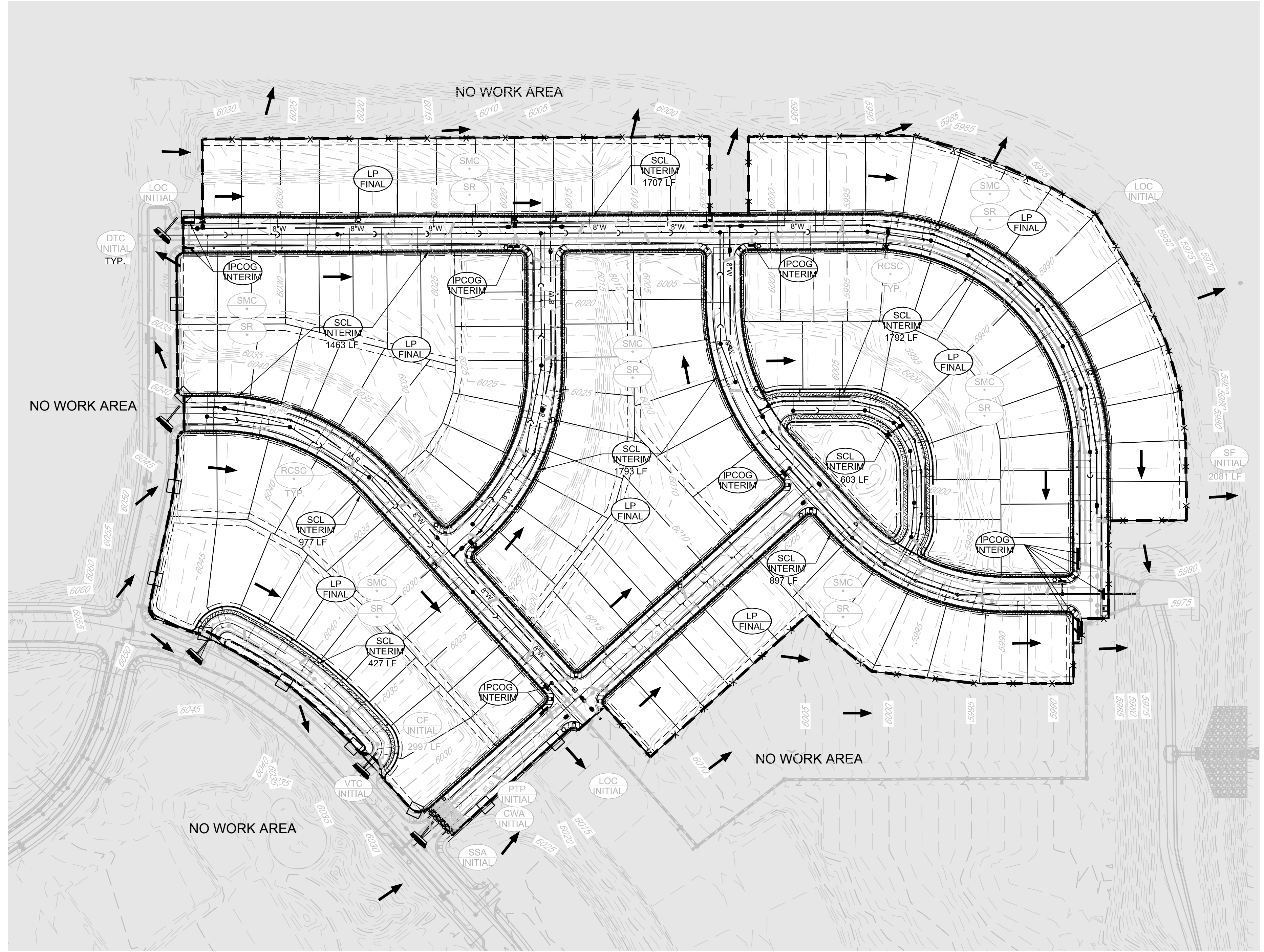
THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES. SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING \_\_\_\_\_ DATE \_\_\_\_\_

|                          |  |                        |                         |                  |                   |     |   |      |       |      |
|--------------------------|--|------------------------|-------------------------|------------------|-------------------|-----|---|------|-------|------|
| SHEET NUMBER<br><b>4</b> | SCALE:<br>AS SHOWN   | FILE NO:<br>8130283701 | DATE:<br>SEPTEMBER 2017 | DRAWN BY:<br>ASP | CHECKED BY:<br>JU | NO. | Revisions   | Date | Appr. | Date |
|                          | <p><b>TRAILS AT CROWFOOT</b><br/>FILING 10 CONSTRUCTION DRAWINGS<br/>INITIAL CBMP PLAN</p> <p>HR 935 LLC<br/>7353 South Alton Way<br/>CENTENNIAL, CO 80112</p> |                        |                         |                  |                   |     | <p>10333 E. Dry Creek Rd.<br/>Suite 240<br/>Englewood, CO 80112<br/>Tel: (720) 462-9526<br/>Fax: (720) 462-9546</p> <p><b>CVL</b><br/>CONSULTANTS</p> |      |       |      |

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**KEYMAP**  
N.T.S.

**LEGEND**

- EXISTING MAJOR CONTOUR
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- PROPOSED MINOR CONTOUR
- NO WORK AREA
- EXISTING SURFACE FLOW DIRECTION
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| <p><b>CBMP</b><br/>CONSTRUCTION BEST MANAGEMENT PRACTICES</p> <p><b>LEGEND</b><br/>1.0 - 1.1</p> <ul style="list-style-type: none"> <li>1.0 CHECK DAM</li> <li>1.1 CONSTRUCTION FENCE</li> <li>1.2 DRAINAGE PROTECTION</li> <li>1.3 CONCRETE WASHOUT AREA</li> <li>1.4 DOWNSPOUTS</li> <li>1.5 DRAINAGE DITCH</li> <li>1.6 DETENTION POND PROTECTION</li> <li>1.7 DEBRIS TRAP CONTROL</li> <li>1.8 EROSION CONTROL BLANKET</li> <li>1.9 INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT</li> <li>1.10 INLET PROTECTION FOR AREA INLETS IN PAVEMENT</li> <li>1.11 INLET PROTECTION OVER CURB/GRABBER TYPE B INLET</li> <li>1.12 INLET PROTECTION OVER CURB/GRABBER TYPE C INLET</li> </ul> | <p><b>CBMP</b><br/>CONSTRUCTION BEST MANAGEMENT PRACTICES</p> <p><b>LEGEND</b><br/>1.0 - 1.1</p> <ul style="list-style-type: none"> <li>1.3 P LOT PROTECTION</li> <li>1.4 MHP MAJOR WORK PROTECTION</li> <li>1.5 PORTABLE TOILET PROTECTION</li> <li>1.6 RCGS ROUGH CUT STREET CONTROL</li> <li>1.7 RBK ROCK BARK</li> <li>1.8 RBSB ROCK BARK IN SWALE</li> <li>1.9 SB STRAW BALE</li> <li>1.10 SC SEDIMENT CONTROL LOGS</li> <li>1.11 SF STRIP FENCE</li> <li>1.12 SMC SEEDING MULCHING AND COVERING</li> <li>1.13 SS SURFACE ROUGHEN</li> <li>1.14 STA STABILIZED STAGING AREA</li> <li>1.15 STB STORMWATER TRANSITION PROTECTION</li> </ul> | <p><b>CBMP</b><br/>CONSTRUCTION BEST MANAGEMENT PRACTICES</p> <p><b>LEGEND</b><br/>1.0 - 1.1</p> <ul style="list-style-type: none"> <li>1.16 T TEMPORARY FERTIGATION</li> <li>1.17 TSB TEMPORARY SEGMENT BARRIERS</li> <li>1.18 VTC VEHICLE TRACKING CONTROL</li> </ul> |
|--|--|---|

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**UNCC**  
UTILITY NOTIFICATION  
CITY OF DENVER

**BENCHMARK**  
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PREPARED UNDER THE SUPERVISION OF

BRIAN P. WILSON  
COLORADO P.E. 0050067

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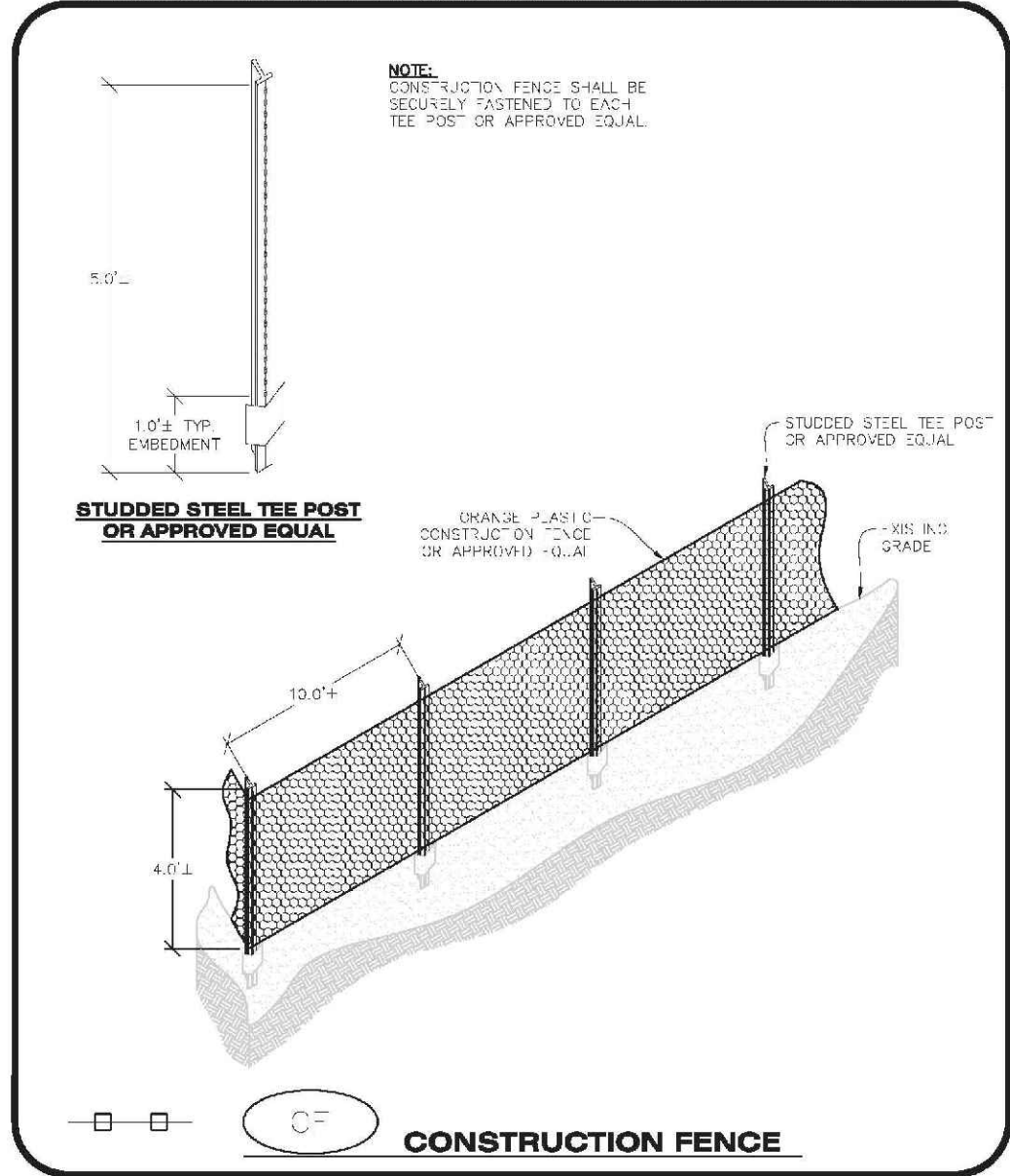
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TOWN OF PARKER, DIRECTOR OF ENGINEERING \_\_\_\_\_ DATE \_\_\_\_\_

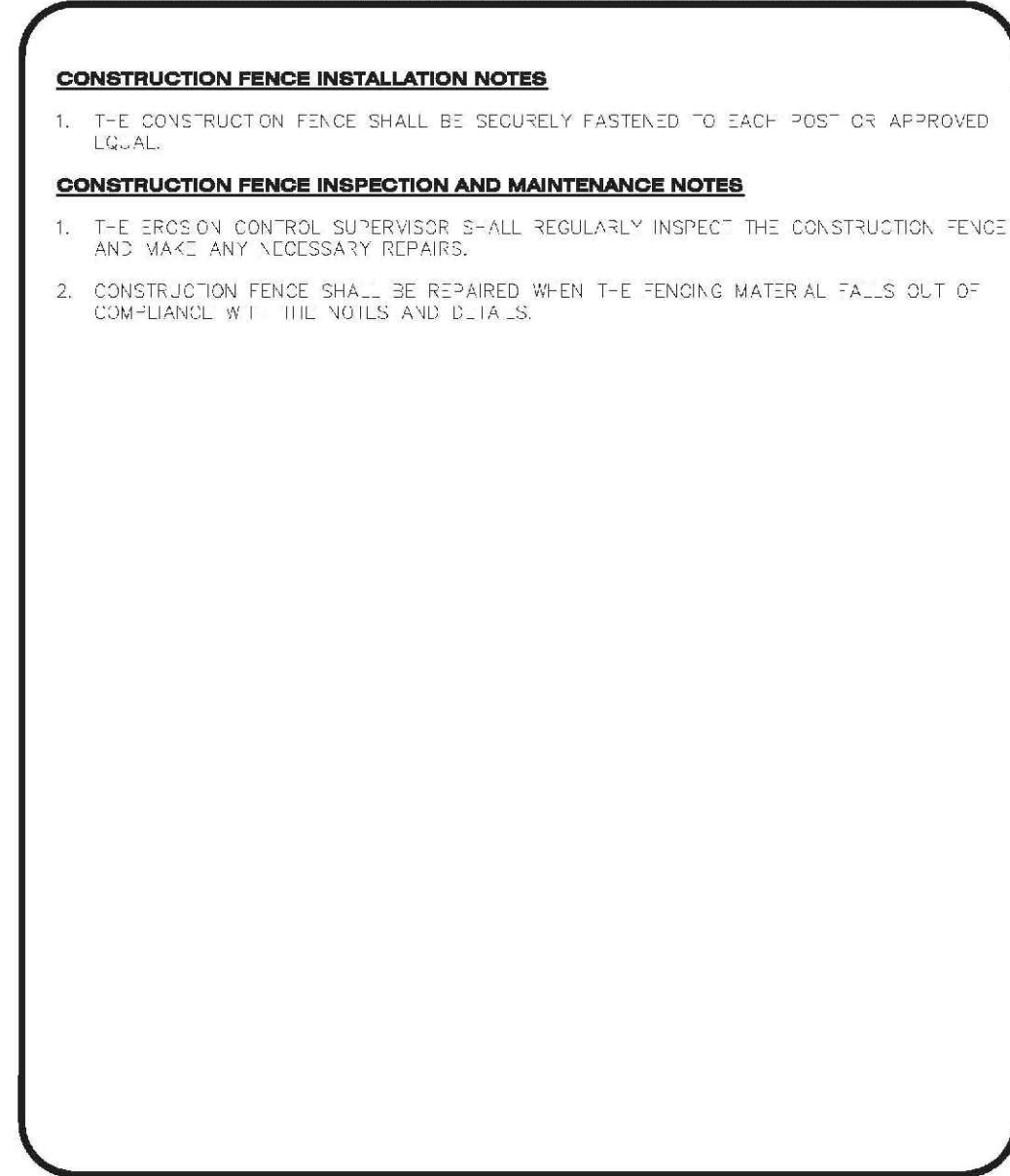
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| SHEET NUMBER   | 5   |  |
|  | TRAILS AT CROWFOOT<br>FLILING 10 CONSTRUCTION DRAWINGS<br>INTERIM & FINAL CBMP PLAN | HR 935 LLC<br>7363 South Alton Way<br>CENTENNIAL, CO 80112 |
| DRAWN BY:  | ASP   | DATE: SEPTEMBER 2017                                       |
| CHECKED BY:  | JU  | FILE NO: 8130283701  |
| SCALE:   | AS SHOWN  |  |
| NO.  | Revisions   | Date   |
| Appr.  |   | Date   |
| 10333 E. Dry Creek Rd.<br>Suite 240<br>Englewood, CO 80112<br>Tel: (720) 482-9526<br>Fax: (720) 482-9546 |   |  |
| <b>CVL</b><br>CONSULTANTS  |   |  |

**BEST MANAGEMENT DETAILS**

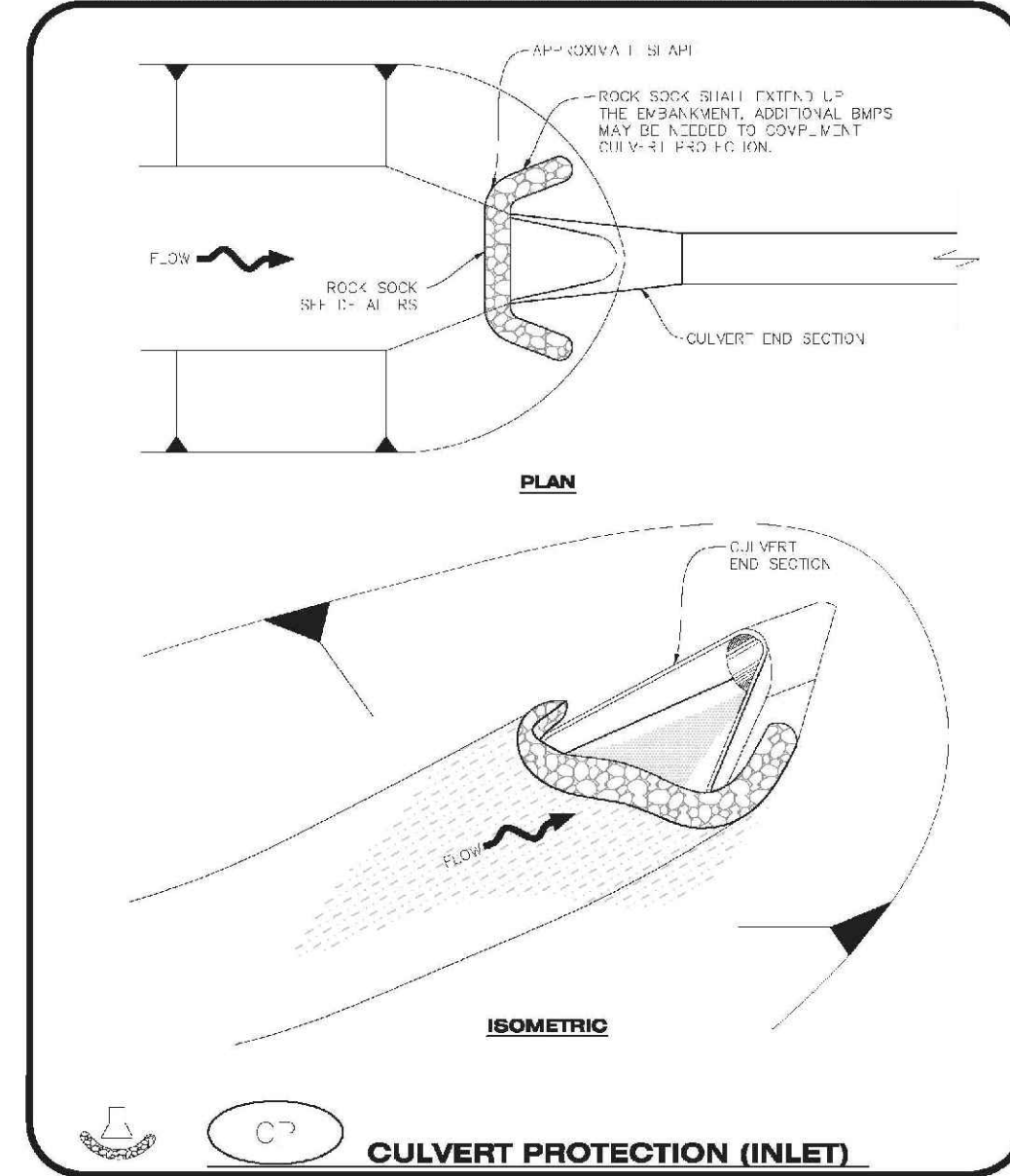
- GRADING, DRILLING, CLEARING, EXCAVATING, BACK-FILLING, SOIL STRIPPING, SOIL IMPORTING EXPORTING OR ANY OTHER FORM OF SOIL DISTURBANCE SHALL NOT COMMENCE UNTIL A TOWN OF PARKER GRADING/EXCAVATION PERMIT HAS BEEN ISSUED.
- THE TOWN OF PARKER GRADING/EXCAVATION PERMIT IS VALID FOR A PERIOD OF 2 YEARS FROM THE DATE OF ISSUANCE. ANY LAPSE IN PERMIT COVERAGE MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER AND/OR FINES.
- ALL EROSION AND SEDIMENT CONTROL BMPs SHALL BE INSTALLED ACCORDING TO THE CBMP PLAN INSTALLATION NOTES AND DETAILS AND/OR PERMITTED VARIANCES. ALL MATERIALS, WORKMANSHIP AND INSTALLATION METHODS ARE SUBJECT TO INSPECTION BY THE TOWN'S INSPECTOR. THE TOWN OF PARKER RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS, WORKMANSHIP AND/OR INSTALLATION METHODS THAT DO NOT CONFORM TO THE CBMP PLAN AND/OR PERMITTED VARIANCES.
- THE EROSION CONTROL SUPERVISOR SHALL REVISE OR MODIFY THE EROSION AND SEDIMENT CONTROL MEASURES IF IT BECOMES APPARENT THAT THE ORIGINAL PLAN IS INADEQUATE, OR AS A RESULT OF DEFICIENCIES IDENTIFIED DURING INSPECTIONS PERFORMED BY THE TOWN'S INSPECTOR.
- THE INSTALLATION OF ADDITIONAL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE EROSION CONTROL SUPERVISOR, PROPERTY OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS AT ANY TIME THROUGHOUT THE DURATION OF THE PROJECT CONSTRUCTION AND/OR SUBSEQUENT RENEGOTIATION PERIOD.
- THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE SITE REMAINS IN COMPLIANCE WITH THE NOTICE OF NUISANCE REPORTS (A.K.A. CONSTRUCTION SITE RUNOFF CONTROL INSPECTION REPORTS), APPROVED CBMP PLAN(S) AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
- THE EROSION CONTROL SUPERVISOR SHALL BE READILY AVAILABLE TO DISCUSS AND CORRECT ANY PROBLEMS THAT MAY ARISE RELATING TO GRADING, EROSION AND SEDIMENT CONTROL.
- IF IT IS ANTICIPATED THAT ALL OR A PORTION OF THE PROJECT WILL OCCUR DURING SEASONS SUSCEPTIBLE TO SNOWFALL, THE USE OF CERTAIN EROSION AND SEDIMENT CONTROL BMPs ADJACENT TO PUBLIC ROADWAYS MAY NEED TO BE CONSIDERED DUE TO THE NATURE OF SNOW REMOVAL OPERATIONS. AN APPROVED ALTERNATIVE MAY BE NECESSARY TO MINIMIZE DAMAGES FROM THESE OPERATIONS. THE TOWN OF PARKER ASSUMES NO RESPONSIBILITY FOR DAMAGE TO ANY BMPs AS A RESULT OF SNOW PLOWING AND SNOW REMOVAL.
- AREAS OF LAND DISTURBANCE EQUAL TO 40 ACRES OR GREATER SHALL NOT BE EXPOSED FOR MORE THAN 30 CONSECUTIVE DAYS WITHOUT TEMPORARY OR PERMANENT STABILIZATION.
- AUTHORIZED EXEMPTIONS MAY BE ALLOWED TO THE 40-ACRE LIMIT FOR REMOVAL AND STORAGE OF CUT MATERIAL WHERE (A) GEOTECHNICAL LIMITATIONS RESTRICT THE USE OF TEMPORARY OR PERMANENT STABILIZATION OF THE STORED MATERIAL (E.G., SWELLING SOILS, ROCK) AND (B) WHEN THE OWNER CAN DEMONSTRATE THAT THE 40-ACRE LIMIT IS PHYSICALLY AND/OR FINANCIALLY IMPRACTICABLE. FOR SUCH EXEMPTIONS, A PHASING AND EARTHWORK QUANTITIES PLAN SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT AND APPROVED PRIOR TO THE COMMENCEMENT OF LAND DISTURBANCE ACTIVITIES. SUBMITTAL REQUIREMENTS INCLUDE:
  - (I) PHASING PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
  - (II) EARTHWORK QUANTITY PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
  - (III) BMP PLAN SHOWING SPECIFIC EROSION AND SEDIMENT CONTROLS FOR EACH PHASE.
- ANY EROSION AND SEDIMENT CONTROL BMPs THAT ARE DAMAGED OR IN NEED OF MAINTENANCE OR REPLACEMENT SHALL BE CORRECTED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
- ALL DEFICIENCIES LISTED ON THE NOTICE OF NUISANCE FORM SHALL BE COMPLETED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES. ALL REQUIRED ACTIONS MUST BE IN THE CORRECTED FORM DURING THE FOLLOW-UP INSPECTION.
- THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TROUBLE CHANNELS, AND/OR OTHER IMPERVIOUS SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEAN BEFORE THE END OF THE WORK DAY.
- BULK STORAGE OF LIQUIDS, PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS.
- ALL TRASH RECEPTACLES ON SITE SHALL BE FREE OF HOLES, CRACKS, GAPS, AND/OR OTHER PERMEABLE AREAS THAT MAY ALLOW FOR THE DISCHARGE OF POLLUTANTS.
- ALL TRASH RECEPTACLES ON SITE SHALL BE EMPTIED AT A FREQUENCY AS TO ENSURE THAT THE TRASH REMAINS CONFINED TO THE RECEPTACLE.
- ALL LOOSE TRASH AND LITTER ASSOCIATED WITH THE PROJECT MUST BE REMOVED AND PROPERLY DISCARDED ON A DAILY BASIS.
- ALL PORTABLE TOILETS SHALL BE STAKED DOWN AT ALL TIMES USING U-SHAPED REBAR STAKES. THE PORTABLE TOILETS SHALL ALSO BE PLACED A MINIMUM DISTANCE OF 10 FEET FROM ALL IMPERVIOUS SURFACES, INCLUDING, BUT NOT LIMITED TO STREETS, CURBS, GUTTERS, SIDEWALKS AND PARKING LOTS.
- THE EROSION CONTROL SUPERVISOR SHALL MAINTAIN STRICT ADHERENCE TO THE LIMITS OF CONSTRUCTION AND PROPERTY LIMITS FOR ALL MATERIALS, VEHICLES AND EQUIPMENT. FAILURE TO ABIDE BY THIS REQUIREMENT MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.
- ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE THROUGH THE APPROVED ACCESS POINT(S). A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL APPROVED ACCESS POINTS TO THE SITE. EXCEPTIONS MAY BE CONSIDERED FOR CONSTRUCTION ACTIVITY OCCURRING IMMEDIATELY ADJACENT TO PAVED AREAS AND WHERE ALTERNATIVE BMPs ARE IMPLEMENTED. SUCH ACTIVITY MAY INCLUDE, BUT NOT BE LIMITED TO: RESIDENTIAL CONSTRUCTION, UTILITY CONSTRUCTION, ETC.
- NO PERMANENT SLOPES GREATER THAN 3:1 ARE ALLOWED.
- ALL PERMANENT SLOPES STEEPER THAN 4:1 (HORIZONTAL TO VERTICAL) SHALL REQUIRE EROSION CONTROL BLANKETS/ TEMPORARY SLOPES IN TEMPORARY SEDIMENT BASINS THAT ARE STEEPER THAN 4:1. MAY REQUIRE EROSION CONTROL BLANKETS.
- THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ADVERSE IMPACTS THAT OCCUR TO NEIGHBORING PROPERTIES. THE EROSION CONTROL SUPERVISOR MUST OBTAIN PERMISSION FROM LAND OWNERS PRIOR TO ENTERING SUCH PROPERTY.
- A WATER SOURCE SHALL BE AVAILABLE ON-SITE DURING CONSTRUCTION ACTIVITIES, AND UTILIZED TO MINIMIZE FUGITIVE DUST. ALTERNATIVE BMPs MAY BE REQUIRED IF INITIAL ATTEMPTS TO SUPPRESS DUST ARE UNSUCCESSFUL.
- ALL CHEMICAL OR HAZARDOUS MATERIAL SPILLS, INCLUDING CONCRETE WASHOUT WATER, WHICH MAY ENTER WATERS OF THE STATE OF COLORADO, WHICH INCLUDES BUT ARE NOT LIMITED TO, SURFACE WATER, GROUND WATER, DIRT GULLIES OR STORM SEWERS LEADING TO SURFACE WATER, SHALL BE IMMEDIATELY REPORTED TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT PER 25-B-601, AND THE TOWN OF PARKER. RELEASES OF PETROLEUM PRODUCTS AND CERTAIN HAZARDOUS SUBSTANCES LISTED UNDER THE FEDERAL CLEAN WATER ACT (40 CFR PART 117) MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER AND THE CORNER THAT POSES AN IMMEDIATE SAFETY HAZARD SHALL BE REPORTED TO 911.
- THE CLEANING OF CONCRETE TRUCKS AND EQUIPMENT IS RESTRICTED TO THE APPROVED CONCRETE WASHOUT LOCATION ON THE JOB SITE. CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO STATE WATERS OR STORM SEWER SYSTEMS.
- VEHICLE AND EQUIPMENT DECONTAMINATION IS PROHIBITED ON THE JOB SITE.
- ALL DEWATERING ON SITE SHALL BE COORDINATED WITH THE TOWN'S INSPECTOR. A STATE PERMIT IT MAY BE REQUIRED FOR DEWATERING. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR OBTAINING AND ADHERING TO ALL APPLICABLE PERMITS.
- HYDRAULIC SEEDING AND/OR HYDRAULIC MULCHING ARE ONLY ALLOWED IN AREAS UNDER TEMPORARY OR PERMANENT IRRIGATION OR FOR THE PURPOSE OF TEMPORARY SOIL STABILIZATION.
- APPLICABLE CONSTRUCTION BMPs SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL ALL LANDSCAPING HAS BEEN INSTALLED AND THE DESIRABLE VEGETATION HAS REACHED A POINT IN WHICH EROSION AND SEDIMENTATION IS NO LONGER A CONCERN AS DETERMINED BY THE TOWN'S INSPECTOR.



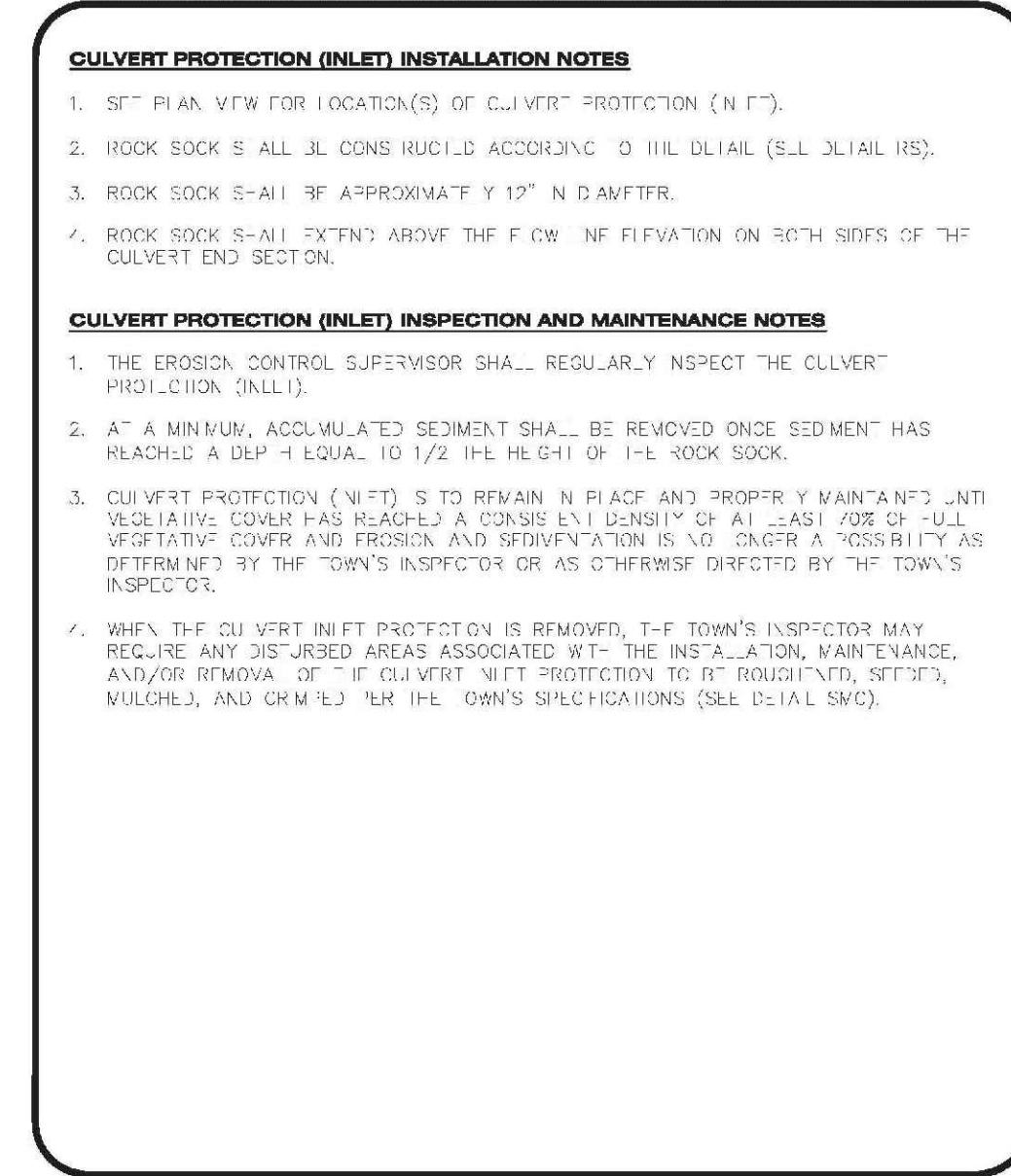
**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 2 (REV. 2017)



**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 2 (REV. 2017)

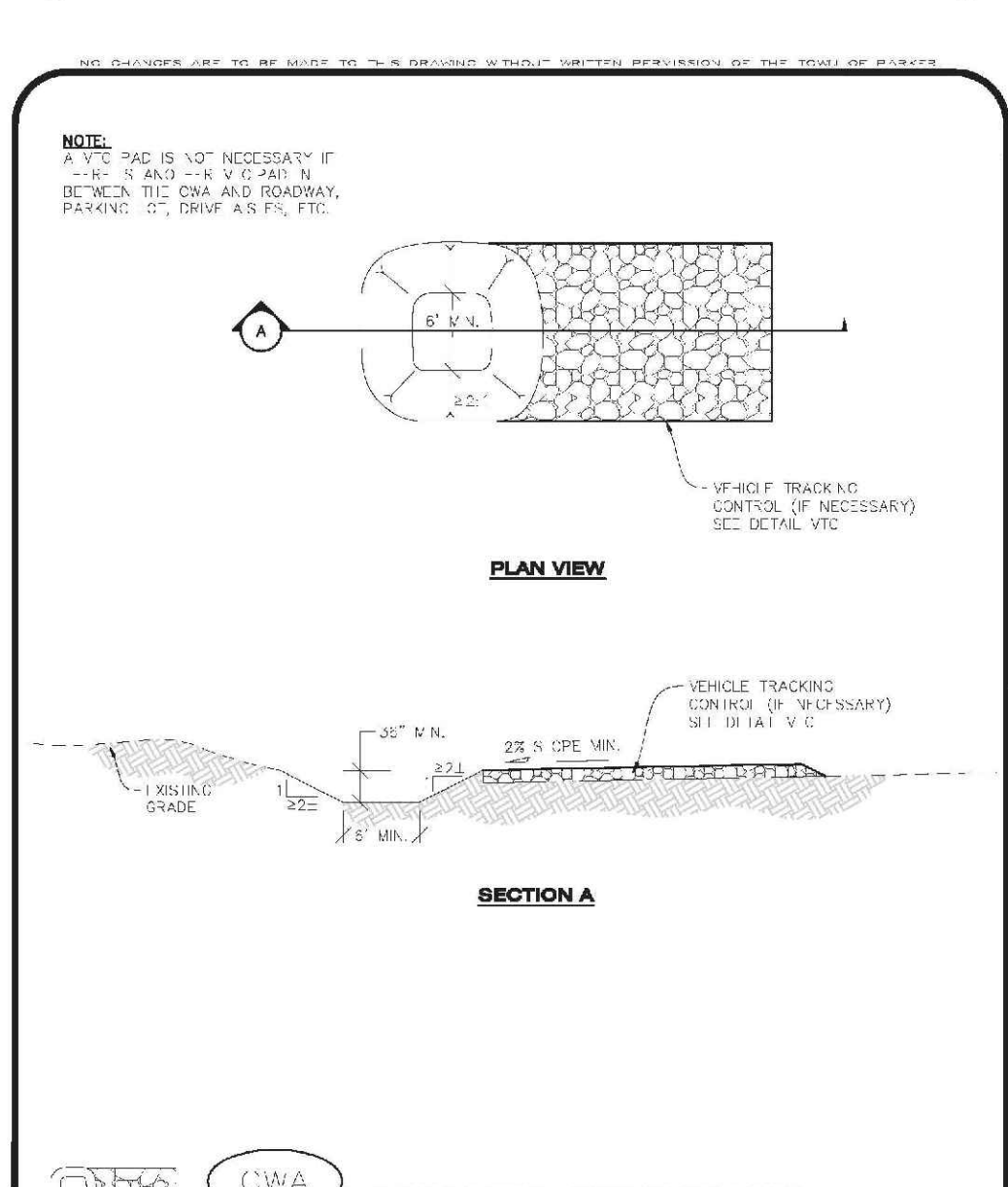


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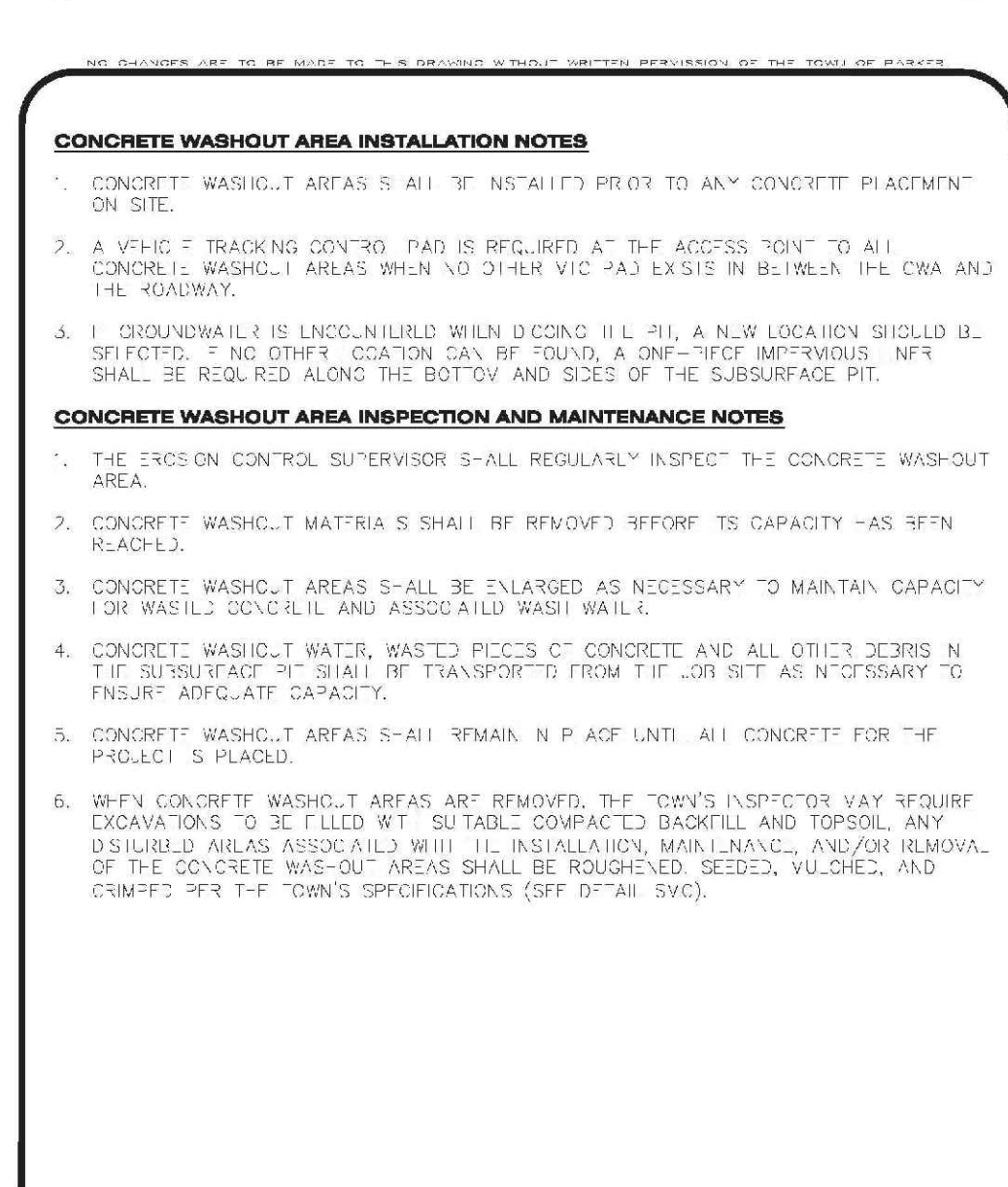


**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 2 (REV. 2017)

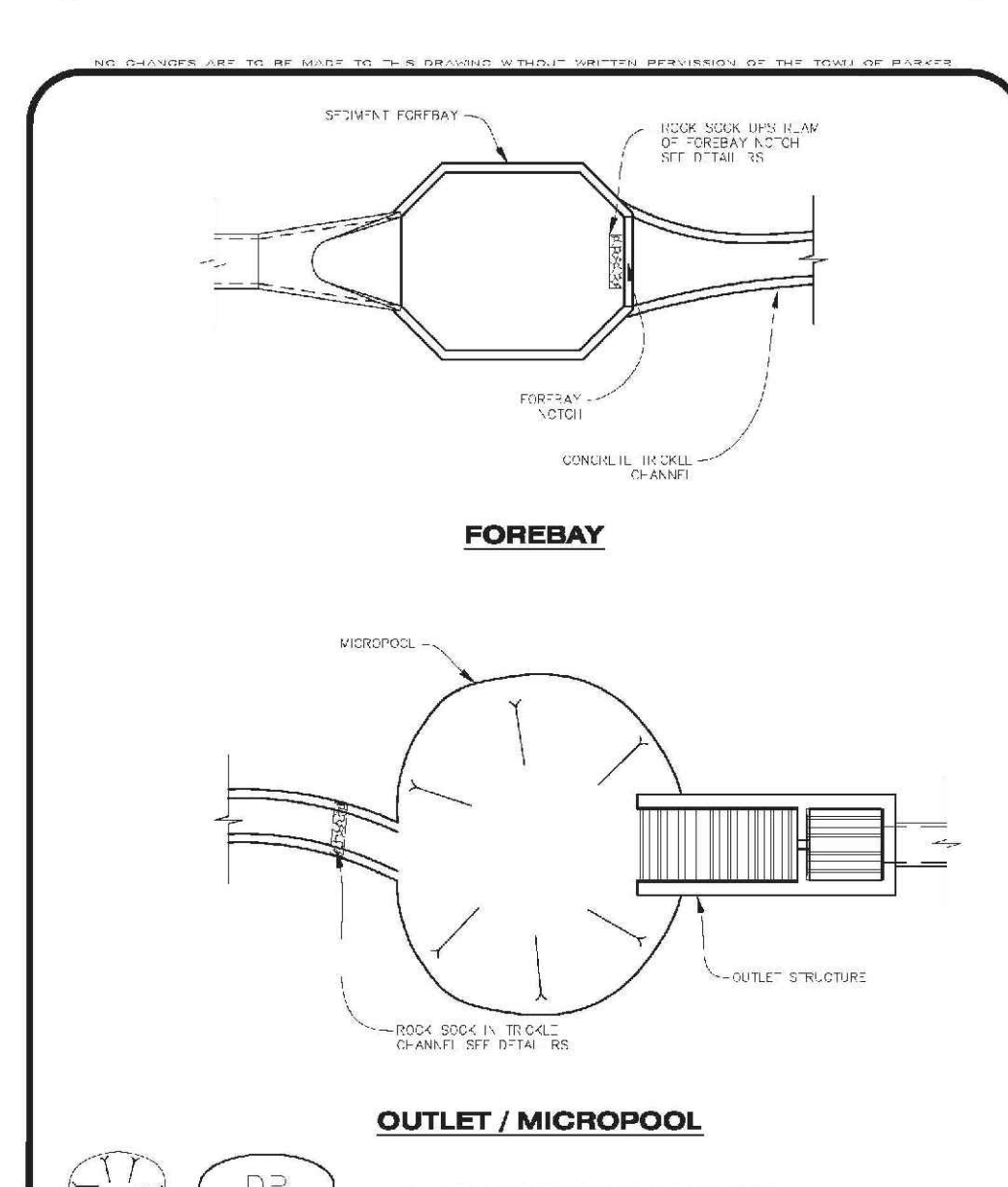
- DEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H OR ITEM I (BELOW).
- ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
- UNIFORM PERENNIAL VEGETATION COVER HAS BEEN ESTABLISHED WITH AN INDIVIDUAL PLANT DENSITY OF AT LEAST SEVENTY PERCENT (70%) OF PRE-DISTURBANCE LEVELS.
- ALL BMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
- IF ANY EROSION IS PRESENT, IT IS INSIGNIFICANT AND IS NOT LEAVING THE SITE AND/OR LEADING INTO ANY ON-SITE RAINFALL INFRASTRUCTURE THAT MAY CONVEY SURFACE WATER OFF SITE.
- WEEDS REPRESENT NO MORE THAN FIFTY PERCENT (50%) OF THE TOTAL VEGETATION ON SITE.
- NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
- THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
- WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
- A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR ASSIGNMENT AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION AT THE TIME OF CLOSING TO ENSURE THAT THE NEW SITE OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.
- NONDEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H AND J, OR ITEMS I AND J (BELOW).
- ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
- ALL BMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
- EROSION IS NEGLIGIBLE, IF EVEN PRESENT.
- THE VEGETATION REPRESENTS A PERENNIAL STAND OF A DENSE, UNIFORM SURFACE OF GRASS WITH NO AREA GREATER THAN ONE (1) SQUARE FOOT THAT IS BARREN OF DESIRABLE VEGETATION, INFREQUENT, WIDELY SCATTERED AREAS WHERE NATIVE VEGETATION HAS NOT YET TAKEN HOLD MAY QUALIFY FOR ACCEPTANCE AT THE DISCRETION OF THE TOWN.
- WEEDS REPRESENT NO MORE THAN TEN PERCENT (10%) OF THE TOTAL VEGETATION ON SITE.
- NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
- THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
- WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
- A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR THE GRADING PERMIT HAS BEEN ASSIGNED AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION, AT THE TIME OF CLOSING ON THE SALE OF A SITE THAT IS SUBJECT TO A GRADING PERMIT, TO ENSURE THAT THE NEW PROPERTY OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.
- ALL KNOWN DRAINAGE ISSUES ASSOCIATED WITH THE PROJECT HAVE BEEN MITIGATED AND A SUFFICIENT AMOUNT OF TIME HAS PASSED TO ENSURE THAT SUCH ISSUES HAVE BEEN CORRECTED. THIS REQUIREMENT DOES NOT INCLUDE THOSE DRAINAGE ISSUES ORIGINATING ON RESIDENTIAL LOTS.
- NOXIOUS WEEDS MUST BE CONTROLLED AS PROVIDED UNDER STATE LAW AND SECTION 6.01.260 OF THE TOWN OF PARKER MUNICIPAL CODE. FAILURE TO CONTROL NOXIOUS WEEDS ON THE SITE MAY CONSTITUTE A NUISANCE, SUBJECT TO THE PENAL TIES CONTAINED IN THE CODE.



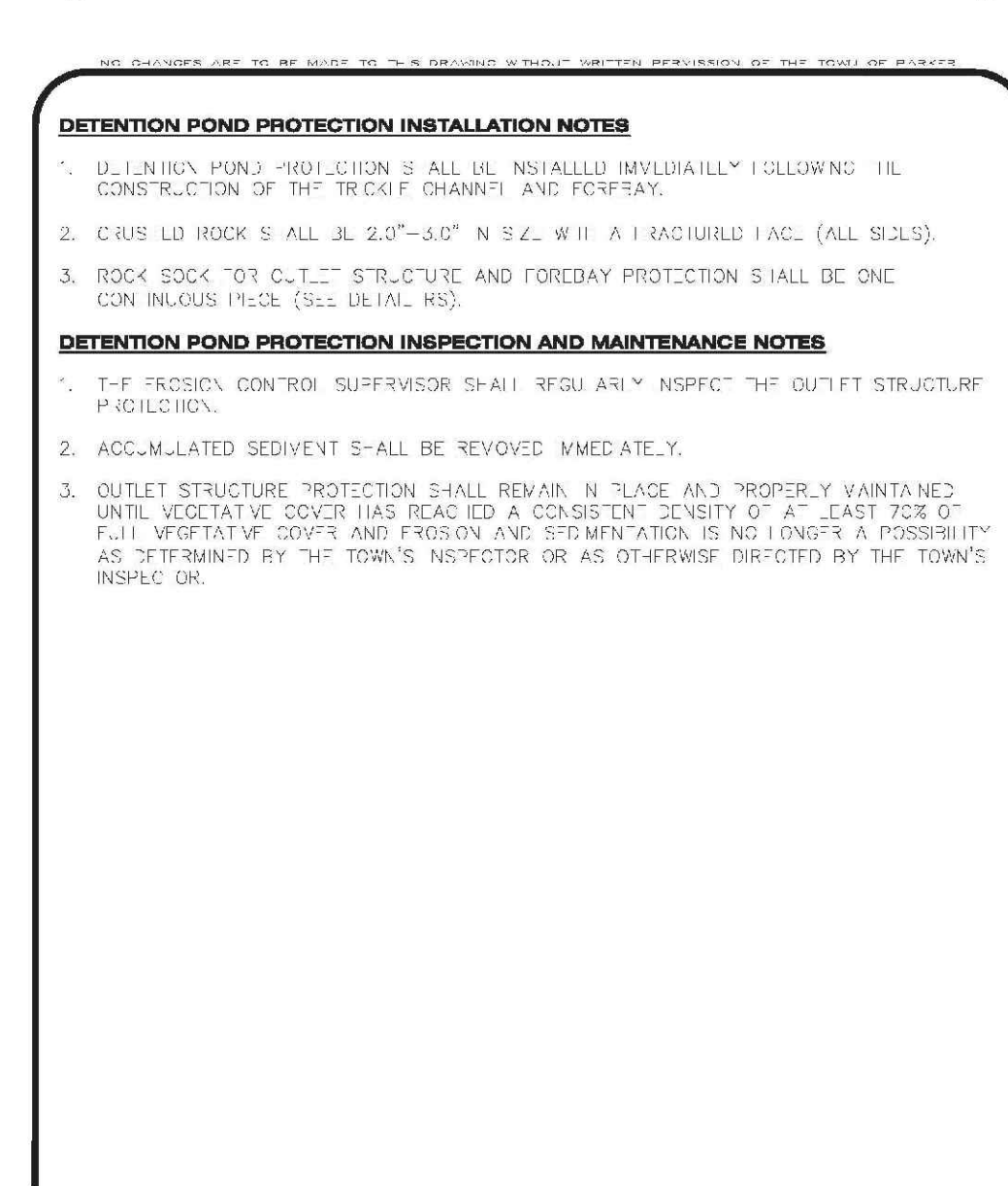
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**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 2 (REV. 2017)

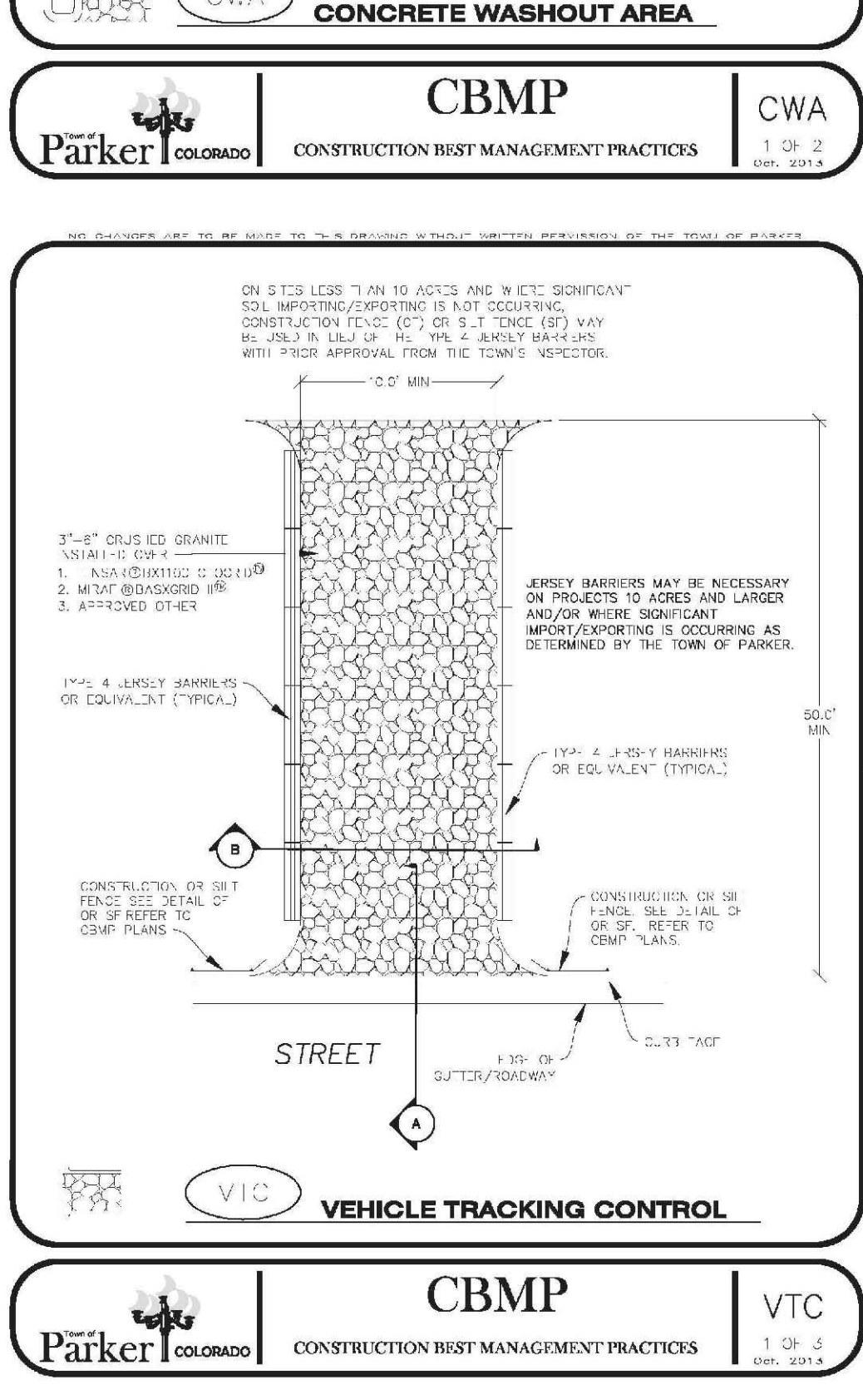


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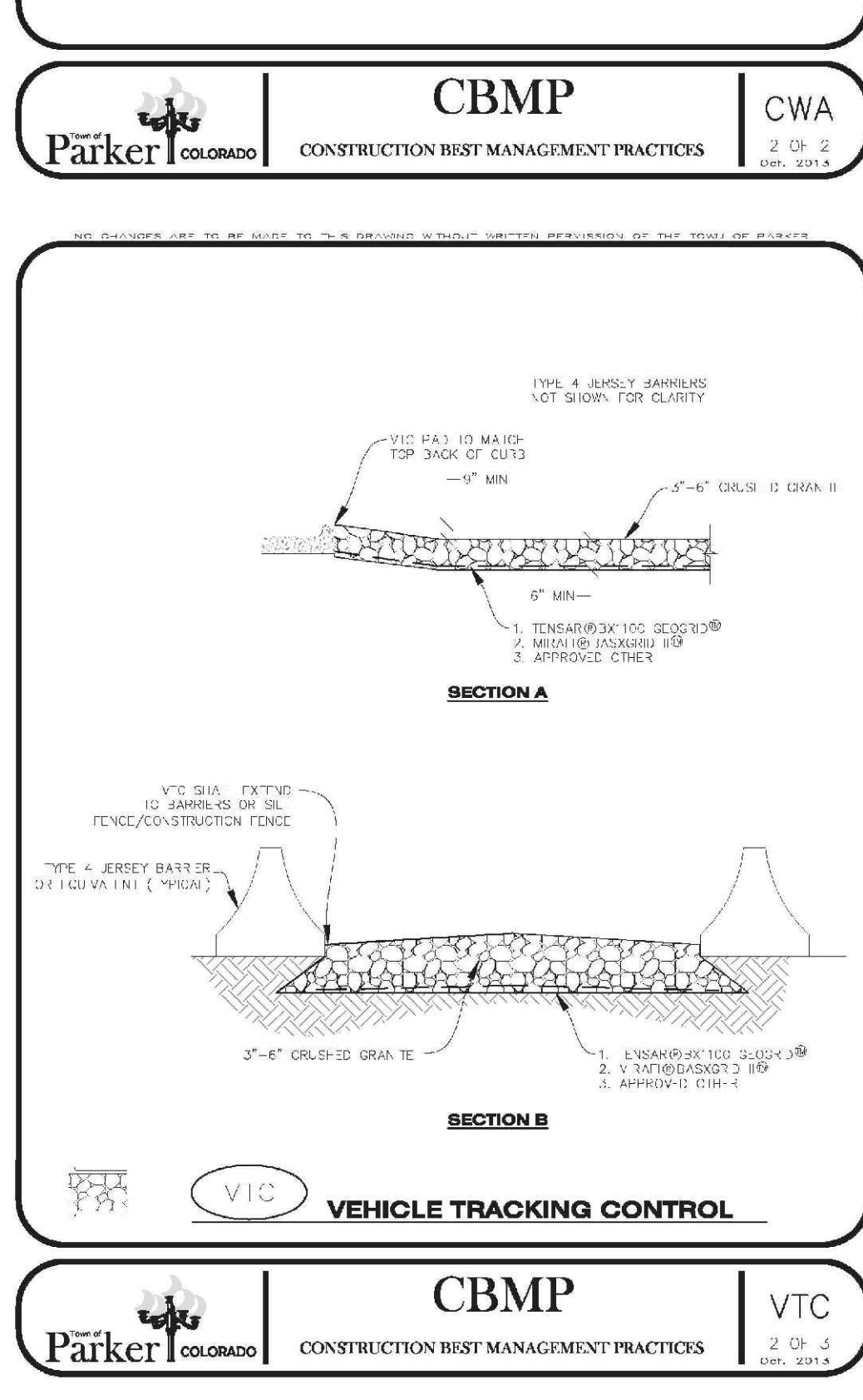


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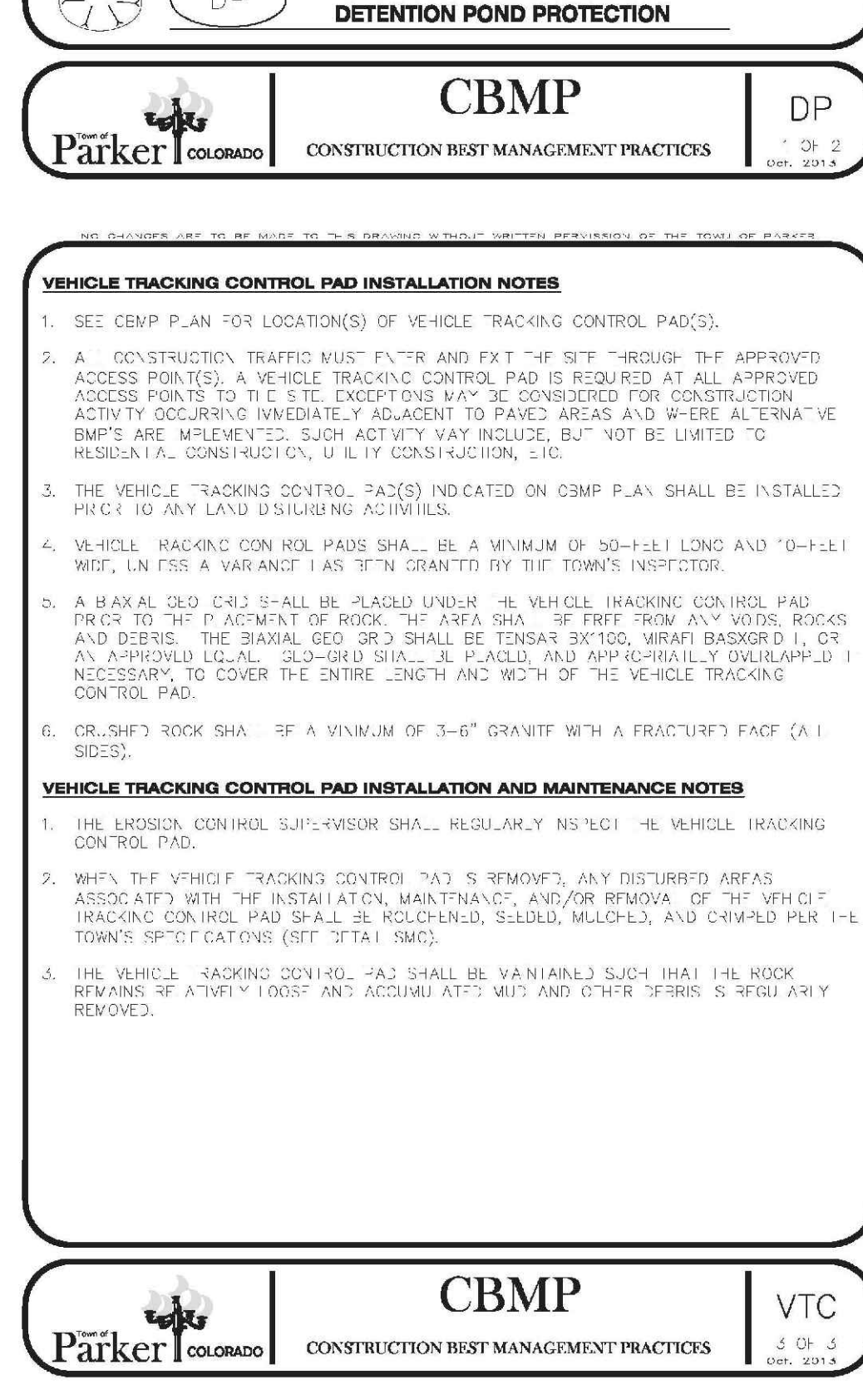
- DEVELOPABLE PROPERTY: MEANS ANY LAND THAT HAS BEEN GRADED AND IS PART OF A PLATTED LOT OR PLATTED TRACT OF RECORD, THAT WAS PLATTED FOR FUTURE DEVELOPMENT, INCLUDING RESIDENTIAL HOME CONSTRUCTION OR PUBLIC IMPROVEMENTS.
- NONDEVELOPABLE PROPERTY: MEANS LAND THAT HAS BEEN GRADED AND WILL NOT BE FURTHER DISTURBED AS PART OF ANY FUTURE DEVELOPMENT. EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO, PARKS, OPEN SPACE, HOMEOWNER ASSOCIATION OR BUSINESS ASSOCIATION PLATTED TRACTS, DETENTION PONDS AND DRAINAGEWAYS.
- FAILURE TO COMPLY WITH ANY OF THE REQUIREMENTS DESCRIBED IN THIS SECTION MAY RESULT IN THE ISSUANCE OF A NOTICE OF INTENT TO ISSUE A STOP WORK ORDER, A STOP WORK ORDER AND/OR THE REMEDIES/PENALTIES DESCRIBED IN CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE.
- ANY PERSON CONVICTED OF VIOLATING ANY PROVISION OF THE TOWN OF PARKER, GRADING & EARTH MOVEMENT SECTION OF THE MUNICIPAL CODE SHALL BE GUILTY OF A MISDEMEANOR AND, UPON CONVICTION, BE PUNISHED BY A FINE OF NOT MORE THAN FOUR HUNDRED NINETY NINE DOLLARS (\$499.91) FOR EACH SEPARATE OFFENSE. EACH DAY A VIOLATION CONTINUES SHALL CONSTITUTE A SEPARATE OFFENSE. THE TOWN ALSO MAY SEEK IN MUNICIPAL COURT AN INJUNCTION, ABATEMENT, RESTITUTION OR ANY OTHER REMEDY TO PREVENT, ENJOIN, ABATE OR REMOVE THE VIOLATION. A PERSON CONVICTED OF VIOLATING CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE SHALL BE LIABLE FOR THE ACTUAL COST OF REHABILITATING THE PROPERTY. THE COSTS MAY BE RECOVERED AS RESTITUTION IN MUNICIPAL COURT PROCEEDINGS OR IN A SEPARATE CIVIL ACTION.
- THE TOWN OF PARKER RESERVES THE RIGHT TO ALLOW MODIFICATIONS AND SUBSTITUTIONS TO THE CBMP NOTES AND DETAILS WHICH SUCH VARIATIONS AND SUBSTITUTIONS OFFER THE SAME LEVEL OF PROTECTION AS THE STANDARD REQUIREMENTS. SUCH VARIATIONS AND SUBSTITUTIONS SHALL BE DETERMINED BY TOWN STAFF. DUE TO THE INSIGNIFICANCE AND LIMITED SCOPE OF SUCH VARIATIONS, THE APPROVAL OF SUCH VARIATIONS MAY NOT BE



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| SHEET NUMBER | DATE           | REVISIONS | NO. | DATE | INIT. | APPR. | DATE |
|--------------|----------------|-----------|-----|------|-------|-------|------|
| 6            | SEPTEMBER 2017 |           |     |      |       |       |      |

SCALE: AS SHOWN  
DRAWN BY: JF  
CHECKED BY: JJ  
DATE: SEPTEMBER 2017  
FILE NO: 8130283701

TRAILS AT CROWFOOT  
FILING 10 CONSTRUCTION DRAWINGS  
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7353 South Alton Way  
CENTENNIAL, CO 80112

10338 E. Dry Creek Rd.  
Suite 110  
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**CVL**  
CONSULTANTS

N:\PROJECTS\BISHOP\BISHOP\ENGINEERING\SHEETS\BISHOP\TOWN OF PARKER\TO BMP DETAILS.DWG, ANDREW.P. 3/12/2018 3:49 PM

UNION COUNTY ENGINEERS  
LITTLETON, COLORADO  
TEL: 303.922-1987

THIS DRAWING SET IS TO BE USED TO THE EXTENT OF THE CONTRACT DOCUMENTS AND THE TERMS OF THE CONTRACT.

**DEBRIS AND TRASH CONTROL**

**NOTE:**

1. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TRUCK CHANNELS, AND OTHER SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEANED AT THE END OF THE WORK DAY TO PREVENT ALL CONSTRUCTION TRASH AND LITTER ASSOCIATED WITH THE PROJECT FROM BEING REMOVED AND PROPERLY DISPOSED ON A DAILY BASIS.

1 OF 2  
REV. 03/14

THIS DRAWING SET IS TO BE USED TO THE EXTENT OF THE CONTRACT DOCUMENTS AND THE TERMS OF THE CONTRACT.

**DEBRIS CONTROL NOTES:**

1. A COMBINATION OF SURFACING AND SWEEPING MAY BE NECESSARY TO PROPERLY CLEAN THE AREAS.
2. ALL OILY MATERIALS AND STAINS ON THE SITE SHALL BE CLEANED TO THE MAXIMUM EXTENT POSSIBLE. IN SOME CASES, IT MAY BE NECESSARY TO USE PRESSURIZED WATER AND A VACUUM.
3. ON-SITE PERSONNEL, INCLUDING DRIVERS, ETC., SHOULD BE EDUCATED ON THE NEED FOR CONTINUING DEBRIS AND TRASH CONTROL.

1 OF 2  
REV. 03/14

THIS DRAWING SET IS TO BE USED TO THE EXTENT OF THE CONTRACT DOCUMENTS AND THE TERMS OF THE CONTRACT.

**EROSION CONTROL BLANKET (SLOPE)**

**NOTE:**

IF NECESSARY, ALL STAPLES SHALL BE COMPLETED PRIOR TO THE INSTALLATION OF EROSION CONTROL BLANKETS. PLEASE SEE DETAIL FOR STAPLING, WELDING, AND CUTTING REQUIREMENTS.

1 OF 2  
REV. 03/14

THIS DRAWING SET IS TO BE USED TO THE EXTENT OF THE CONTRACT DOCUMENTS AND THE TERMS OF THE CONTRACT.

**EROSION CONTROL BLANKET (CHANNEL)**

**NOTE:**

WOOD STAKES SHALL BE INSTALLED SUCH THAT ONLY 1/4" IS EXPOSED ABOVE THE GROUND. IF A WOOD STAKE IS USED, IT SHALL BE COMPLETED PRIOR TO THE INSTALLATION OF EROSION CONTROL BLANKETS. PLEASE SEE DETAIL FOR STAPLING, WELDING, AND CUTTING REQUIREMENTS.

1 OF 2  
REV. 03/14

THIS DRAWING SET IS TO BE USED TO THE EXTENT OF THE CONTRACT DOCUMENTS AND THE TERMS OF THE CONTRACT.

**EROSION CONTROL BLANKET INSTALLATION NOTES**

1. SET THE PLAN VIEW FOR THE LOCATION(S) OF THE EROSION CONTROL BLANKETS.
2. EROSION CONTROL BLANKETS USED IN CHANNEL PROTECTION SHALL BE THOROUGHLY SELECTED BY THE DESIGN ENGINEER BASED ON CURRENT AND FUTURE FLOW RATES WITHIN THE CHANNEL. BASED ON THESE CALCULATIONS, THE EROSION CONTROL BLANKET OR RIFRAP MAY BE NECESSARY IN THE EROSION CONTROL BLANKETS.
3. INSTALLATION PRIOR TO BLANKET INSTALLATION, SOIL SURFACE SHALL BE SMOOTHED AND FREE OF ANY GAPS, HOLES, WEBS, ROCKS, STAKES OR OTHER UNDESIRABLE DEBRIS.
4. EROSION CONTROL BLANKET SHALL BE INSTALLED ACCORDING TO THE DETAIL DRAWINGS.
5. ANY DAMAGED OR WEAVING STAPLES OR STAKES SHALL BE REMOVED FROM THE SITE.
6. ALL EROSION CONTROL BLANKETS FOR SLOPE PROTECTION INSTALLED IN THE TOWN SHALL BE DOUBLE LAYER, STRAW OR EXCELSDOR.

| MANUFACTURER          | PRODUCT NAME   |
|-----------------------|----------------|
| ASPHALT MULCHER GREEN | ST150          |
| APPROVED EQUAL        | APPROVED EQUAL |

**EROSION CONTROL BLANKET MAINTENANCE NOTES**

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE EROSION CONTROL BLANKETS AND MAKE ANY NECESSARY REPAIRS.

1 OF 2  
REV. 03/14

THIS DRAWING SET IS TO BE USED TO THE EXTENT OF THE CONTRACT DOCUMENTS AND THE TERMS OF THE CONTRACT.

**AREA INLET PROTECTION WITH CONCRETE APRON**

**NOTE:**

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE AREA INLET PROTECTION.
2. THE AREA INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLETS IN PAVEMENT OR ANY LAND DISTURBING ACTIVITIES ON UNPAVED AREAS. THE INSTALLATION OF NEW INLETS, AN INTERMEDIATE INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.

1 OF 1  
REV. 03/14

THIS DRAWING SET IS TO BE USED TO THE EXTENT OF THE CONTRACT DOCUMENTS AND THE TERMS OF THE CONTRACT.

**AREA INLET PROTECTION INSTALLATION NOTES**

1. SEE PLAN VIEW FOR LOCATION(S) OF AREA INLET PROTECTION.
2. THE AREA INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLETS IN PAVEMENT OR ANY LAND DISTURBING ACTIVITIES ON UNPAVED AREAS. THE INSTALLATION OF NEW INLETS, AN INTERMEDIATE INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.

**AREA INLET PROTECTION INSPECTION AND MAINTENANCE NOTES**

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE AREA INLET PROTECTION.
2. THE AREA INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER. THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND REMOVAL OF THE AREA INLET PROTECTION. THE AREA INLET PROTECTION SHALL BE MAINTAINED, REPAIRED, AND REMOVED PER THE TOWN'S INSPECTOR.
3. WHEN THE AREA INLET PROTECTION IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE AREA INLET PROTECTION SHALL BE REVEALED, SEEDING, MULCHED, AND COMPACTED PER THE TOWN'S INSPECTOR.
4. ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.

1 OF 1  
REV. 03/14

THIS DRAWING SET IS TO BE USED TO THE EXTENT OF THE CONTRACT DOCUMENTS AND THE TERMS OF THE CONTRACT.

**AREA INLET PROTECTION IN PAVEMENT**

**NOTE:**

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE AREA INLET PROTECTION.
2. THE AREA INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER. THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND REMOVAL OF THE AREA INLET PROTECTION. THE AREA INLET PROTECTION SHALL BE MAINTAINED, REPAIRED, AND REMOVED PER THE TOWN'S INSPECTOR.

1 OF 1  
REV. 03/14

THIS DRAWING SET IS TO BE USED TO THE EXTENT OF THE CONTRACT DOCUMENTS AND THE TERMS OF THE CONTRACT.

**INLET PROTECTION, CURB ON-GRADE, TYPE R INLET**

**NOTE:**

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CURB INLET PROTECTION.
2. THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLETS IN PAVEMENT OR ANY LAND DISTURBING ACTIVITIES ON UNPAVED AREAS. THE INSTALLATION OF NEW INLETS, AN INTERMEDIATE INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.

1 OF 2  
REV. 03/14

THIS DRAWING SET IS TO BE USED TO THE EXTENT OF THE CONTRACT DOCUMENTS AND THE TERMS OF THE CONTRACT.

**TUBULAR TRAFFIC MARKER DETAIL**

1 OF 2  
REV. 03/14

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**INLET PROTECTION, CURB ON-GRADE INSTALLATION NOTES**

1. SET CBMP PLAN FOR LOCATION(S) OF CURB INLET PROTECTION.
2. CURB INLET PROTECTION SHALL BE 2'-0" TO 3'-0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
3. ROCK SOCK FOR ON-GRADE INLET PROTECTION SHALL BE ONE CONTINUOUS PIECE.
4. ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL, WELDED TO KILL ROCK FROM SPILLING OUT.
5. ROCK SOCK SHALL BE PLACED 5'-0" UPHILL OF THE INLET OPENING.
6. TUBULAR MARKERS SHALL BE A MINIMUM OF 3'-0" HIGH WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
7. THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE A TUBULAR INSTALLATION OF THE CURB INLET PROTECTION ON ROADWAYS ADJACENT TO THE INLET.

**ON-GRADE INLET PROTECTION INSPECTION AND MAINTENANCE NOTES**

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE ON-GRADE INLET PROTECTION.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
3. ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
4. CURB INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER. THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND REMOVAL OF THE CURB INLET PROTECTION. THE CURB INLET PROTECTION SHALL BE MAINTAINED, REPAIRED, AND REMOVED PER THE TOWN'S INSPECTOR.

1 OF 1  
REV. 03/14

THIS DRAWING SET IS TO BE USED TO THE EXTENT OF THE CONTRACT DOCUMENTS AND THE TERMS OF THE CONTRACT.

**INLET PROTECTION, CURB ON SUMP, TYPE R INLET**

**NOTE:**

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CURB INLET PROTECTION.
2. THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLETS IN PAVEMENT OR ANY LAND DISTURBING ACTIVITIES ON UNPAVED AREAS. THE INSTALLATION OF NEW INLETS, AN INTERMEDIATE INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.

1 OF 2  
REV. 03/14

THIS DRAWING SET IS TO BE USED TO THE EXTENT OF THE CONTRACT DOCUMENTS AND THE TERMS OF THE CONTRACT.

**CURB INLET PROTECTION INSTALLATION NOTES**

1. SET CBMP PLAN FOR LOCATION(S) OF CURB INLET PROTECTION.
2. CURB INLET PROTECTION SHALL BE 2'-0" TO 3'-0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
3. ROCK SOCK SHALL BE ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAPPED JOINTS (SEE DETAIL R).
4. ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL, WELDED TO KILL ROCK FROM SPILLING OUT.
5. ROCK SOCK SHALL BE PLACED 5'-0" UPHILL OF CURB INLET OPENING WITH RETURN TO CONTACT CURB FACE.
6. TUBULAR MARKERS SHALL BE A MINIMUM OF 3'-0" IN HEIGHT WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
7. THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLETS IN PAVEMENT OR ANY LAND DISTURBING ACTIVITIES ON UNPAVED AREAS. THE INSTALLATION OF NEW INLETS, AN INTERMEDIATE INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.

**CURB INLET PROTECTION INSPECTION AND MAINTENANCE NOTES**

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CURB INLET PROTECTION.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
3. ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
4. CURB INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER. THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND REMOVAL OF THE CURB INLET PROTECTION. THE CURB INLET PROTECTION SHALL BE MAINTAINED, REPAIRED, AND REMOVED PER THE TOWN'S INSPECTOR.

1 OF 1  
REV. 03/14

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**LOT PROTECTION**

1 OF 2  
REV. 03/14

THIS DRAWING SET IS TO BE USED TO THE EXTENT OF THE CONTRACT DOCUMENTS AND THE TERMS OF THE CONTRACT.

**EROSION CONTROL BLANKET FOR LOT PROTECTION INSTALLATION NOTES**

1. ALL EROSION CONTROL BLANKETS FOR LOT PROTECTION INSTALLED IN THE TOWN SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:
2. ALL EROSION CONTROL BLANKETS FOR LOT PROTECTION SHALL BE INSTALLED ACCORDING TO THE DETAIL DRAWINGS, WITH THE FOLLOWING ALLOWANCES AND ADDITIONS:
  - THE TOWN WILL ALLOW THE USE OF BIODEGRADABLE EROSION CONTROL BLANKETS IF THEY ARE AT LEAST 18" HIGH AND MADE OF 100% NATURAL MATERIALS.
  - ALL EROSION CONTROL BLANKET EDGES (SIDES AND ENDS) MUST OVERLAP THE ADJACENT BLANKET BY A MINIMUM OF 6" NOTICES WITH THE ADJACENT EDGES BEING PLACED ON TOP OF THE DOWN-SLOPE EDGE OF THE ADJACENT BLANKET.
  - ALL EDGES (SIDES AND ENDS) OF THE EROSION CONTROL BLANKETS SHALL BE NEEDED TO BE REVEALED INTO THE GROUND ASSURING THE SITE CONDITIONS WILL NOT CAUSE EROSION BEHIND THE BLANKETS. THESE ASSUMPTIONS WILL BE THE RESPONSIBILITY OF THE EROSION CONTROL SUPERVISOR. ON OCCASION, THE TOWN'S INSPECTOR MAY REQUEST REVEALING BASED UPON SITE CONDITIONS.
  - TOPSOIL PLACEMENT, SEEDING, AND MULCH WILL NOT BE REQUIRED ON THE LOTS PRIOR TO THE INSTALLATION OF THE EROSION CONTROL BLANKETS.
3. ANY DAMAGED OR EXCESS STAPLES SHALL BE REMOVED FROM THE SITE UPON CONSTRUCTION INSTALLATION.
4. THE EROSION CONTROL BLANKETS REQUIRED AS PART OF THE LOT PROTECTION (LP) REQUIREMENT MUST BE INSTALLED UPON ALL UNPAVED AREAS WITHIN EACH RESIDENTIAL, COMMERCIAL, AND COMMUNITY LOT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY / TEMPORARY CERTIFICATE OF OCCUPANCY.

**EROSION CONTROL BLANKET FOR LOT PROTECTION MAINTENANCE NOTES**

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE EROSION CONTROL BLANKET FOR LOT PROTECTION.
2. EROSION CONTROL BLANKETS FOR LOT PROTECTION ARE INTENDED TO REMAIN IN PLACE AND MAINTAINED UNTIL LANDSCAPING IS INSTALLED.

1 OF 2  
REV. 03/14

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**CVL CONSULTANTS**

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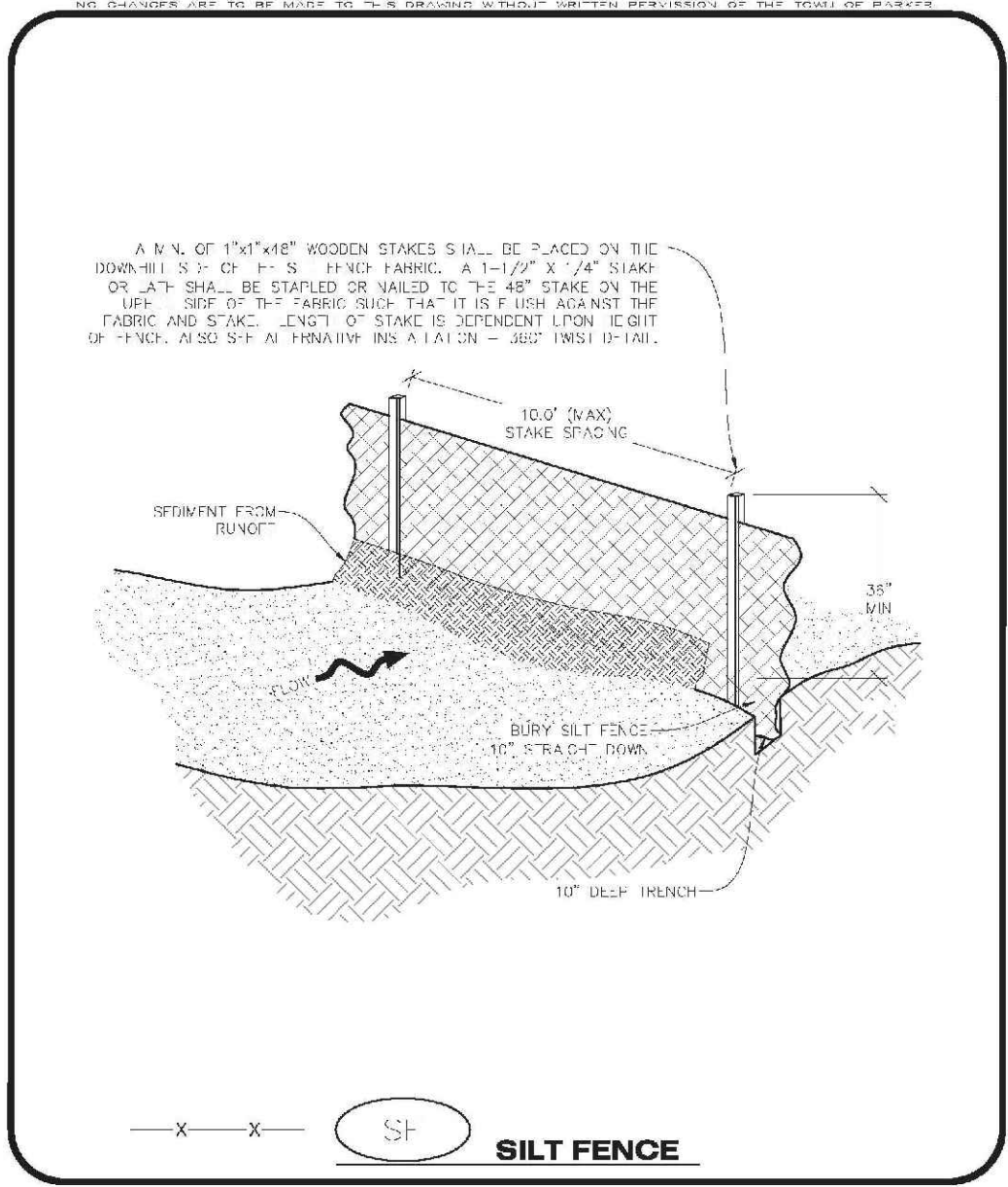
DRAWN BY: JF  
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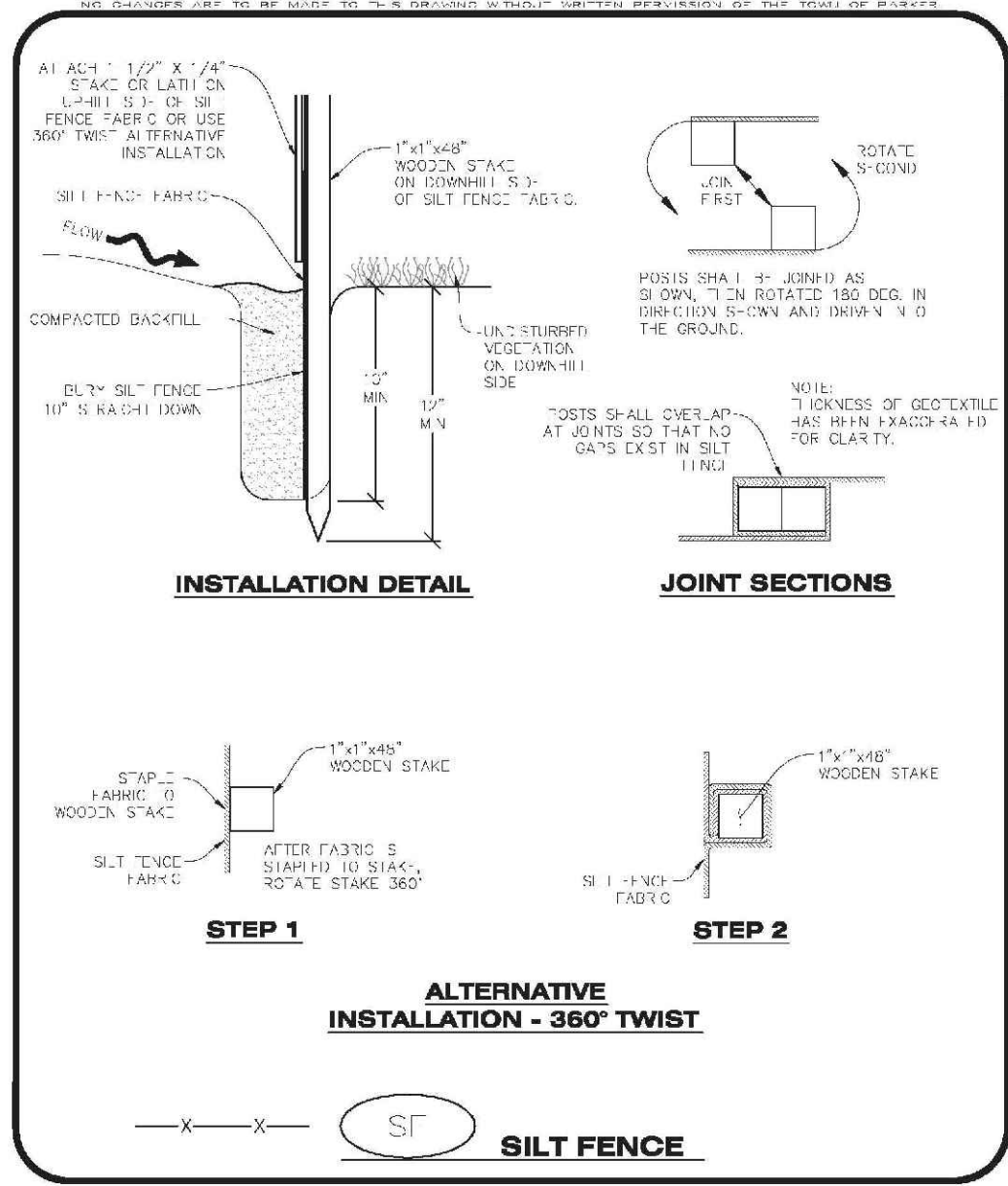
SHEET NUMBER: 7

Revisions: No. Date Initial Appr. Date





**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES  
SF 2 OF 4  
REV. 2014



**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES  
SF 2 OF 4  
REV. 2014

**SILT FENCE INSTALLATION NOTES**

- SFF CBMP PLAN FOR LOCATION(S) OF SILT FENCE.
- ALL SILT FENCE SHALL BE INSTALLED IN GOOD CONDITION AND FREE OF ANY DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR.
- A UNIFORM "O" DEEP ANCHOR TRENCH SHALL BE EXCAVATED USING A TRENCHER.
- A 10" DEEP ANCHOR SILL SHALL BE INSTALLED USING A 5' HIGH SLING W/ HOOK.
- EXCAVATED MATERIAL SHALL BE PLACED ON THE UP-SLOPE SIDE OF THE ANCHOR TRENCH.
- ANCHOR TRENCH SHALL BE GENERALLY FREE OF ROCKS OR OTHER DEBRIS PRIOR TO THE PLACEMENT OF THE SILT FENCE.
- ALL ANCHOR TRENCH SHALL BE THOROUGHLY BACKFILLED WITH SILT THAT IS GENERALLY FREE OF ROCKS AND DEBRIS.
- ALL EXCAVATED MATERIAL SHALL BE PLACED ON THE UP-SLOPE SIDE OF THE SILT FENCE.
- STAKES SHALL BE POSITIONED ON THE DOWN HILL SIDE OF THE SILT FENCE FABRIC AND PLACED ON TOP OF CURBS OR LESS STAKES SHALL BE EMBEDDED A MINIMUM OF 12" INTO THE GROUND. A WOODEN LATH SHALL BE ATTACHED TO THE DOWN HILL SIDE OF THE STAKE FOR A 10' DEEP TRENCH AND STAKE SHALL HAVE THE FOLLOWING DIMENSIONS: 1" X 4".
- SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD NOT BE SIGNIFICANT SAGGING ALONG ANY PORTION OF THE SILT FENCE AFTER IT HAS BEEN ANCHORED TO THE STAKES.
- SILT FENCE FABRIC SHALL BE EMBEDDED IN THE STAKES AND LATHS USING STAPLES OR NAILS OF AN APPROPRIATE LENGTH. STAPLES AND NAILS SHOULD BE PLACED ALONG THE LATH TO ENSURE PROPER ATTACHMENT.
- SILT FENCE FABRIC SHALL MEET THE FOLLOWING MANDATORY REQUIREMENTS:

| PROPERTIES                | TEST METHOD | MANDATORY REQUIREMENTS            |
|---------------------------|-------------|-----------------------------------|
| STAPLE RESISTANCE         | ASTM D 4242 | ≥ 124 LBS                         |
| MILITARY TENSILE STRENGTH | ASTM D 3786 | ≥ 300 TSI                         |
| TENSILE STRENGTH          | ASTM D 4832 | ≥ 60 LBS                          |
| TEAR RESISTANCE           | ASTM D 2553 | ≥ 60 LBS                          |
| UV RESISTANCE             | ASTM D 2555 | ≥ 80% AT 500 HOURS OF UV EXPOSURE |
| LOW RATE                  | ASTM D 4461 | ≥ 10 GR / IN / FT <sup>2</sup>    |

- AN ORIGINAL PHYSICAL SPECIFICATION SHALL SHOW THE SILT FENCE MANUFACTURER'S ALL GC MADE AVAILABLE AT THE REQUEST OF THE TOWN'S INSPECTOR. THE PRODUCT IDENTIFICATION SHALL BE PRINTED IN RED INK ON THE TRENCHING MACHINE ABOVE.
- SILT FENCE JOINTS SHALL BE CONNECTED ACCORDING TO THE ATTACHED DRAWING.
- SILT FENCE THAT IS INSTALLED BEHIND CURBS AND SIDEWALKS MUST BE DONE SO THAT NO MORE THAN A 2" GAP EXISTS BETWEEN CONCRETE AND THE SILT FENCE. EROSION CONTROL BANKING (ECB) BETWEEN THE SILT FENCE SHALL BE REQUIRED IN INSTANCES WHERE THIS GAP IS OCCURRING.

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES  
SF 3 OF 4  
REV. 2014

**SILT FENCE INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SILT FENCE.
- ACCUMULATED SEDIMENT SHALL BE REMOVED REGULARLY.
- SILT FENCE SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND PROXIMAL SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- SILT FENCE SHALL BE REPLACED WHEN THERE ARE ANY SIGNS OF WEAR AND/OR DAMAGE.
- WHEN THE SILT FENCE IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE SILT FENCE MAY NEED TO BE REVEGETATED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE JULIAN SMC).

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES  
SF 4 OF 4  
REV. 2014

**SEEDING AND MULCHING SHALL BE PERFORMED ACCORDING TO THE ACCOMPANYING DETAIL(S) AND TEXT. NO EXCEPTIONS SHALL BE MADE.**

- SILT PLAN V.V. OR:
  - LOCATION(S) OF SEEDING AND MULCHING
  - TYPE OF SEED MIX
- SEED MIXES MAY CONFORM TO THE TABLE PROVIDED WITH THE SMC NOTES OR ALTERNATIVES MAY BE ALLOWED WITH PRIOR PERMISSION BY THE TOWN'S INSPECTOR.
- SEEDING MAY BE PERFORMED YEAR ROUND ASSUMING THE SOIL IS NOT FROZEN. SEEDING DURING TIMES OF EXTREME TEMPERATURES SHOULD BE AVOIDED IF POSSIBLE.
- IF THE PROXIMAL DISTURBED AREAS ARE NOT REVEGETATED WITHIN THE SPECIFIED TIME FRAME, THE TOWN'S INSPECTOR SHALL BE NOTIFIED AND THE CONTRACTOR SHALL BE REQUIRED TO REVEGETATE THE AREAS WITHIN THE SPECIFIED TIME FRAME. THE TOWN'S INSPECTOR SHALL BE NOTIFIED AND THE CONTRACTOR SHALL BE REQUIRED TO REVEGETATE THE AREAS WITHIN THE SPECIFIED TIME FRAME.
- IF THE SEEDING IS PERFORMED IN A SAMPLE FROM THE DISTURBED AREA, THE SEEDING SHALL BE PERFORMED BY A QUALIFIED PERSONNEL TO ENSURE THE SEEDING IS PERFORMED CORRECTLY. THE SEEDING SHALL BE PERFORMED BY A QUALIFIED PERSONNEL TO ENSURE THE SEEDING IS PERFORMED CORRECTLY.
- ALL AREAS TO BE SEEDING AND MULCHING SHALL BE SURFACE ROUGHENED ACCORDING TO THE SURFACE ROUGHENING DETAIL(S) AND NOTES. SURFACE ROUGHENING SHALL OCCUR AFTER PLACEMENT OF THE TOPSOIL.
- WHEN AS APPLIED WITH A DRILL SPREADER, SEED SHALL BE PLACED AT A DEPTH OF 1/2" - 3/4" INCH. ROW SPACING SHALL BE NO MORE THAN 3' ONES.
- ALL AREAS NEARBY TO BEING DRILL SEEDING SHALL BE SURFACE ROUGHENED ACCORDING TO THE SURFACE ROUGHENING DETAIL(S) AND NOTES. SURFACE ROUGHENING SHALL OCCUR BEFORE SUCH IMPLEMENT. ALL AREAS SHALL BE UNIFORMLY HAND BROADCASTED WITH THE PROPER SEED MIX APPLIED AT THE TIMES THE DRILL SEEDING RATE. BROADCASTED AREAS SHALL THEN BE RE-HARROWED OR RE RAKED USING A HAND TYPED RAKE TO ENSURE THAT SEEDS ARE BURIED TO AN APPROXIMATE DEPTH OF 1/2" INCH.
- AFTER SEEDING HAS BEEN COMPLETED, MULCH SHALL BE UNIFORMLY APPLIED AT A RATE OF 2 TONS/ACRE (2000 LBS/ACRE). MULCH SHALL BE MANUALLY GRADDED TO A DEPTH OF 2" INCHES USING A DRUMMER. MULCH SHALL BE HAND DRUMMED AND COVERED WITH A TACKLER IN AREAS WHERE MECHANICAL GRADING IS NOT POSSIBLE. WHEN SOILS PERMIT, ALL MULCH SHALL BE CRIMPED SO THAT THE INDIVIDUAL PIECES OF STRAW OR HAY FORM V-SHAPES PROTRUDING OUT OF THE GROUND SEVERAL INCHES.
- IN CERTAIN INSTANCES, IT MAY BE NECESSARY TO APPLY A TACKLER IN ORDER TO HELP WITH STRAW SPREADING. TACKLER SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES  
SMC 0 OF 3  
REV. 2014

**SEEDING AND MULCHING MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SEEDING AND MULCHING.
- ANY SEEDING AND MULCHING AREAS THAT BECOME DAMAGED SHALL BE REPAIRED WITHIN THE TIME FRAME SPECIFIED BY THE TOWN'S INSPECTOR.

**WEED MANAGEMENT**

- ALL WEEDS SHALL BE REMOVED BY COMMERCIAL SERVICES. APPLICATIONS CONDUCTED BY THE COLORADO DEPARTMENT OF AGRICULTURE AS QUALIFIED APPLICATORS. THE CONTRACTOR SHALL FURNISH DOCUMENTATION OF SUCH WEEDING PRIOR TO HERBICIDE APPLICATION.
- HERBICIDE APPLICATIONS SHALL BE SUCH THAT PLANT GROWTH OUTSIDE THE DESIGNATED TREATMENT AREAS WILL NOT BE DAMAGED. ALL DAMAGE CAUSED BY IMPROPER HERBICIDE APPLICATION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- HERBICIDES SHALL BE APPLIED DURING THE APPROPRIATE SEASONS, WHEN TARGET PLANTS ARE ACTIVELY GROWING.
- ALL WEED GRASS SHALL BE REMOVED BY A QUALIFIED PERSONNEL TO ENSURE THE WEEDING IS PERFORMED CORRECTLY. THE WEEDING SHALL BE PERFORMED BY A QUALIFIED PERSONNEL TO ENSURE THE WEEDING IS PERFORMED CORRECTLY.
- HERBICIDE TREATMENTS SHALL CONTINUE AT AN APPROPRIATE RATE UNTIL IT IS EVIDENT THAT WEED GROWTH PRESENCE AND GROWTH IS MINIMAL AND MAY BE CONTROLLED THROUGH MOWING AND ANNUAL HERBICIDE APPLICATIONS.

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES  
SMC 2 OF 3  
REV. 2014

**TOWN OF PARKER, SEED MIX 1**

20% ARIZONA BLUEGRASS  
10% EASTWIND WHEATGRASS  
10% SENECA WHEATGRASS  
10% ANNUAL KYRGRASS  
10% SUEFE FESCUE  
10% SUEFE FESCUE  
10% SUEFE FESCUE  
10% SUEFE FESCUE  
10% SUEFE FESCUE  
10% SUEFE FESCUE

**SEEDING RATE:**  
DRILL: 25 LBS/ACRE  
BROADCAST: 50 LBS/ACRE

**TOWN OF PARKER, SEED MIX 2**

20% ARIZONA BLUEGRASS  
10% SENECA WHEATGRASS  
10% SENECA WHEATGRASS  
10% SENECA WHEATGRASS  
10% SENECA WHEATGRASS  
10% SENECA WHEATGRASS  
10% SENECA WHEATGRASS  
10% SENECA WHEATGRASS  
10% SENECA WHEATGRASS  
10% SENECA WHEATGRASS

**SEEDING RATE:**  
DRILL: 25 LBS/ACRE  
BROADCAST: 50 LBS/ACRE

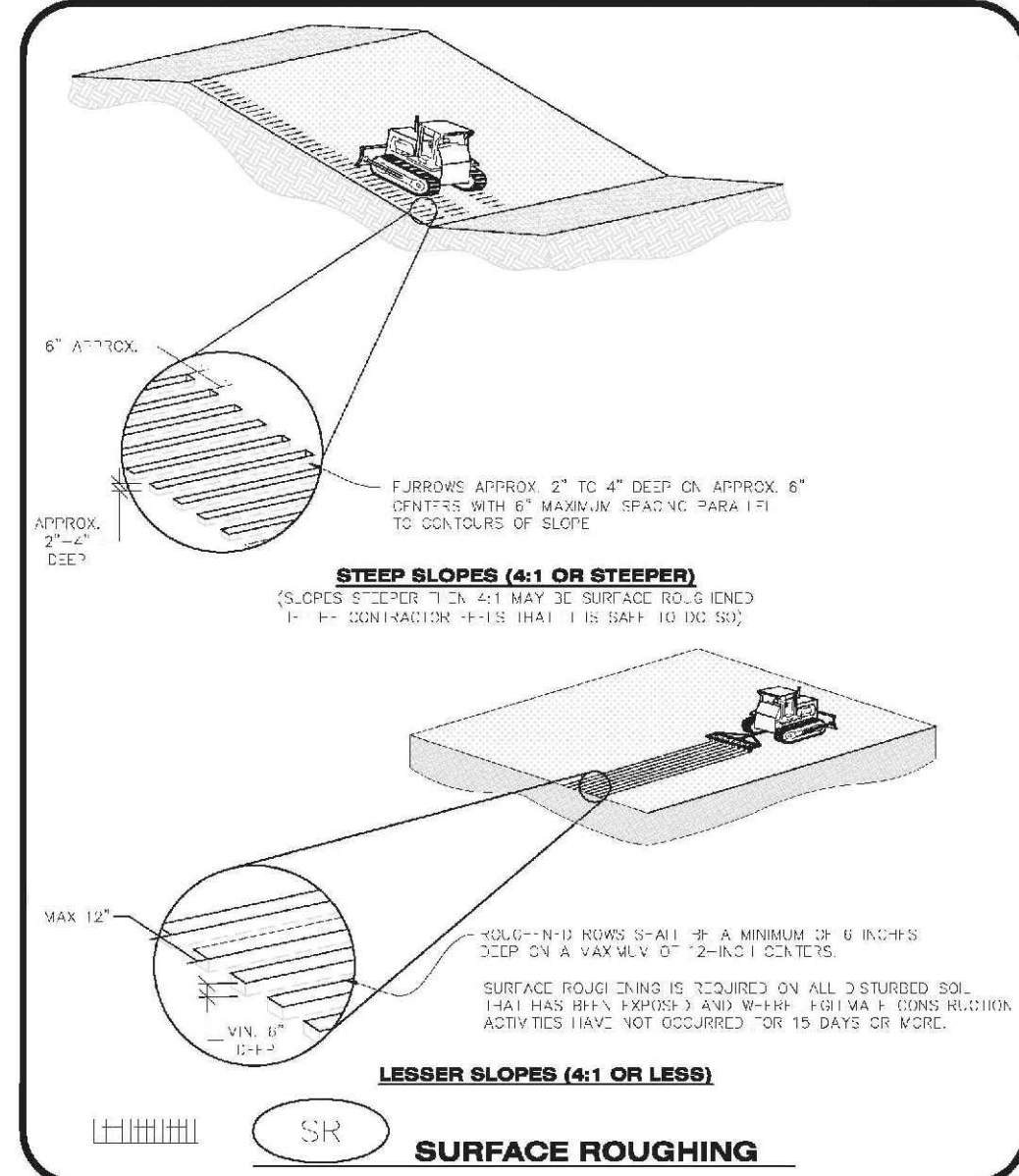
**TOWN OF PARKER, SEED MIX 3 (LOW-GROWTH MIX)**

20% CRITAM CRISTED WHEATGRASS  
20% SUEFE FESCUE  
10% SENECA WHEATGRASS  
10% SENECA WHEATGRASS  
10% SENECA WHEATGRASS  
10% SENECA WHEATGRASS  
10% SENECA WHEATGRASS  
10% SENECA WHEATGRASS  
10% SENECA WHEATGRASS  
10% SENECA WHEATGRASS

**SEEDING RATE:**  
DRILL: 25 LBS/ACRE  
BROADCAST: 50 LBS/ACRE

**SEED MIX 4:**  
OTHER SEED MIXES APPROVED BY THE TOWN OF PARKER

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES  
SMC 3 OF 3  
REV. 2014



**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES  
SR 2 OF 2  
REV. 2014

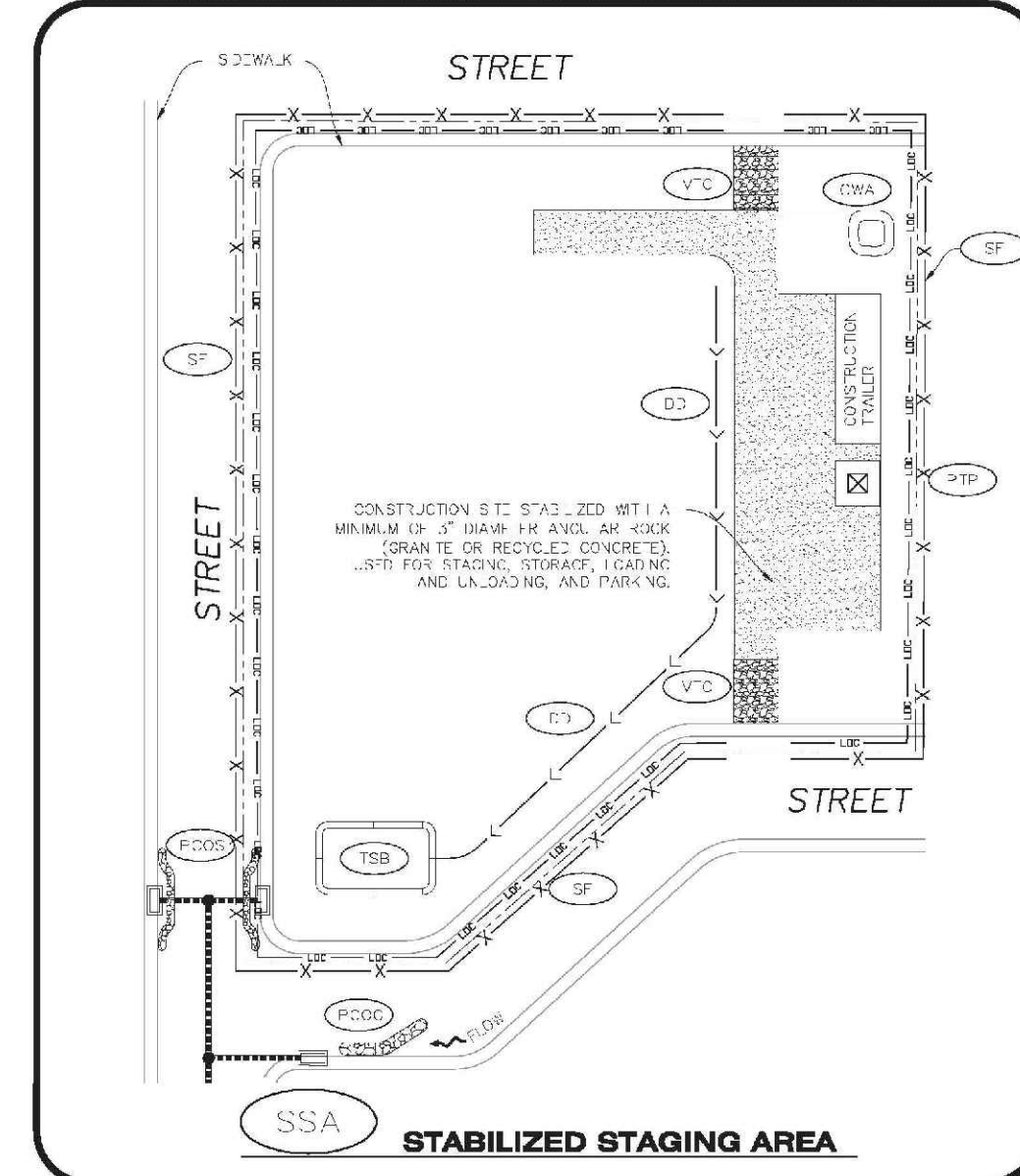
**SURFACE ROUGHENING INSTALLATION NOTES**

- SEE CBMP PLAN FOR LOCATION(S) OF SURFACE ROUGHENING.
- DISTURBED AREAS THAT REMAIN INACTIVE FOR 90 DAYS OR MORE MUST RECEIVE SURFACE ROUGHENING OR ANOTHER APPROVED BMP FROM THE SMC. DETERMINATION OF SURFACE ROUGHENING IS A DISCRETION OF THE TOWN'S INSPECTOR.
- FOR STEEP SLOPES (3% OR STEEPER), IT IS ACCEPTABLE TO "RAKE" THE SLOPES, ACCORDING TO THE CBMP PLAN.
- SCHEDULES FOR REGRADING STABILIZATION MAY BE MODIFIED BY THE PERMITS TO ALLOW SPECIAL CONSIDERATIONS SUCH AS STABILIZING ACCESS AREAS AND AREAS IN CLOSE PROXIMITY TO CONTINUING CONSTRUCTION.

**SURFACE ROUGHENING INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SURFACE ROUGHENING.

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES  
SR 2 OF 2  
REV. 2014



**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES  
SSA 1 OF 2  
REV. 2014

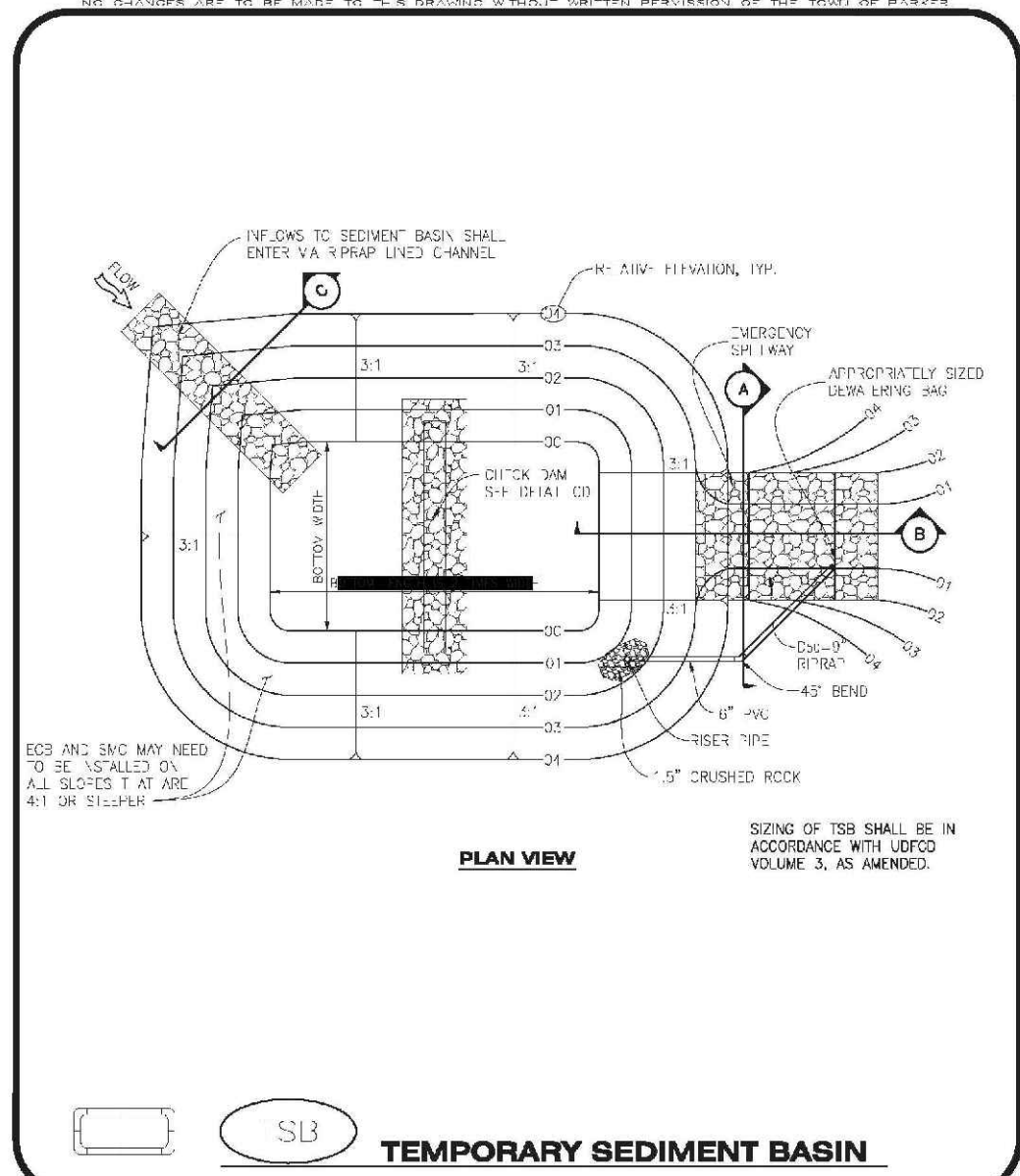
**STABILIZED STAGING AREA INSTALLATION NOTES**

- SFF CBMP PLAN FOR LOCATION OF STAGING AREA. CONTRACTOR MAY MODIFY LOCATION AND SIZE OF STABILIZED STAGING AREA WITH TOWN APPROVAL.
- STABILIZED STAGING AREA SHALL BE LARGE ENOUGH TO FULLY CONTAIN PARKING, STORAGE, AND OPERATIONAL OPERATIONS.
- THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM OF 3" DIAMETER OF ANGULAR ROCK (GRANITE OR RECYCLED CONCRETE).
- SSA FOR SMALLER SITES MAY NOT BE PRACTICAL IN THESE AND SIMILAR SITUATIONS. VARIATIONS MAY BE PERMITTED BY THE TOWN.

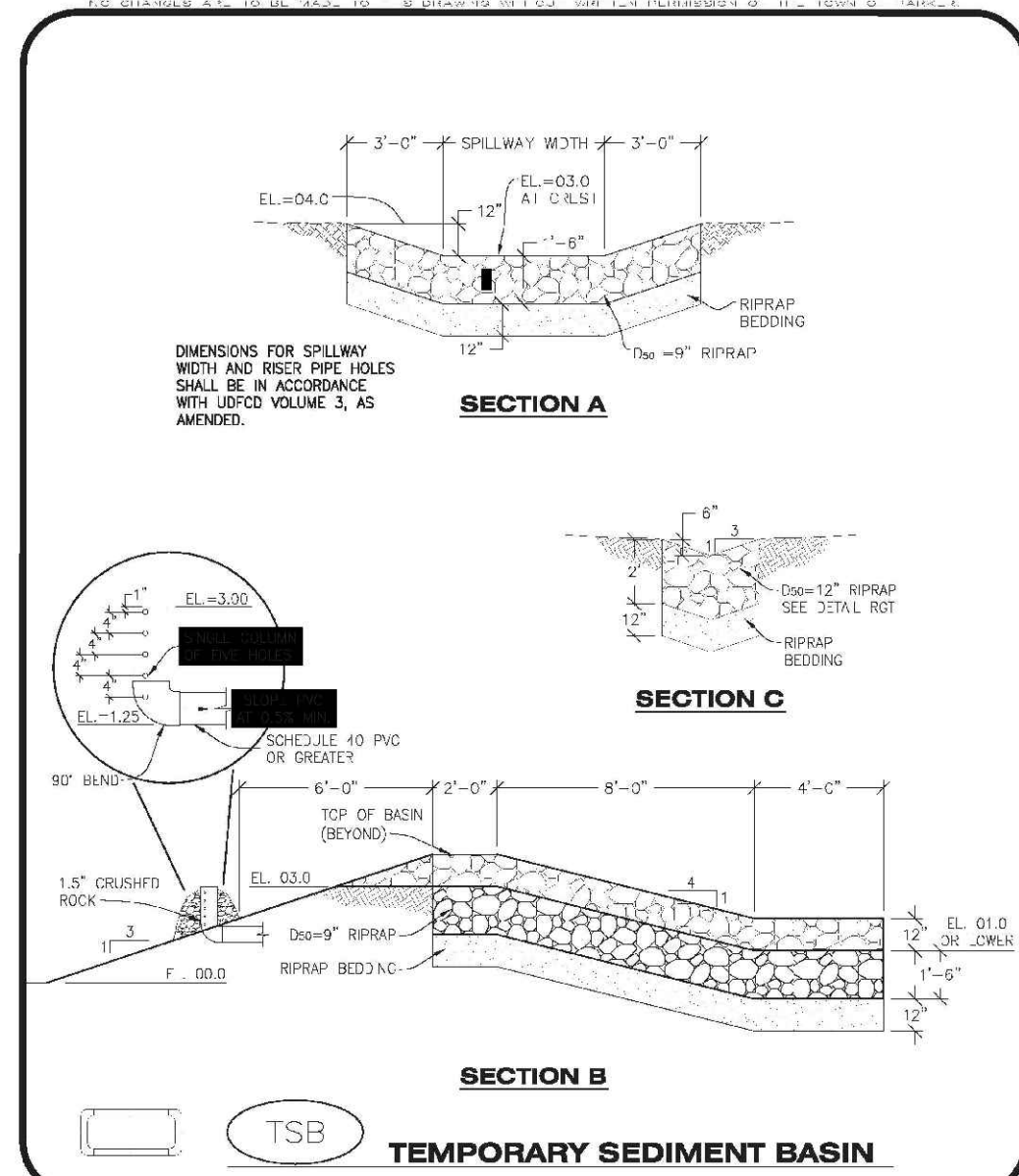
**STABILIZED STAGING AREA INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE STAGING AREA.
- STABILIZED STAGING AREA SHALL BE MAINTAINED AS NECESSARY TO CONTAIN PARKING, STORAGE, LOADING, AND UNLOADING.

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES  
SSA 2 OF 2  
REV. 2014



**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES  
TSB 1 OF 3  
REV. 2014



**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES  
TSB 2 OF 3  
REV. 2014

**TEMPORARY SEDIMENT BASIN INSTALLATION NOTES**

- SFF CBMP PLAN FOR LOCATION(S) OF SEDIMENT BASIN(S).
- THE TEMPORARY SEDIMENT BASIN(S) SHALL BE INSTALLED AND FUNCTIONING PRIOR TO ANY OTHER GRADING ACTIVITIES.
- THE SLOPE, DIMENSIONS AND DETAILS OF THE TEMPORARY SEDIMENT BASIN SHALL BE DETERMINED BY THE TOWN'S INSPECTOR, IN ACCORDANCE WITH SMC VOL 10, AS APPLICABLE.
- EMBANKMENT MATERIAL SHALL CONSIST OF SOIL FREE OF DEBRIS, ORGANIC MATERIAL, AND ROCKS OF CONCRETE OR OTHER HAZARDOUS MATERIAL. A MINIMUM OF 10% BY WEIGHT PASSING THE NO. 200 SIEVE.
- EMBANKMENT MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% DENSITY, AND WITHIN +/- 2% OF OPTIMUM MOISTURE IN ACCORDANCE WITH ASTM D698.
- AN APPROXIMATELY 1/2" DIA. LIME BAG SHALL BE PLACED AT THE END OF THE DISCHARGE PIPE. THE SPILLWAY SHALL BE REPAIRED WITH APPROXIMATELY 1/2" DIA. LIME BAGS TO ACCUMULATE SEDIMENT.

**TEMPORARY SEDIMENT BASIN INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE TEMPORARY SEDIMENT BASIN.
- ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN THE SEDIMENT REACHES A DEPTH OF 2.0', OR WITHIN 2.0' OF THE SPILLWAY CREST, OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- SEDIMENT BASINS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND PROXIMAL SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR.

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES  
TSB 3 OF 3  
REV. 2014

10338 E. Dry Creek Rd.  
Suite 110  
Englewood, CO 80110  
Tel: (720) 482-9526  
Fax: (720) 482-9548

**CVL CONSULTANTS**

HR 935 LLC  
7353 South Alton Way  
CENTENNIAL, CO 80112

TRAILS AT CROWFOOT  
FILING 10 CONSTRUCTION DRAWINGS  
BMP DETAILS

SCALE: AS SHOWN  
FILE NO: 8130283701

DRAWN BY: JF  
CHECKED BY: JJ  
DATE: SEPTEMBER 2017

SHEET NUMBER 9

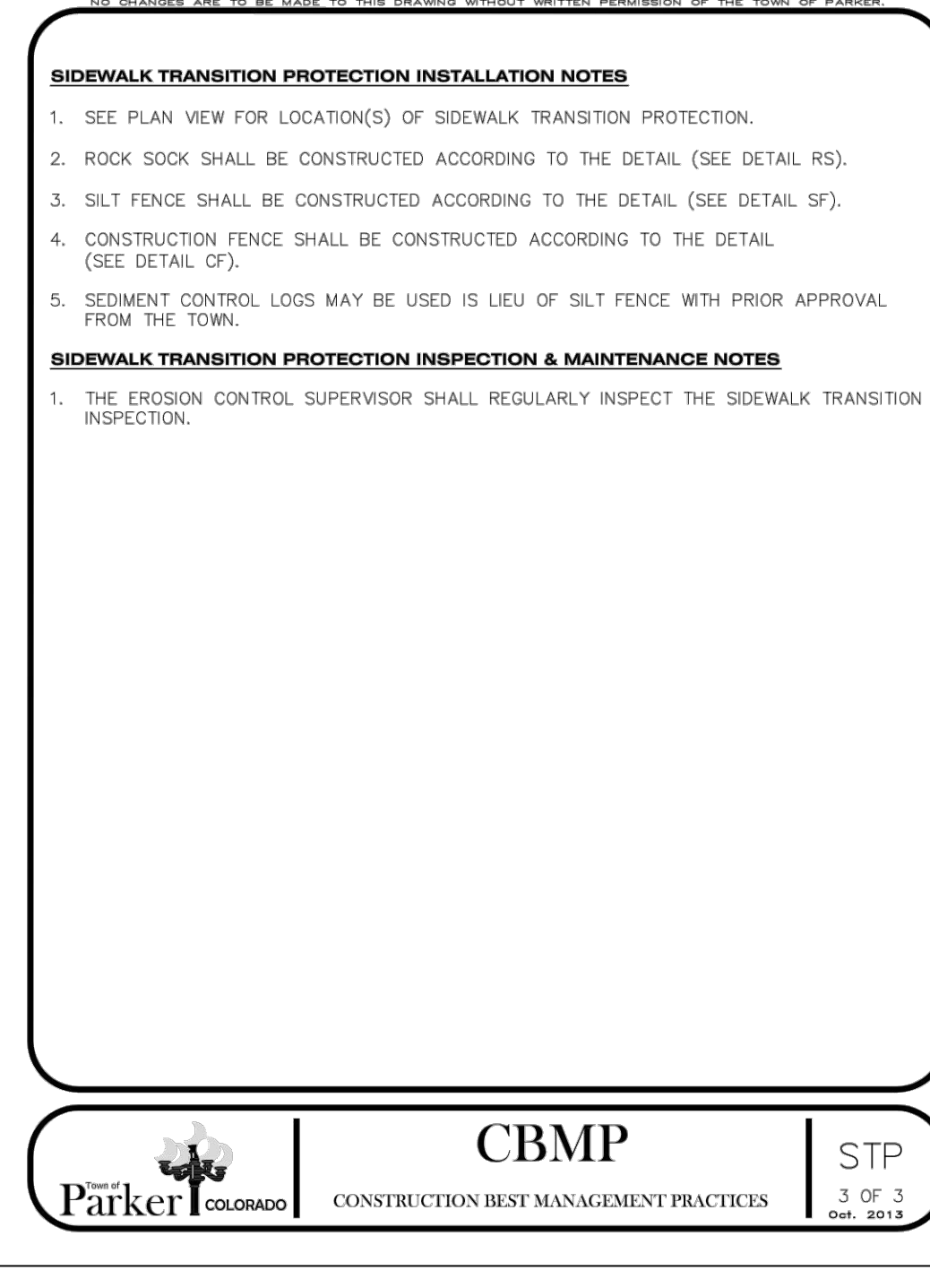
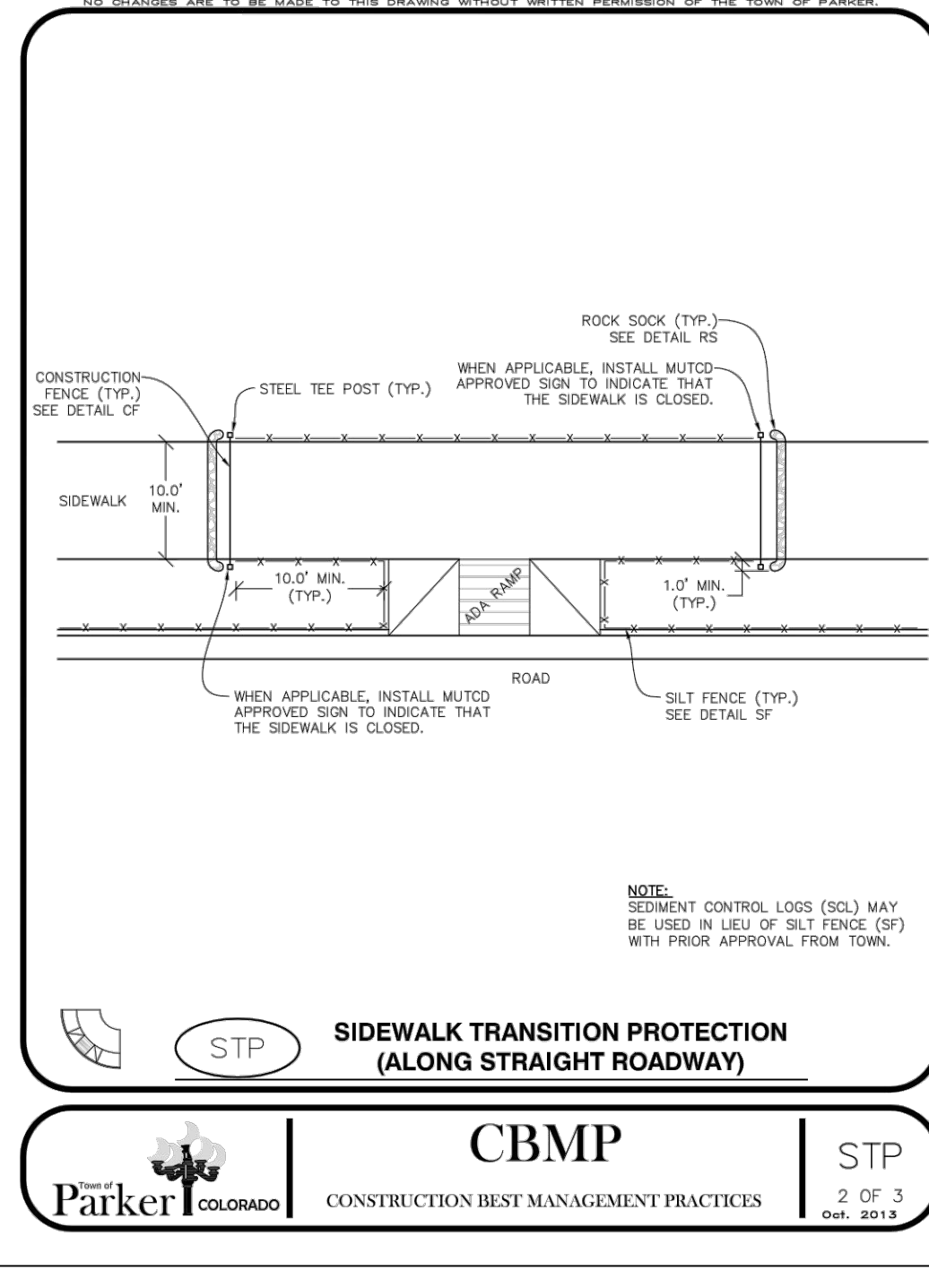
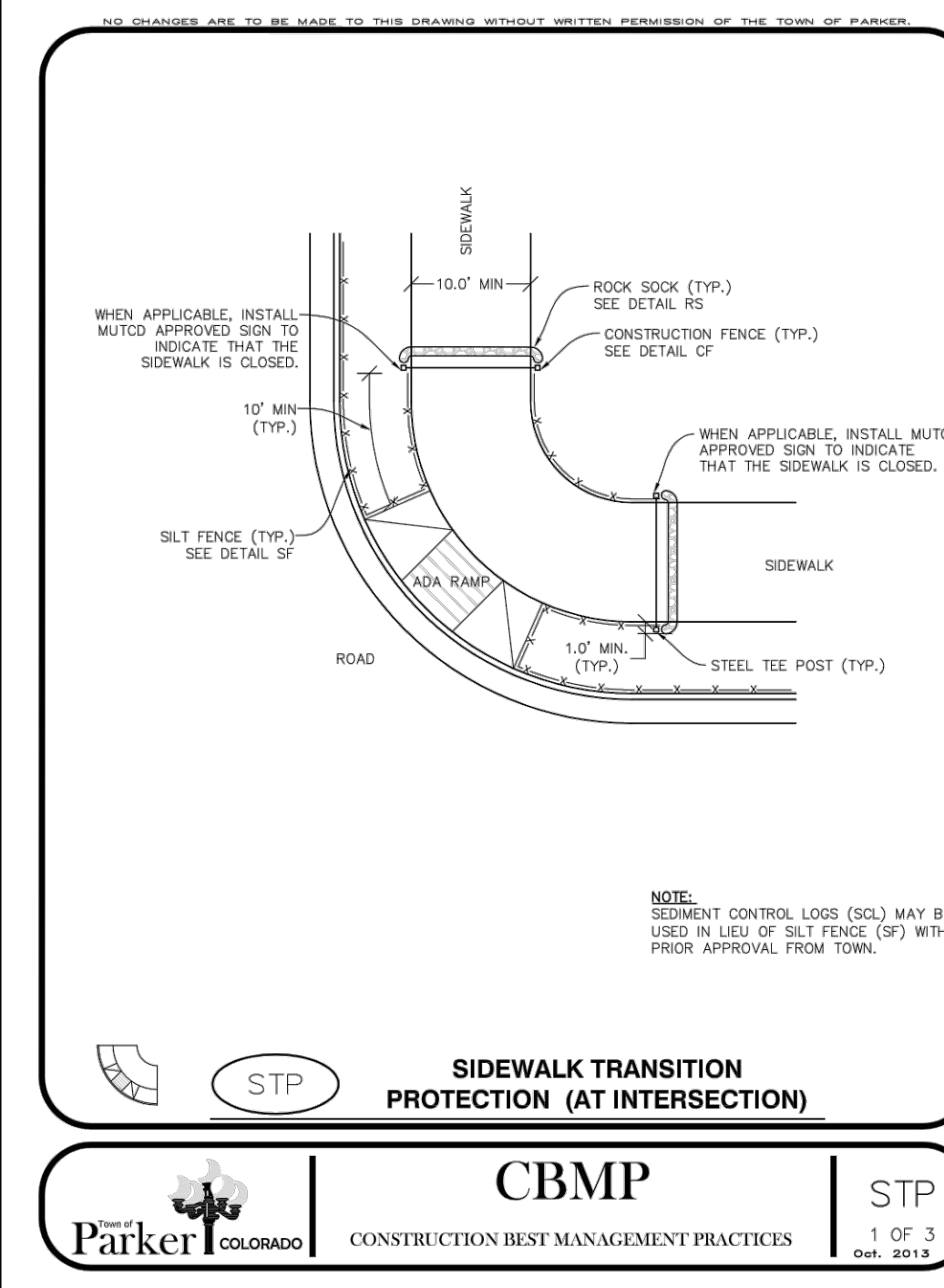
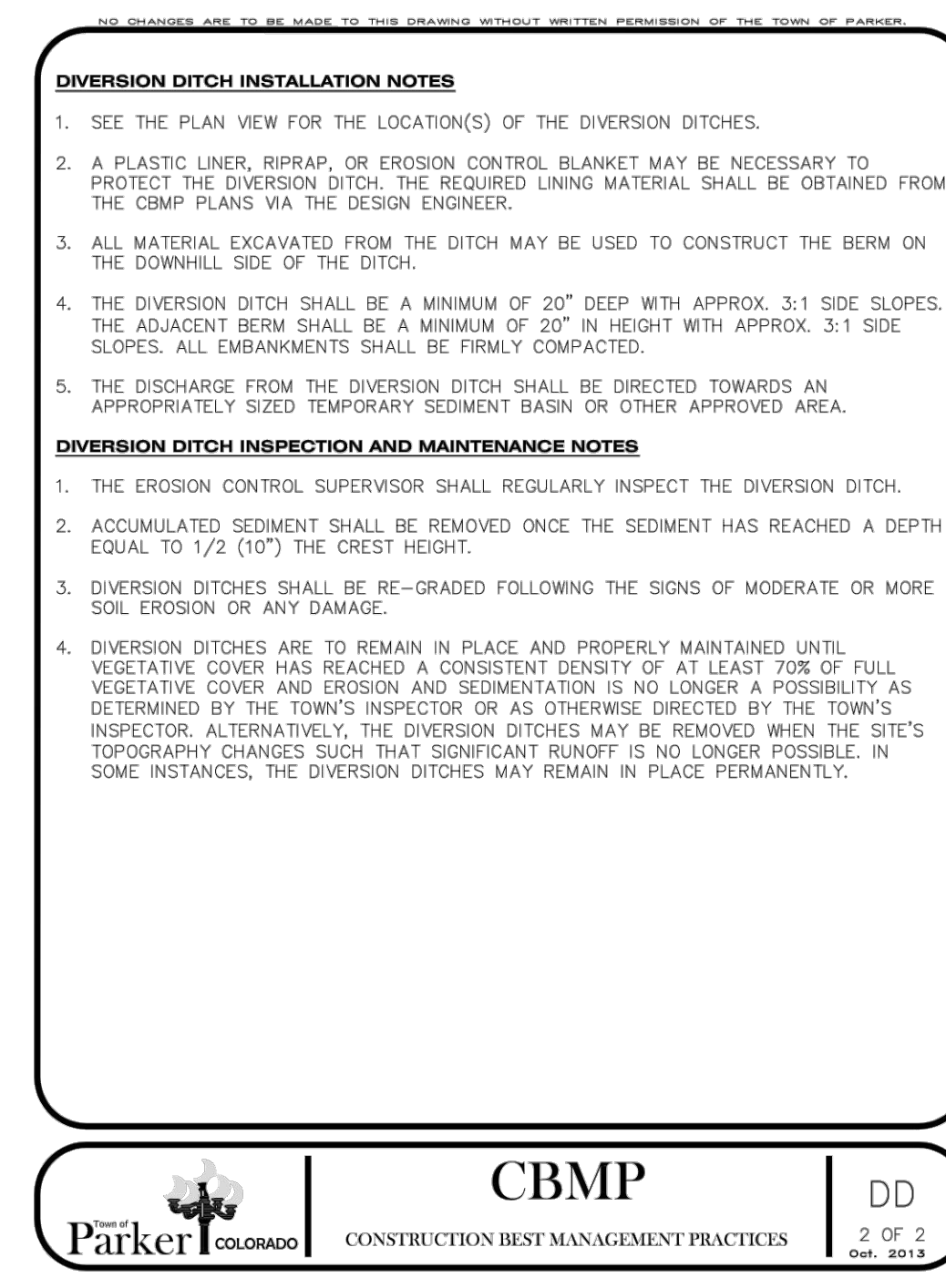
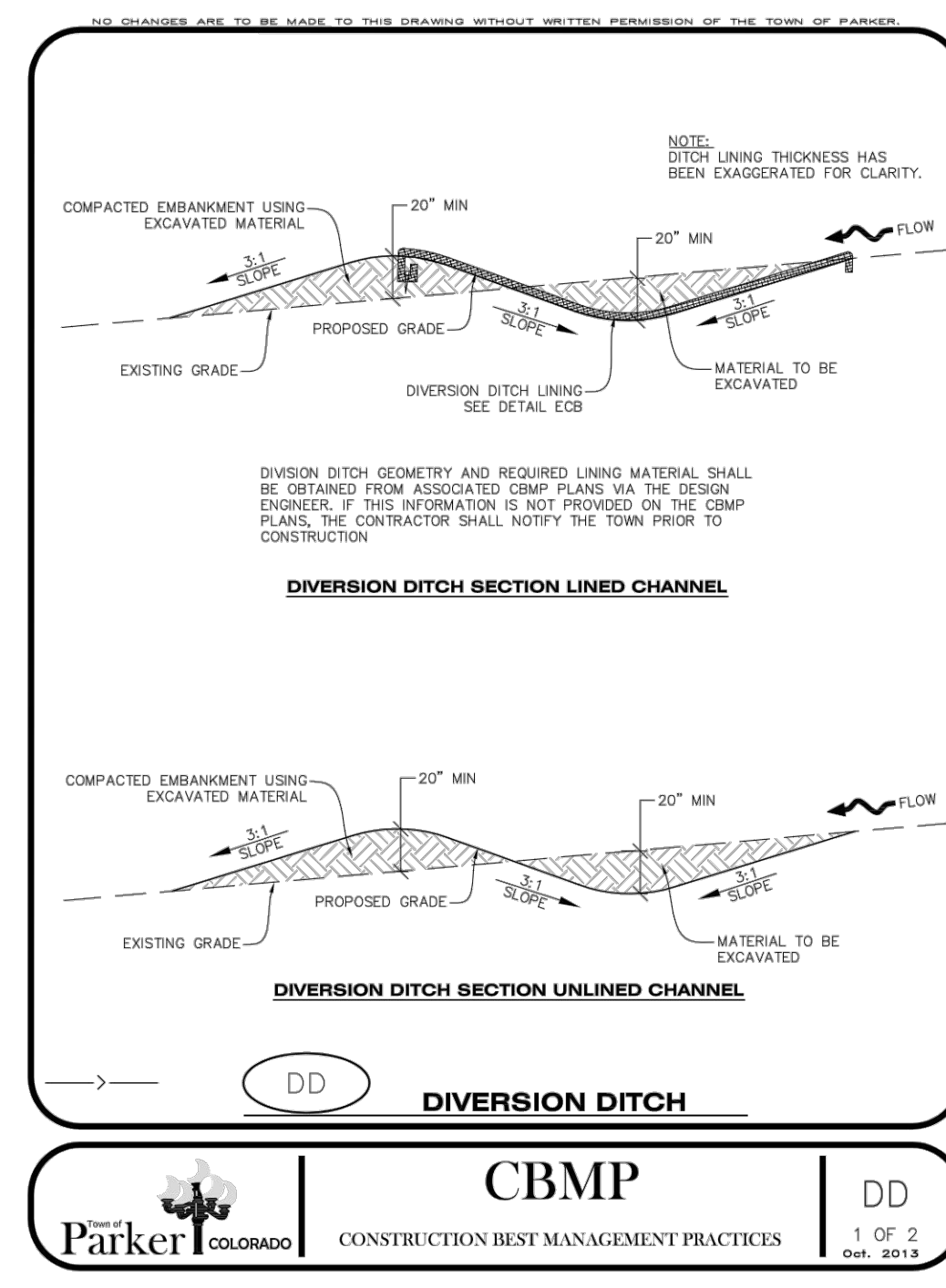
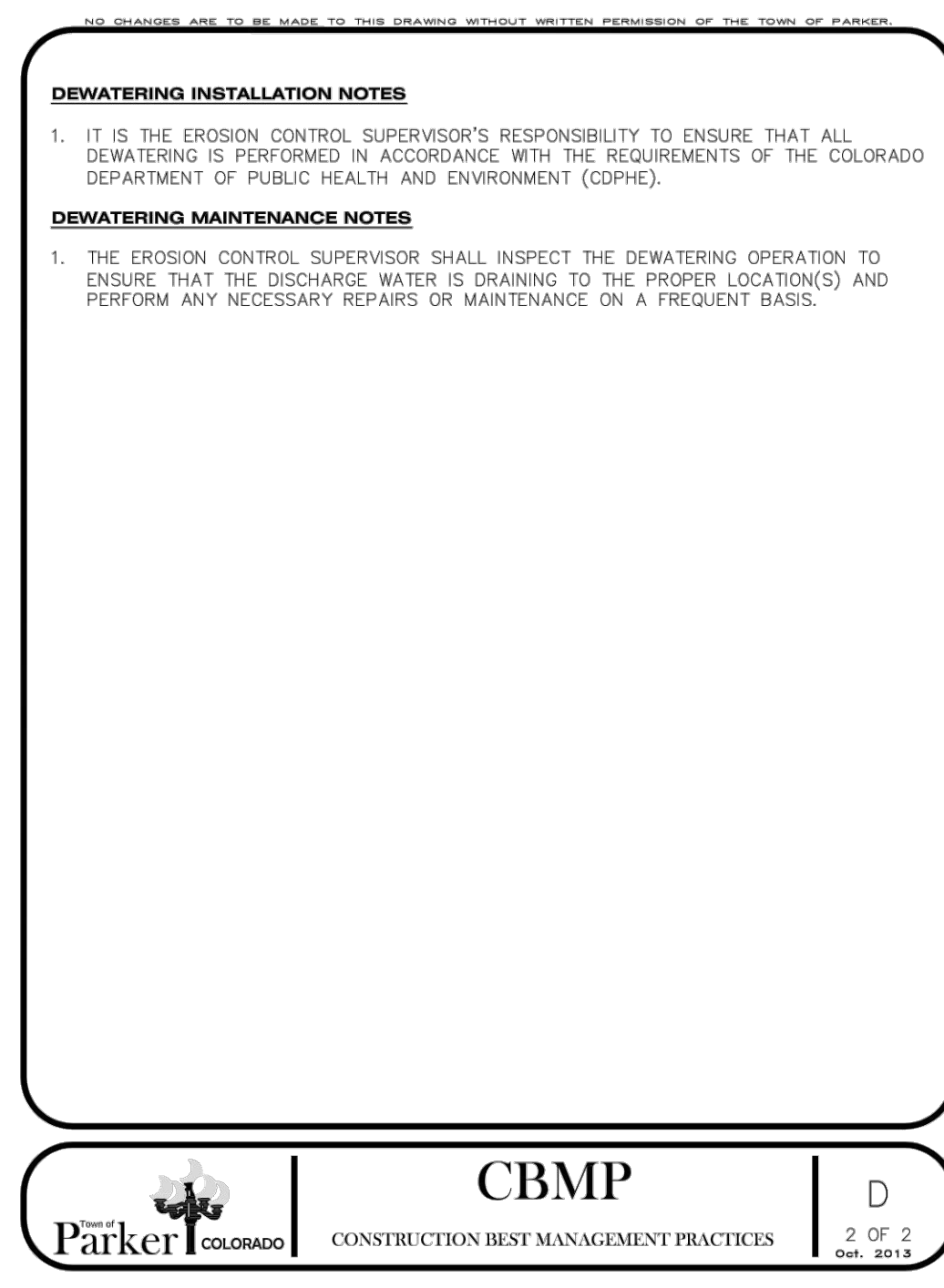
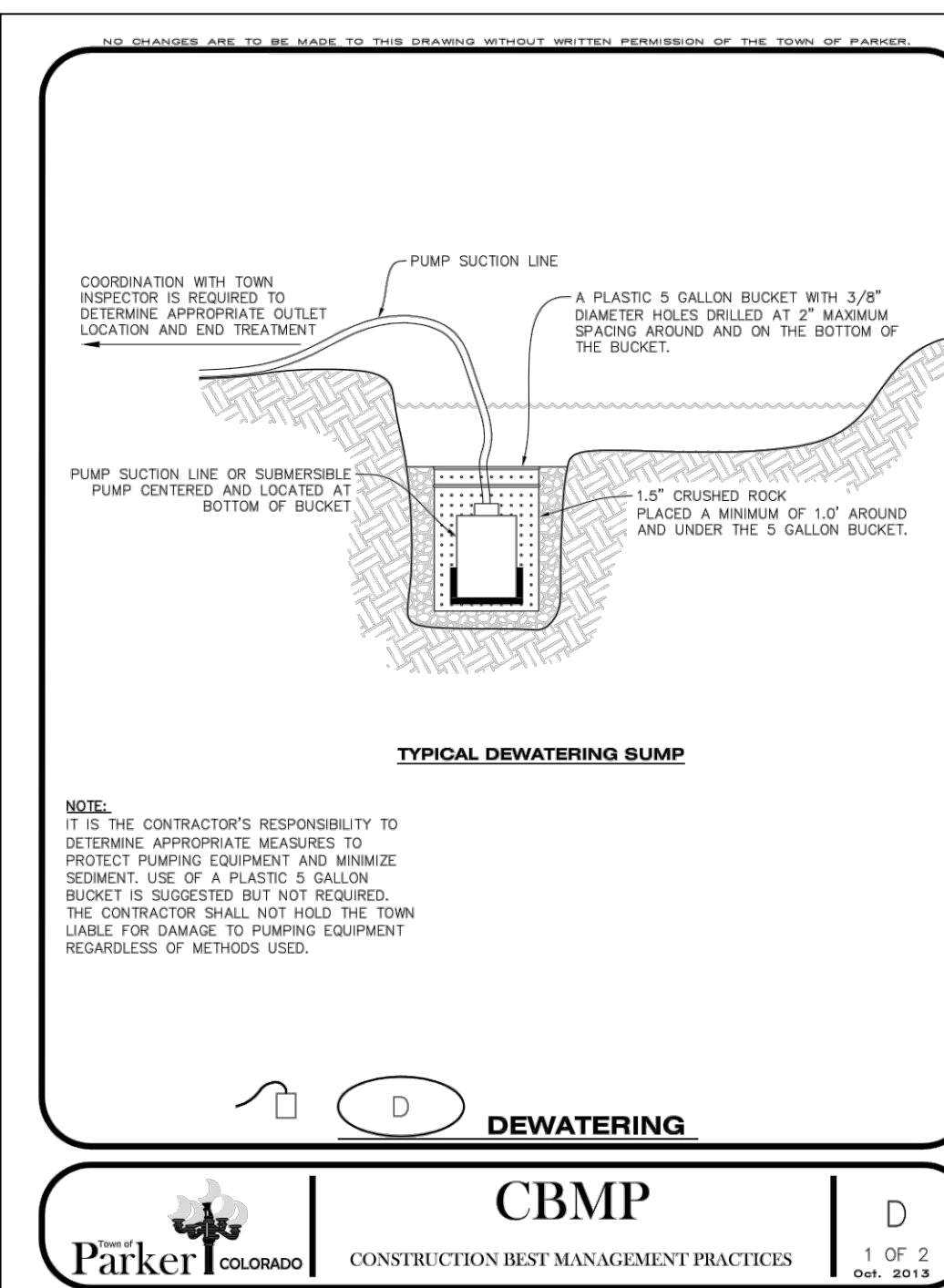
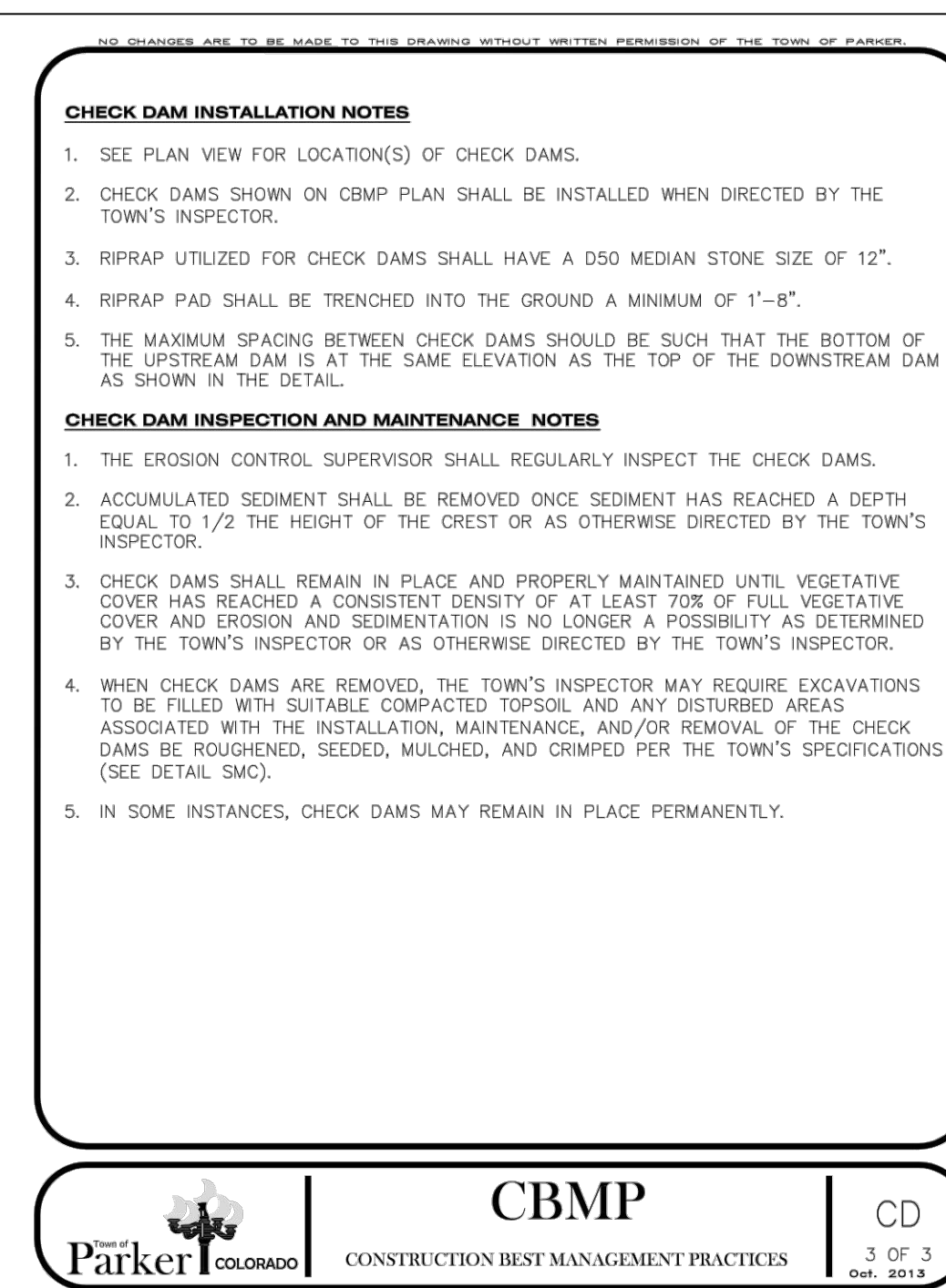
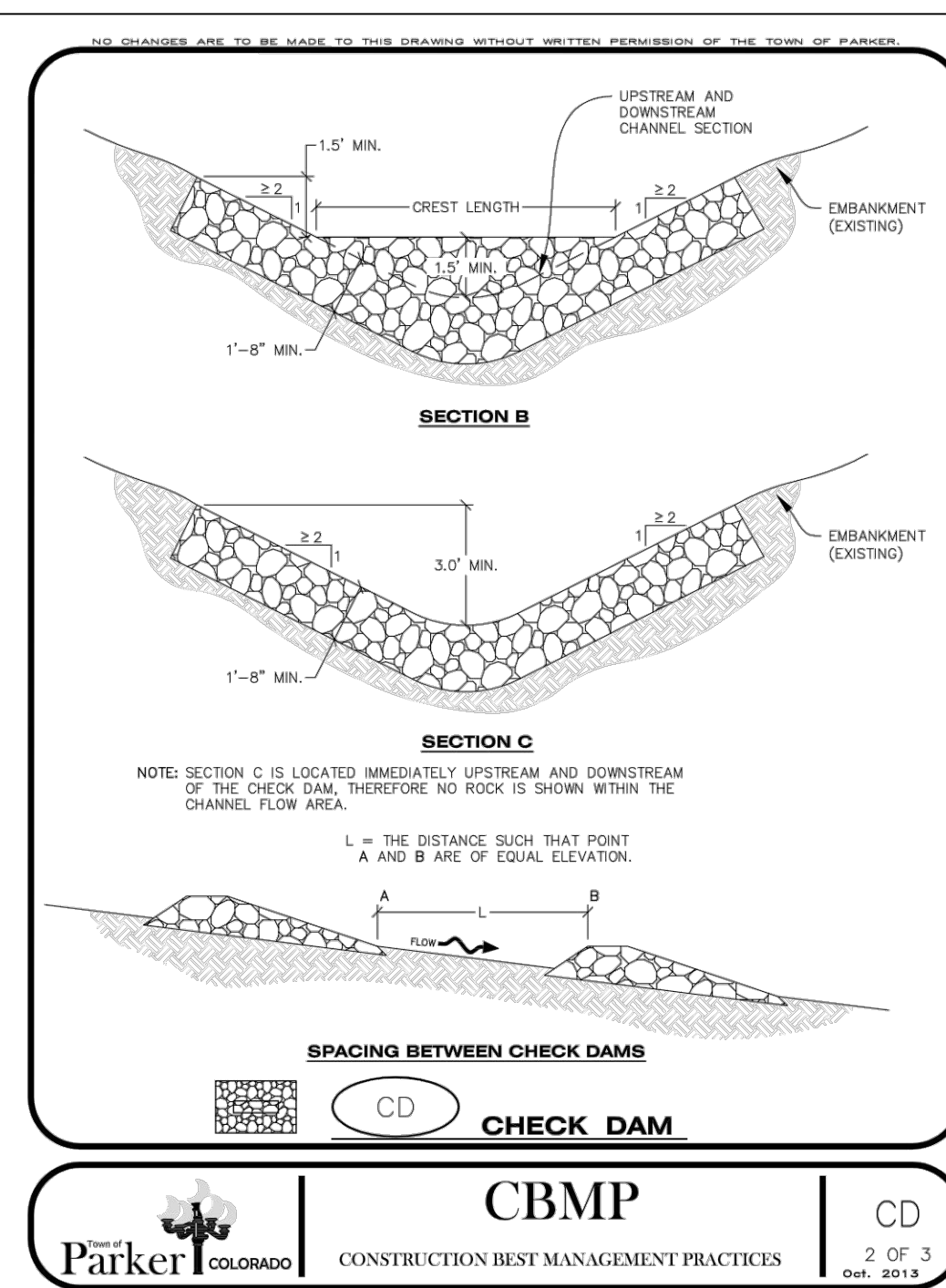
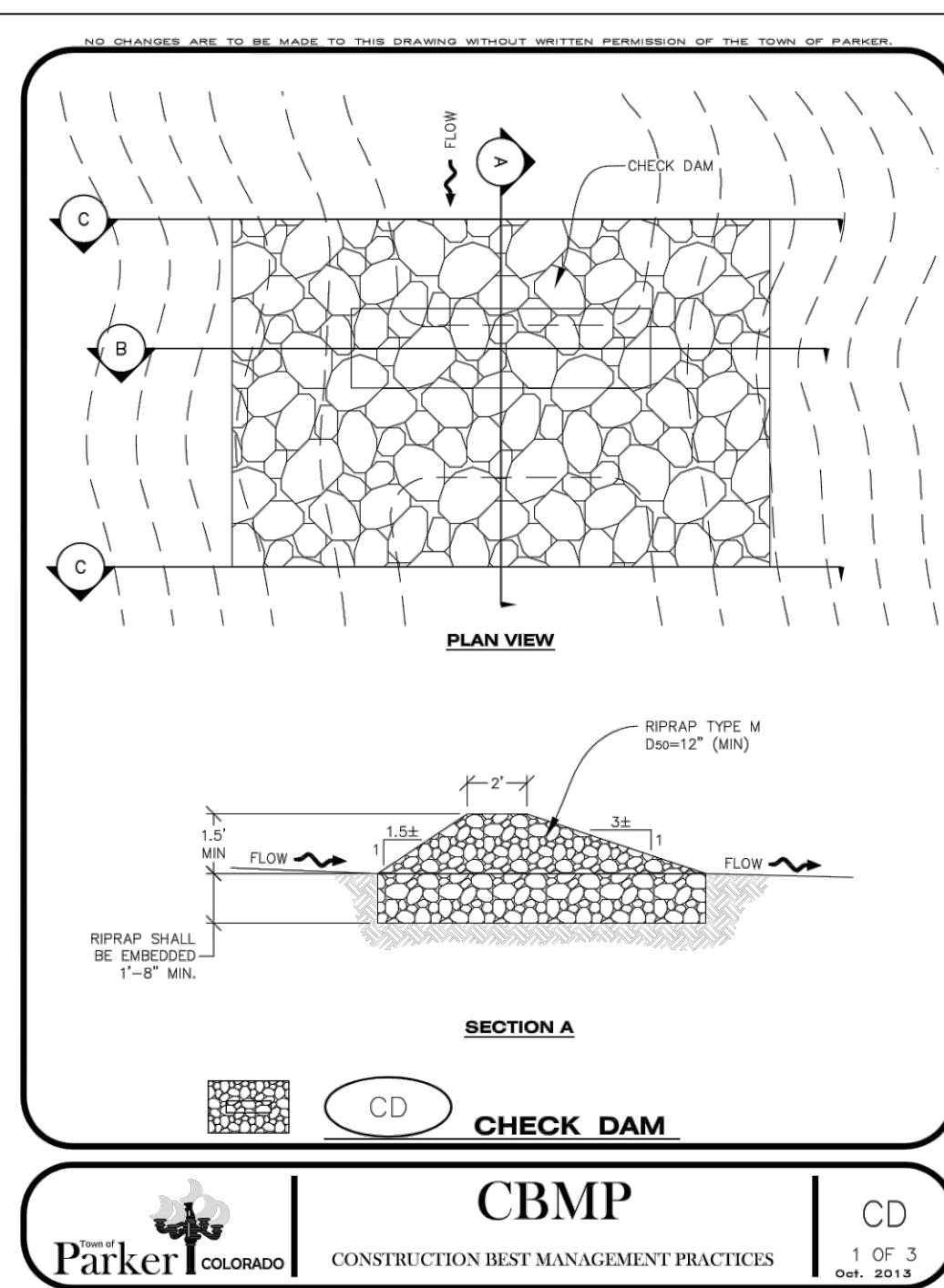
Revisions: No. Date Initial Date

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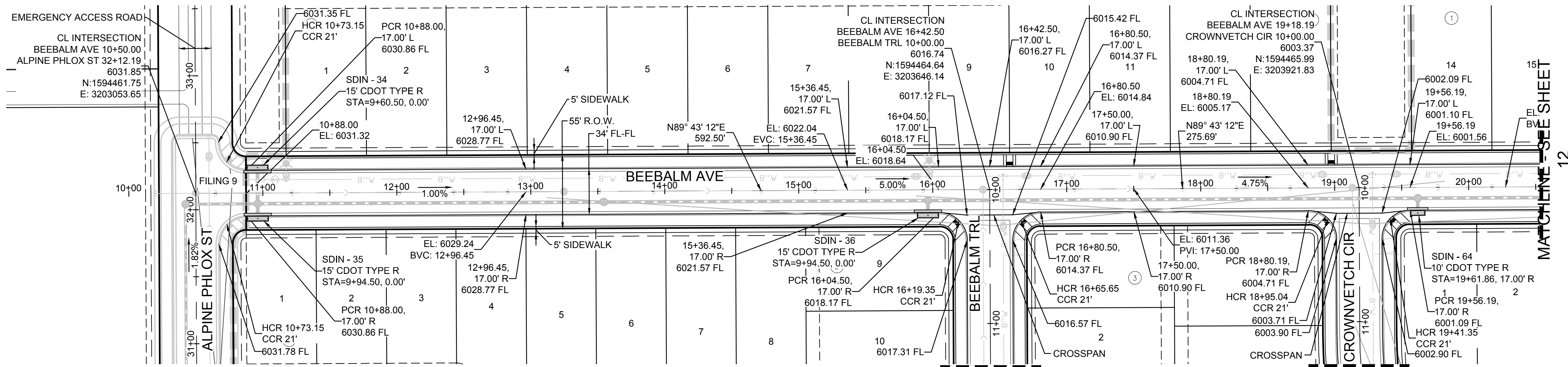
CALL 811  
TWO WORKING DAYS  
BEFORE YOU DIG  
UNCC  
1-800-922-1987

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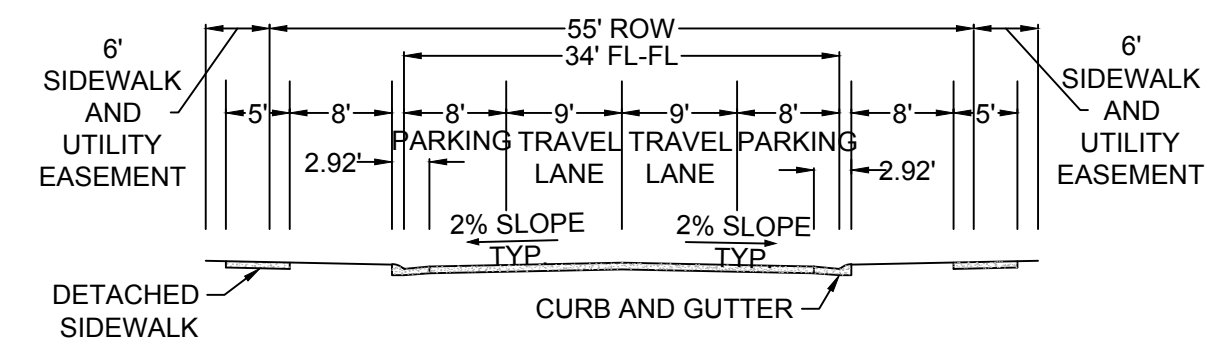
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UTILITY NOTIFICATION  
CENTER OF COLORADO



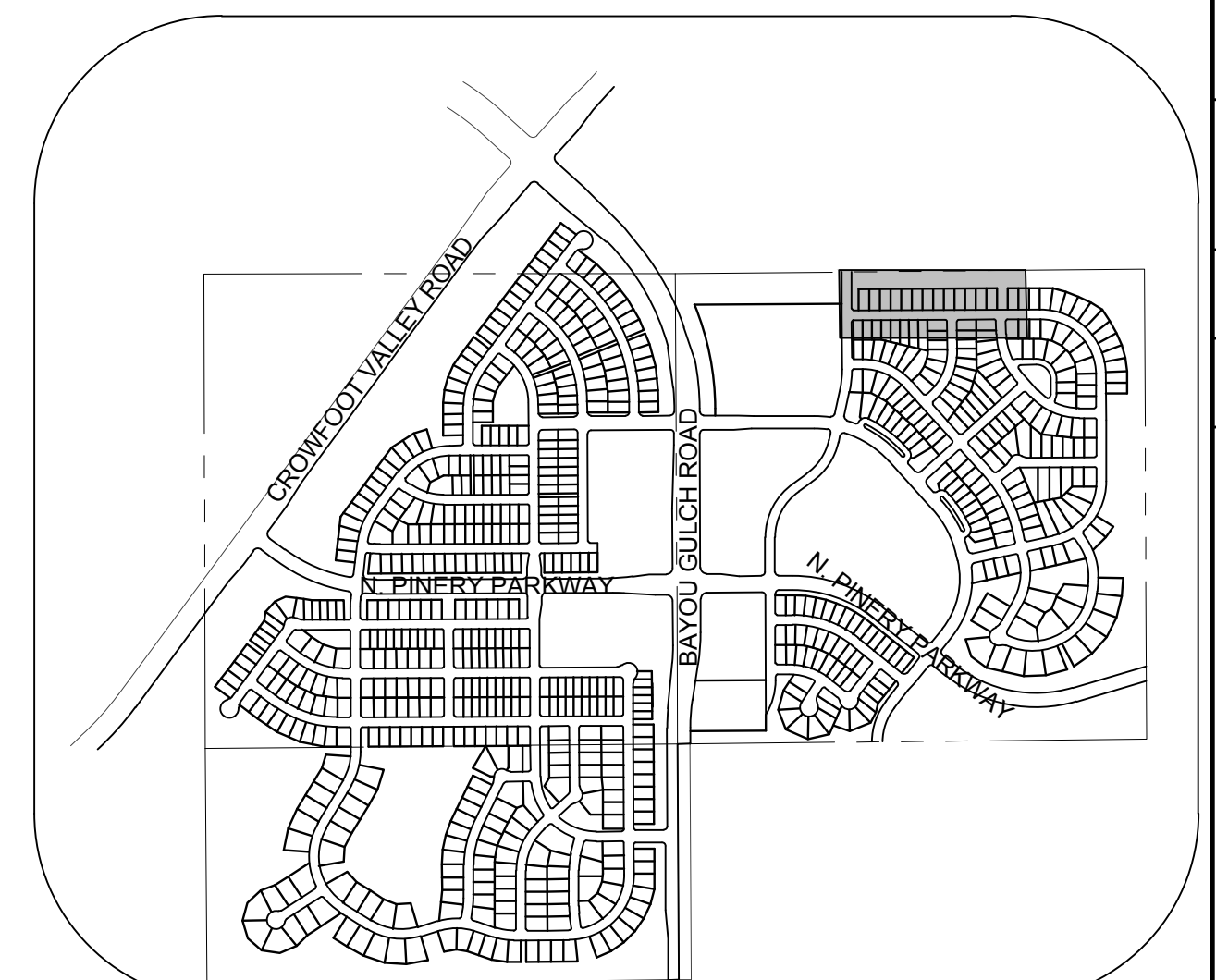
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| SHEET NUMBER   | DRAWN BY: JF | SCALE: AS SHOWN | FILE NO: 8130283701 | DATE: SEPTEMBER 2017   | Revisions | Appr. | Date |
|  |              |                 |                     | CHECKED BY: JJ   | INIT.     |       |      |
| 10   |              |                 |                     |  |           |       |      |
| TRAILS AT CROWFOOT<br>FILING 10 CONSTRUCTION DRAWINGS<br>BMP DETAILS |              |                 |                     | 10333 E. Dry Creek Rd.<br>Suite 110<br>Englewood, CO 80150<br>Tel: (720) 482-9526<br>Fax: (720) 482-9546<br> |           |       |      |
|  |              |                 |                     | HR 935 LLC<br>7353 South Alton Way<br>CENTENNIAL, CO 80112   |           |       |      |



PLAN: BEEBALM AVE STA: 9+50.00 TO 20+00.00  
HORIZONTAL SCALE: 1" = 50'

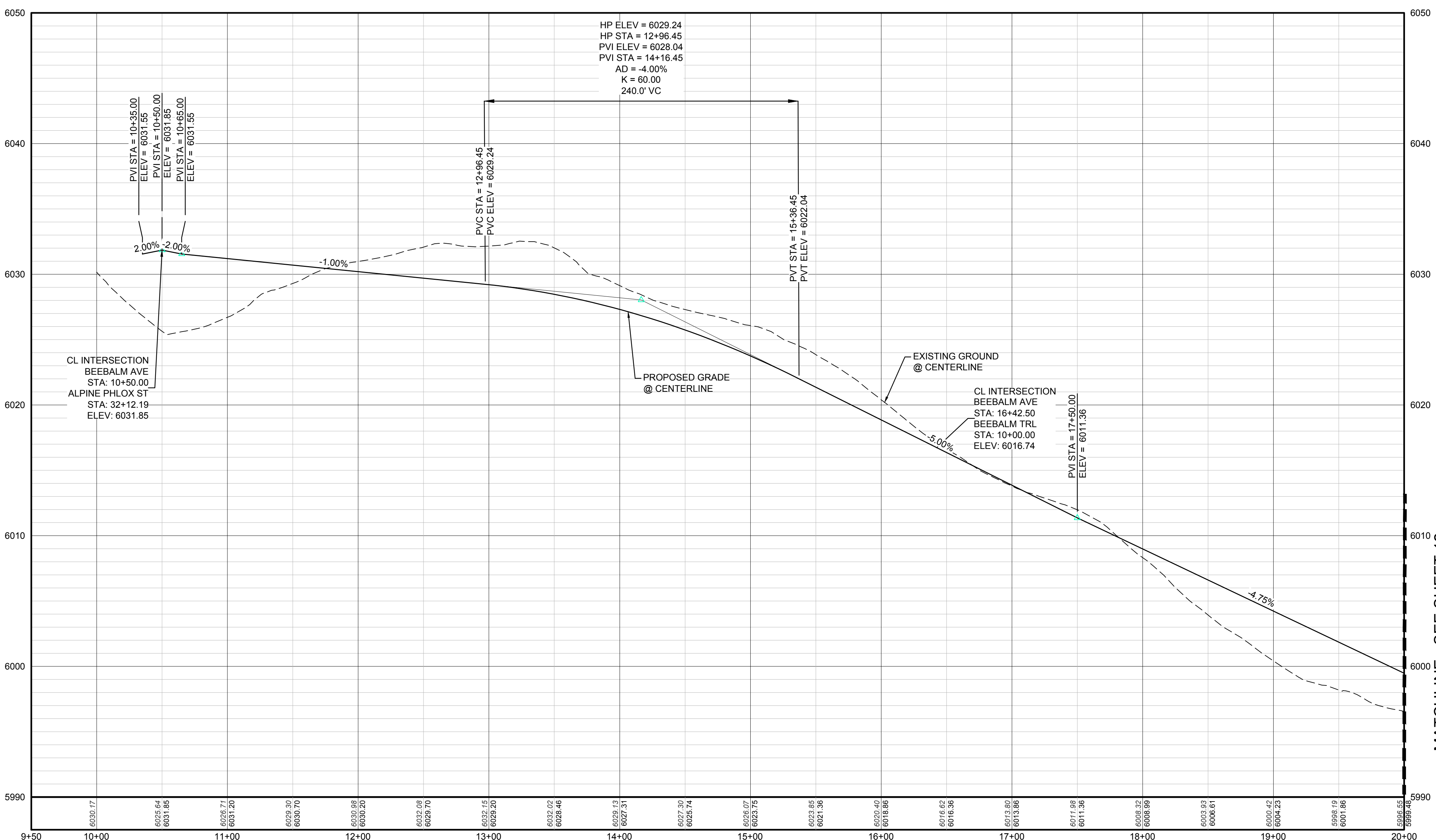


RESIDENTIAL LOCAL



KEYMAP  
N.T.S.

SCALE: 1" = 50'



PROFILE: BEEBALM AVE STA: 9+50.00 TO 20+00.00  
HORIZONTAL: 1" = 50'  
VERTICAL: 1" = 5'

**BENCHMARK**  
DOUGLAS COUNTY CONTROL POINT KNOWN AS 1.069032, BEING A 3-1/4" ALUMINUM CAP, BEING LOCATED IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, HAVING A PUBLISHED ELEVATION OF 1799.2870 METERS (5903.13 FEET) NAVD '88 DATUM.

**BASIS OF BEARINGS:**  
THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 9 BEING MONUMENTED AT THE NORTHEAST CORNER OF SAID SECTION 9 BY A 3-1/4" ALUMINUM CAP STAMPED LS 23053 AND AT THE EAST QUARTER CORNER OF SAID SECTION 9 BY A 2-1/2" ALUMINUM CAP STAMPED LS 6935 BEING CONSIDERED TO BEAR SOUTH 00°15'06" EAST, 2648.70 FEET.

| LEGEND |                                       |      |                                  |
|--------|---------------------------------------|------|----------------------------------|
| ②      | BLOCK NUMBER                          | △    | PROPOSED RANGE POINT             |
| Ⓐ      | LOT TYPE                              | ---  | CENTERLINE                       |
| 6      | LOT NUMBER                            | ---  | RIGHT-OF-WAY                     |
| ⊕      | PROPOSED BUTTERFLY VALVE              | ---  | PROPERTY LINE                    |
| ⌋      | PROPOSED CAP WITH END OF LINE BLOWOFF | ---  | EDGE OF PAVEMENT                 |
| ⊗      | PROPOSED REDUCER                      | →    | PROPOSED DIRECTION OF FLOW       |
| ⊕      | PROPOSED VALVE                        | 1.0% | PROPOSED SLOPE & DIRECTION       |
| ⊕      | PROPOSED FIRE HYDRANT                 | 5615 | EXISTING 5' CONTOUR              |
| ⊕      | PROPOSED WL FITTING WITH THRUST BLOCK | 5616 | EXISTING 1' CONTOUR              |
| ⊕      | PROPOSED FLARED END SECTION           | 5620 | PROPOSED 5' CONTOUR              |
| ⊕      | PROPOSED LOW POINT BLOW-OFF           | 5607 | PROPOSED 1' CONTOUR              |
| ⊕      | PROPOSED AIR VALVE                    | ---  | PROPOSED STORM DRAIN             |
| ⊕      | FUTURE PHASE VALVE                    | ---  | PROPOSED SEWER LINE WITH MANHOLE |
| ⊕      | FUTURE FIRE HYDRANT                   | ---  | PROPOSED SEWER LATERAL           |
| ⊕      | PROPOSED LIGHT POLE                   | ---  | PROPOSED WATER LINE              |
| ⊕      | PROPOSED SIDEWALK                     | ---  | PROPOSED WATER LATERAL W/ METER  |
| ⊕      | PROPOSED SIDEWALK RAMP                | ---  | SECTION LINE                     |
| 10.00  | EXISTING ELEVATION                    | ---  | FILING BOUNDARY                  |
| 10.00  | PROPOSED DESIGN ELEVATION             | ---  | EXISTING FIBER OPTIC LINE        |
| ⊕      | PROPOSED STORM DRAIN INLET            | ---  | EXISTING OVERHEAD POWER          |
| ⊕      | PROPOSED STORM DRAIN MANHOLE          | ---  | EXISTING TELEPHONE LINE          |

| ABBREVIATIONS |                        |        |                                 |
|---------------|------------------------|--------|---------------------------------|
| AD            | ANGLE DIFFERENCE       | MH     | MANHOLE                         |
| AV            | AIR VAC RELEASE VALVE  | N.T.S. | NOT TO SCALE                    |
| BVC           | BEGIN VERTICAL CURVE   | PVC    | POLYVINYL CHLORIDE              |
| BVP           | BEGIN VERTICAL PROFILE | PVI    | PT. OF VERTICAL INTERSECTION    |
| CBO           | CAP WITH BLOW OFF      | PVT    | POINT OF VERTICAL TANGENT       |
| CRR           | CURB RETURN RADIUS     | RCBC   | REINFORCED CONCRETE BOX CULVERT |
| ELEVATION     | ELEVATION              | RCF    | REINFORCED CONCRETE PIPE        |
| EP            | EDGE OF PAVEMENT       | ROW    | RIGHT OF WAY                    |
| EVC           | END VERTICAL CURVE     | SC     | SANITARY CAP                    |
| EVP           | END VERTICAL PROFILE   | SD     | STORM DRAIN                     |
| FG            | FINISHED GROUND        | SL     | SECTION LINE                    |
| FH            | FIRE HYDRANT           | SS     | SANITARY SEWER                  |
| FL            | FLOW LINE              | STA    | STATION                         |
| GV            | GATE VALVE             | T.O.P. | TOP OF PIPE                     |
| HCR           | HANDICAP CURB RAMP     | UE     | UTILITY EASEMENT                |
| HP            | HIGH POINT             | VC     | VERTICAL CURVE                  |
| INV           | INVERT                 | WL     | WATER LINE                      |
| K             | CURVATURE COEFFICIENT  | WLC    | WATER LINE CONNECTION           |
| LF            | LINEAR FEET            | WSE    | WATER SURFACE ELEVATION         |

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGN, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

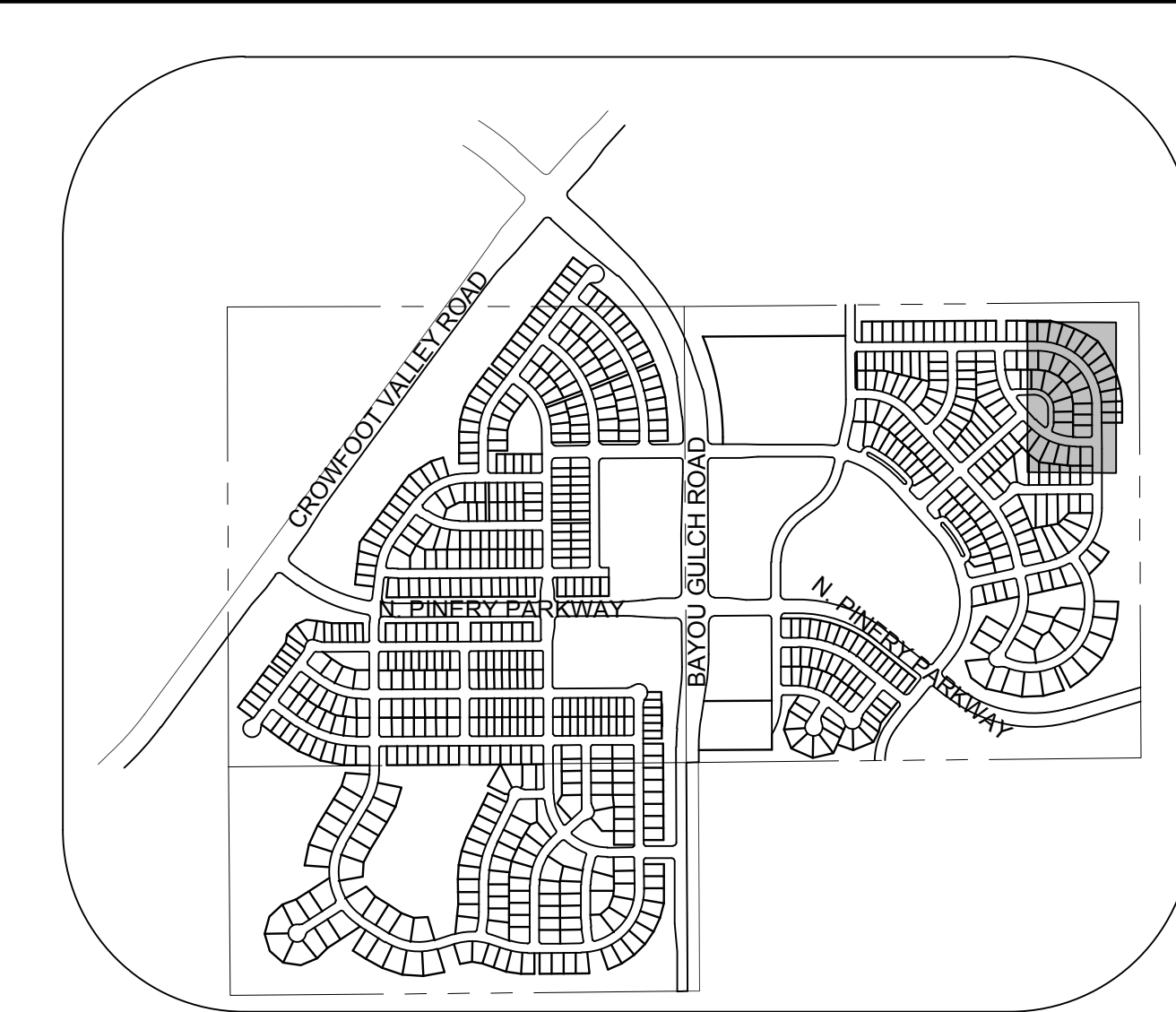
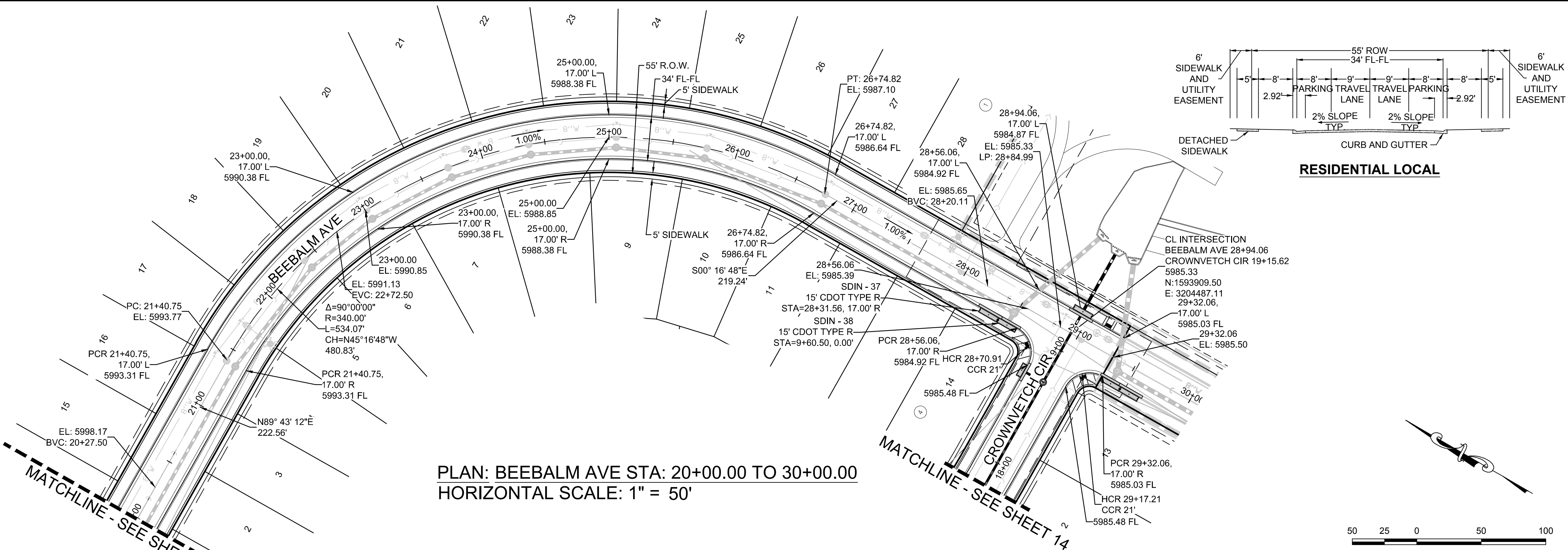
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PREPARED UNDER THE SUPERVISION OF  
  
BRIAN P. WILSON  
COLORADO P.E. 0050067

TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

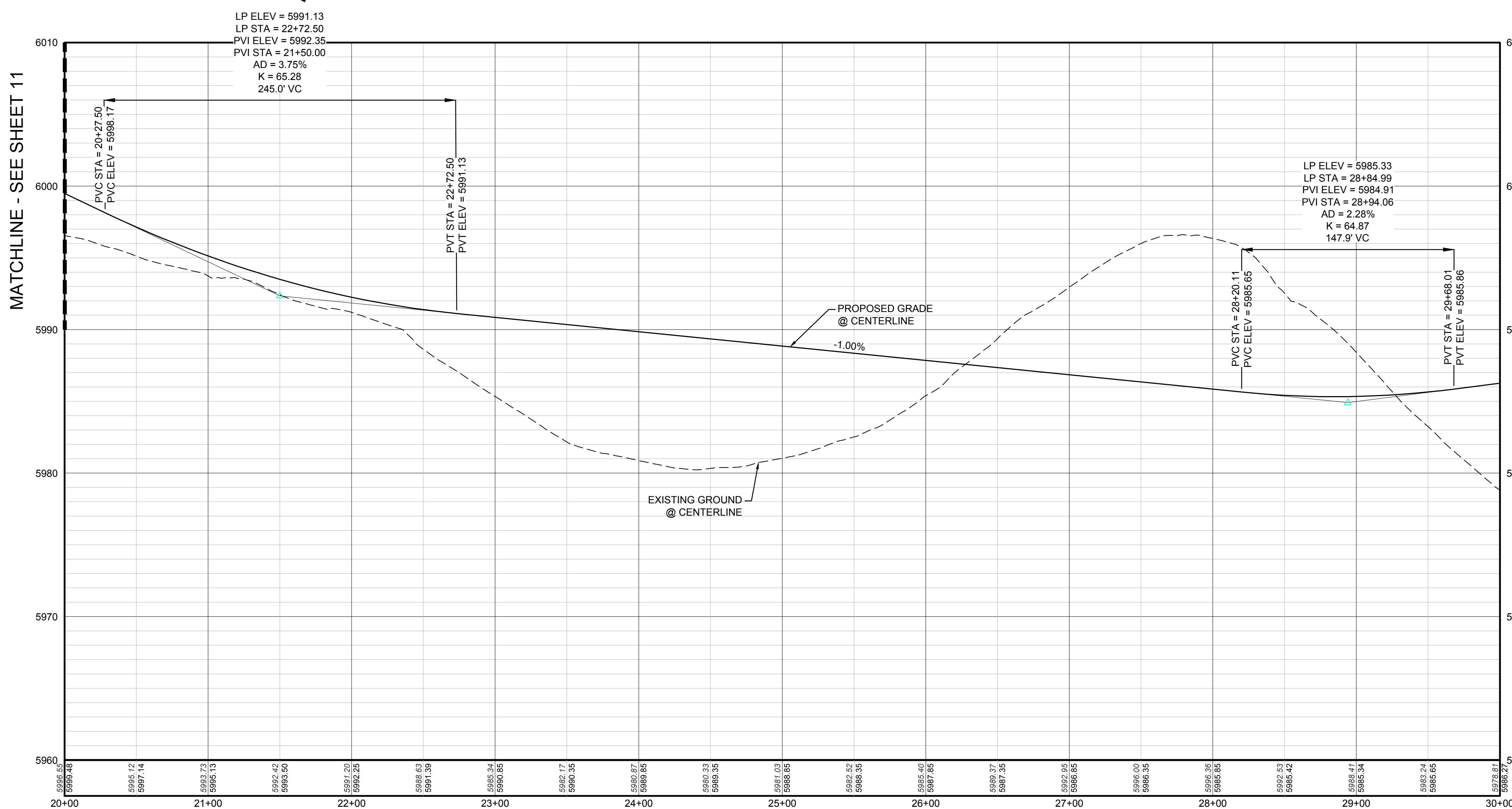
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| 10338 E. Dry Creek Rd.<br>Suite 6410<br>Englewood, CO 80150<br>Tel: (720) 482-9526<br>Fax: (720) 482-9546 | Revisions   | Date   | Appr.    | Date           |
| HR 935 LLC<br>7353 South Alton Way<br>CENTENNIAL, CO 80112  | No.         |        |          |                |
| TRAILS AT CROWFOOT<br>FILING 10 CONSTRUCTION DRAWINGS<br>STREET PLAN AND PROFILE<br>BEEBALM AVENUE        | DRAWN BY:   | SCALE: | AS SHOWN | FILE NO:       |
|   | JF          |        |          | 8130283701     |
|   | CHECKED BY: |        |          |                |
|   | JU          |        |          |                |
|   | DATE:       |        |          | SEPTEMBER 2017 |
| SHEET NUMBER  | 11          |        |          |                |

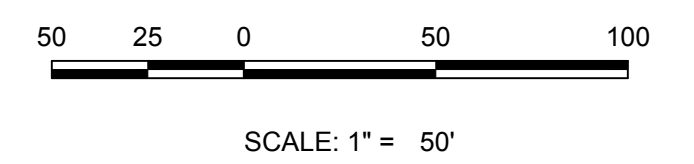


**KEYMAP**  
N.T.S.

**PLAN: BEEBALM AVE STA: 20+00.00 TO 30+00.00**  
HORIZONTAL SCALE: 1" = 50'



**PROFILE: BEEBALM AVE STA: 20+00.00 TO 30+00.00**  
HORIZONTAL: 1" = 50'  
VERTICAL: 1" = 5'



**LEGEND**

|       |                                       |      |                                  |
|-------|---------------------------------------|------|----------------------------------|
| ②     | BLOCK NUMBER                          | △    | PROPOSED RANGE POINT             |
| Ⓐ     | LOT TYPE                              | ---  | CENTERLINE                       |
| 6     | LOT NUMBER                            | ---  | RIGHT-OF-WAY                     |
| ⊕     | PROPOSED BUTTERFLY VALVE              | ---  | PROPERTY LINE                    |
| ⌈     | PROPOSED CAP WITH END OF LINE BLOWOFF | ---  | EDGE OF PAVEMENT                 |
| ⌋     | PROPOSED REDUCER                      | →    | PROPOSED DIRECTION OF FLOW       |
| ⊗     | PROPOSED VALVE                        | 1.0% | PROPOSED SLOPE & DIRECTION       |
| ⚡     | PROPOSED FIRE HYDRANT                 | 5615 | EXISTING 5' CONTOUR              |
| ⚡     | PROPOSED WL FITTING WITH THRUST BLOCK | 5616 | EXISTING 1' CONTOUR              |
| ⚡     | PROPOSED FLARED END SECTION           | 5620 | PROPOSED 5' CONTOUR              |
| ⚡     | PROPOSED LOW POINT BLOW-OFF           | 5607 | PROPOSED 1' CONTOUR              |
| ⚡     | PROPOSED AIR VALVE                    | ---  | PROPOSED STORM DRAIN             |
| ⊗     | FUTURE PHASE VALVE                    | ---  | PROPOSED SEWER LINE WITH MANHOLE |
| ⊗     | FUTURE FIRE HYDRANT                   | ---  | PROPOSED SEWER LATERAL           |
| ⊗     | PROPOSED LIGHT POLE                   | ---  | PROPOSED WATER LINE              |
| ⊗     | PROPOSED SIDEWALK                     | ---  | PROPOSED WATER LATERAL W/ METER  |
| ⊗     | PROPOSED SIDEWALK RAMP                | ---  | SECTION LINE                     |
| 10.00 | EXISTING ELEVATION                    | ---  | FILING BOUNDARY                  |
| 10.00 | PROPOSED DESIGN ELEVATION             | ---  | EXISTING FIBER OPTIC LINE        |
| ⊗     | PROPOSED STORM DRAIN INLET            | ---  | EXISTING OVERHEAD POWER          |
| ⊗     | PROPOSED STORM DRAIN MANHOLE          | ---  | EXISTING TELEPHONE LINE          |

**ABBREVIATIONS**

|     |                        |        |                                 |
|-----|------------------------|--------|---------------------------------|
| AD  | ANGLE DIFFERENCE       | MH     | MANHOLE                         |
| AV  | AIR VAC RELEASE VALVE  | N.T.S. | NOT TO SCALE                    |
| BVC | BEGIN VERTICAL CURVE   | PVC    | POLYVINYL CHLORIDE              |
| BVP | BEGIN VERTICAL PROFILE | PVI    | PT. OF VERTICAL INTERSECTION    |
| CBO | CAP WITH BLOW OFF      | PVT    | POINT OF VERTICAL TANGENT       |
| CCR | CURB RETURN RADIUS     | RCBC   | REINFORCED CONCRETE BOX CULVERT |
| EL  | ELEVATION              | RCF    | REINFORCED CONCRETE PIPE        |
| EP  | EDGE OF PAVEMENT       | ROW    | RIGHT OF WAY                    |
| EVC | END VERTICAL CURVE     | SC     | SANITARY CAP                    |
| EVP | END VERTICAL PROFILE   | SD     | STORM DRAIN                     |
| FG  | FINISHED GROUND        | SL     | SECTION LINE                    |
| FH  | FIRE HYDRANT           | SS     | SANITARY SEWER                  |
| FL  | FLOW LINE              | STA    | STATION                         |
| GV  | GATE VALVE             | T.O.P. | TOP OF PIPE                     |
| HCR | HANDICAP CURB RAMP     | UE     | UTILITY EASEMENT                |
| HP  | HIGH POINT             | VC     | VERTICAL CURVE                  |
| INV | INVERT                 | WL     | WATER LINE                      |
| K   | CURVATURE COEFFICIENT  | WLC    | WATER LINE CONNECTION           |
| LF  | LINEAR FEET            | WSE    | WATER SURFACE ELEVATION         |

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PREPARED UNDER THE SUPERVISION OF  
  
BRIAN P. WILSON  
COLORADO P.E. 0050067

TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

N:\PROJECTS\SS\BEEBALM\ENGINEERING\SS\BEEBALM\STREET PLAN AND PROFILE\BEEBALM AVENUE DWG.CDD\VA\_3192018 2.59 PM

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THE DOUGLAS COUNTY CONTROL POINT KNOWN AS 1.069032, BEING A 3-1/4" ALUMINUM CAP, BEING LOCATED IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, HAVING A PUBLISHED ELEVATION OF 1799.2870 METERS (5903.13 FEET) NAVD '88 DATUM.

**BASIS OF BEARINGS:**  
THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 9 BEING MONUMENTED AT THE NORTHEAST CORNER OF SAID SECTION 9 BY A 3-1/4" ALUMINUM CAP STAMPED LS 23053 AND AT THE EAST QUARTER CORNER OF SAID SECTION 9 BY A 2-1/2" ALUMINUM CAP STAMPED LS 6935 BEING CONSIDERED TO BEAR SOUTH 00°15'06" EAST, 2648.70 FEET.

|   |   |   |   |
|---|---|---|---|
| 10338 E. Dry Creek Rd.<br>Suite 6410<br>Englewood, CO 80150<br>Tel: (720) 482-9526<br>Fax: (720) 482-9548 | 10338 E. Dry Creek Rd.<br>Suite 6410<br>Englewood, CO 80150<br>Tel: (720) 482-9526<br>Fax: (720) 482-9548 | 10338 E. Dry Creek Rd.<br>Suite 6410<br>Englewood, CO 80150<br>Tel: (720) 482-9526<br>Fax: (720) 482-9548 | 10338 E. Dry Creek Rd.<br>Suite 6410<br>Englewood, CO 80150<br>Tel: (720) 482-9526<br>Fax: (720) 482-9548 |
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| 10338 E. Dry Creek Rd.<br>Suite 6410<br>Englewood, CO 80150<br>Tel: (720) 482-9526<br>Fax: (720) 482-9548 | 10338 E. Dry Creek Rd.<br>Suite 6410<br>Englewood, CO 80150<br>Tel: (720) 482-9526<br>Fax: (720) 482-9548 | 10338 E. Dry Creek Rd.<br>Suite 6410<br>Englewood, CO 80150<br>Tel: (720) 482-9526<br>Fax: (720) 482-9548 | 10338 E. Dry Creek Rd.<br>Suite 6410<br>Englewood, CO 80150<br>Tel: (720) 482-9526<br>Fax: (720) 482-9548 |
| 10338 E. Dry Creek Rd.<br>Suite 6410<br>Englewood, CO 80150<br>Tel: (720) 482-9526<br>Fax: (720) 482-9548 | 10338 E. Dry Creek Rd.<br>Suite 6410<br>Englewood, CO 80150<br>Tel: (720) 482-9526<br>Fax: (720) 482-9548 | 10338 E. Dry Creek Rd.<br>Suite 6410<br>Englewood, CO 80150<br>Tel: (720) 482-9526<br>Fax: (720) 482-9548 | 10338 E. Dry Creek Rd.<br>Suite 6410<br>Englewood, CO 80150<br>Tel: (720) 482-9526<br>Fax: (720) 482-9548 |

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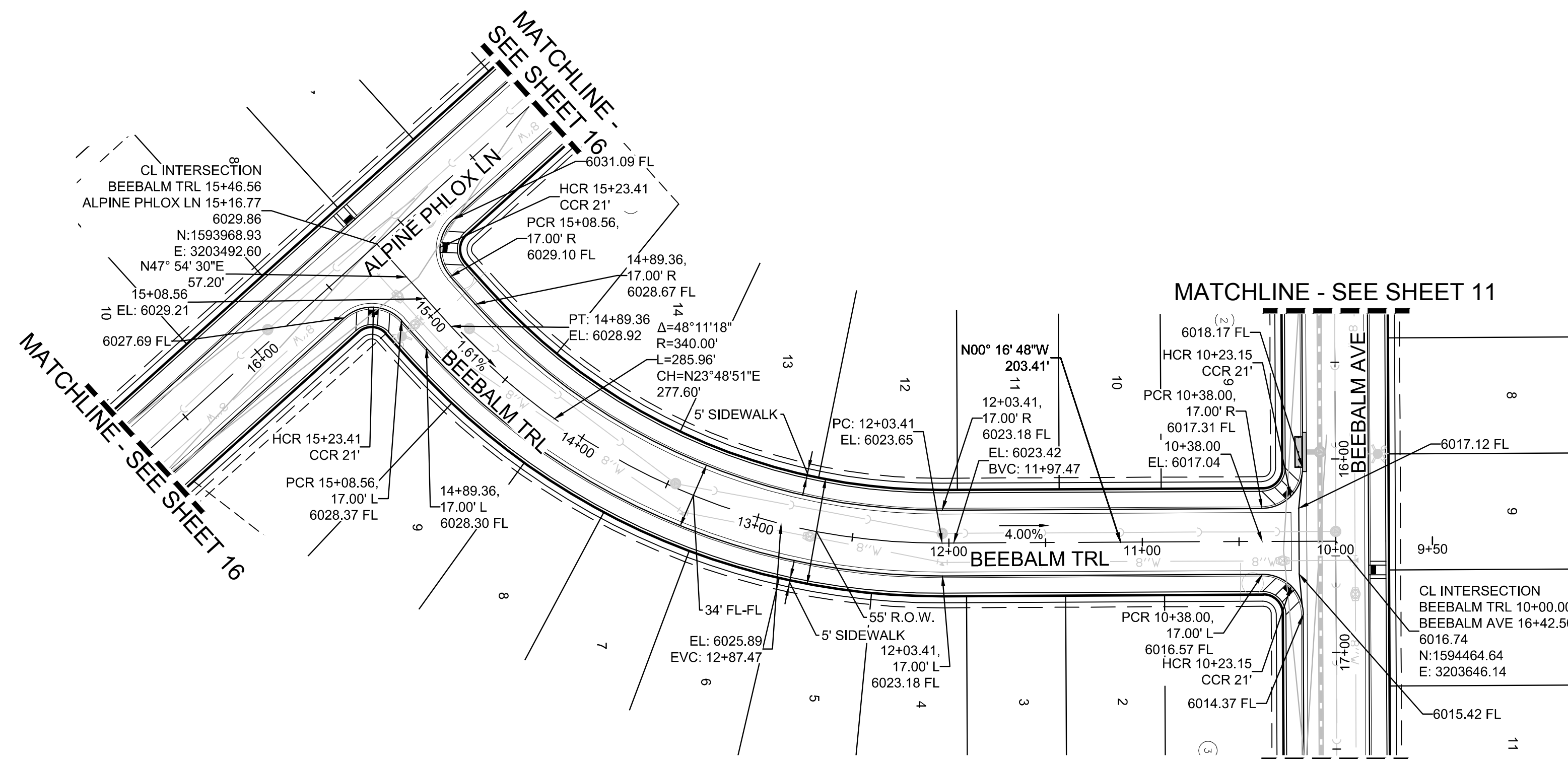
**HR 935 LLC**  
7353 South Alton Way  
CENTENNIAL, CO 80112

**TRAILS AT CROWFOOT**  
FILING 10 CONSTRUCTION DRAWINGS  
STREET PLAN & PROFILE  
BEEBALM AVENUE

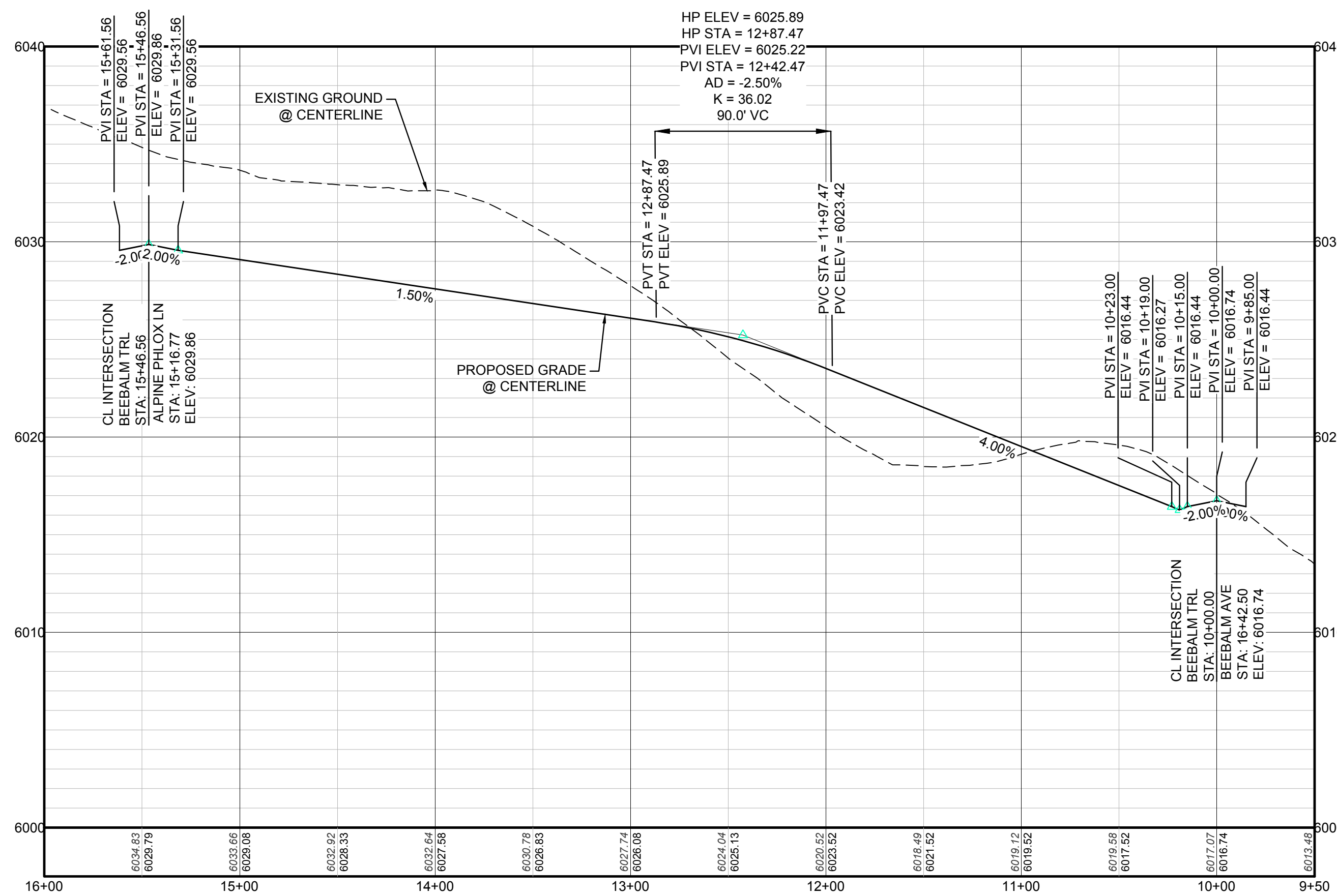
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DRAWN BY: LLC  
CHECKED BY: JU  
DATE: SEPTEMBER 2017

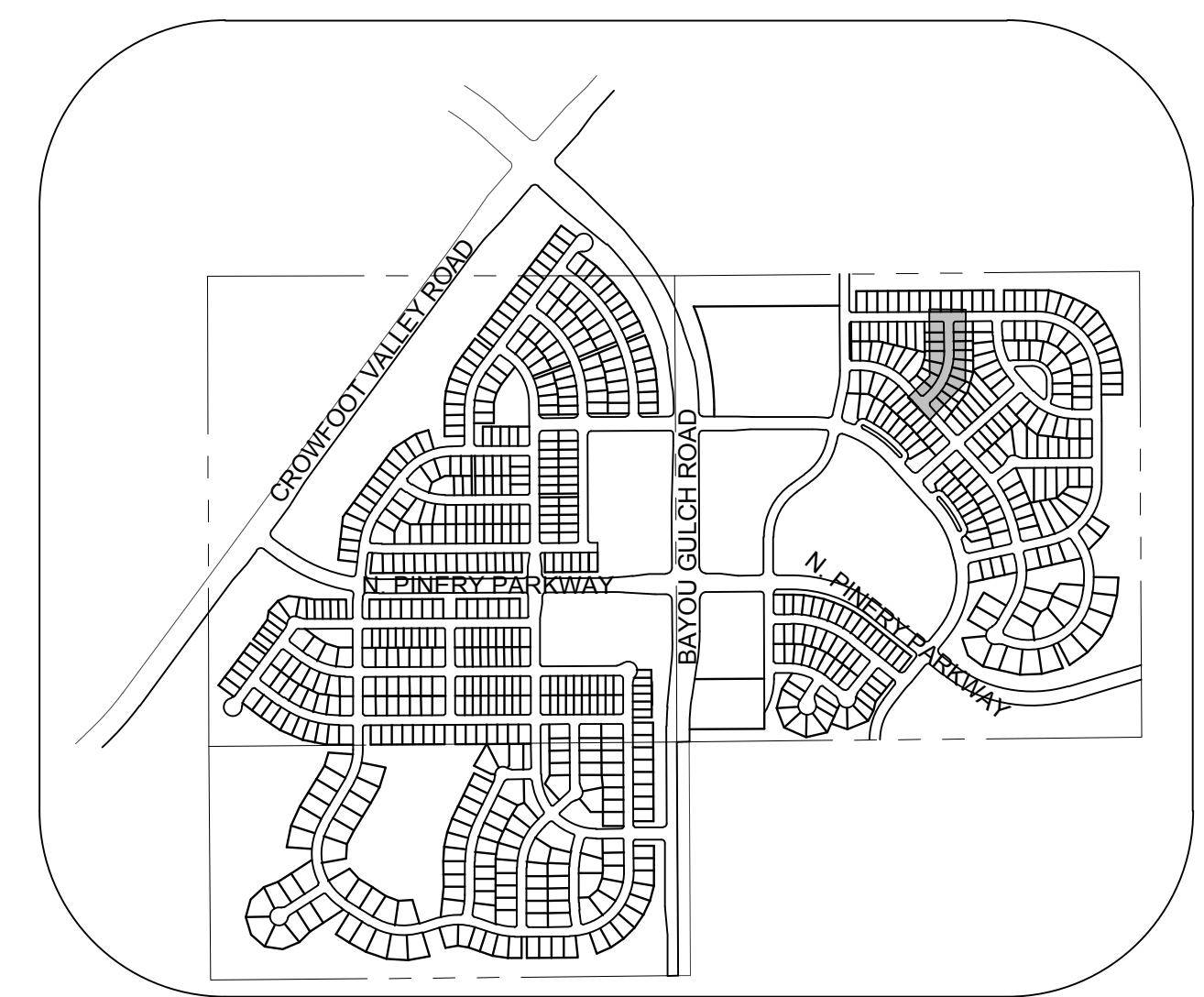
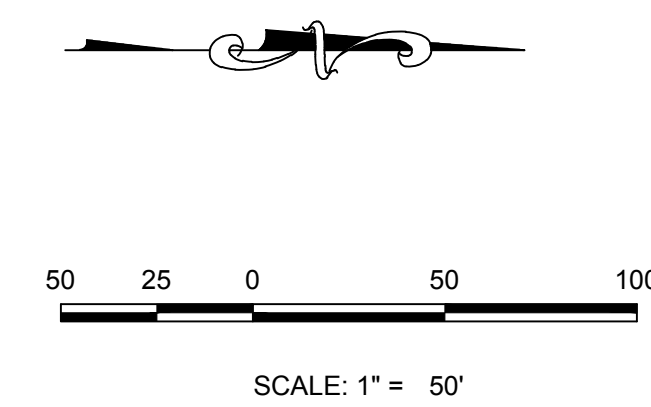
SHEET NUMBER **12**



PLAN: BEEBALM TRL STA: 16+00.00 TO 9+50.00  
HORIZONTAL SCALE: 1" = 50'



PROFILE: BEEBALM TRL STA: 16+00.00 TO 9+50.00  
HORIZONTAL: 1" = 50'  
VERTICAL: 1" = 5'



KEYMAP  
N.T.S.  
LEGEND

|       |                                       |      |                                  |
|-------|---------------------------------------|------|----------------------------------|
| ②     | BLOCK NUMBER                          | △    | PROPOSED RANGE POINT             |
| Ⓐ     | LOT TYPE                              | ---  | CENTERLINE                       |
| 6     | LOT NUMBER                            | ---  | RIGHT-OF-WAY                     |
| ⊕     | PROPOSED BUTTERFLY VALVE              | ---  | PROPERTY LINE                    |
| ⌋     | PROPOSED CAP WITH END OF LINE BLOWOFF | ---  | EDGE OF PAVEMENT                 |
| ⊘     | PROPOSED REDUCER                      | →    | PROPOSED DIRECTION OF FLOW       |
| ⊕     | PROPOSED VALVE                        | 1.0% | PROPOSED SLOPE & DIRECTION       |
| ⊕     | PROPOSED FIRE HYDRANT                 | 5615 | EXISTING 5' CONTOUR              |
| ⊕     | PROPOSED WL FITTING WITH THRUST BLOCK | 5616 | EXISTING 1' CONTOUR              |
| ⊕     | PROPOSED FLARED END SECTION           | 5620 | PROPOSED 5' CONTOUR              |
| ⊕     | PROPOSED LOW POINT BLOW-OFF           | 5607 | PROPOSED 1' CONTOUR              |
| ⊕     | PROPOSED AIR VALVE                    | ---  | PROPOSED STORM DRAIN             |
| ⊕     | FUTURE PHASE VALVE                    | ---  | PROPOSED SEWER LINE WITH MANHOLE |
| ⊕     | FUTURE FIRE HYDRANT                   | ---  | PROPOSED SEWER LATERAL           |
| ⊕     | PROPOSED LIGHT POLE                   | ---  | PROPOSED WATER LINE              |
| ⊕     | PROPOSED SIDEWALK                     | 8"   | PROPOSED WATER LATERAL W/ METER  |
| ⊕     | PROPOSED SIDEWALK RAMP                | ---  | SECTION LINE                     |
| 10.00 | EXISTING ELEVATION                    | ---  | FILING BOUNDARY                  |
| 10.00 | PROPOSED DESIGN ELEVATION             | FO   | EXISTING FIBER OPTIC LINE        |
| ⊕     | PROPOSED STORM DRAIN INLET            | OH   | EXISTING OVERHEAD POWER          |
| ⊕     | PROPOSED STORM DRAIN MANHOLE          | TEL  | EXISTING TELEPHONE LINE          |

ABBREVIATIONS

|           |                        |        |                                 |
|-----------|------------------------|--------|---------------------------------|
| AD        | ANGLE DIFFERENCE       | MH     | MANHOLE                         |
| AV        | AIR VAC RELEASE VALVE  | N.T.S. | NOT TO SCALE                    |
| BVC       | BEGIN VERTICAL CURVE   | PVC    | POLYVINYL CHLORIDE              |
| BVP       | BEGIN VERTICAL PROFILE | PVI    | PT. OF VERTICAL INTERSECTION    |
| CBO       | CAP WITH BLOW OFF      | PVT    | POINT OF VERTICAL TANGENT       |
| CRR       | CURB RETURN RADIUS     | ROBC   | REINFORCED CONCRETE BOX CULVERT |
| ELEVATION | ELEVATION              | RCP    | REINFORCED CONCRETE PIPE        |
| EP        | EDGE OF PAVEMENT       | ROW    | RIGHT OF WAY                    |
| EVC       | END VERTICAL CURVE     | SC     | SANITARY CAP                    |
| EVP       | END VERTICAL PROFILE   | SD     | STORM DRAIN                     |
| FG        | FINISHED GROUND        | SL     | SECTION LINE                    |
| FH        | FIRE HYDRANT           | SS     | SANITARY SEWER                  |
| FL        | FLOW LINE              | STA    | STATION                         |
| GV        | GATE VALVE             | T.O.P. | TOP OF PIPE                     |
| HCR       | HANDICAP CURB RAMP     | UE     | UTILITY EASEMENT                |
| HP        | HIGH POINT             | VC     | VERTICAL CURVE                  |
| INV       | INVERT                 | WL     | WATER LINE                      |
| K         | CURVATURE COEFFICIENT  | WLC    | WATER LINE CONNECTION           |
| LF        | LINEAR FEET            | WSE    | WATER SURFACE ELEVATION         |

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PREPARED UNDER THE SUPERVISION OF

BRIAN P. WILSON  
COLORADO P.E. 0050067

TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

N:\PROJECTS\SSR\BEEBALM\DRAWINGS\SET\BEEBALM\BEEBALM TRAIL.DWG, CDDVA, 3/12/2018 3:53 PM

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**BENCHMARK**  
THE DOUGLAS COUNTY CONTROL POINT KNOWN AS 1.069032, BEING A 3-1/4" ALUMINUM CAP, BEING LOCATED IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, HAVING A PUBLISHED ELEVATION OF 1799.2870 METERS (5903.13 FEET) NAVD '88 DATUM.

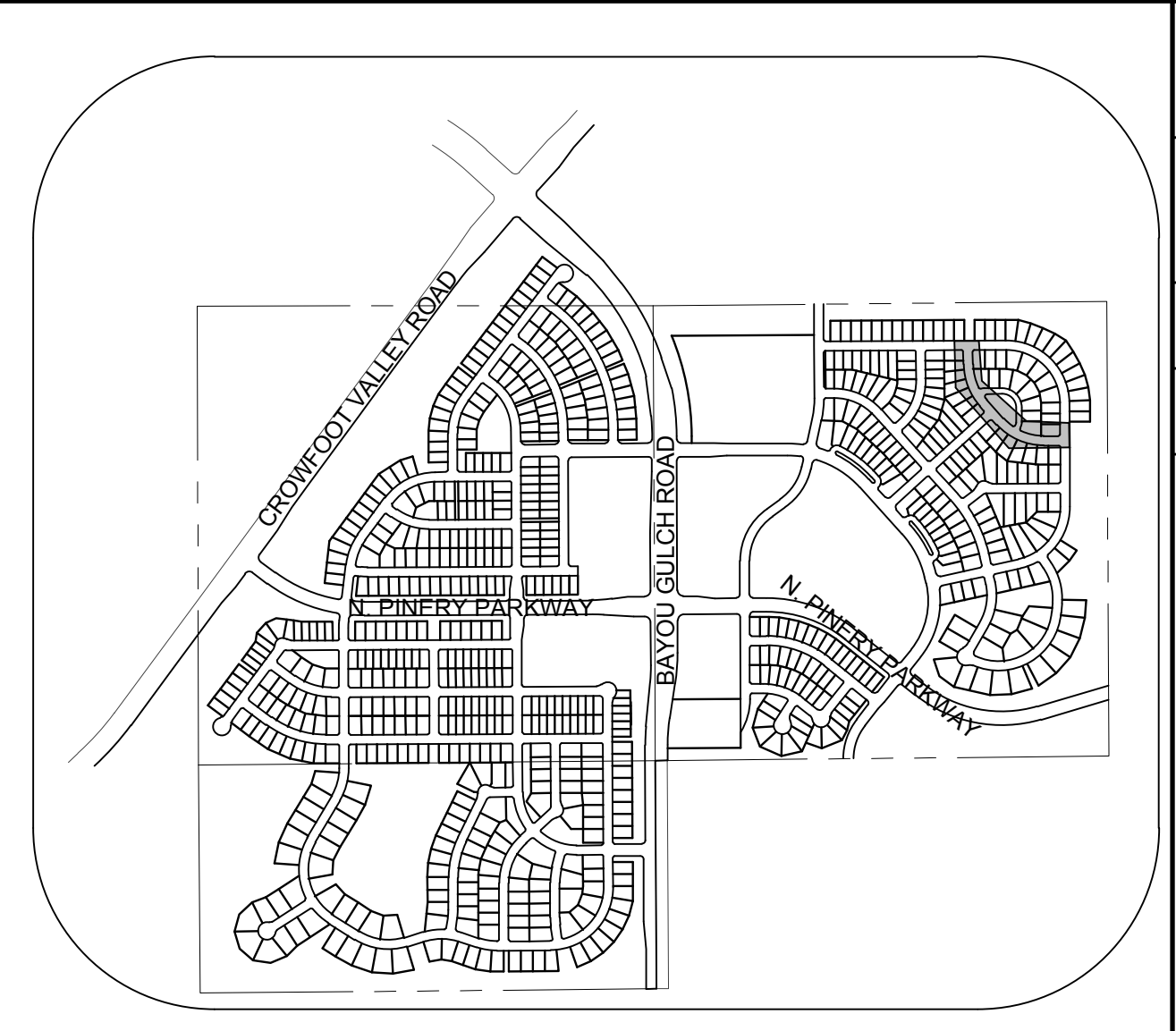
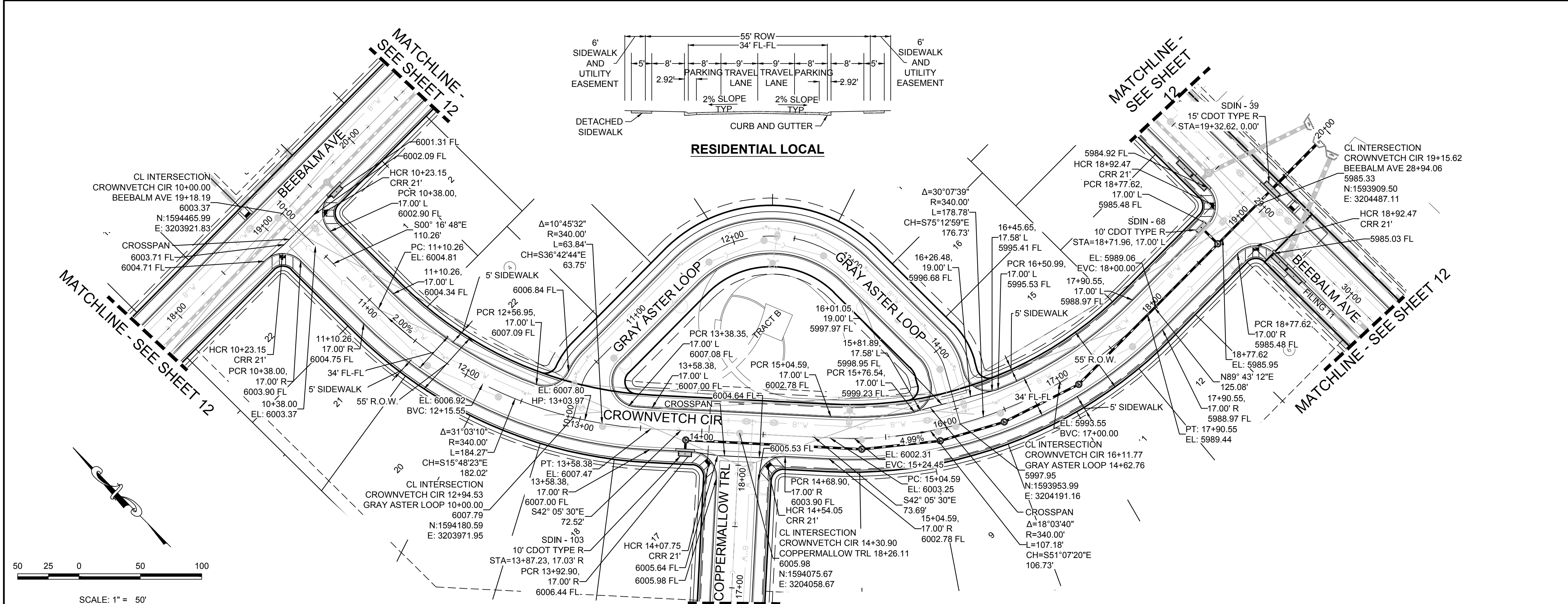
**BASIS OF BEARINGS:**  
THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 9 BEING MONUMENTED AT THE NORTHEAST CORNER OF SAID SECTION 9 BY A 3-1/4" ALUMINUM CAP STAMPED LS 23053 AND AT THE EAST QUARTER CORNER OF SAID SECTION 9 BY A 2-1/2" ALUMINUM CAP STAMPED LS 6935 BEING CONSIDERED TO BEAR SOUTH 00°15'06" EAST, 2648.70 FEET.

|              |                      |                  |                      |                    |                                 |                       |               |
|--------------|----------------------|------------------|----------------------|--------------------|---------------------------------|-----------------------|---------------|
| SHEET NUMBER | DRAWN BY: JF         | CHECKED BY: JJ   | DATE: SEPTEMBER 2017 | SCALE:             | AS SHOWN                        | FILE NO:              | 8130283701    |
|              |                      |                  |                      | TRAILS AT CROWFOOT | FILING 10 CONSTRUCTION DRAWINGS | STREET PLAN & PROFILE | BEEBALM TRAIL |
| 13           | DATE: SEPTEMBER 2017 | NO. OF REVISIONS | NO.                  | DATE               | INIT.                           | APPR.                 | DATE          |
|              |                      |                  |                      |                    |                                 |                       |               |

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Tel: (720) 482-9526  
Fax: (720) 482-9546

**CVL**  
CONSULTANTS

HR 935 LLC  
7353 South Alton Way  
CENTENNIAL, CO 80112



**KEYMAP**  
N.T.S.

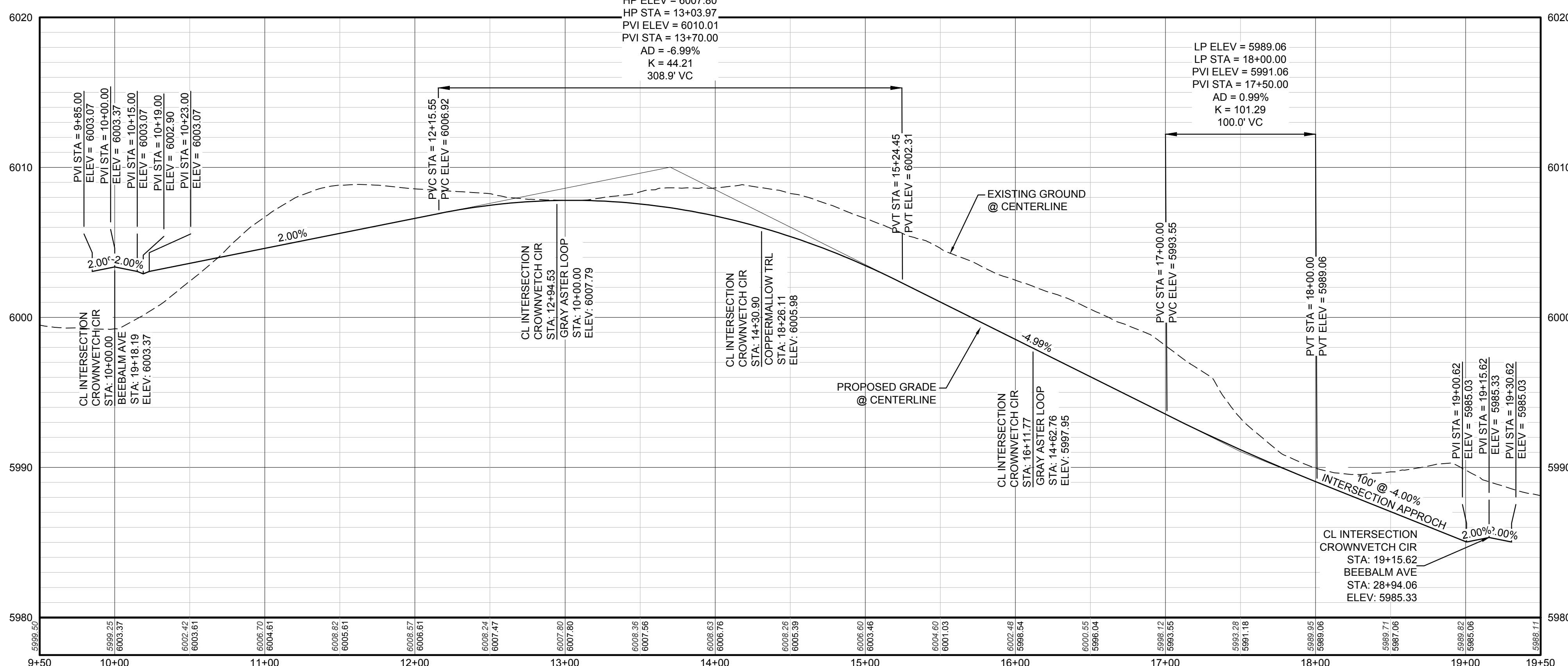
**LEGEND**

|       |                                       |      |                                  |
|-------|---------------------------------------|------|----------------------------------|
| ②     | BLOCK NUMBER                          | △    | PROPOSED RANGE POINT             |
| Ⓐ     | LOT TYPE                              | ---  | CENTERLINE                       |
| 6     | LOT NUMBER                            | ---  | RIGHT-OF-WAY                     |
| ⊕     | PROPOSED BUTTERFLY VALVE              | ---  | PROPERTY LINE                    |
| ⊞     | PROPOSED CAP WITH END OF LINE BLOWOFF | ---  | EDGE OF PAVEMENT                 |
| ⊞     | PROPOSED REDUCER                      | →    | PROPOSED DIRECTION OF FLOW       |
| ⊞     | PROPOSED VALVE                        | 1.0% | PROPOSED SLOPE & DIRECTION       |
| ⊞     | PROPOSED FIRE HYDRANT                 | 5615 | EXISTING 5' CONTOUR              |
| ⊞     | PROPOSED WL FITTING WITH THRUST BLOCK | 5616 | EXISTING 1' CONTOUR              |
| ⊞     | PROPOSED FLARED END SECTION           | 5620 | PROPOSED 5' CONTOUR              |
| ⊞     | PROPOSED LOW POINT BLOW-OFF           | 5607 | PROPOSED 1' CONTOUR              |
| ⊞     | PROPOSED AIR VALVE                    | ---  | PROPOSED STORM DRAIN             |
| ⊞     | FUTURE PHASE VALVE                    | ---  | PROPOSED SEWER LINE WITH MANHOLE |
| ⊞     | FUTURE FIRE HYDRANT                   | ---  | PROPOSED SEWER LATERAL           |
| ⊞     | PROPOSED LIGHT POLE                   | ---  | PROPOSED WATER LINE              |
| ⊞     | PROPOSED SIDEWALK RAMP                | ---  | PROPOSED WATER LATERAL W/ METER  |
| 10.00 | EXISTING ELEVATION                    | ---  | SECTION LINE                     |
| 10.00 | PROPOSED DESIGN ELEVATION             | ---  | FILING BOUNDARY                  |
| ⊞     | PROPOSED STORM DRAIN INLET            | ---  | FO                               |
| ⊞     | PROPOSED STORM DRAIN MANHOLE          | ---  | EXISTING FIBER OPTIC LINE        |
|       |                                       | ---  | EXISTING OVERHEAD POWER          |
|       |                                       | ---  | EXISTING TELEPHONE LINE          |

**ABBREVIATIONS**

|     |                        |        |                                 |
|-----|------------------------|--------|---------------------------------|
| AD  | ANGLE DIFFERENCE       | MH     | MANHOLE                         |
| AV  | AIR VAC RELEASE VALVE  | N.T.S. | NOT TO SCALE                    |
| BVC | BEGIN VERTICAL CURVE   | PVC    | POLYVINYL CHLORIDE              |
| BVP | BEGIN VERTICAL PROFILE | PVI    | PT. OF VERTICAL INTERSECTION    |
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| CRR | CURB RETURN RADIUS     | RCBC   | REINFORCED CONCRETE BOX CULVERT |
| EL  | ELEVATION              | RCP    | REINFORCED CONCRETE PIPE        |
| EP  | EDGE OF PAVEMENT       | ROW    | RIGHT OF WAY                    |
| EVC | END VERTICAL CURVE     | SC     | SANITARY CAP                    |
| EVP | END VERTICAL PROFILE   | SD     | STORM DRAIN                     |
| FG  | FINISHED GROUND        | SL     | SECTION LINE                    |
| FH  | FIRE HYDRANT           | SS     | SANITARY SEWER                  |
| FL  | FLOW LINE              | STA    | STATION                         |
| GV  | GATE VALVE             | T.O.P. | TOP OF PIPE                     |
| HCR | HANDICAP CURB RAMP     | UE     | UTILITY EASEMENT                |
| HP  | HIGH POINT             | VC     | VERTICAL CURVE                  |
| INV | INVERT                 | WL     | WATER LINE                      |
| K   | CURVATURE COEFFICIENT  | WLC    | WATER LINE CONNECTION           |
| L   | LINEAR FEET            | WSE    | WATER SURFACE ELEVATION         |

**PLAN: CROWNVETCH CIR STA: 9+50.00 TO 19+50.00**  
HORIZONTAL SCALE: 1" = 50'



**PROFILE: CROWNVETCH CIR STA: 9+50.00 TO 19+50.00**  
HORIZONTAL: 1" = 50'  
VERTICAL: 1" = 5'

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**BENCHMARK**  
THE DOUGLAS COUNTY CONTROL POINT KNOWN AS 1.069032, BEING A 3-1/4" ALUMINUM CAP, BEING LOCATED IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, HAVING A PUBLISHED ELEVATION OF 1799.2870 METERS (5903.13 FEET) NAVD '88 DATUM.

**BASIS OF BEARINGS:**  
THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 9 BEING MONUMENTED AT THE NORTHEAST CORNER OF SAID SECTION 9 BY A 3-1/4" ALUMINUM CAP STAMPED LS 23053 AND AT THE EAST QUARTER CORNER OF SAID SECTION 9 BY A 2-1/2" ALUMINUM CAP STAMPED LS 6935 BEING CONSIDERED TO BEAR SOUTH 00°15'06" EAST, 2648.70 FEET.

PREPARED UNDER THE SUPERVISION OF  
  
BRIAN P. WILSON  
COLORADO P.E. 0050067

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TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

10333 E. Dry Creek Rd.  
Suite 110  
Englewood, CO 80150  
Tel: (720) 482-9226  
Fax: (720) 482-9546

**CVL CONSULTANTS**

HR 935 LLC  
7353 South Alton Way  
CENTENNIAL, CO 80112

TRAILS AT CROWFOOT  
FILING 10 CONSTRUCTION DRAWINGS  
STREET PLAN & PROFILE  
CROWNVETCH CIR

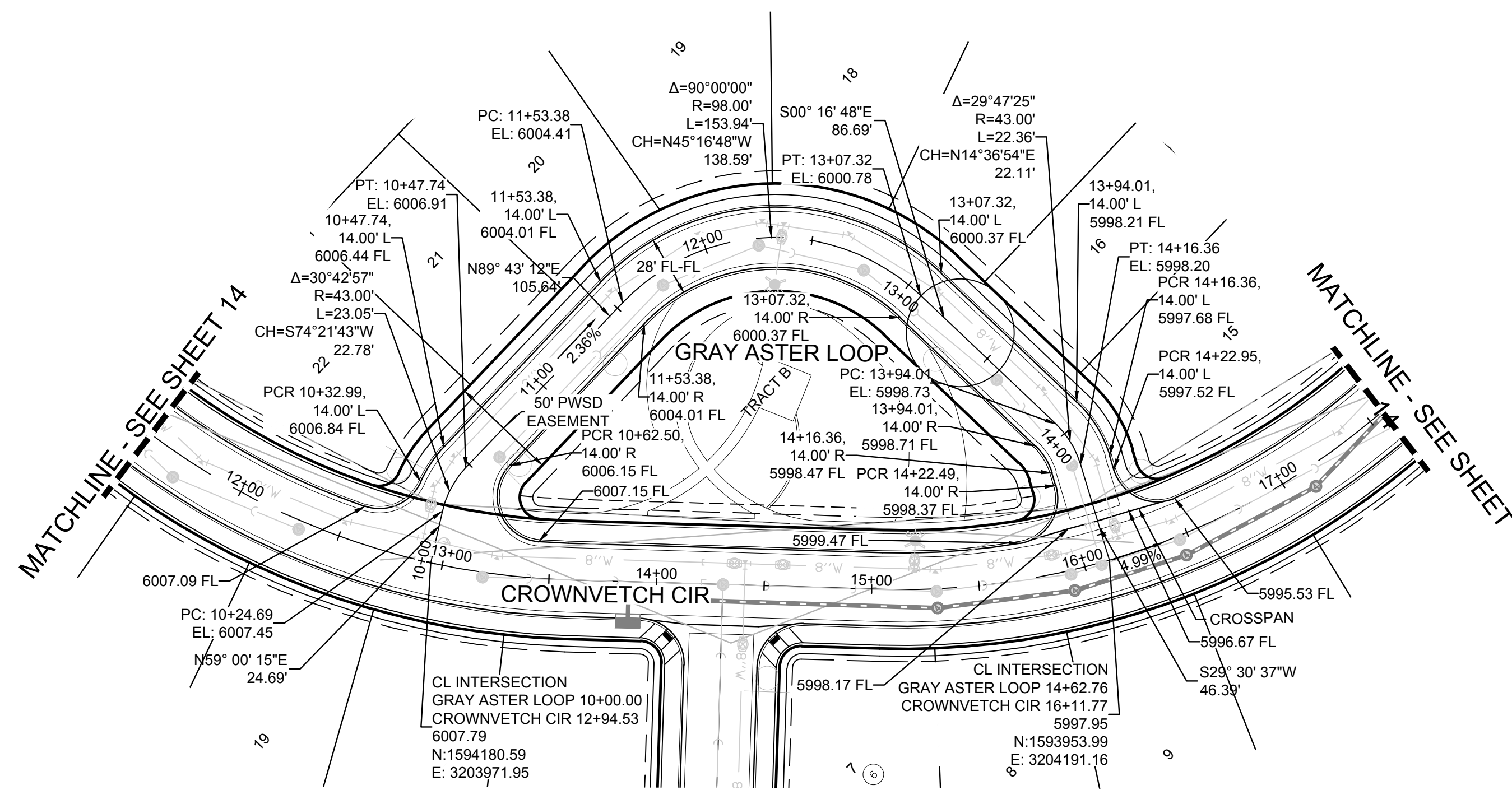
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DATE: SEPTEMBER 2017

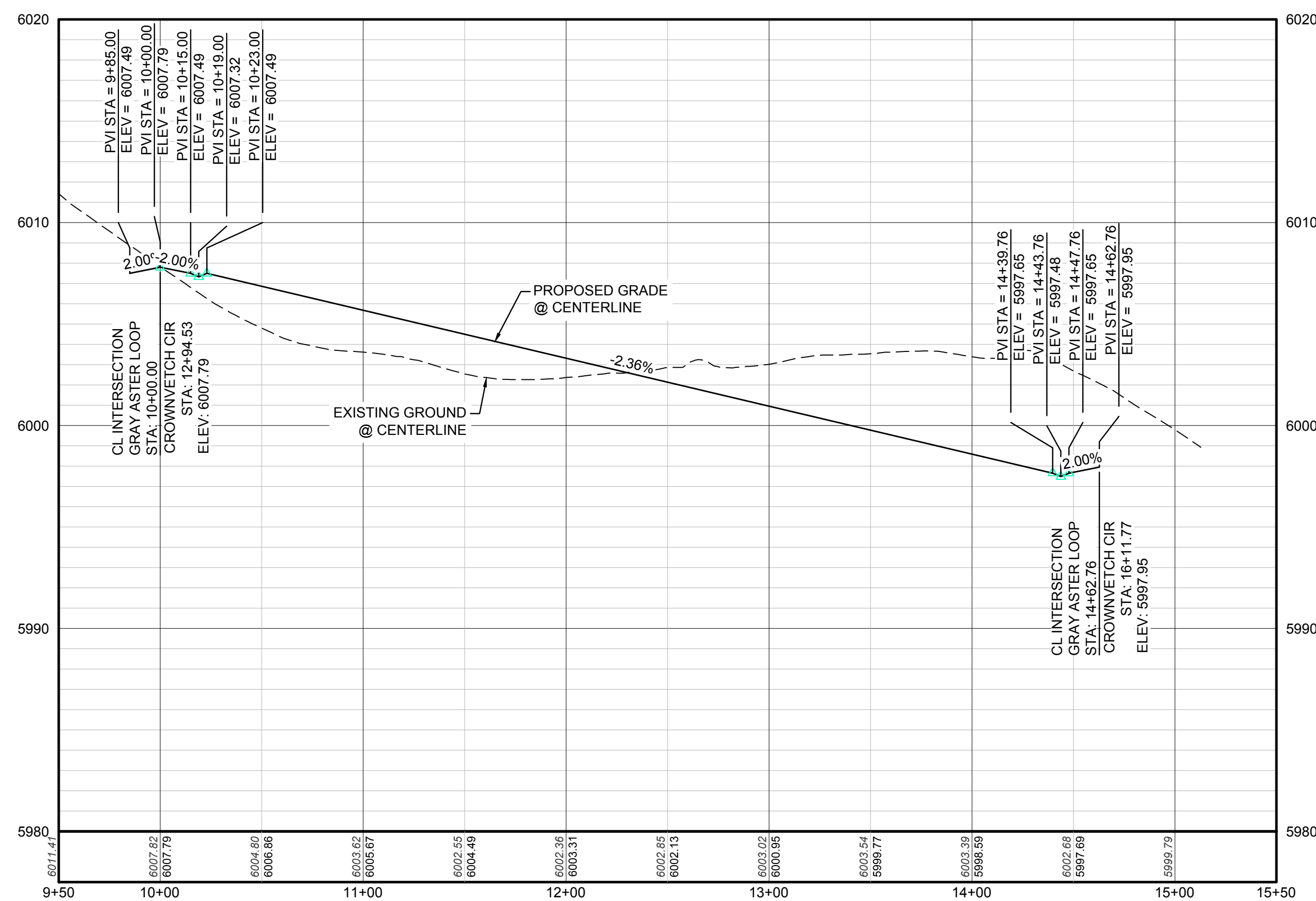
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NO. Revisions

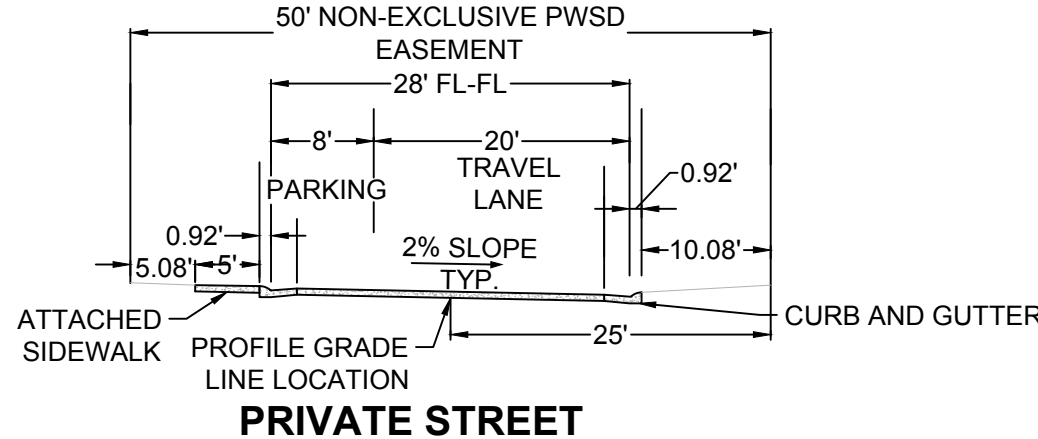
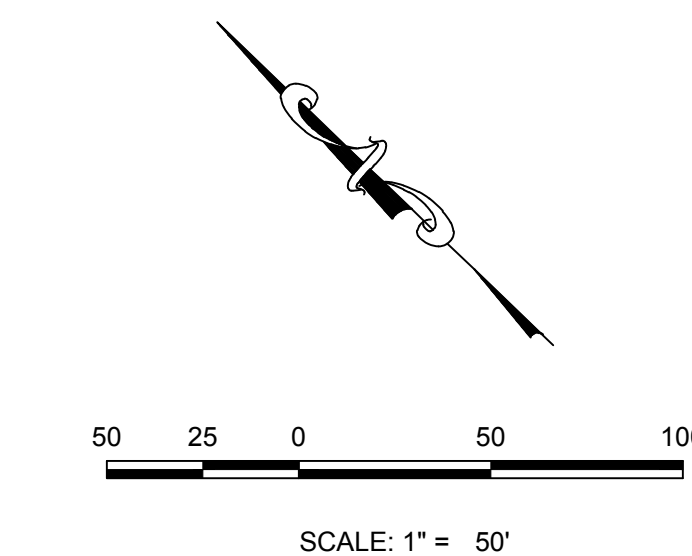
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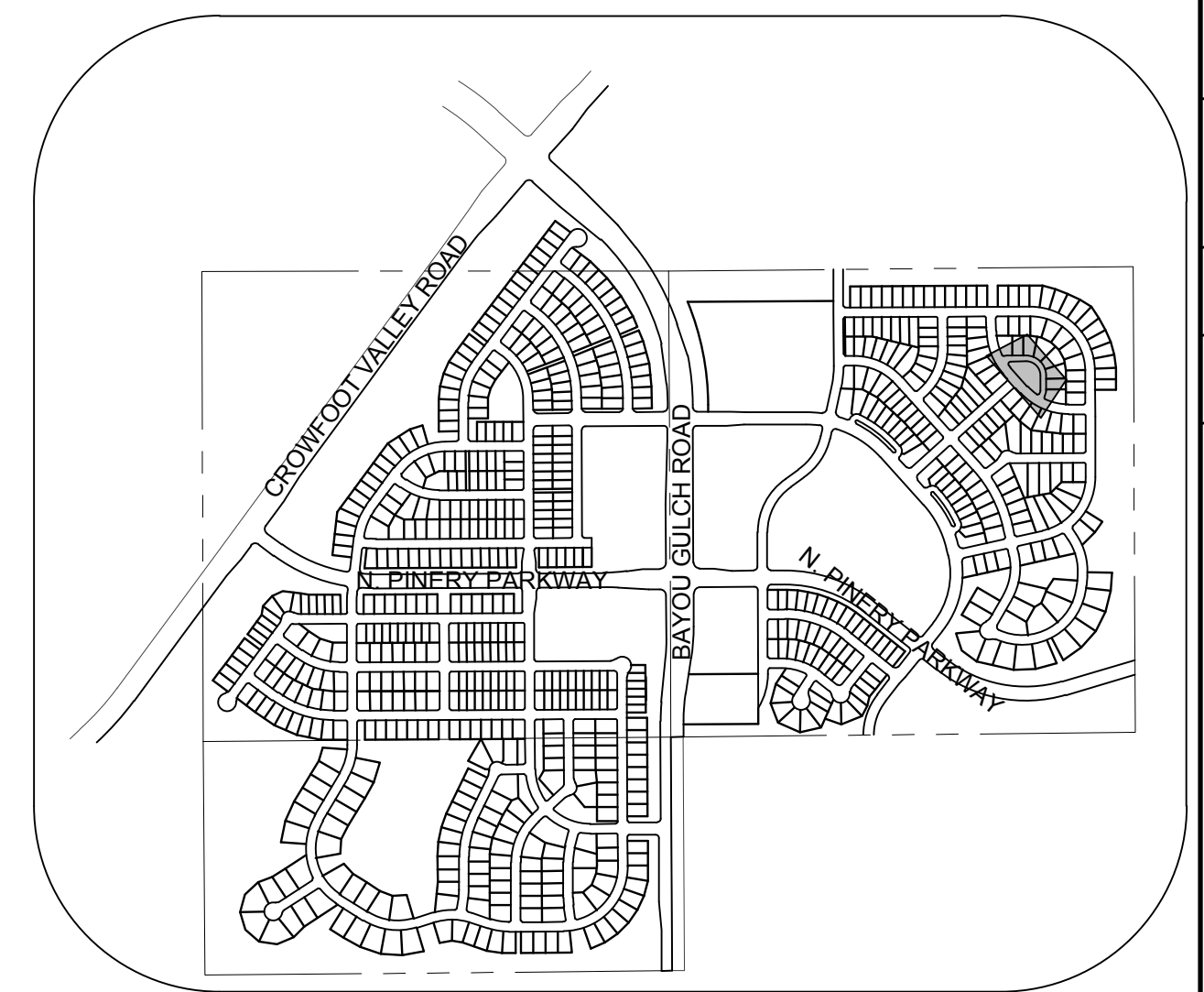
PLAN: GRAY ASTER LOOP STA: 9+50.00 TO 15+50.00  
HORIZONTAL SCALE: 1" = 50'



PROFILE: GRAY ASTER LOOP STA: 9+50.00 TO 15+50.00  
HORIZONTAL: 1" = 50'  
VERTICAL: 1" = 5'



NOTES:  
1. ON ANY PRIVATE ROADWAYS, THE TOWN OF PARKER SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF ROADWAY AND APPURTENANT IMPROVEMENTS, INCLUDING ASSOCIATED STORM DRAINAGE STRUCTURES AND PIPES, UNLESS APPROVED BY THE PUBLIC WORKS DEPARTMENT



KEYMAP  
N.T.S.  
LEGEND

|       |                                       |      |                                  |
|-------|---------------------------------------|------|----------------------------------|
| ②     | BLOCK NUMBER                          | △    | PROPOSED RANGE POINT             |
| Ⓐ     | LOT TYPE                              | ---  | CENTERLINE                       |
| 6     | LOT NUMBER                            | ---  | RIGHT-OF-WAY                     |
| ⊕     | PROPOSED BUTTERFLY VALVE              | ---  | PROPERTY LINE                    |
| ⌈     | PROPOSED CAP WITH END OF LINE BLOWOFF | ---  | EDGE OF PAVEMENT                 |
| ⊗     | PROPOSED REDUCER                      | →    | PROPOSED DIRECTION OF FLOW       |
| ⊗     | PROPOSED VALVE                        | 1.0% | PROPOSED SLOPE & DIRECTION       |
| ⊕     | PROPOSED FIRE HYDRANT                 | 5615 | EXISTING 5' CONTOUR              |
| ⊕     | PROPOSED WL FITTING WITH THRUST BLOCK | 5616 | EXISTING 1' CONTOUR              |
| ⊕     | PROPOSED FLARED END SECTION           | 5620 | PROPOSED 5' CONTOUR              |
| ⊕     | PROPOSED LOW POINT BLOW-OFF           | 5607 | PROPOSED 1' CONTOUR              |
| ⊕     | PROPOSED AIR VALVE                    | ---  | PROPOSED STORM DRAIN             |
| ⊗     | FUTURE PHASE VALVE                    | ---  | PROPOSED SEWER LINE WITH MANHOLE |
| ⊕     | FUTURE FIRE HYDRANT                   | ---  | PROPOSED SEWER LATERAL           |
| ⊕     | PROPOSED LIGHT POLE                   | ---  | PROPOSED WATER LINE              |
| ---   | PROPOSED SIDEWALK                     | 8'W  | PROPOSED WATER LATERAL W/ METER  |
| ---   | PROPOSED SIDEWALK RAMP                | ---  | SECTION LINE                     |
| 10.00 | EXISTING ELEVATION                    | ---  | FILING BOUNDARY                  |
| 10.00 | PROPOSED DESIGN ELEVATION             | FO   | EXISTING FIBER OPTIC LINE        |
| ---   | PROPOSED STORM DRAIN INLET            | GH   | EXISTING OVERHEAD POWER          |
| ⊕     | PROPOSED STORM DRAIN MANHOLE          | TEL  | EXISTING TELEPHONE LINE          |

ABBREVIATIONS

|     |                        |        |                                 |
|-----|------------------------|--------|---------------------------------|
| AD  | ANGLE DIFFERENCE       | MH     | MANHOLE                         |
| AV  | AIR VAC RELEASE VALVE  | N.T.S. | NOT TO SCALE                    |
| BVC | BEGIN VERTICAL CURVE   | PVC    | POLYVINYL CHLORIDE              |
| BVP | BEGIN VERTICAL PROFILE | PVI    | PT. OF VERTICAL INTERSECTION    |
| CBO | CAP WITH BLOW OFF      | PVT    | POINT OF VERTICAL TANGENT       |
| CRR | CURB RETURN RADIUS     | RCBC   | REINFORCED CONCRETE BOX CULVERT |
| EL  | ELEVATION              | RCP    | REINFORCED CONCRETE PIPE        |
| EP  | EDGE OF PAVEMENT       | ROW    | RIGHT OF WAY                    |
| EVC | END VERTICAL CURVE     | SC     | SANITARY CAP                    |
| EVP | END VERTICAL PROFILE   | SD     | STORM DRAIN                     |
| FG  | FINISHED GROUND        | SL     | SECTION LINE                    |
| FH  | FIRE HYDRANT           | SS     | SANITARY SEWER                  |
| FL  | FLOW LINE              | STA    | STATION                         |
| GV  | GATE VALVE             | T.O.P. | TOP OF PIPE                     |
| HCR | HANDICAP CURB RAMP     | UE     | UTILITY EASEMENT                |
| HP  | HIGH POINT             | VC     | VERTICAL CURVE                  |
| INV | INVERT                 | WL     | WATER LINE                      |
| K   | CURVATURE COEFFICIENT  | WLC    | WATER LINE CONNECTION           |
| LF  | LINEAR FEET            | WSE    | WATER SURFACE ELEVATION         |

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BRIAN P. WILSON  
COLORADO P.E. 0050067

TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

N:\PROJECTS\SSR\BENCHMARC\ENGINEERING\SSR\SSR\10\GRAY ASTER LOOP.DWG, ADMINISTRATOR: 3/12/2018 3:56 PM

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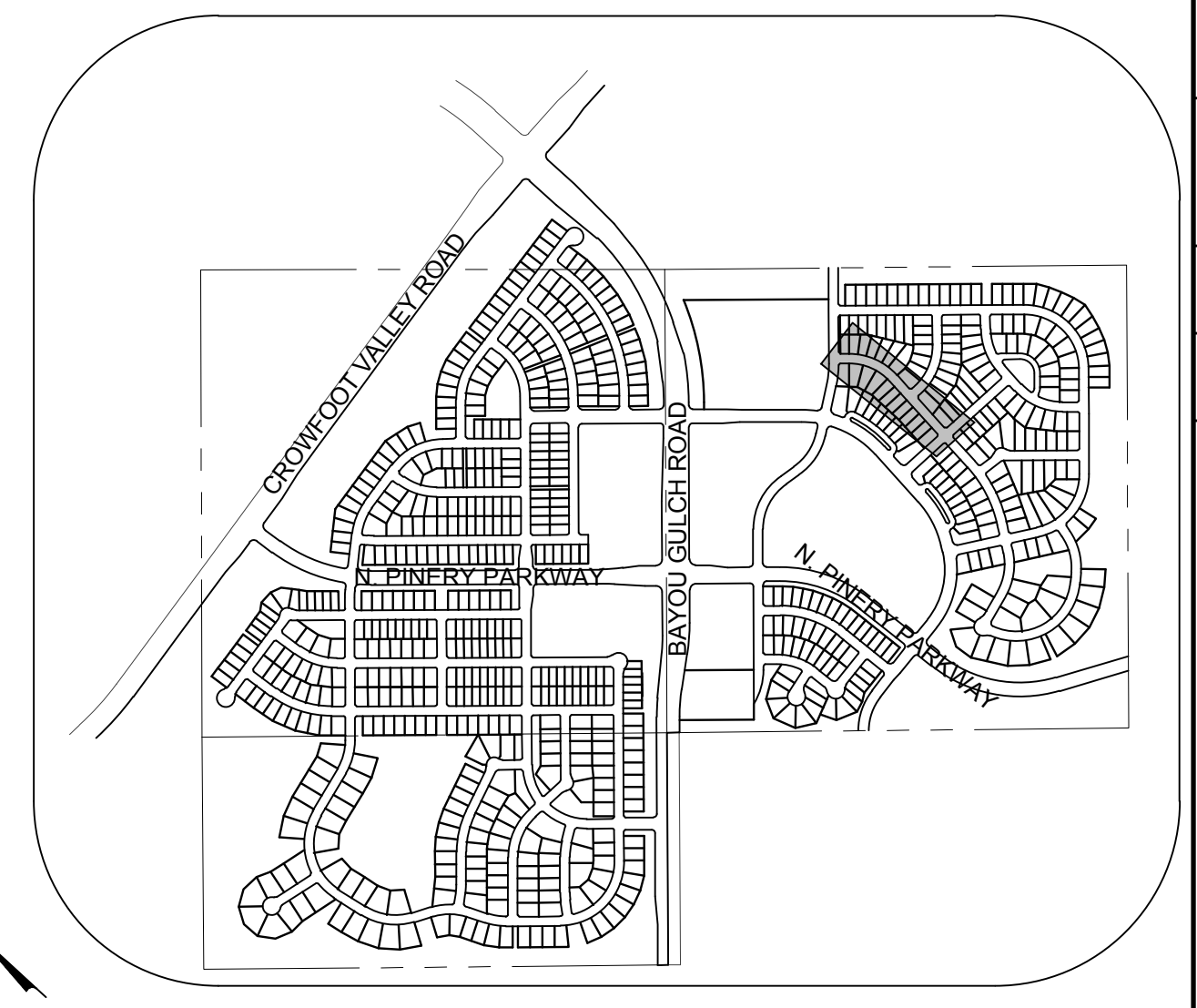
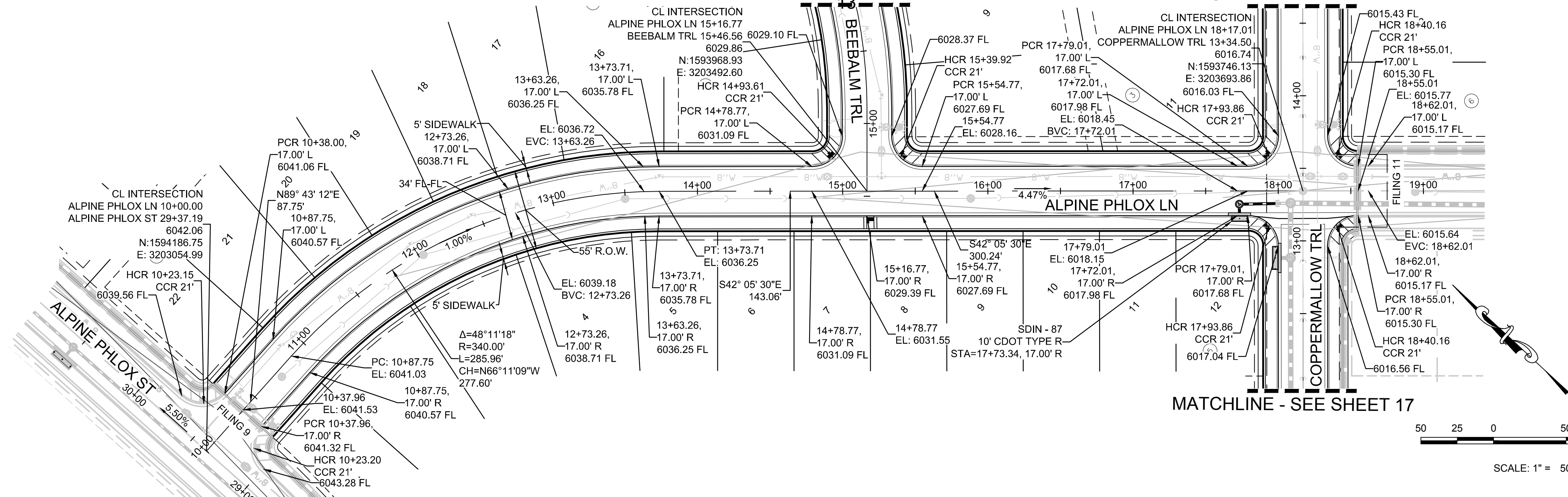
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|   |           |             |            |       |                |
|---|-----------|-------------|------------|-------|----------------|
| NO.   | REVISIONS | DATE        | INIT.      | APPR. | DATE           |
|   |           |             |            |       |                |
|   |           |             |            |       |                |
| <b>HR 935 LLC</b><br>7353 South Alton Way<br>CENTENNIAL, CO 80112   |           |             |            |       |                |
| <b>TRAILS AT CROWFOOT</b><br><b>FILING 10 CONSTRUCTION DRAWINGS</b><br>STREET PLAN & PROFILE<br>GRAY ASTER LOOP |           |             |            |       |                |
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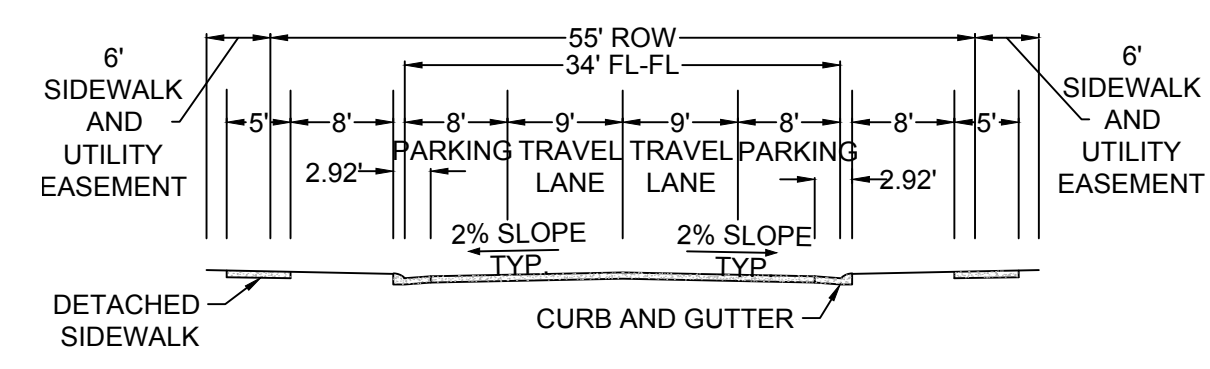
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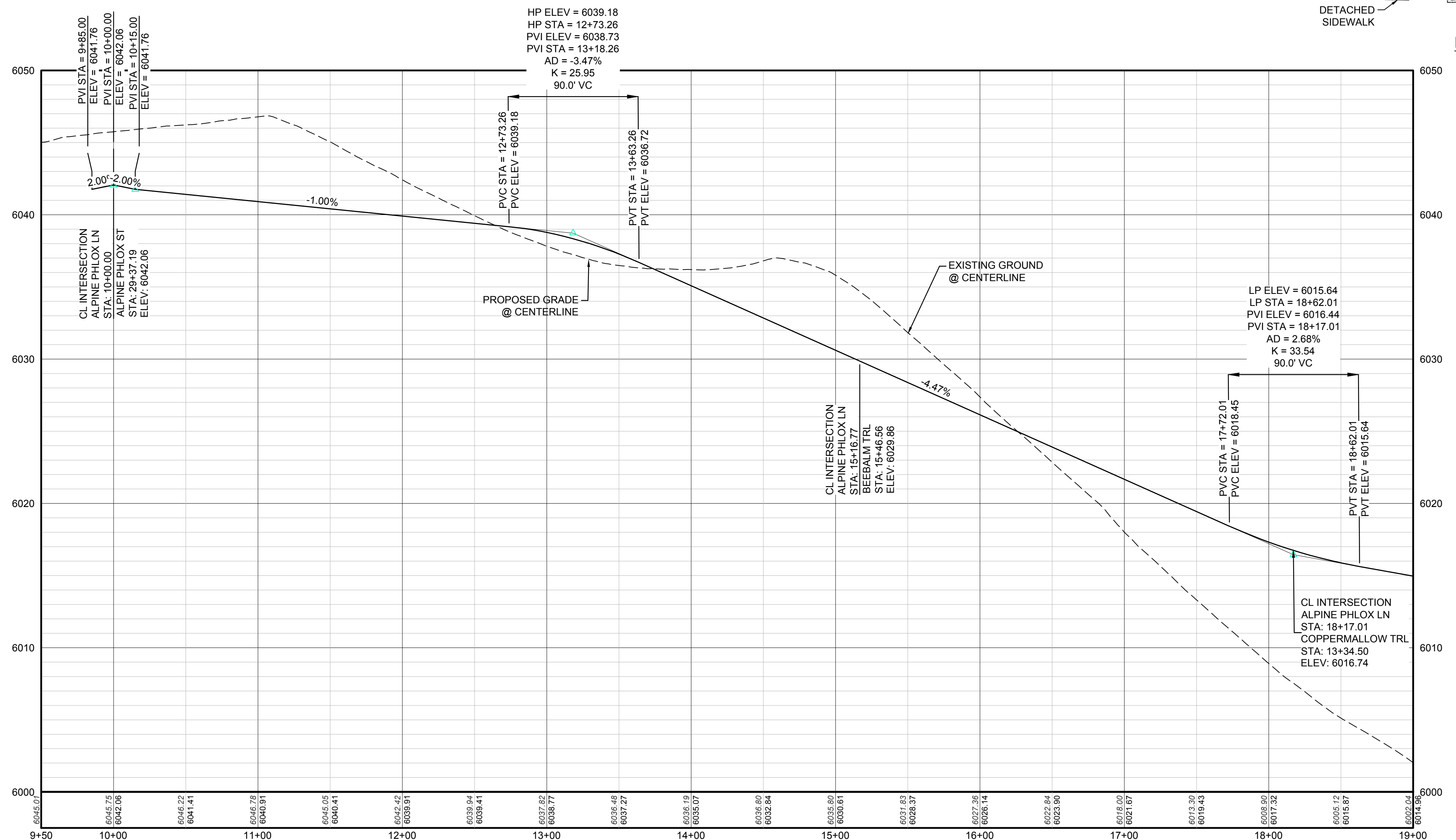


**KEYMAP**  
N.T.S.  
**LEGEND**

|       |                                       |      |                                  |
|-------|---------------------------------------|------|----------------------------------|
| ②     | BLOCK NUMBER                          | △    | PROPOSED RANGE POINT             |
| Ⓐ     | LOT TYPE                              | ---  | CENTERLINE                       |
| 6     | LOT NUMBER                            | ---  | RIGHT-OF-WAY                     |
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| ⌋     | PROPOSED CAP WITH END OF LINE BLOWOFF | ---  | EDGE OF PAVEMENT                 |
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| ⊕     | PROPOSED SIDEWALK RAMP                | ---  | SECTION LINE                     |
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| 10.00 | PROPOSED DESIGN ELEVATION             | ---  | EXISTING FIBER OPTIC LINE        |
| ⊕     | PROPOSED STORM DRAIN INLET            | ---  | EXISTING OVERHEAD POWER          |
| ⊕     | PROPOSED STORM DRAIN MANHOLE          | ---  | EXISTING TELEPHONE LINE          |



**PLAN: ALPINE PHLOX LN STA: 9+50.00 TO 19+00.00**  
HORIZONTAL SCALE: 1" = 50'



**PROFILE: ALPINE PHLOX LN STA: 9+50.00 TO 19+00.00**  
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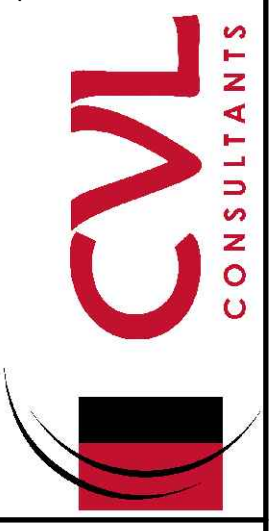
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|   | JF             | JU       |            |      |
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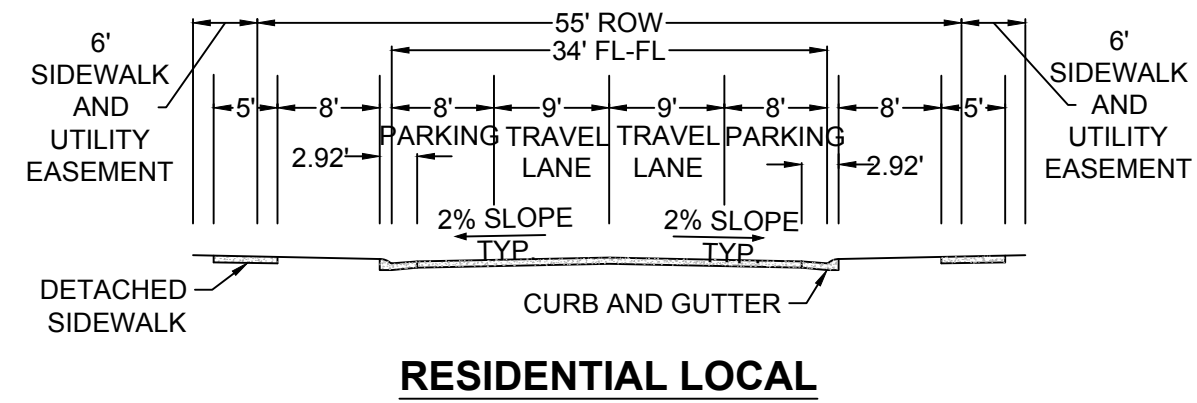
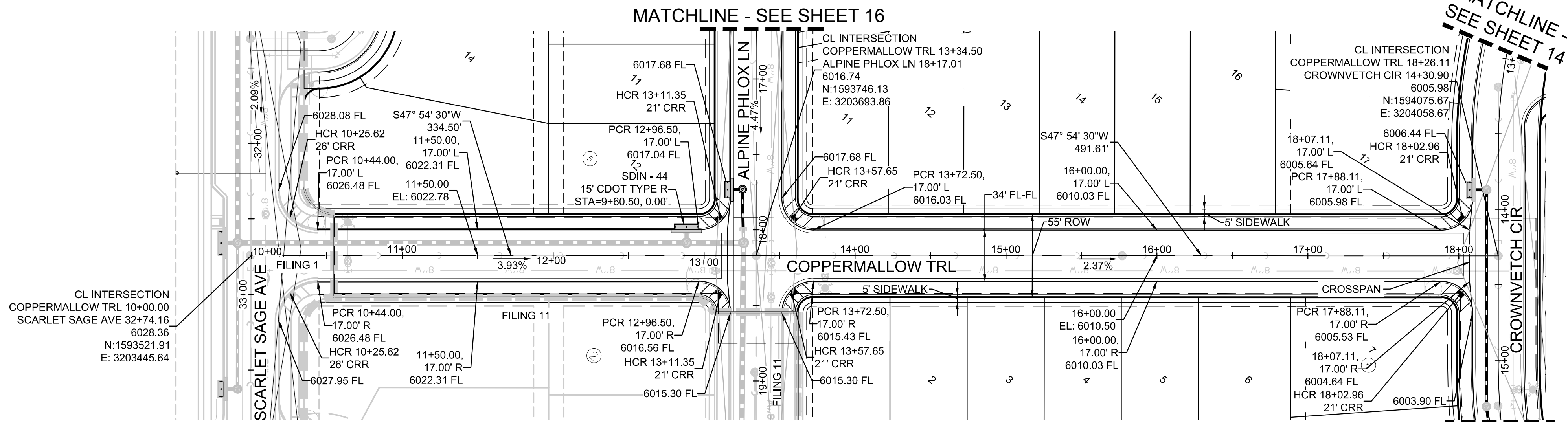
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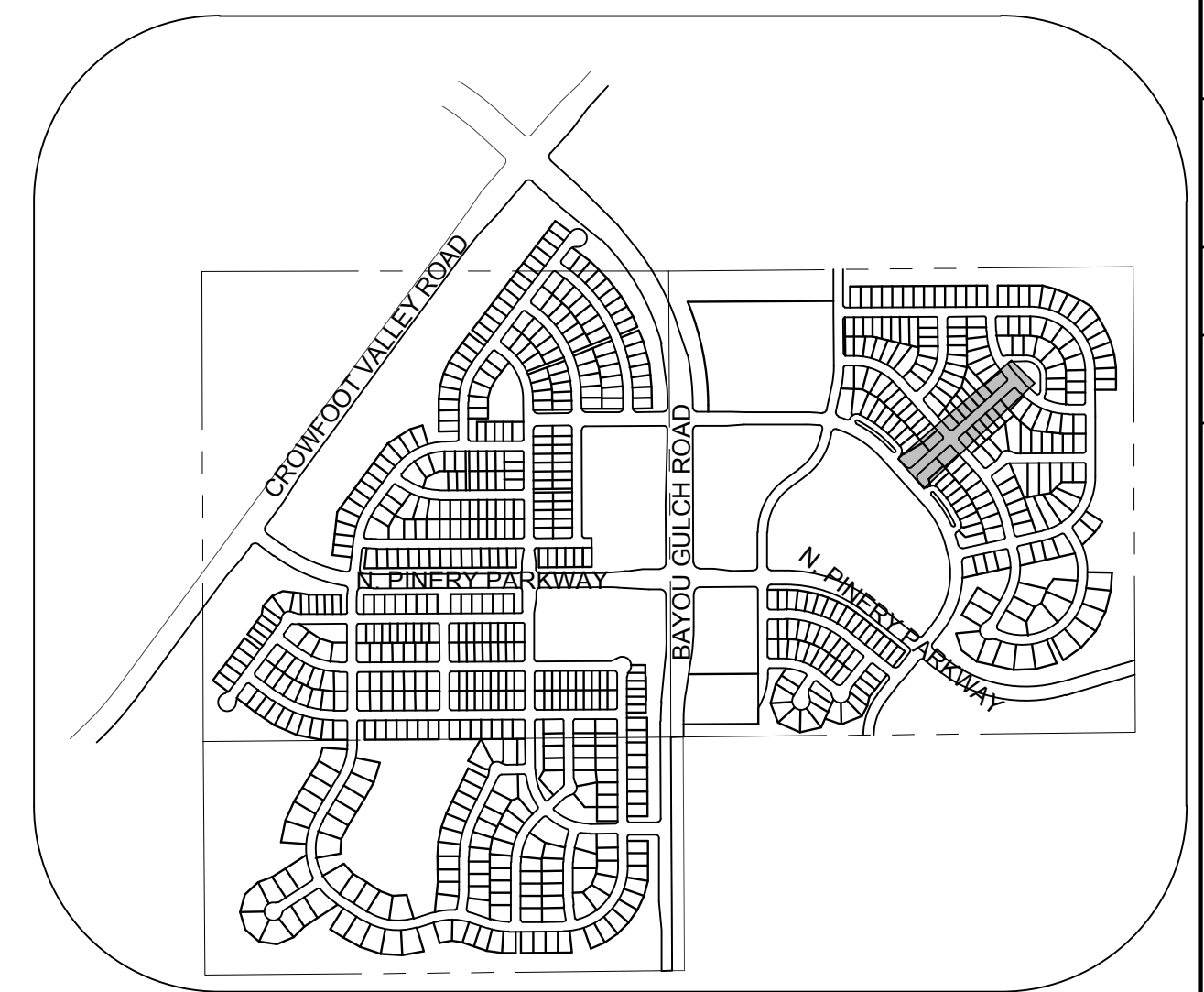
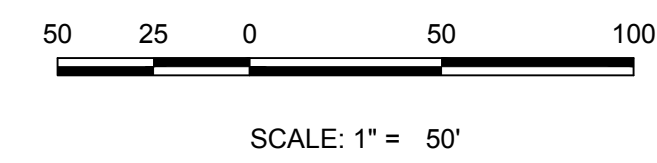
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16

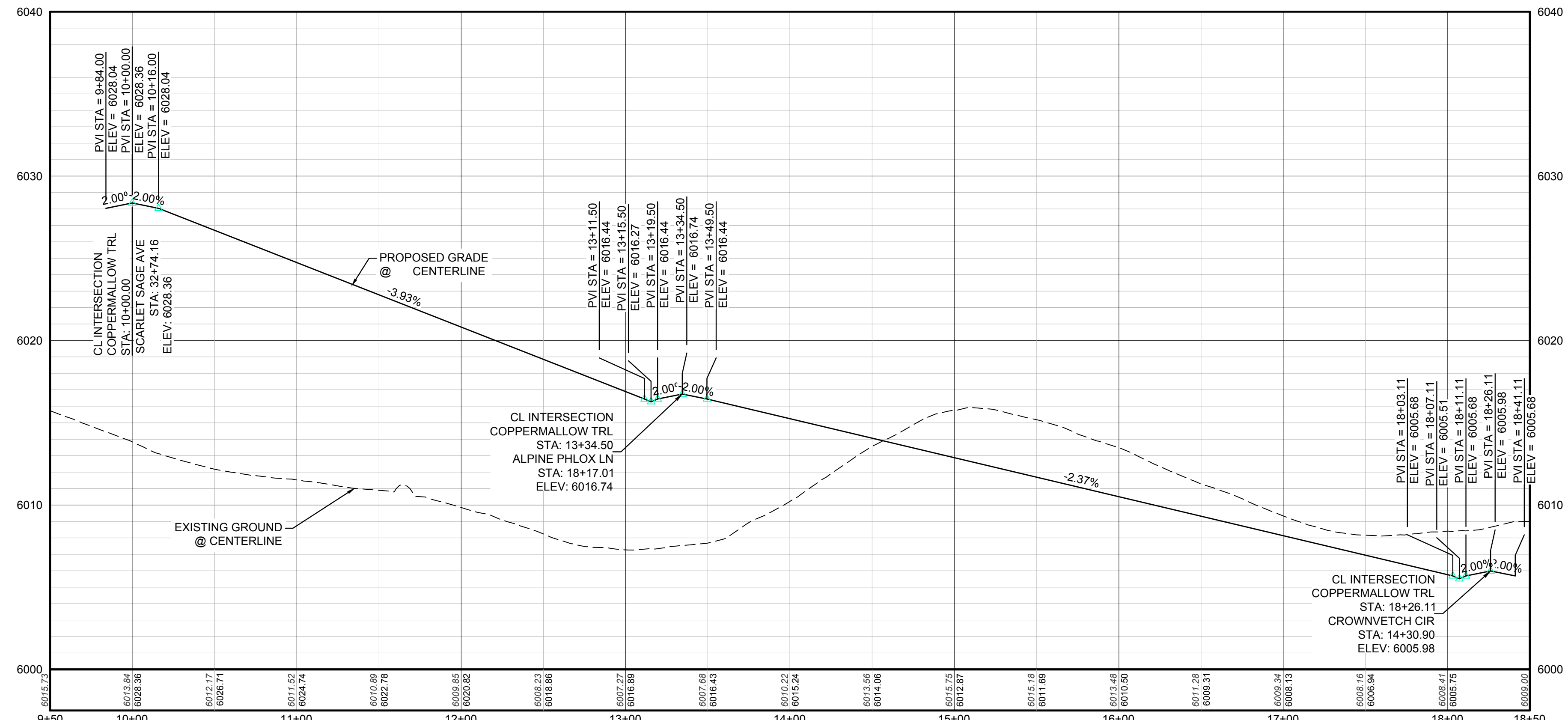


PLAN: COPPERMALLOW TRL STA: 9+50.00 TO 18+50.00  
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KEYMAP  
N.T.S.  
LEGEND

|       |                                       |      |                                  |
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BENCHMARK  
DOUGLAS COUNTY CONTROL POINT KNOWN AS 1.069032, BEING A 3-1/4" ALUMINUM CAP, BEING LOCATED IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, HAVING A PUBLISHED ELEVATION OF 1799.2870 METERS (5903.13 FEET) NAVD '88 DATUM.

BASIS OF BEARINGS:  
THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 9 BEING MONUMENTED AT THE NORTHEAST CORNER OF SAID SECTION 9 BY A 3-1/4" ALUMINUM CAP STAMPED LS 23053 AND AT THE EAST QUARTER CORNER OF SAID SECTION 9 BY A 2-1/2" ALUMINUM CAP STAMPED LS 6935 BEING CONSIDERED TO BEAR SOUTH 00°15'06" EAST, 2648.70 FEET.

|              |              |                 |                |                      |                     |     |           |       |      |       |      |
|--------------|--------------|-----------------|----------------|----------------------|---------------------|-----|-----------|-------|------|-------|------|
| SHEET NUMBER | DRAWN BY: JF | SCALE: AS SHOWN | CHECKED BY: JJ | DATE: SEPTEMBER 2017 | FILE NO: 8130283701 | NO. | Revisions | INIT. | DATE | APPR. | DATE |
|              |              |                 |                |                      |                     |     |           |       |      |       |      |

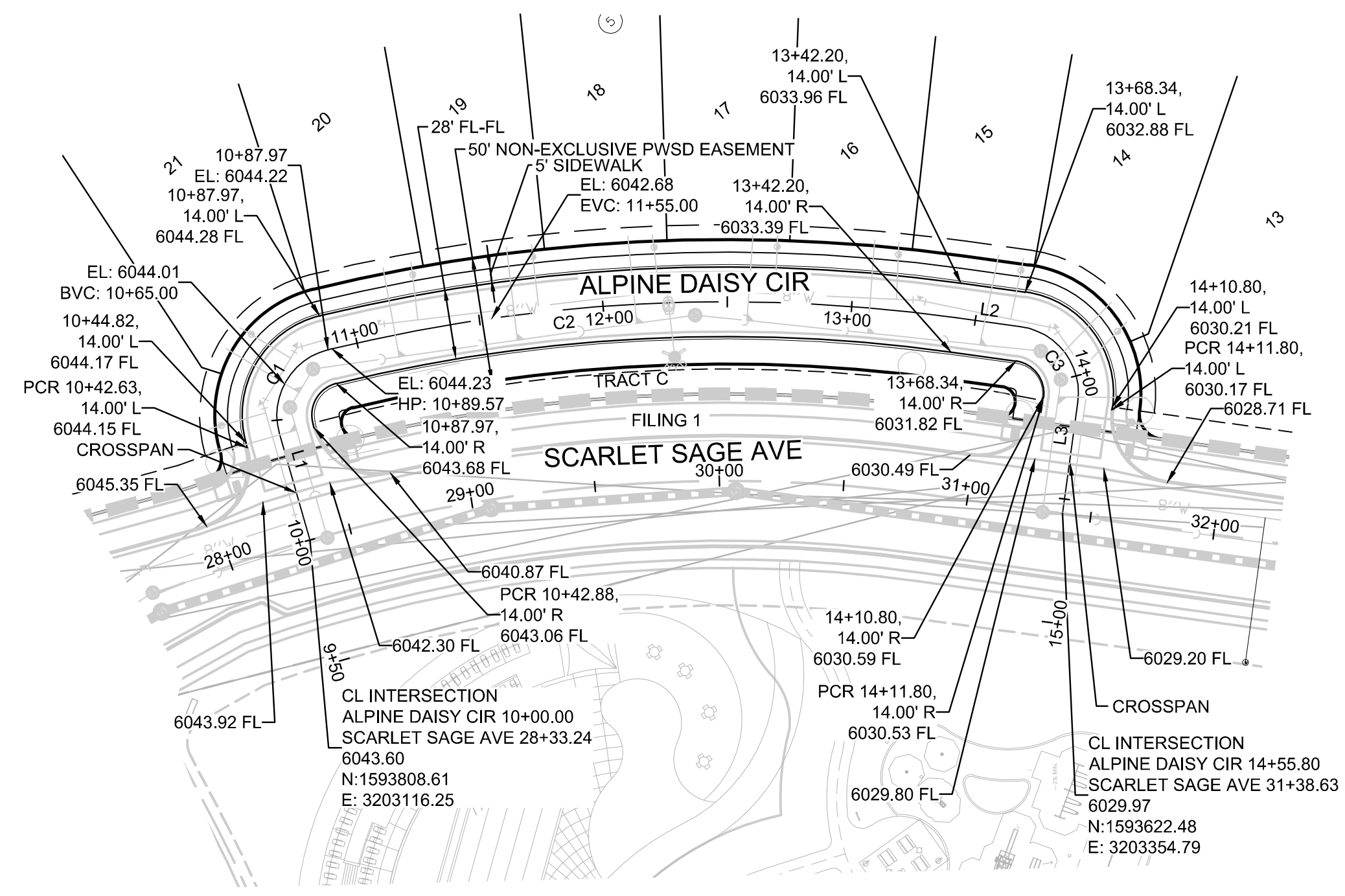
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Suite 6410  
Englewood, CO 80150  
Tel: (720) 482-9526  
Fax: (720) 482-9548

**CVL**  
CONSULTANTS

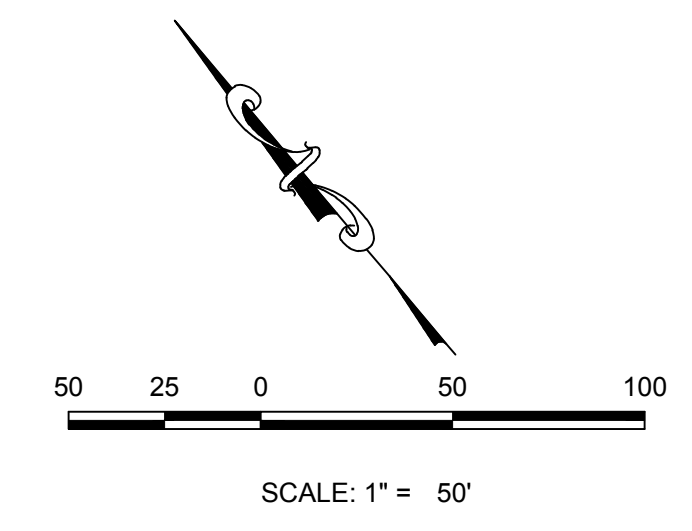
HR 935 LLC  
7353 South Alton Way  
CENTENNIAL, CO 80112

TRAILS AT CROWFOOT  
FILING 10 CONSTRUCTION DRAWINGS  
STREET PLAN & PROFILE  
COPPERMALLOW TRAIL

17

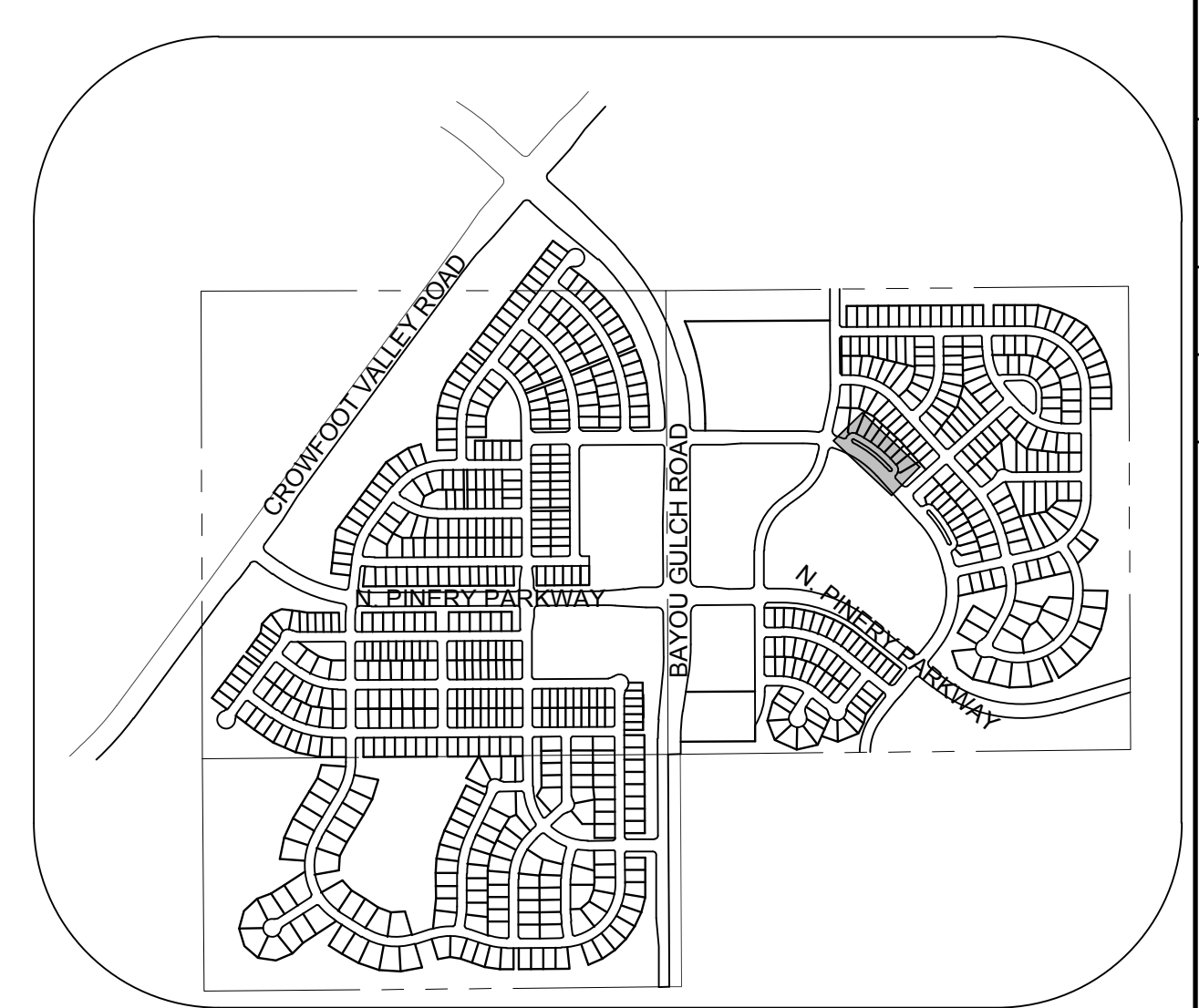
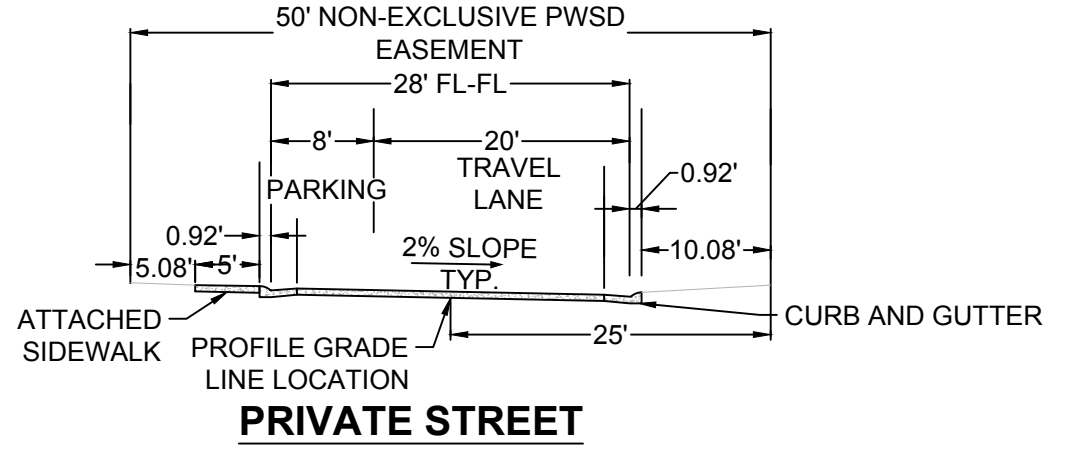


PLAN: ALPINE DAISY CIR STA: 9+50.00 TO 15+00.00  
HORIZONTAL SCALE: 1" = 50'



| LINE TABLE |        |             |
|------------|--------|-------------|
| LINE NO.   | LENGTH | DIRECTION   |
| L1         | 44.52' | S24°00'40"W |
| L2         | 26.14' | N42°05'30"W |
| L3         | 45.00' | N47°54'30"E |

| CURVE TABLE |         |         |           |
|-------------|---------|---------|-----------|
| CURVE NO.   | LENGTH  | RADIUS  | DELTA     |
| C1          | 43.46'  | 27.00'  | 92°13'17" |
| C2          | 254.23' | 672.00' | 21°40'33" |
| C3          | 42.41'  | 27.00'  | 90°00'00" |



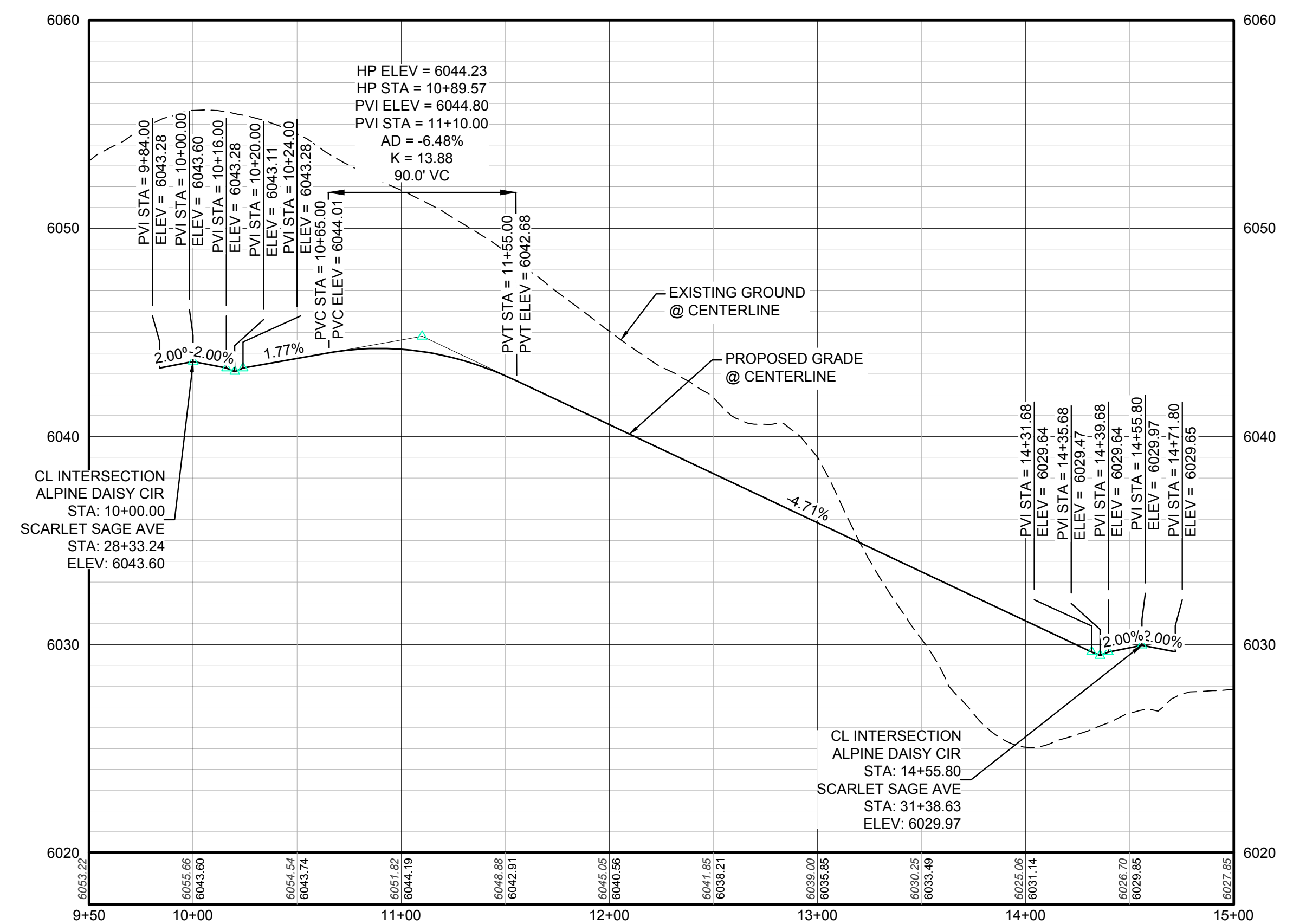
KEYMAP  
N.T.S.

**LEGEND**

|       |                                       |      |                                  |
|-------|---------------------------------------|------|----------------------------------|
| ②     | BLOCK NUMBER                          | △    | PROPOSED RANGE POINT             |
| Ⓐ     | LOT TYPE                              | ---  | CENTERLINE                       |
| 6     | LOT NUMBER                            | ---  | RIGHT-OF-WAY                     |
| ⊕     | PROPOSED BUTTERFLY VALVE              | ---  | PROPERTY LINE                    |
| ⌋     | PROPOSED CAP WITH END OF LINE BLOWOFF | ---  | EDGE OF PAVEMENT                 |
| ⊘     | PROPOSED REDUCER                      | →    | PROPOSED DIRECTION OF FLOW       |
| ⊗     | PROPOSED VALVE                        | 1.0% | PROPOSED SLOPE & DIRECTION       |
| ⊕     | PROPOSED FIRE HYDRANT                 | 5615 | EXISTING 5' CONTOUR              |
| ⊕     | PROPOSED WL FITTING WITH THRUST BLOCK | 5616 | EXISTING 1' CONTOUR              |
| ⊕     | PROPOSED FLARED END SECTION           | 5620 | PROPOSED 5' CONTOUR              |
| ⊕     | PROPOSED LOW POINT BLOW-OFF           | 5607 | PROPOSED 1' CONTOUR              |
| ⊕     | PROPOSED AIR VALVE                    | ---  | PROPOSED STORM DRAIN             |
| ⊕     | FUTURE PHASE VALVE                    | ---  | PROPOSED SEWER LINE WITH MANHOLE |
| ⊕     | FUTURE FIRE HYDRANT                   | ---  | PROPOSED SEWER LATERAL           |
| ⊕     | PROPOSED LIGHT POLE                   | ---  | PROPOSED WATER LINE              |
| ---   | PROPOSED SIDEWALK                     | 8'W  | PROPOSED WATER LATERAL W/ METER  |
| ---   | PROPOSED SIDEWALK RAMP                | ---  | SECTION LINE                     |
| 10.00 | EXISTING ELEVATION                    | ---  | FILING BOUNDARY                  |
| 10.00 | PROPOSED DESIGN ELEVATION             | FO   | EXISTING FIBER OPTIC LINE        |
| ---   | PROPOSED STORM DRAIN INLET            | OH   | EXISTING OVERHEAD POWER          |
| ⊕     | PROPOSED STORM DRAIN MANHOLE          | TEL  | EXISTING TELEPHONE LINE          |

**ABBREVIATIONS**

|     |                        |        |                                 |
|-----|------------------------|--------|---------------------------------|
| AD  | ANGLE DIFFERENCE       | MH     | MANHOLE                         |
| AV  | AIR VAC RELEASE VALVE  | N.T.S. | NOT TO SCALE                    |
| BVC | BEGIN VERTICAL CURVE   | PVC    | POLYVINYL CHLORIDE              |
| BVP | BEGIN VERTICAL PROFILE | PVI    | PT. OF VERTICAL INTERSECTION    |
| CBO | CAP WITH BLOW OFF      | PVT    | POINT OF VERTICAL TANGENT       |
| CRR | CURB RETURN RADIUS     | ROBC   | REINFORCED CONCRETE BOX CULVERT |
| CRR | ELEVATION              | RCP    | REINFORCED CONCRETE PIPE        |
| EP  | EDGE OF PAVEMENT       | ROW    | RIGHT OF WAY                    |
| EVC | END VERTICAL CURVE     | SC     | SANITARY CAP                    |
| EVP | END VERTICAL PROFILE   | SD     | STORM DRAIN                     |
| FG  | FINISHED GROUND        | SL     | SECTION LINE                    |
| FH  | FIRE HYDRANT           | SS     | SANITARY SEWER                  |
| FL  | FLOW LINE              | STA    | STATION                         |
| GV  | GATE VALVE             | T.O.P. | TOP OF PIPE                     |
| HCR | HANDICAP CURB RAMP     | UE     | UTILITY EASEMENT                |
| HP  | HIGH POINT             | VC     | VERTICAL CURVE                  |
| INV | INVERT                 | WL     | WATER LINE                      |
| K   | CURVATURE COEFFICIENT  | WLC    | WATER LINE CONNECTION           |
| LF  | LINEAR FEET            | WSE    | WATER SURFACE ELEVATION         |



PROFILE: ALPINE DAISY CIR STA: 9+50.00 TO 15+00.00  
HORIZONTAL: 1" = 50'  
VERTICAL: 1" = 5'

NOTES:  
1. ON ANY PRIVATE ROADWAYS, THE TOWN OF PARKER SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF ROADWAY AND APPURTENANT IMPROVEMENTS, INCLUDING ASSOCIATED STORM DRAINAGE STRUCTURES AND PIPES, UNLESS APPROVED BY THE PUBLIC WORKS DEPARTMENT

PREPARED UNDER THE SUPERVISION OF

BRIAN P. WILSON  
COLORADO P.E. 0050067

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TOWN OF PARKER, DIRECTOR OF ENGINEERING \_\_\_\_\_ DATE \_\_\_\_\_

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**BENCHMARK**  
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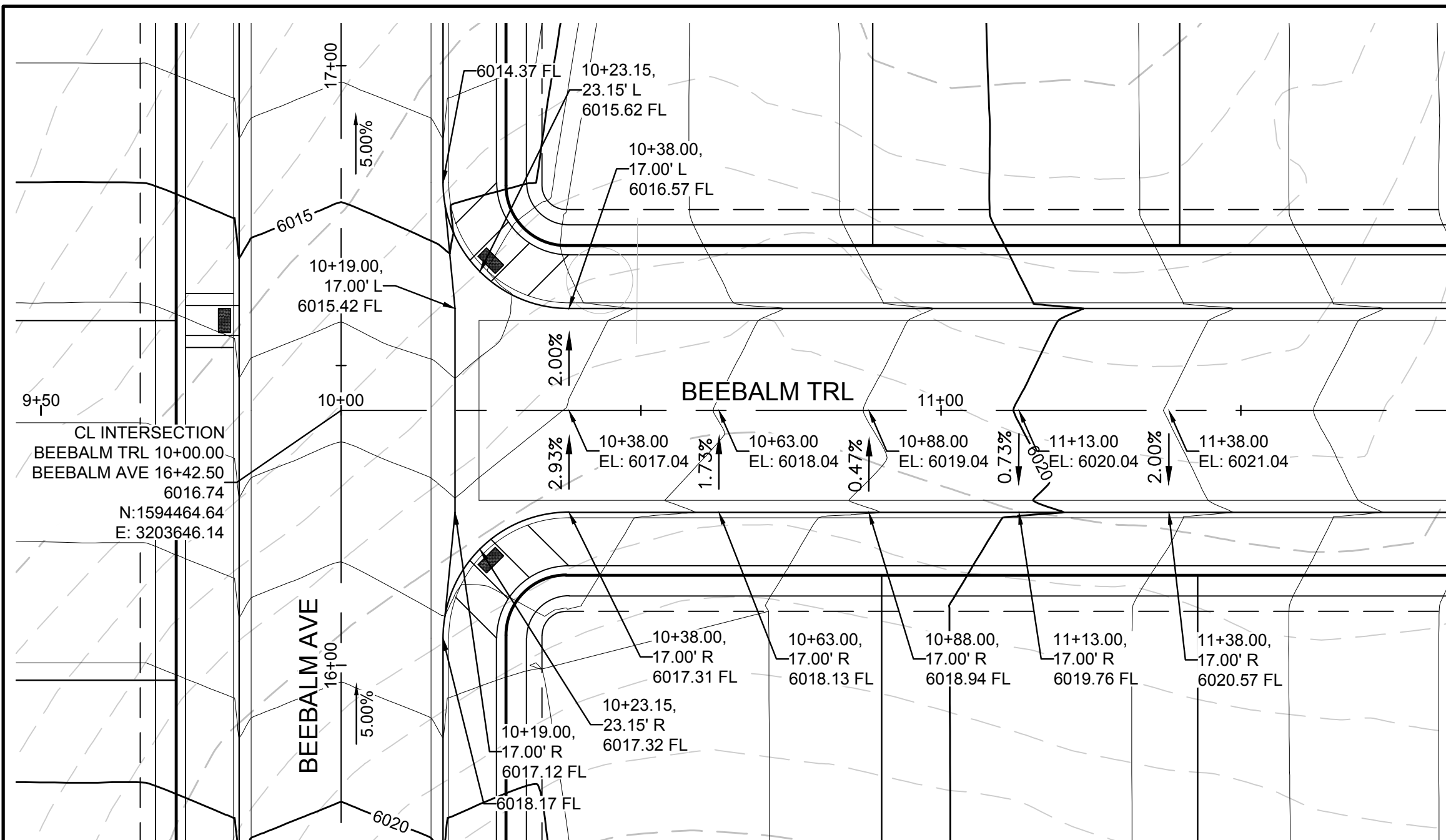
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| SHEET NUMBER | DRAWN BY: JF         | CHECKED BY: JU | DATE: SEPTEMBER 2017 | SCALE:   | AS SHOWN                        | FILE NO:              | 8130283701       |
|              |                      |                |                      | TRAILS AT CROWFOOT                                       | FILING 10 CONSTRUCTION DRAWINGS | STREET PLAN & PROFILE | ALPINE DAISY CIR |
| 18           | DATE: SEPTEMBER 2017 |                |                      | TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____ |                                 |                       |                  |
|              | DATE: SEPTEMBER 2017 |                |                      | TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____ |                                 |                       |                  |

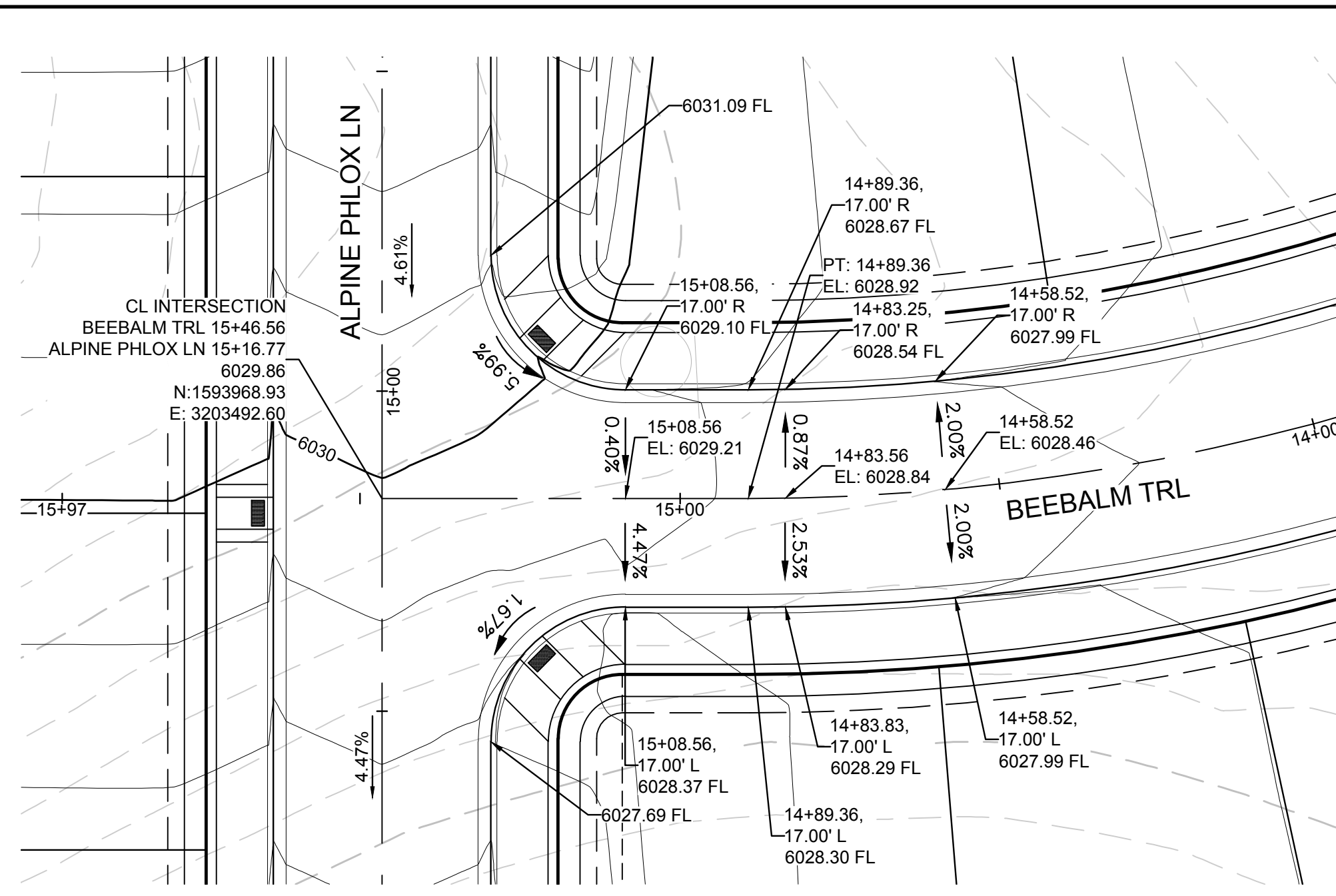
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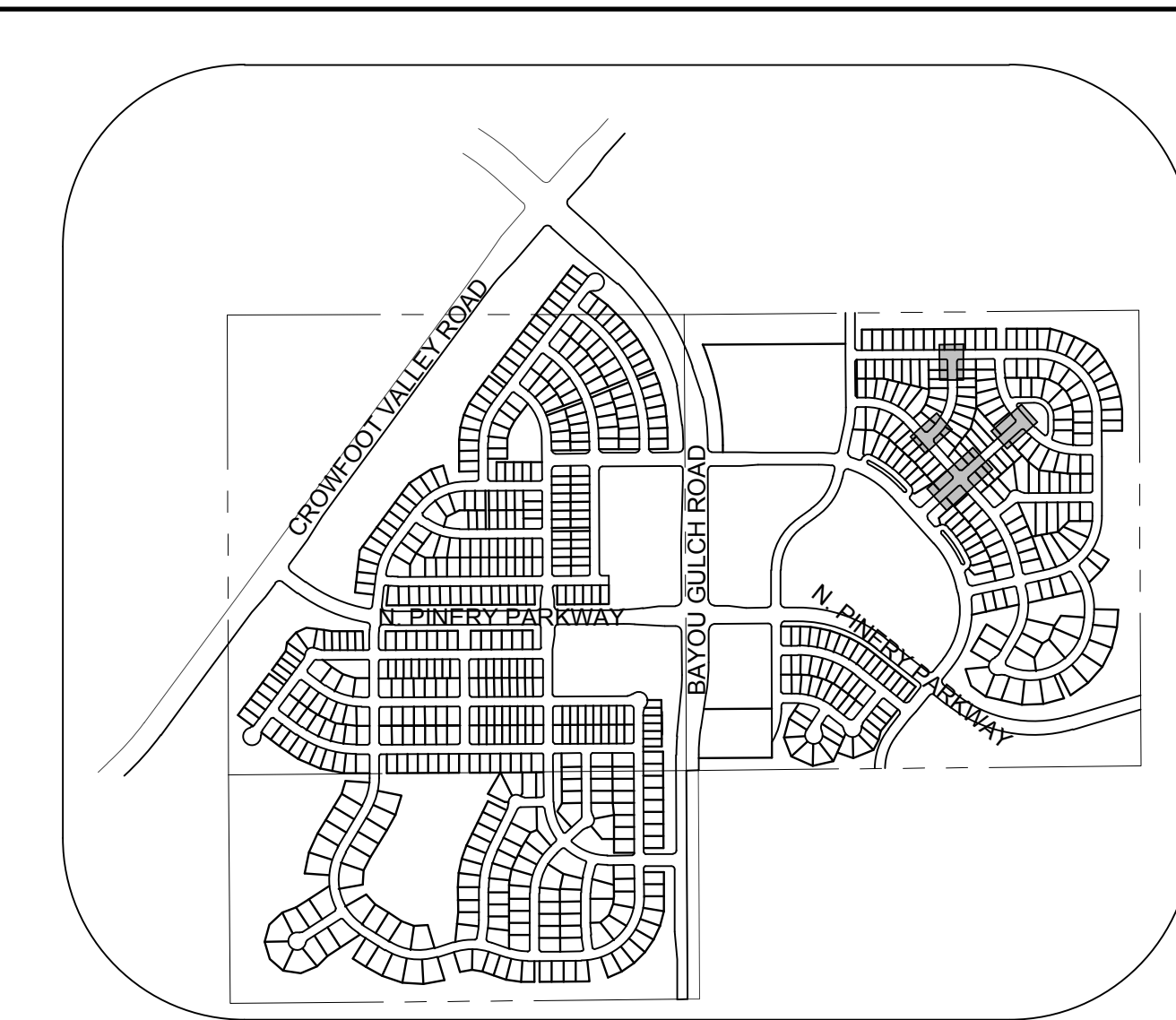
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CENTENNIAL, CO 80112



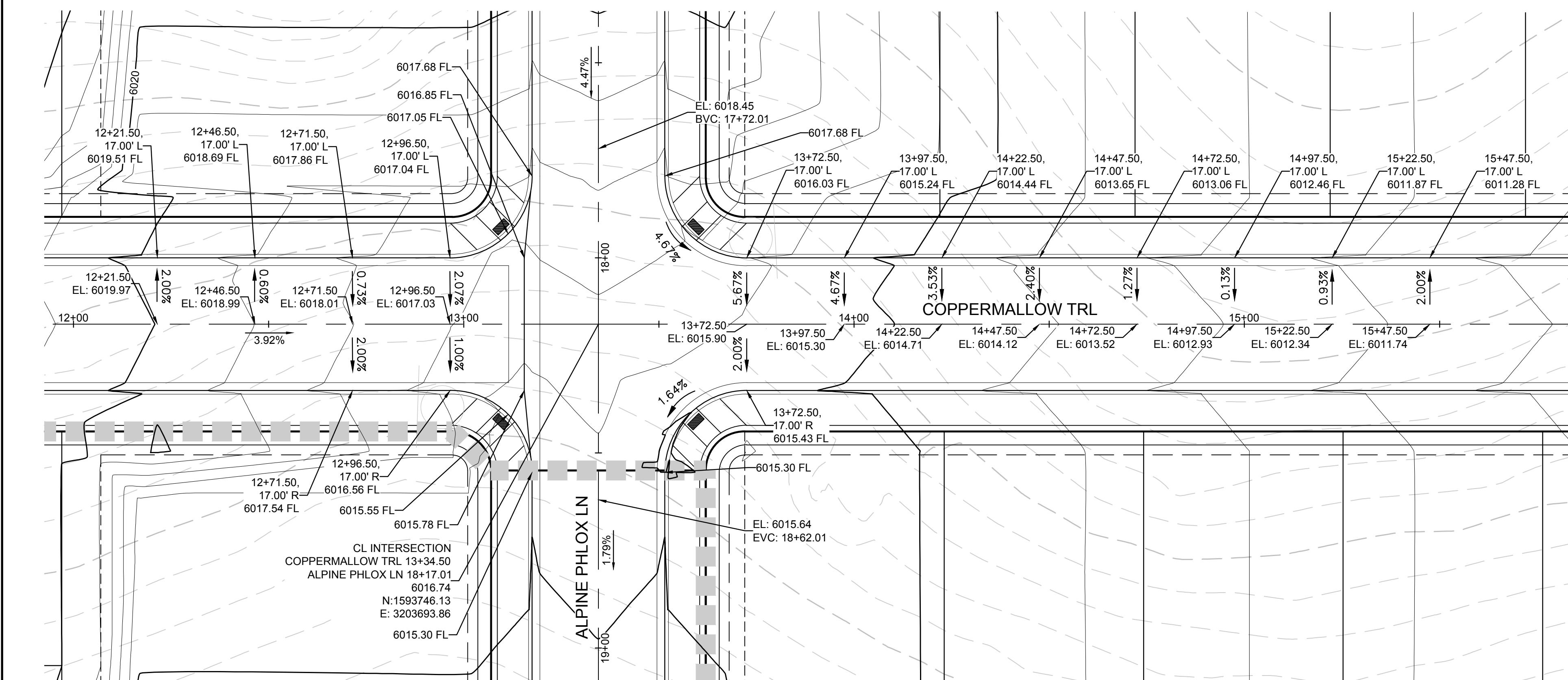
PLAN: BEEBALM TRL & BEEBALM AVE  
HORIZONTAL SCALE: 1" = 20'



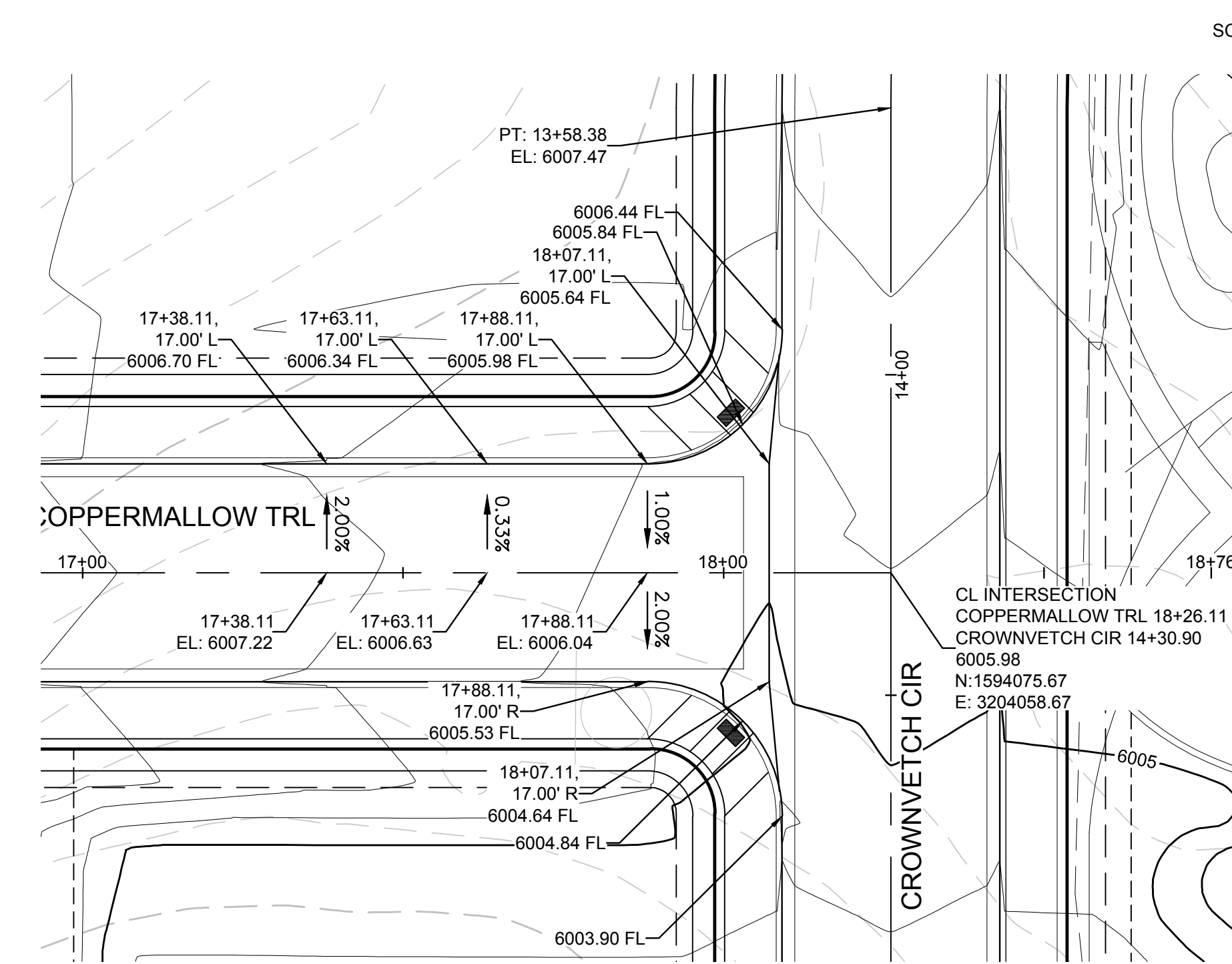
PLAN: BEEBALM TRL & ALPINE PHLOX LN  
HORIZONTAL SCALE: 1" = 20'



KEYMAP  
N.T.S.



PLAN: COPPERMALLOW TRL & ALPINE PHLOX LN  
HORIZONTAL SCALE: 1" = 20'



PLAN: COPPERMALLOW TRL & CROWNVETCH CIR  
HORIZONTAL SCALE: 1" = 20'

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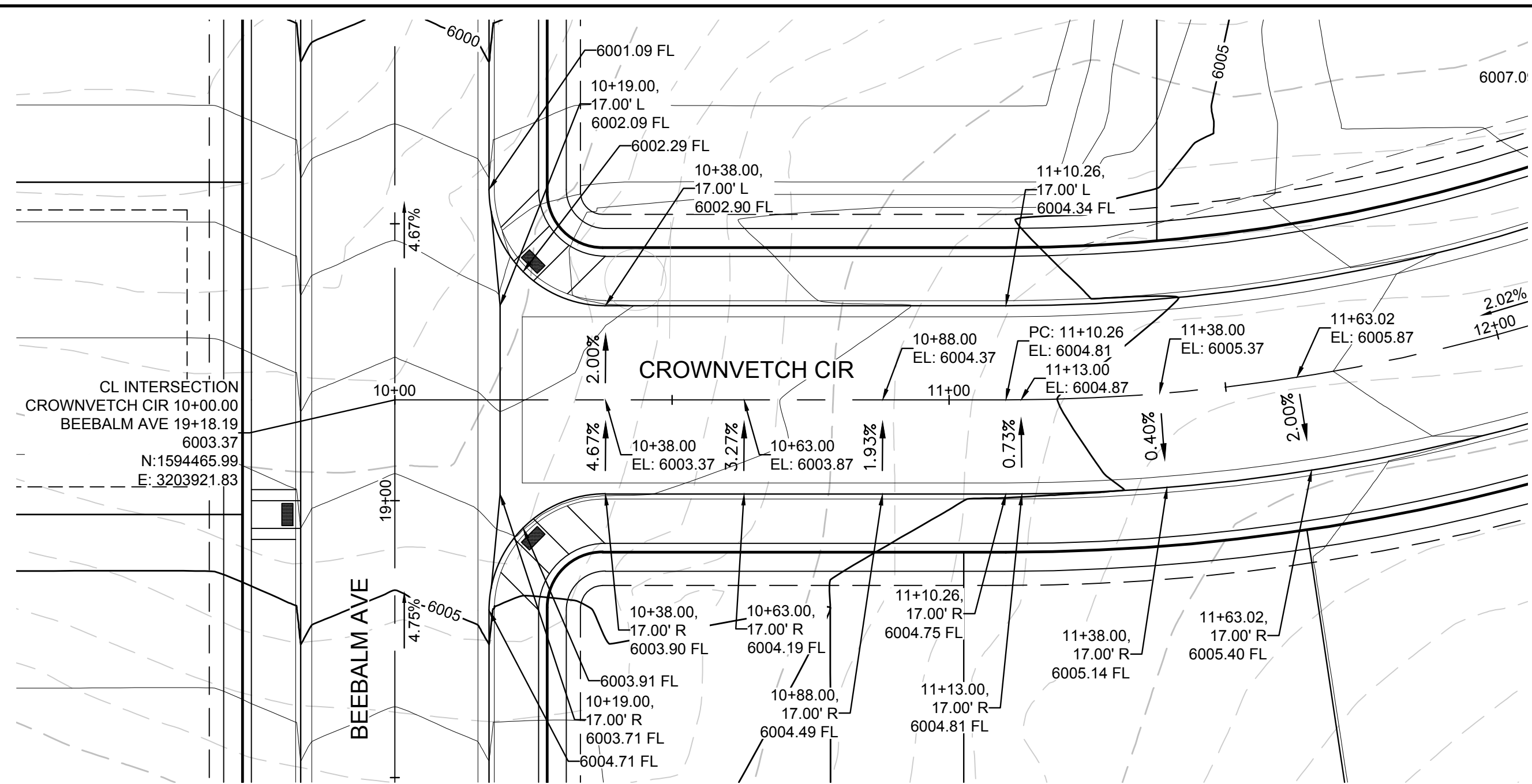
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COLORADO P.E. 0050067

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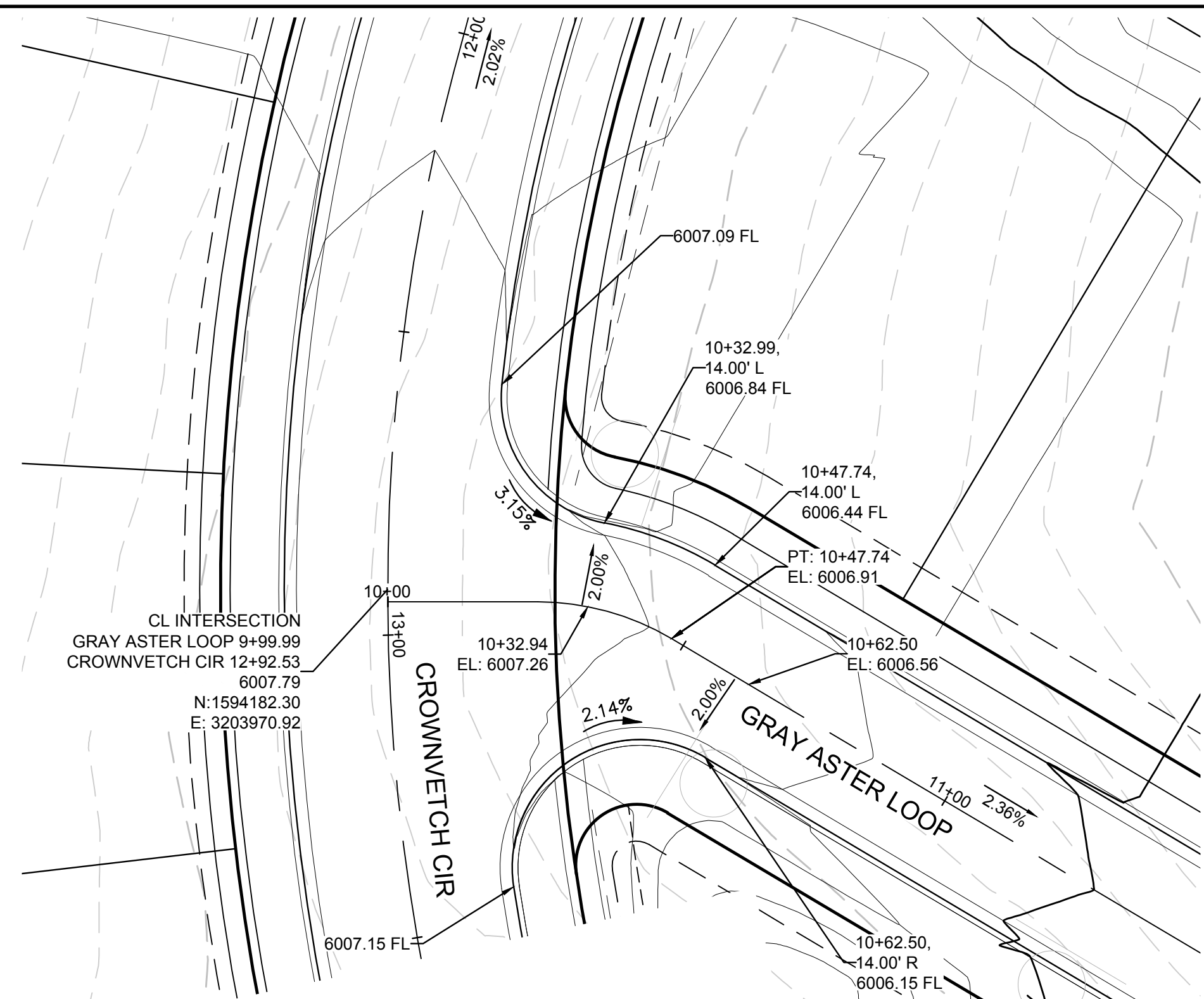
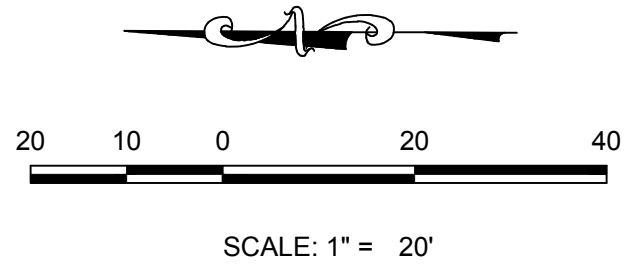
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TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

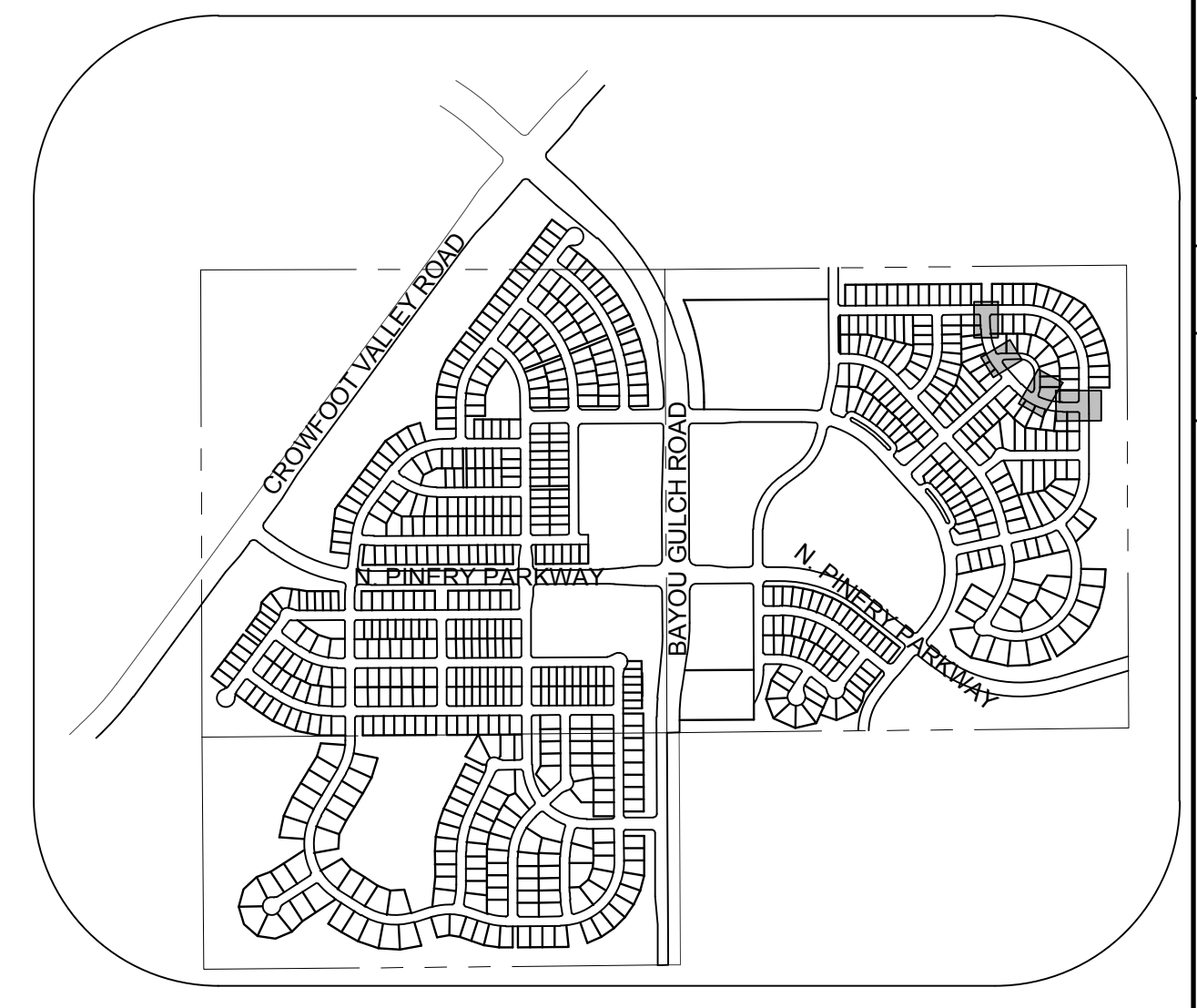
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|              |   |                |                      | TRAILS AT CROWFOOT<br>FILING 10 CONSTRUCTION DRAWINGS<br>INTERSECTION PLANS |                     |     |           |      |       |       |      |
| 19           | <p>10338 E. Dry Creek Rd.<br/>Suite 410<br/>Englewood, CO 80150<br/>Tel: (720) 482-9526<br/>Fax: (720) 482-9546</p> |                |                      |   |                     |     |           |      |       |       |      |



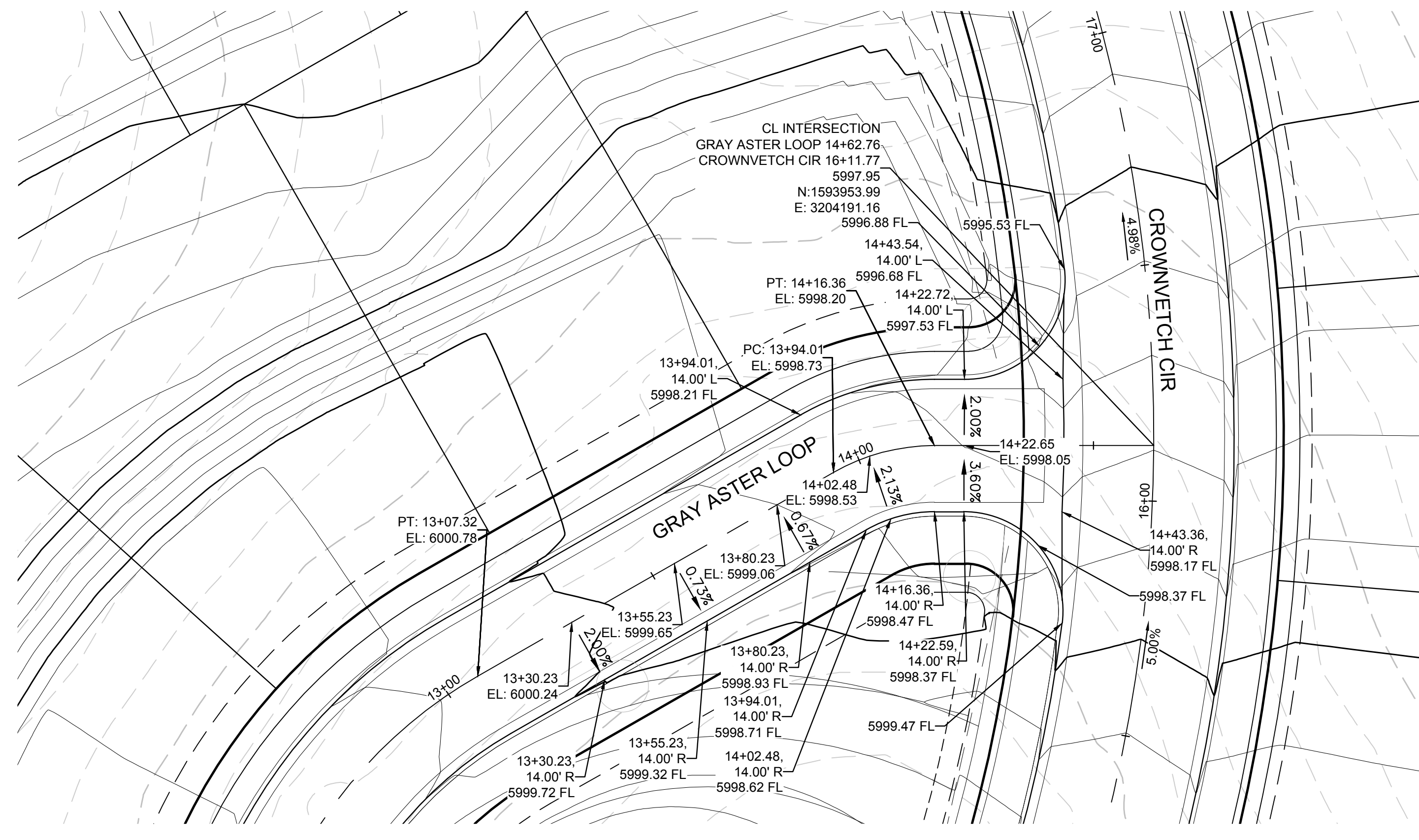
PLAN: CROWNVETCH CIR & BEEBALM AVE  
HORIZONTAL SCALE: 1" = 20'



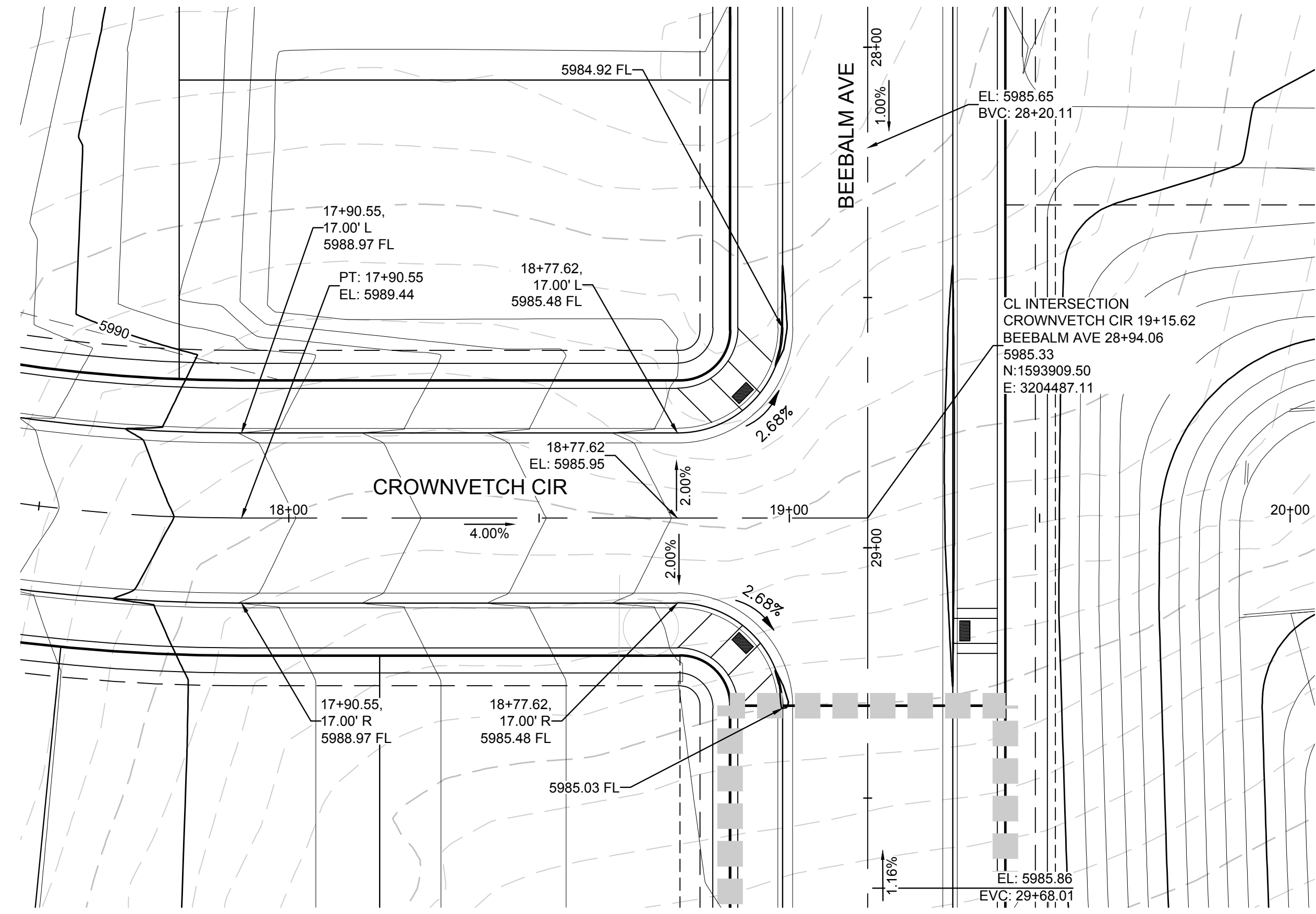
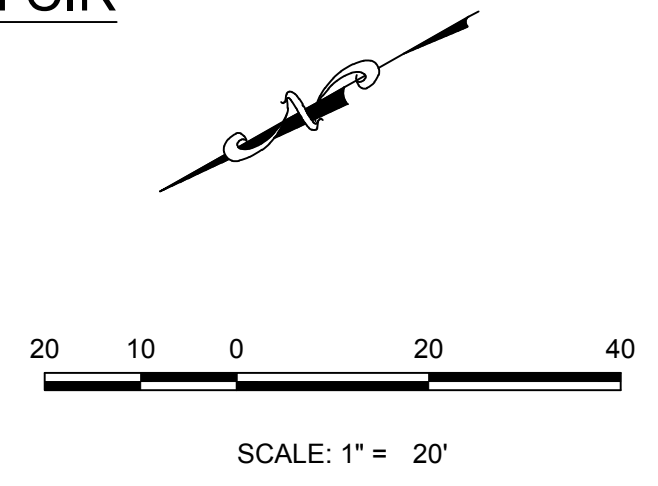
PLAN: GRAY ASTER LOOP & CROWNVETCH CIR  
HORIZONTAL SCALE: 1" = 20'



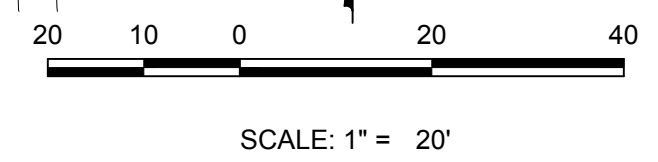
KEYMAP  
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PLAN: GRAY ASTER LOOP & CROWNVETCH CIR  
HORIZONTAL SCALE: 1" = 20'



PLAN: CROWNVETCH CIR & BEEBALM AVE  
HORIZONTAL SCALE: 1" = 20'



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PREPARED UNDER THE SUPERVISION OF  
  
BRIAN P. WILSON  
COLORADO P.E. 0050067

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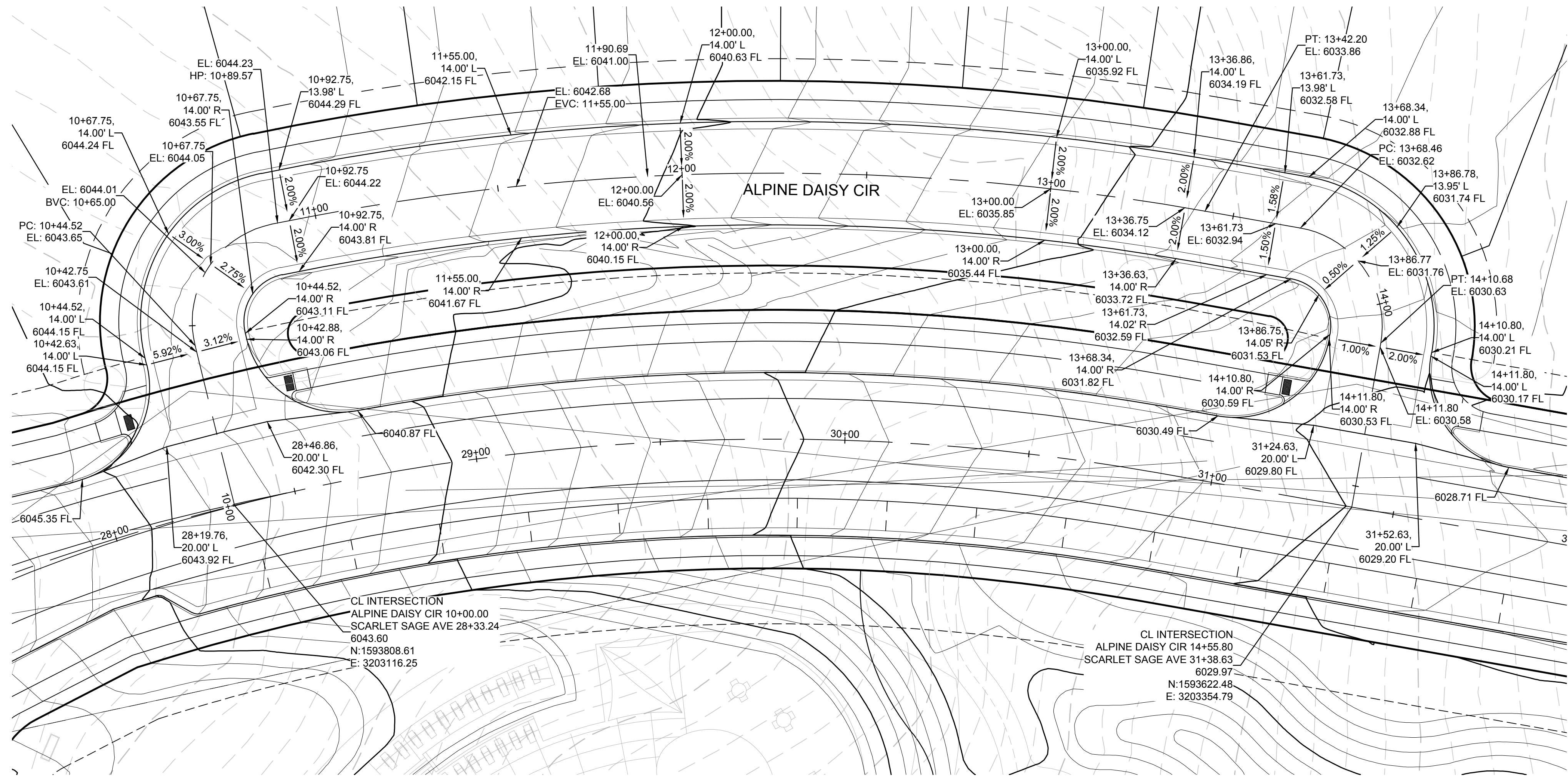
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|              |               |                |                      | TRAILS AT CROWFOOT<br>FILING 10 CONSTRUCTION DRAWINGS<br>INTERSECTION PLANS |                     | HR 935 LLC<br>7353 South Alton Way<br>CENTENNIAL, CO 80112 |      |       |      |
|              |               |                |                      |   |                     |  |      |       |      |
| <p>20</p>    |               |                |                      |   |                     |  |      |       |      |

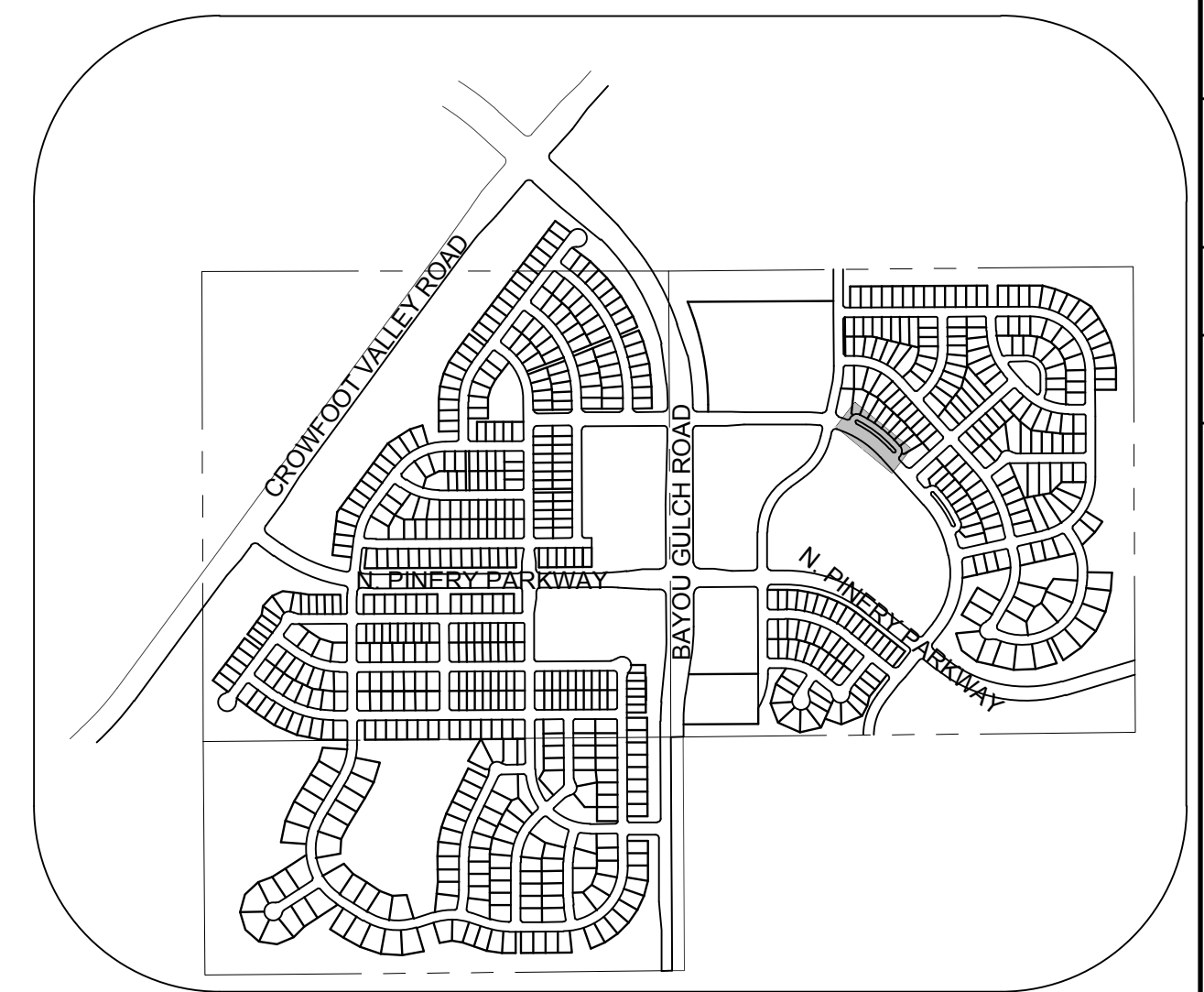
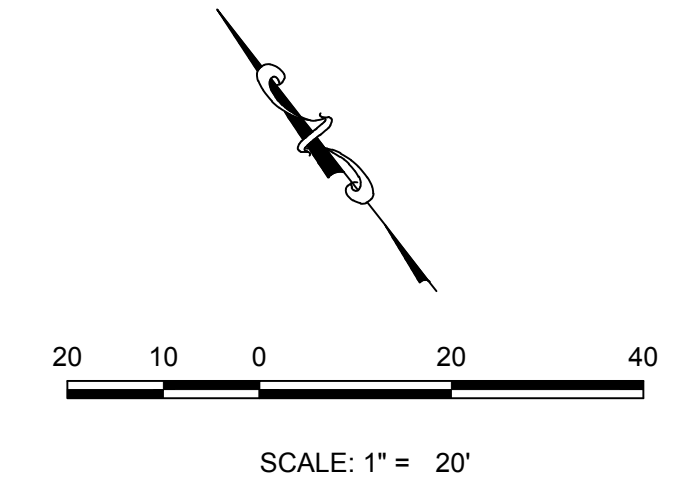
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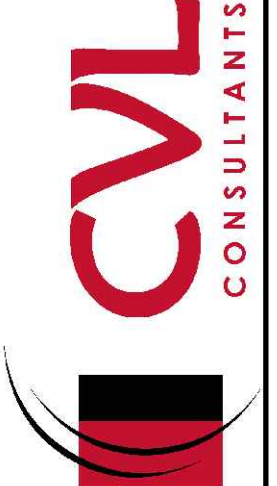
**PLAN: ALPINE DAISY CIR & SCARLET SAGE AVE**  
HORIZONTAL SCALE: 1" = 20'



**KEYMAP**  
N.T.S.

| No. | Revisions | Date | Init. | Appr. | Date |
|-----|-----------|------|-------|-------|------|
|     |           |      |       |       |      |

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Tel: (720) 482-9526  
Fax: (720) 482-9546



**HR 935 LLC**  
7353 South Alton Way  
CENTENNIAL, CO 80112

**TRAILS AT CROWFOOT**  
FILING 10 CONSTRUCTION DRAWINGS  
INTERSECTION PLANS

|              |             |                |
|--------------|-------------|----------------|
| SHEET NUMBER | SCALE:      | AS SHOWN       |
|              | DRAWN BY:   | RHR            |
| 21           | CHECKED BY: | JU             |
|              | DATE:       | SEPTEMBER 2017 |
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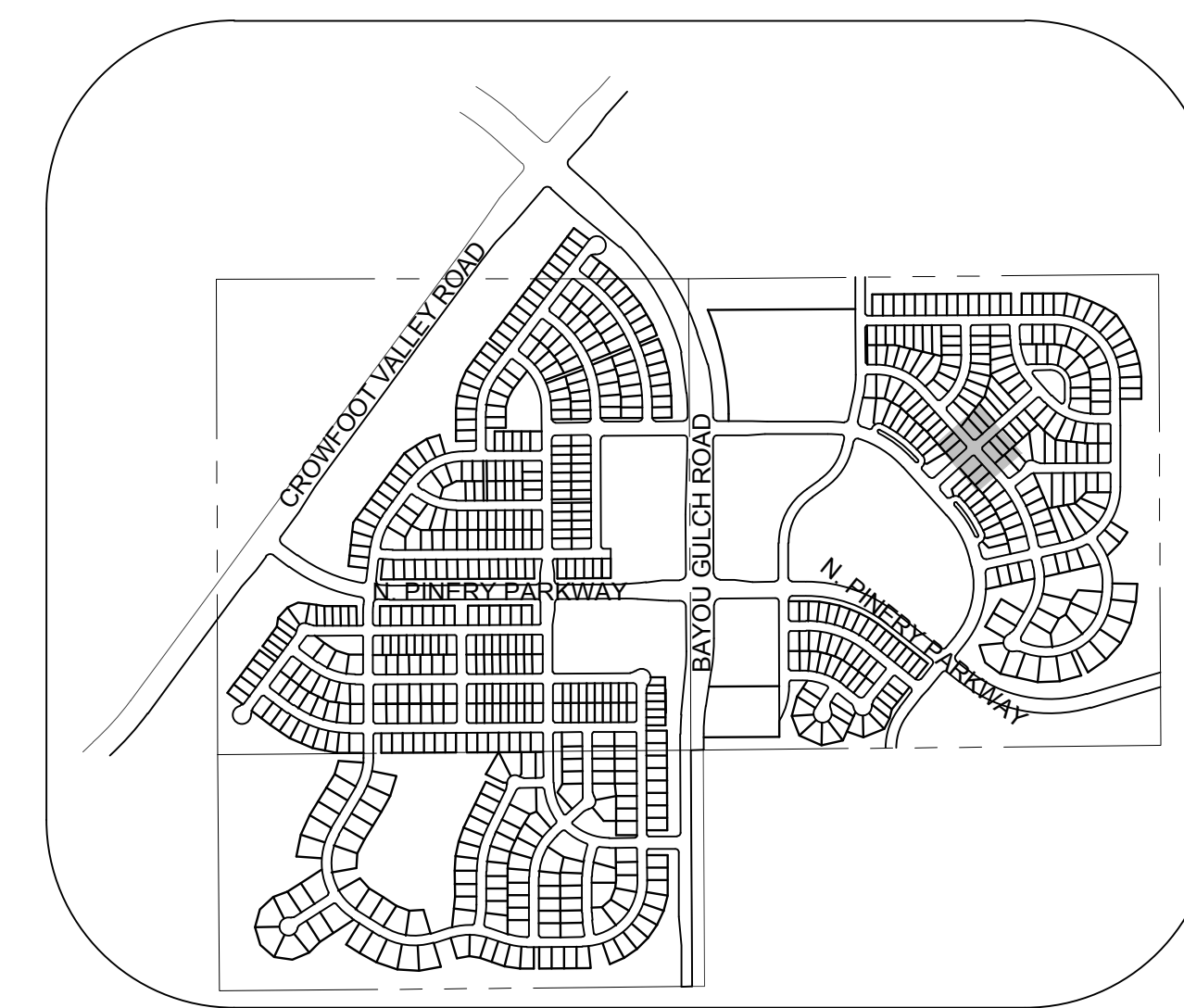
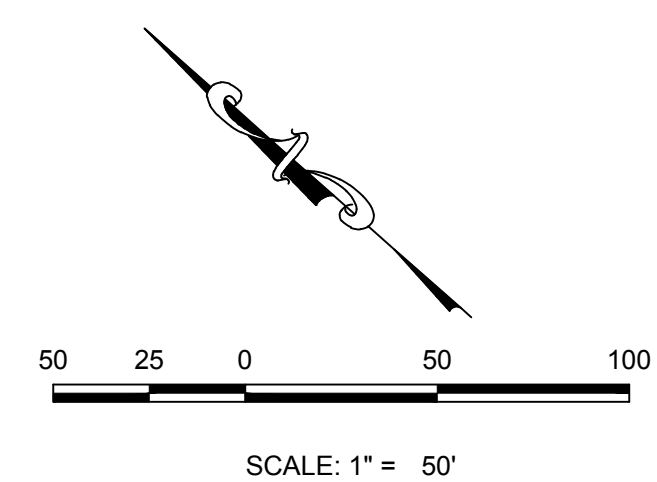
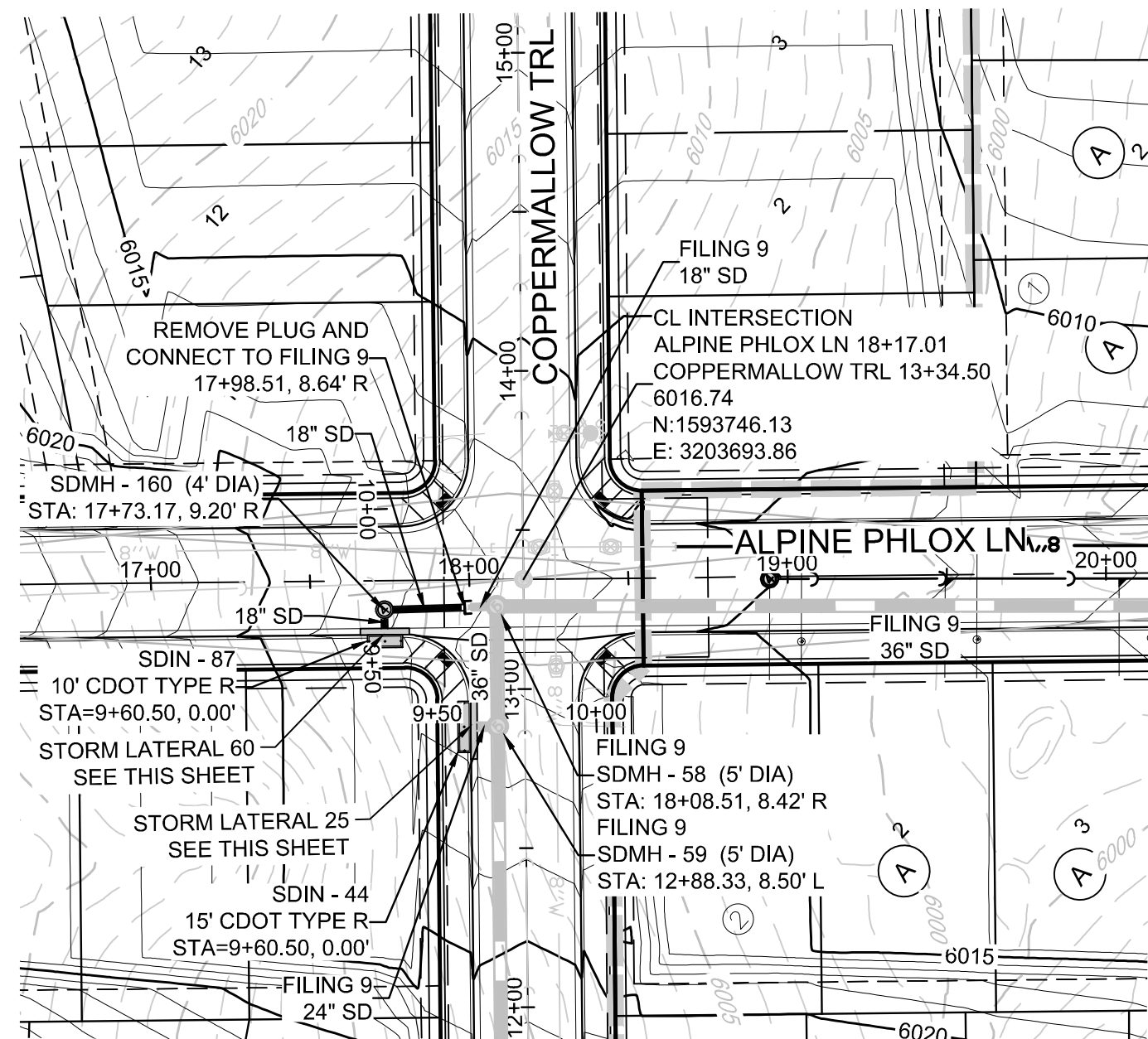
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**BENCHMARK**  
THE DOUGLAS COUNTY CONTROL POINT KNOWN AS 1.060032, BEING A 3-1/4" ALUMINUM CAP, BEING LOCATED IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, HAVING A PUBLISHED ELEVATION OF 1799.2870 METERS (5903.13 FEET) NAVD '88 DATUM.

**BASIS OF BEARINGS:**  
THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 9 BEING MONUMENTED AT THE NORTHEAST CORNER OF SAID SECTION 9 BY A 3-1/4" ALUMINUM CAP STAMPED LS 23053 AND AT THE EAST QUARTER CORNER OF SAID SECTION 9 BY A 2-1/2" ALUMINUM CAP STAMPED LS 6935 BEING CONSIDERED TO BEAR SOUTH 00°15'06" EAST, 2648.70 FEET.

TOWN OF PARKER, DIRECTOR OF ENGINEERING \_\_\_\_\_ DATE \_\_\_\_\_

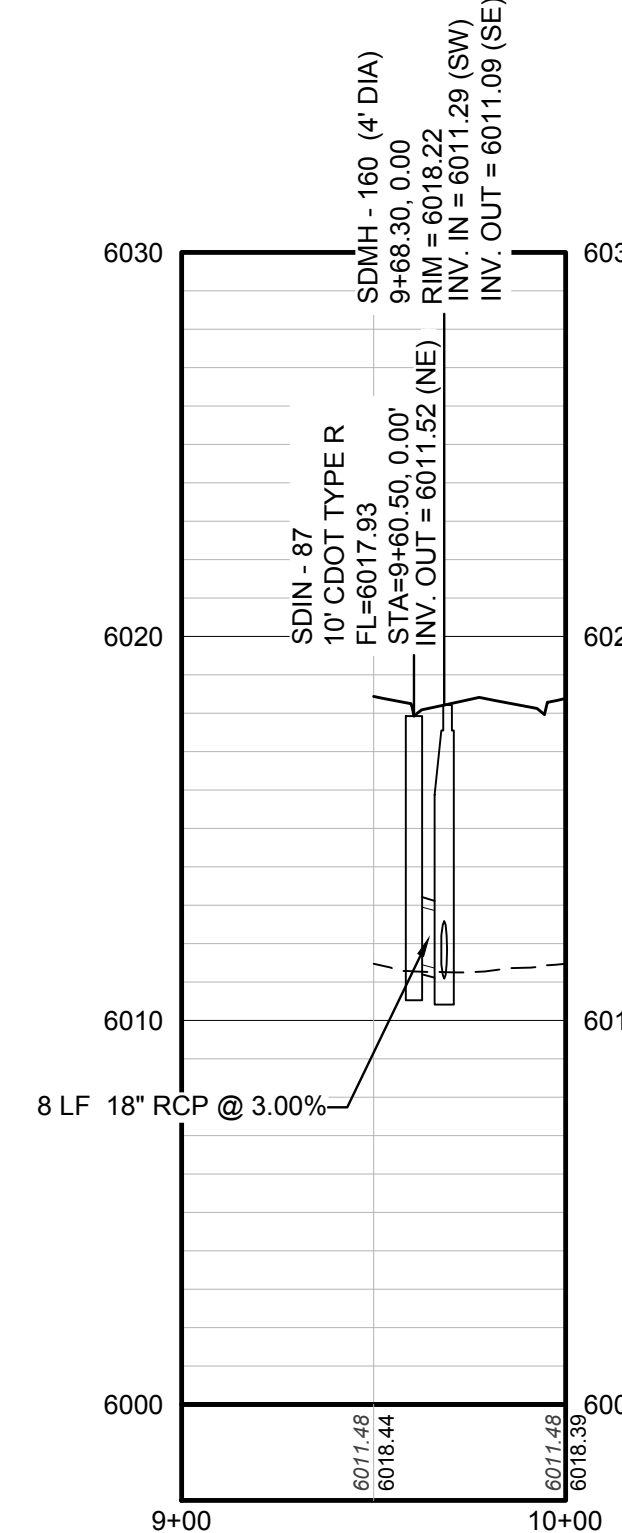
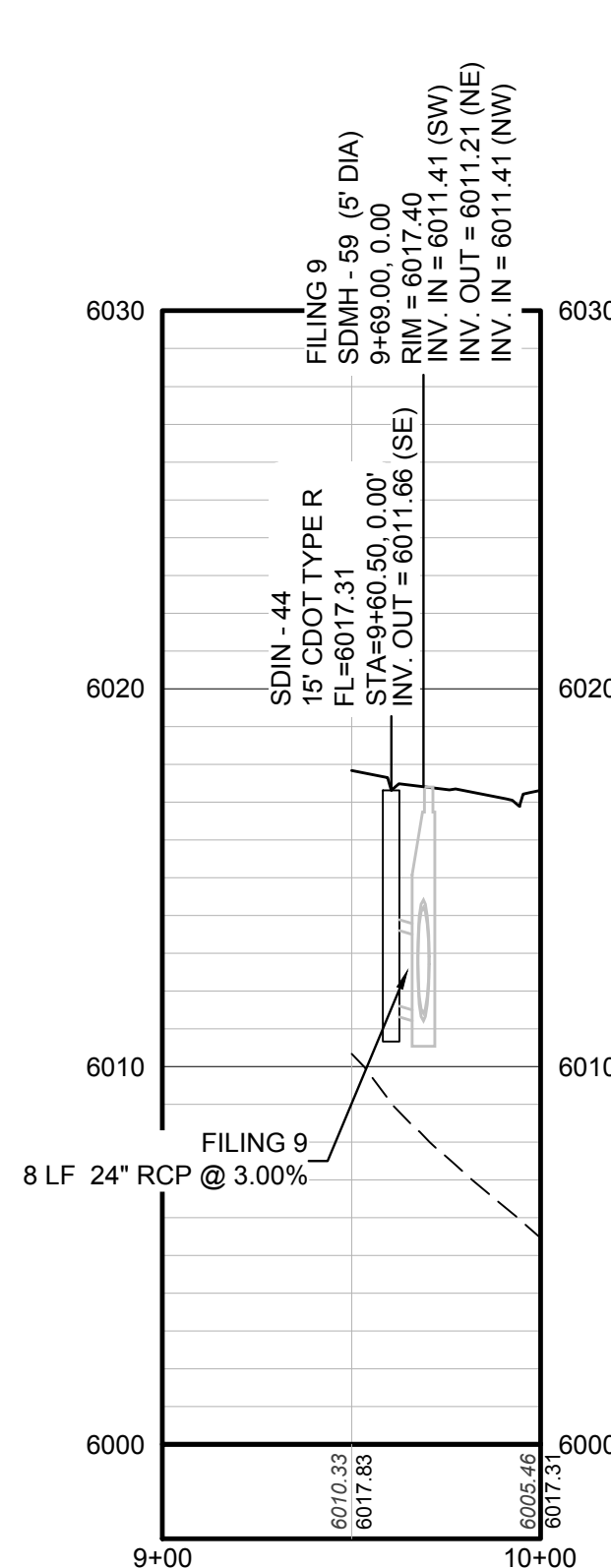
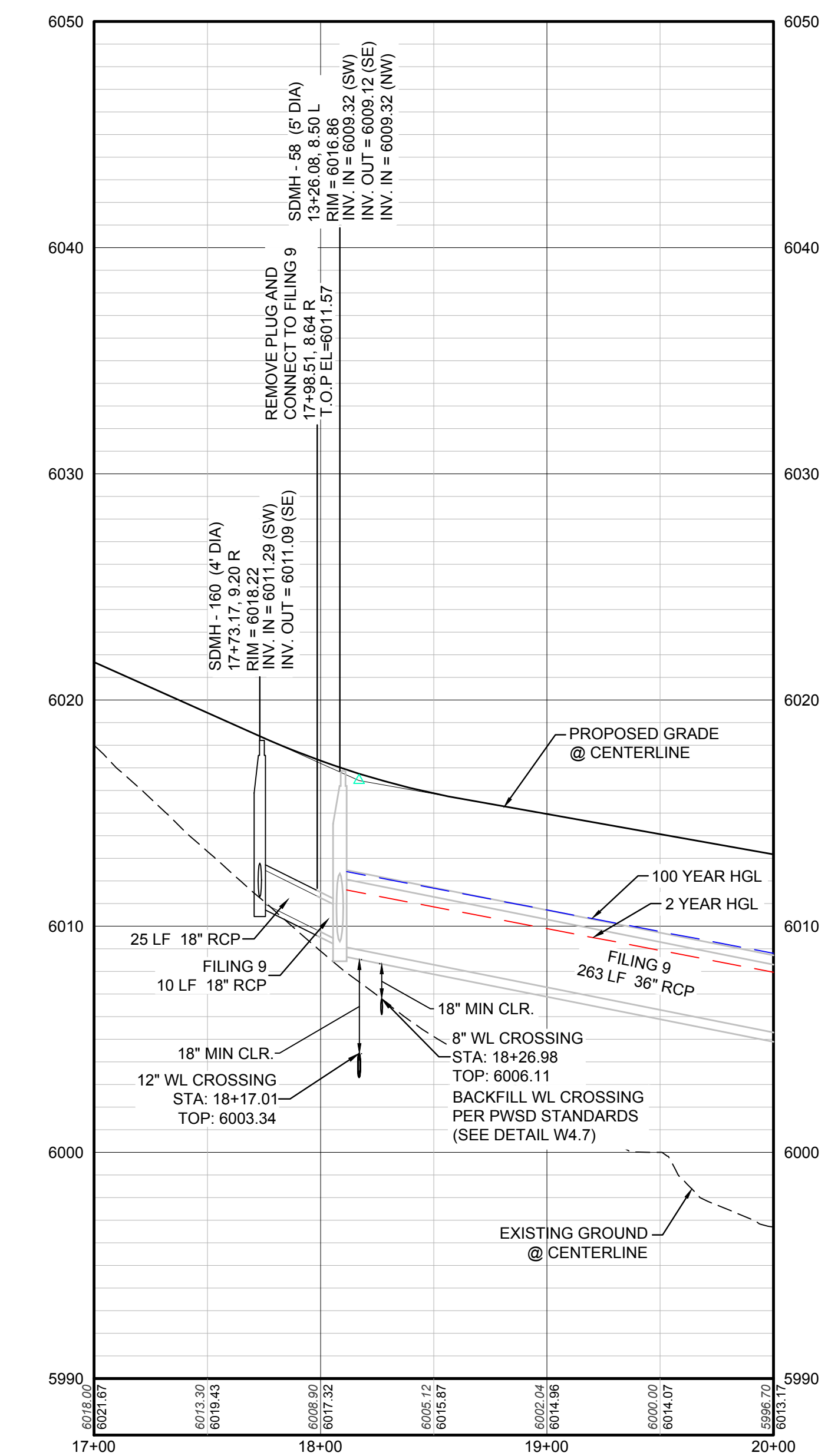


LEGEND

|       |                                       |      |                                  |
|-------|---------------------------------------|------|----------------------------------|
| ②     | BLOCK NUMBER                          | △    | PROPOSED RANGE POINT             |
| Ⓐ     | LOT TYPE                              | ---  | CENTERLINE                       |
| 6     | LOT NUMBER                            | ---  | RIGHT-OF-WAY                     |
| ⊗     | PROPOSED BUTTERFLY VALVE              | ---  | PROPERTY LINE                    |
| ⌈     | PROPOSED CAP WITH END OF LINE BLOWOFF | ---  | EDGE OF PAVEMENT                 |
| ⊗     | PROPOSED REDUCER                      | →    | PROPOSED DIRECTION OF FLOW       |
| ⊗     | PROPOSED VALVE                        | 1.0% | PROPOSED SLOPE & DIRECTION       |
| ⊗     | PROPOSED FIRE HYDRANT                 | 5615 | EXISTING 5' CONTOUR              |
| ⊗     | PROPOSED WL FITTING WITH THRUST BLOCK | 5616 | EXISTING 1' CONTOUR              |
| ⊗     | PROPOSED FLARED END SECTION           | 5620 | PROPOSED 5' CONTOUR              |
| ⊗     | PROPOSED LOW POINT BLOW-OFF           | 5607 | PROPOSED 1' CONTOUR              |
| ⊗     | PROPOSED AIR VALVE                    | ---  | PROPOSED STORM DRAIN             |
| ⊗     | FUTURE PHASE VALVE                    | ---  | PROPOSED SEWER LINE WITH MANHOLE |
| ⊗     | FUTURE FIRE HYDRANT                   | ---  | PROPOSED SEWER LATERAL           |
| ⊗     | PROPOSED LIGHT POLE                   | ---  | PROPOSED WATER LINE              |
| ⊗     | PROPOSED SIDEWALK                     | ---  | PROPOSED WATER LATERAL W/ METER  |
| ⊗     | PROPOSED SIDEWALK RAMP                | ---  | SECTION LINE                     |
| 10.00 | EXISTING ELEVATION                    | ---  | FILING BOUNDARY                  |
| 10.00 | PROPOSED DESIGN ELEVATION             | ---  | FO                               |
| ⊗     | PROPOSED STORM DRAIN INLET            | ---  | EXISTING FIBER OPTIC LINE        |
| ⊗     | PROPOSED STORM DRAIN MANHOLE          | ---  | GH                               |
|       |                                       | ---  | EXISTING OVERHEAD POWER          |
|       |                                       | ---  | TEL                              |
|       |                                       | ---  | EXISTING TELEPHONE LINE          |

ABBREVIATIONS

|     |                        |        |                                 |
|-----|------------------------|--------|---------------------------------|
| AD  | ANGLE DIFFERENCE       | MH     | MANHOLE                         |
| AV  | AIR VAC RELEASE VALVE  | N.T.S. | NOT TO SCALE                    |
| BVC | BEGIN VERTICAL CURVE   | PVC    | POLYVINYL CHLORIDE              |
| BVP | BEGIN VERTICAL PROFILE | PVI    | PT. OF VERTICAL INTERSECTION    |
| CBO | CAP WITH BLOW OFF      | PVT    | POINT OF VERTICAL TANGENT       |
| CRR | CURB RETURN RADIUS     | RCBC   | REINFORCED CONCRETE BOX CULVERT |
| EL  | ELEVATION              | RCP    | REINFORCED CONCRETE PIPE        |
| EP  | EDGE OF PAVEMENT       | ROW    | RIGHT OF WAY                    |
| EVC | END VERTICAL CURVE     | SC     | SANITARY CAP                    |
| EVP | END VERTICAL PROFILE   | SD     | STORM DRAIN                     |
| FG  | FINISHED GROUND        | SL     | SECTION LINE                    |
| FH  | FIRE HYDRANT           | SS     | SANITARY SEWER                  |
| FL  | FLOW LINE              | STA    | STATION                         |
| GV  | GATE VALVE             | T.O.P. | TOP OF PIPE                     |
| HOR | HANDICAP CURB RAMP     | UE     | UTILITY EASEMENT                |
| HP  | HIGH POINT             | VC     | VERTICAL CURVE                  |
| INV | INVERT                 | WL     | WATER LINE                      |
| K   | CURVATURE COEFFICIENT  | WLC    | WATER LINE CONNECTION           |
| LF  | LINEAR FEET            | WSE    | WATER SURFACE ELEVATION         |



PROFILE: STORM LATERAL 25 STA: 9+00.00 TO 10+00.00  
HORIZONTAL: 1" = 50'  
VERTICAL: 1" = 5'

PROFILE: STORM LATERAL 60 STA: 9+00.00 TO 10+00.00  
HORIZONTAL: 1" = 50'  
VERTICAL: 1" = 5'

STORM DRAINAGE INFRASTRUCTURE NOTES:

1. PROFILED STORM DRAINAGE INFRASTRUCTURE INCLUDES THE 2-YEAR AND 100-YEAR HGL FOR INFRASTRUCTURE DESIGNED FOR THE 100-YEAR STORM. INFRASTRUCTURE DESIGNED ONLY FOR THE 2-YEAR STORM WILL ONLY SHOW A 2-YEAR HGL.

BENCHMARK

THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 9 BEING MONUMENTED AT THE NORTHEAST CORNER OF SAID SECTION 9 BY A 3-1/4" ALUMINUM CAP STAMPED LS 23053 AND AT THE EAST QUARTER CORNER OF SAID SECTION 9 BY A 2-1/2" ALUMINUM CAP STAMPED LS 6935 BEING CONSIDERED TO BEAR SOUTH 00°15'06" EAST, 2648.70 FEET.

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PREPARED UNDER THE SUPERVISION OF

BRIAN P. WILSON  
COLORADO P.E. 0050067

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TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

N:\PROJECTS\SS\BENCH\ENGINEERING\SS\BENCH\TOWN OF PARKER\STORM PLAN AND PROFILE\ALPINE PHLOX LANE.DWG, CDD\VA\_31122018\_4:07 PM

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|-----|-----------|------|-------|-------|------|
| NO. | REVISIONS | DATE | INIT. | APPR. | DATE |
|     |           |      |       |       |      |
|     |           |      |       |       |      |

10338 E. Dry Creek Rd.  
Suite 6410  
Englewood, Colorado 80150  
Tel: (720) 482-9526  
Fax: (720) 482-9548

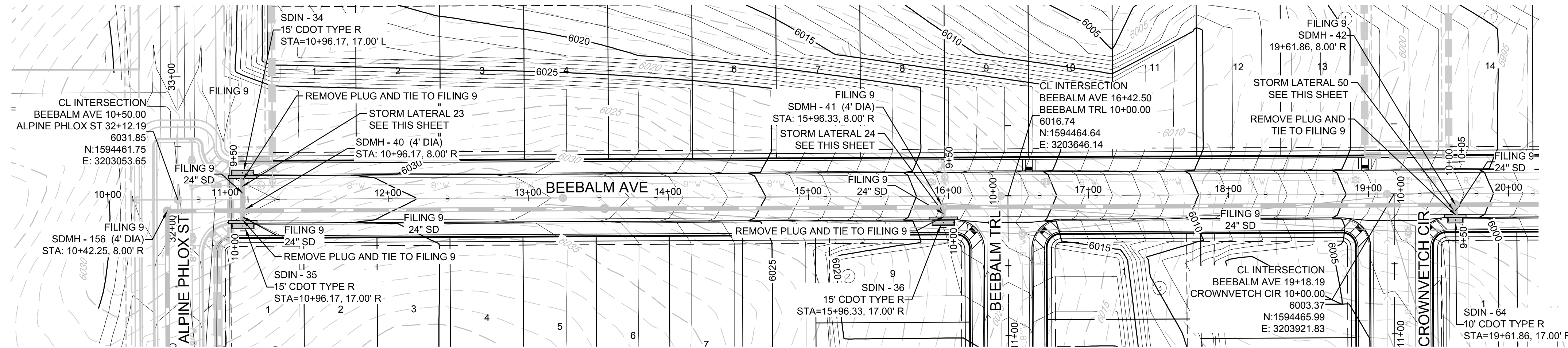
**CVL**  
CONSULTANTS

HR 935 LLC  
7353 South Alton Way  
CENTENNIAL, CO 80112

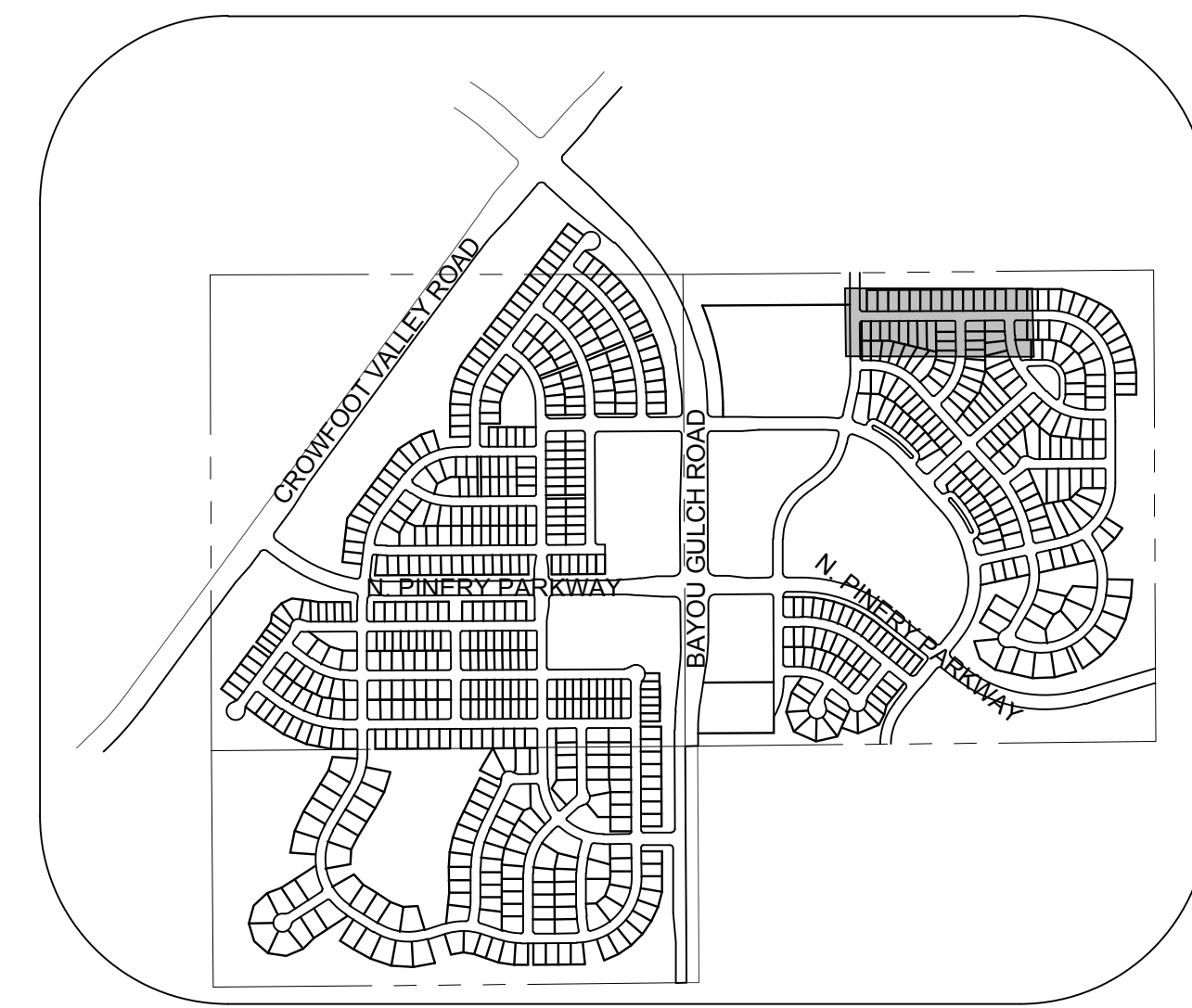
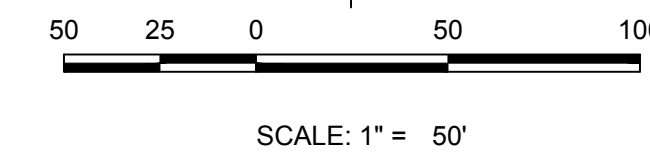
TRAILS AT CROWFOOT  
FILING 10 CONSTRUCTION DRAWINGS  
STORM PLAN & PROFILE  
ALPINE PHLOX LANE

SCALE: AS SHOWN  
FILE NO: 8130283701  
DRAWN BY: JF  
CHECKED BY: JU  
DATE: SEPTEMBER 2017

SHEET NUMBER **22**



PLAN: BEEBALM AVE STA: 9+50.00 TO 20+00.00  
HORIZONTAL SCALE: 1" = 50'



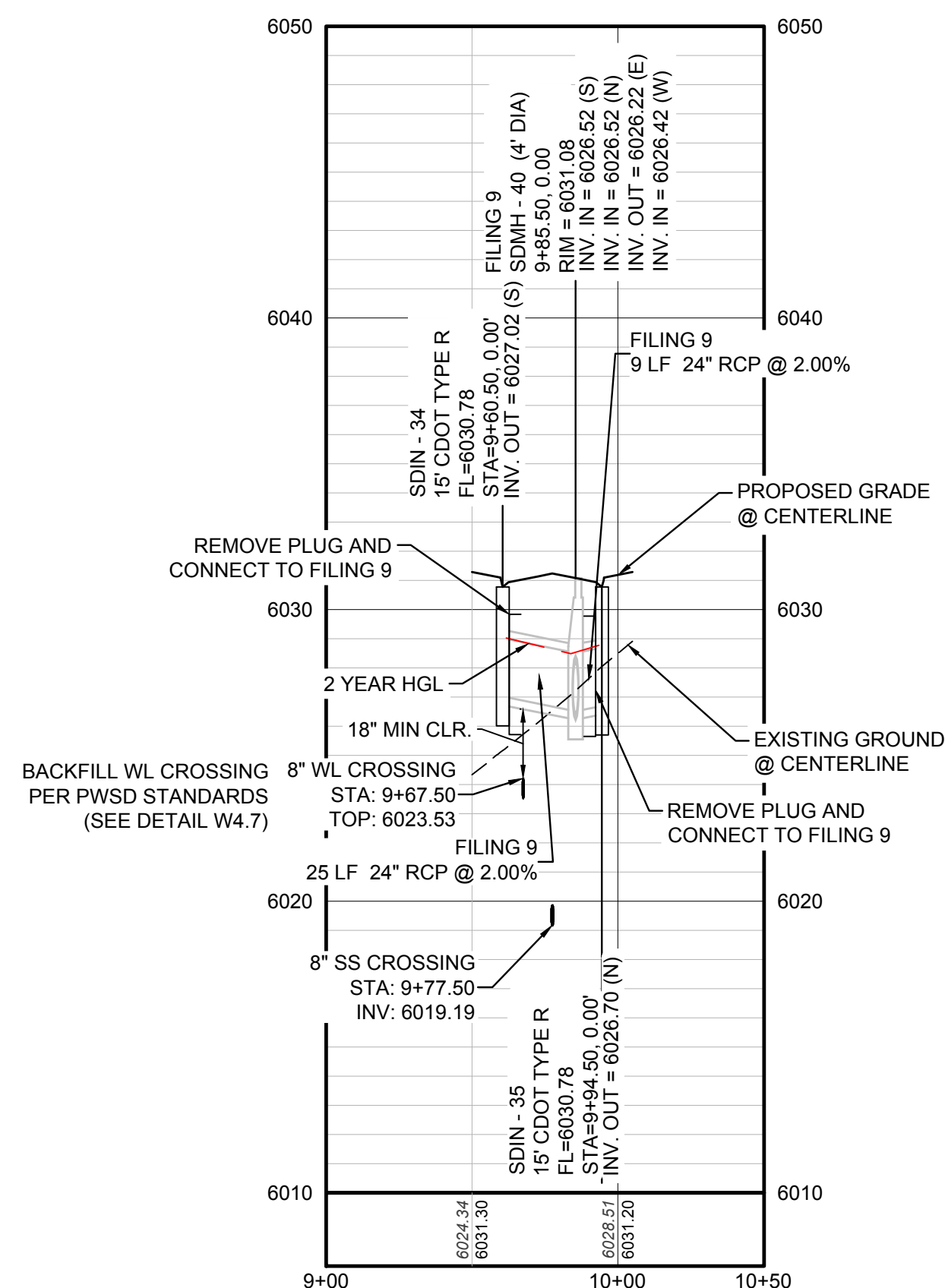
KEYMAP  
N.T.S.  
LEGEND

|       |                                       |      |                                  |
|-------|---------------------------------------|------|----------------------------------|
| ②     | BLOCK NUMBER                          | △    | PROPOSED RANGE POINT             |
| Ⓐ     | LOT TYPE                              | ---  | CENTERLINE                       |
| 6     | LOT NUMBER                            | ---  | RIGHT-OF-WAY                     |
| ⊗     | PROPOSED BUTTERFLY VALVE              | ---  | PROPERTY LINE                    |
| ⌈     | PROPOSED CAP WITH END OF LINE BLOWOFF | ---  | EDGE OF PAVEMENT                 |
| ⊘     | PROPOSED REDUCER                      | →    | PROPOSED DIRECTION OF FLOW       |
| ⊗     | PROPOSED VALVE                        | 1.0% | PROPOSED SLOPE & DIRECTION       |
| ⊕     | PROPOSED FIRE HYDRANT                 | 5615 | EXISTING 5' CONTOUR              |
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| ⊕     | PROPOSED AIR VALVE                    | ---  | PROPOSED STORM DRAIN             |
| ⊕     | FUTURE PHASE VALVE                    | ---  | PROPOSED SEWER LINE WITH MANHOLE |
| ⊕     | FUTURE FIRE HYDRANT                   | ---  | PROPOSED SEWER LATERAL           |
| ⊕     | PROPOSED LIGHT POLE                   | ---  | PROPOSED WATER LINE              |
| ⊕     | PROPOSED SIDEWALK                     | ---  | PROPOSED WATER LATERAL W/ METER  |
| ⊕     | PROPOSED SIDEWALK RAMP                | ---  | SECTION LINE                     |
| 10.00 | EXISTING ELEVATION                    | ---  | FILING BOUNDARY                  |
| 10.00 | PROPOSED DESIGN ELEVATION             | ---  | EXISTING FIBER OPTIC LINE        |
| ⊕     | PROPOSED STORM DRAIN INLET            | ---  | EXISTING OVERHEAD POWER          |
| ⊕     | PROPOSED STORM DRAIN MANHOLE          | ---  | EXISTING TELEPHONE LINE          |

ABBREVIATIONS

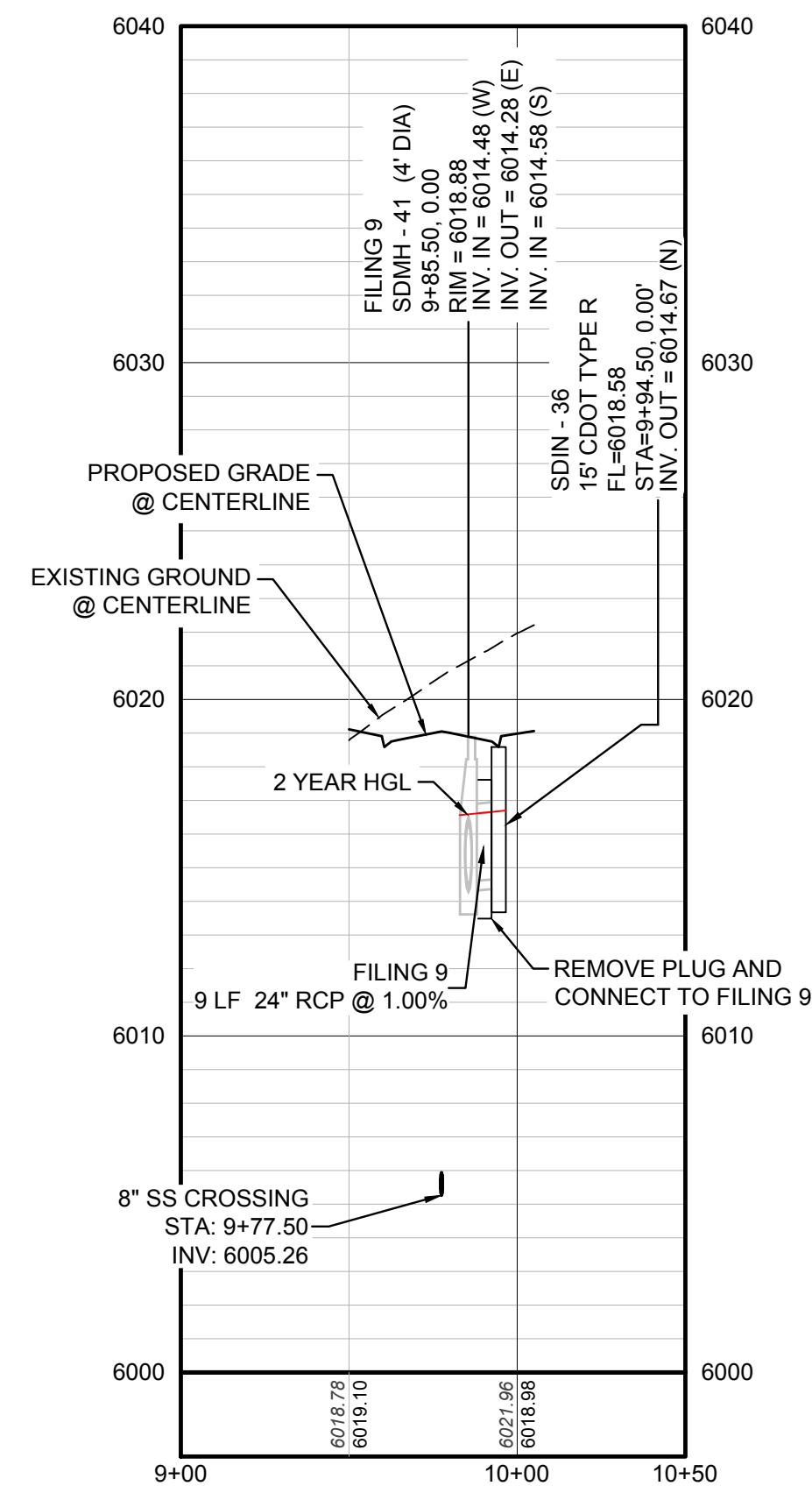
|     |                        |        |                                 |
|-----|------------------------|--------|---------------------------------|
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| AV  | AIR VAC RELEASE VALVE  | N.T.S. | NOT TO SCALE                    |
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| BVP | BEGIN VERTICAL PROFILE | PVI    | PT. OF VERTICAL INTERSECTION    |
| CBO | CAP WITH BLOW OFF      | PVT    | POINT OF VERTICAL TANGENT       |
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| EP  | EDGE OF PAVEMENT       | ROW    | RIGHT OF WAY                    |
| EVC | END VERTICAL CURVE     | SC     | SANITARY CAP                    |
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| INV | INVERT                 | WL     | WATER LINE                      |
| K   | CURVATURE COEFFICIENT  | WLC    | WATER LINE CONNECTION           |
| LF  | LINEAR FEET            | WSE    | WATER SURFACE ELEVATION         |

STORM LATERAL 23 - SEE SHEET 23



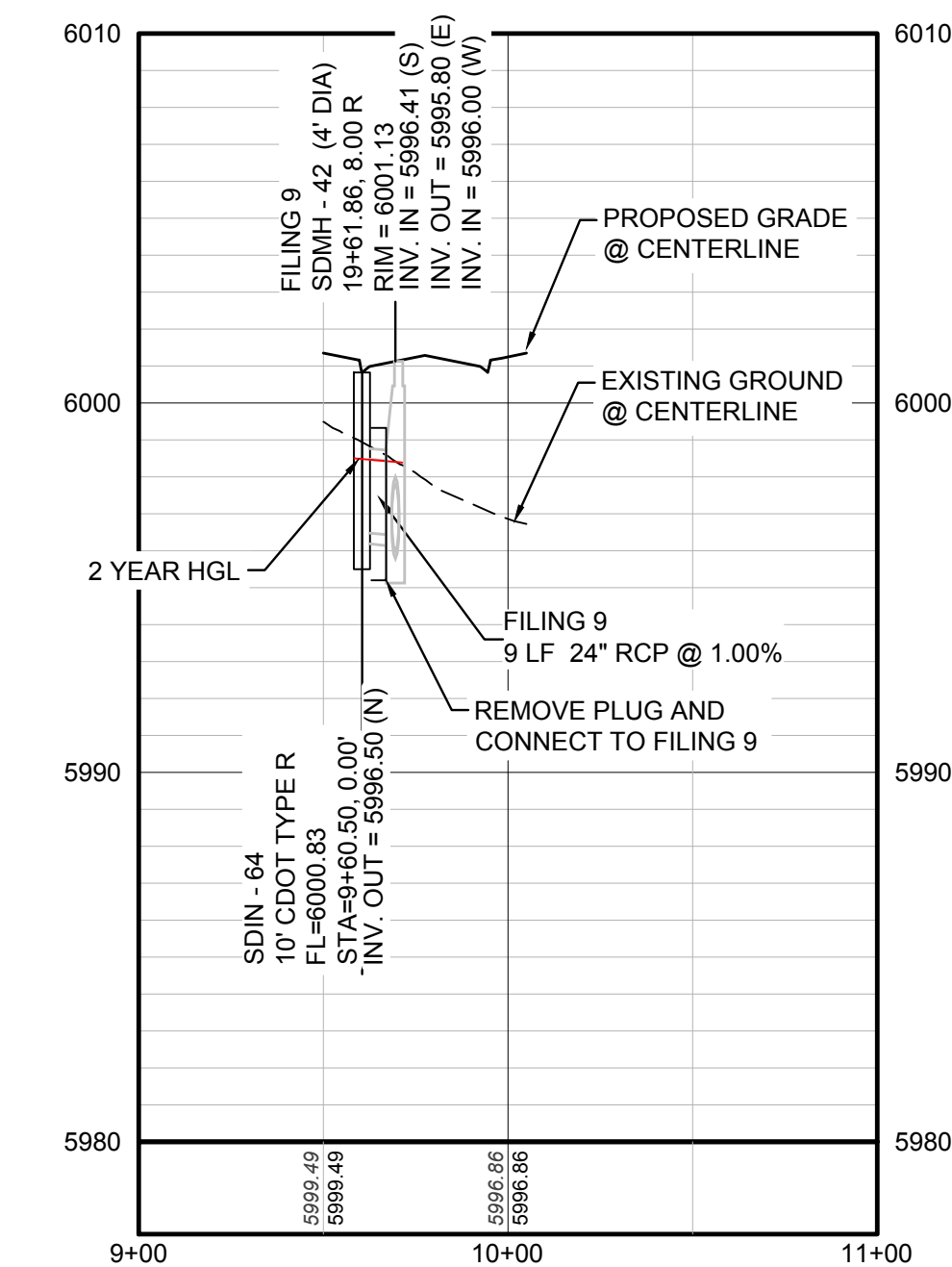
PROFILE: STORM LATERAL 23 STA: 9+00.00 TO 10+50.00  
HORIZONTAL: 1" = 50'  
VERTICAL: 1" = 5'

STORM LATERAL 24 - SEE SHEET 23



PROFILE: STORM LATERAL 24 STA: 9+00.00 TO 10+50.00  
HORIZONTAL: 1" = 50'  
VERTICAL: 1" = 5'

STORM LATERAL 50 - SEE SHEET 23



PROFILE: STORM LATERAL 50 STA: 9+00.00 TO 11+00.00  
HORIZONTAL: 1" = 50'  
VERTICAL: 1" = 5'

STORM DRAINAGE INFRASTRUCTURE NOTES:

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BENCHMARK

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TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

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Fax: (720) 482-9546

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HR 935 LLC  
7353 South Alton Way  
CENTENNIAL, CO 80112

TRAILS AT CROWFOOT  
FILING 10 CONSTRUCTION DRAWINGS  
STORM PLAN AND PROFILE  
BEEBALM AVENUE

SCALE: AS SHOWN  
FILE NO: 8130283701

DRAWN BY: JF  
CHECKED BY: JU  
DATE: SEPTEMBER 2017

SHEET NUMBER **23**

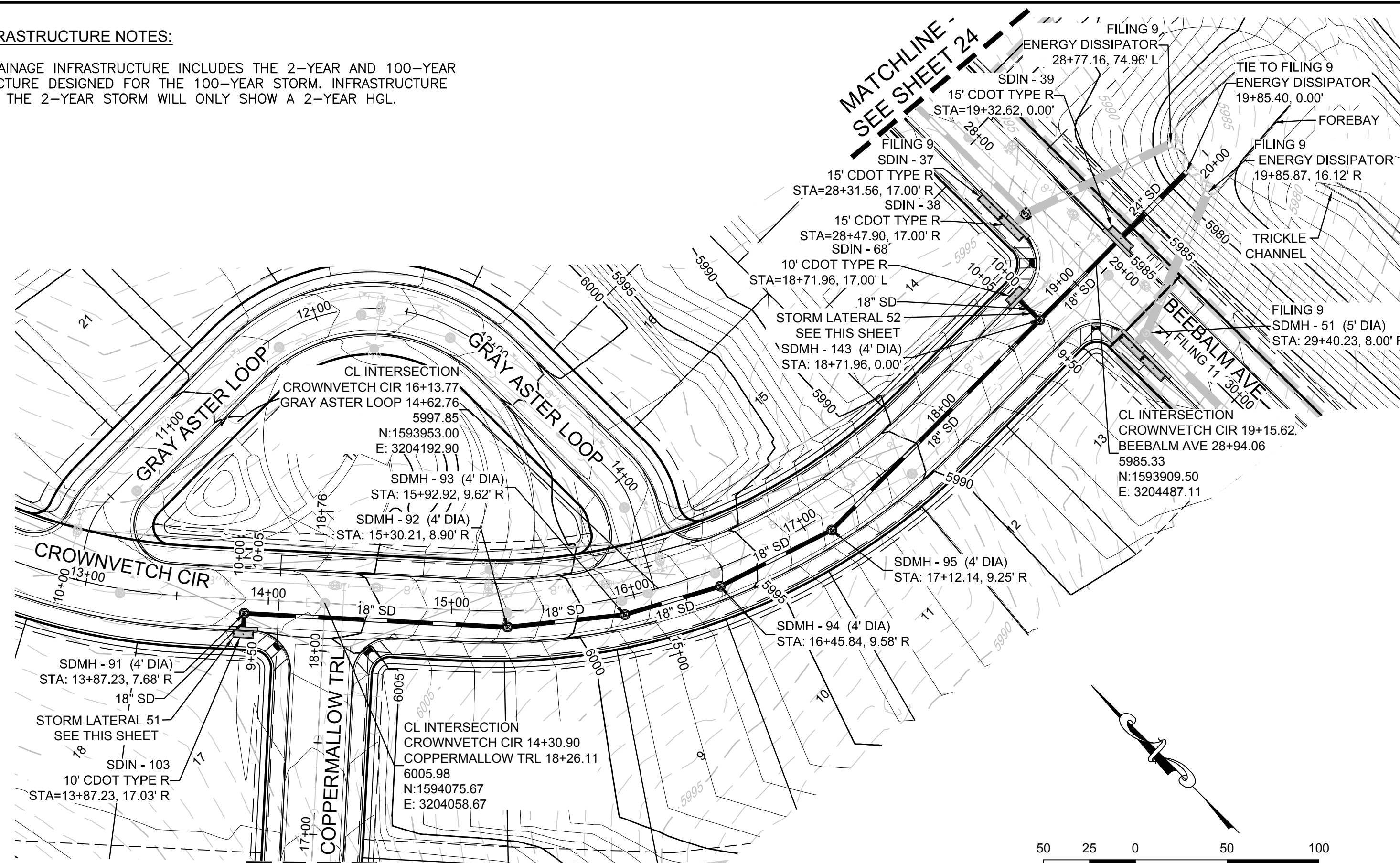
No. Revisions

Date Init. Appr. Date

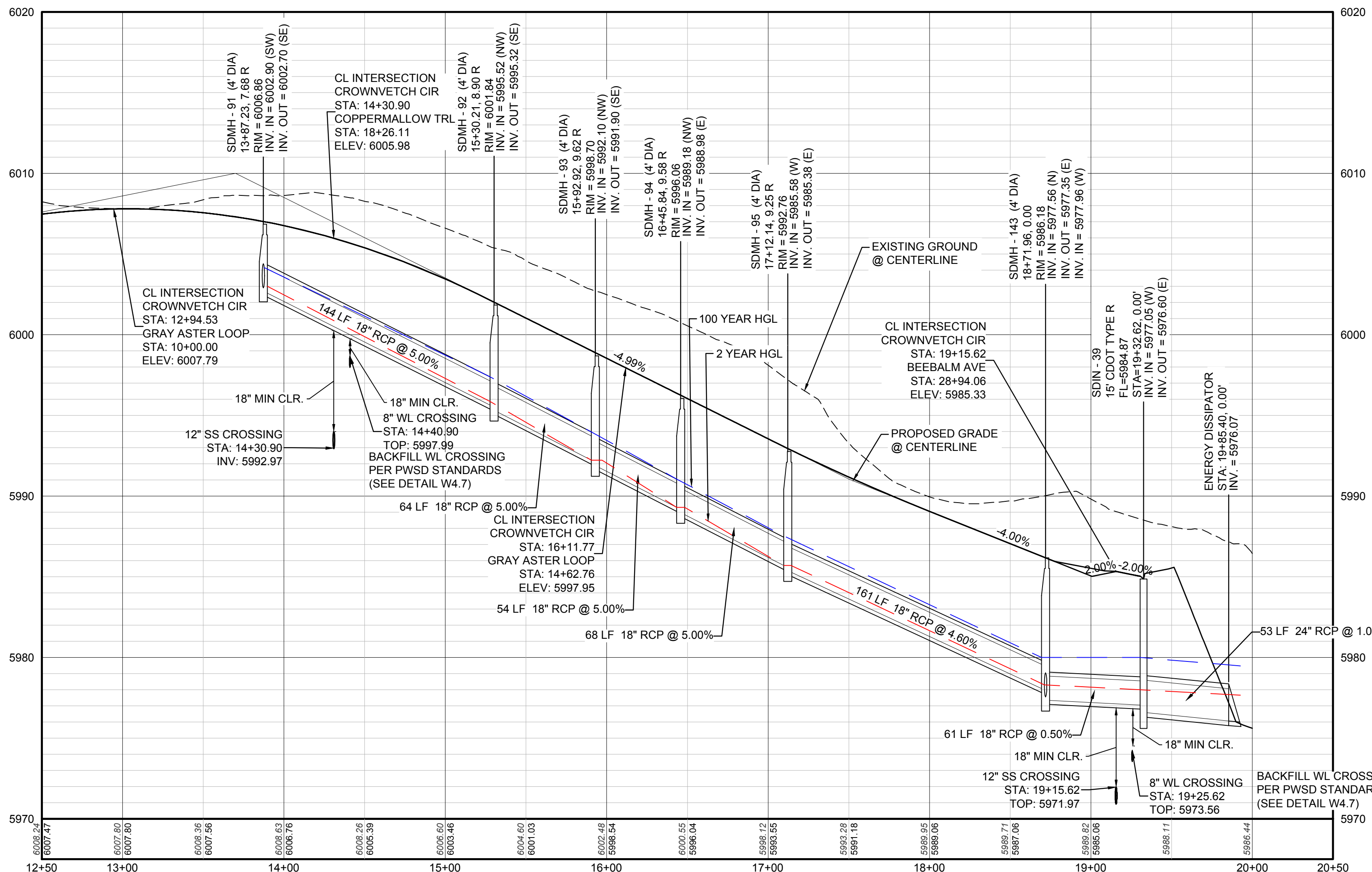


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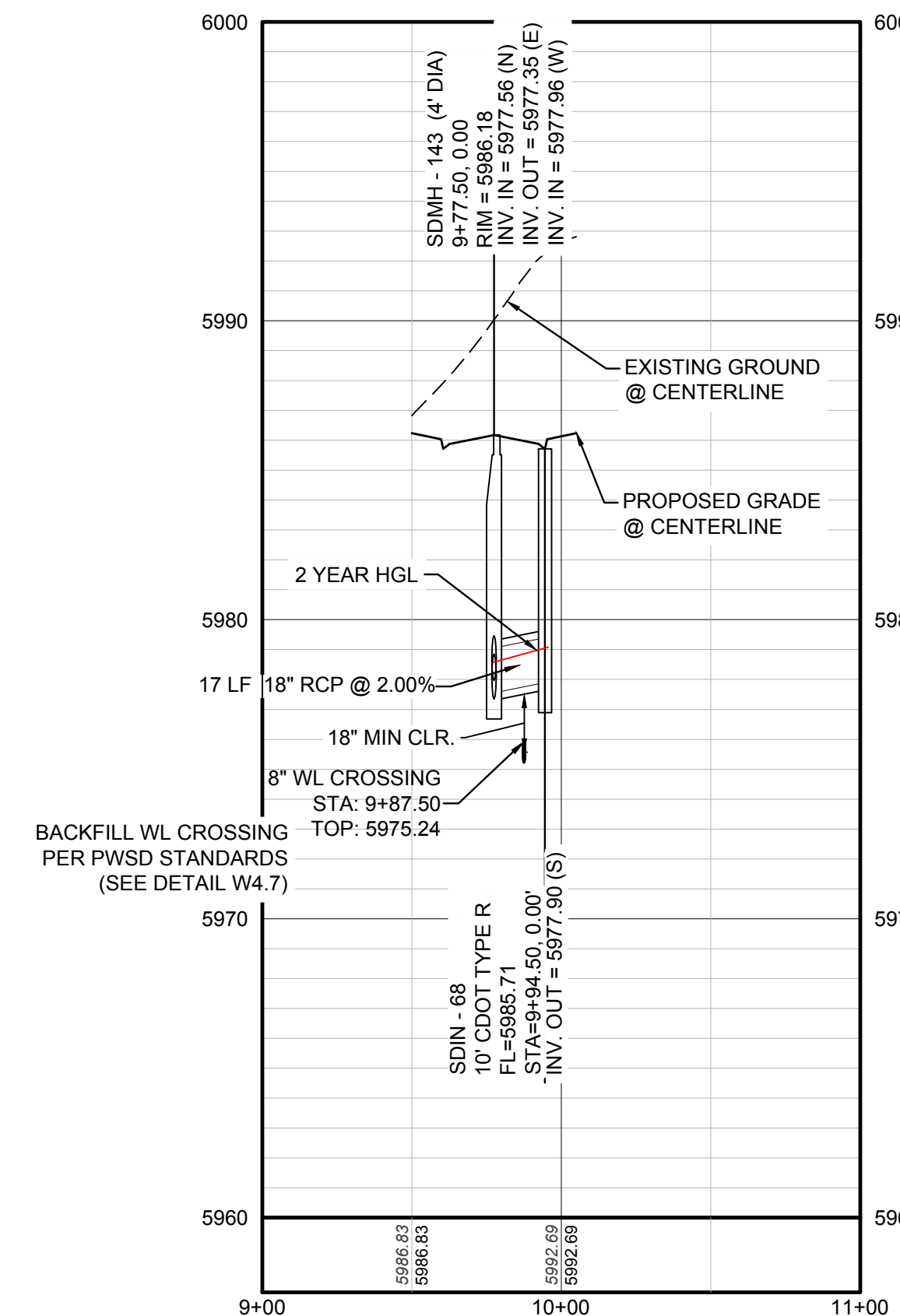


MATCHLINE - SEE SHEET 24  
PLAN: CROWNVETCH CIR STA: 9+50.00 TO 19+50.00  
HORIZONTAL SCALE: 1" = 50'



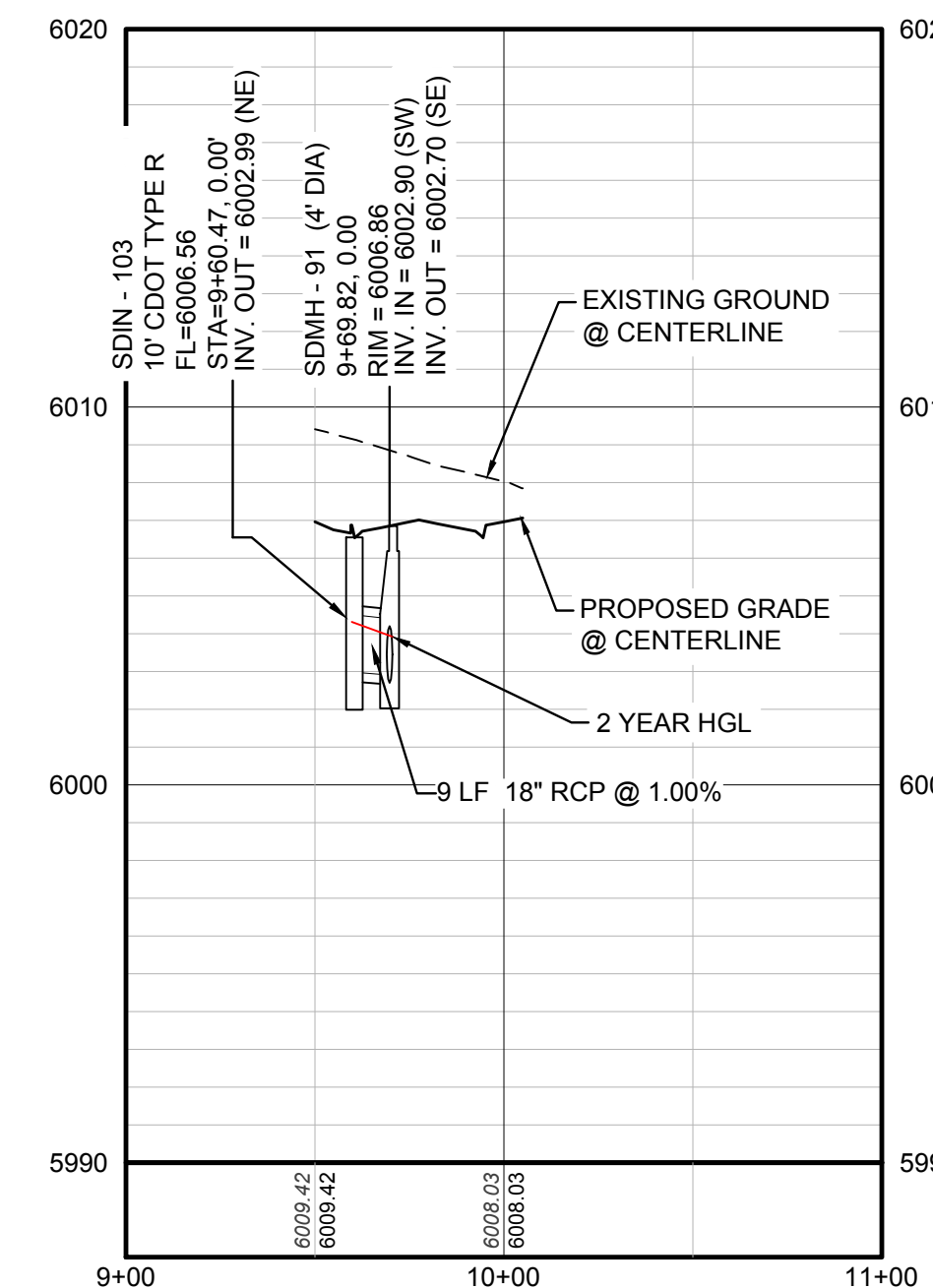
PROFILE: CROWNVETCH CIR STA: 12+50.00 TO 20+50.00  
HORIZONTAL: 1" = 50'  
VERTICAL: 1" = 5'

**STORM LATERAL 52 - SEE THIS SHEET**

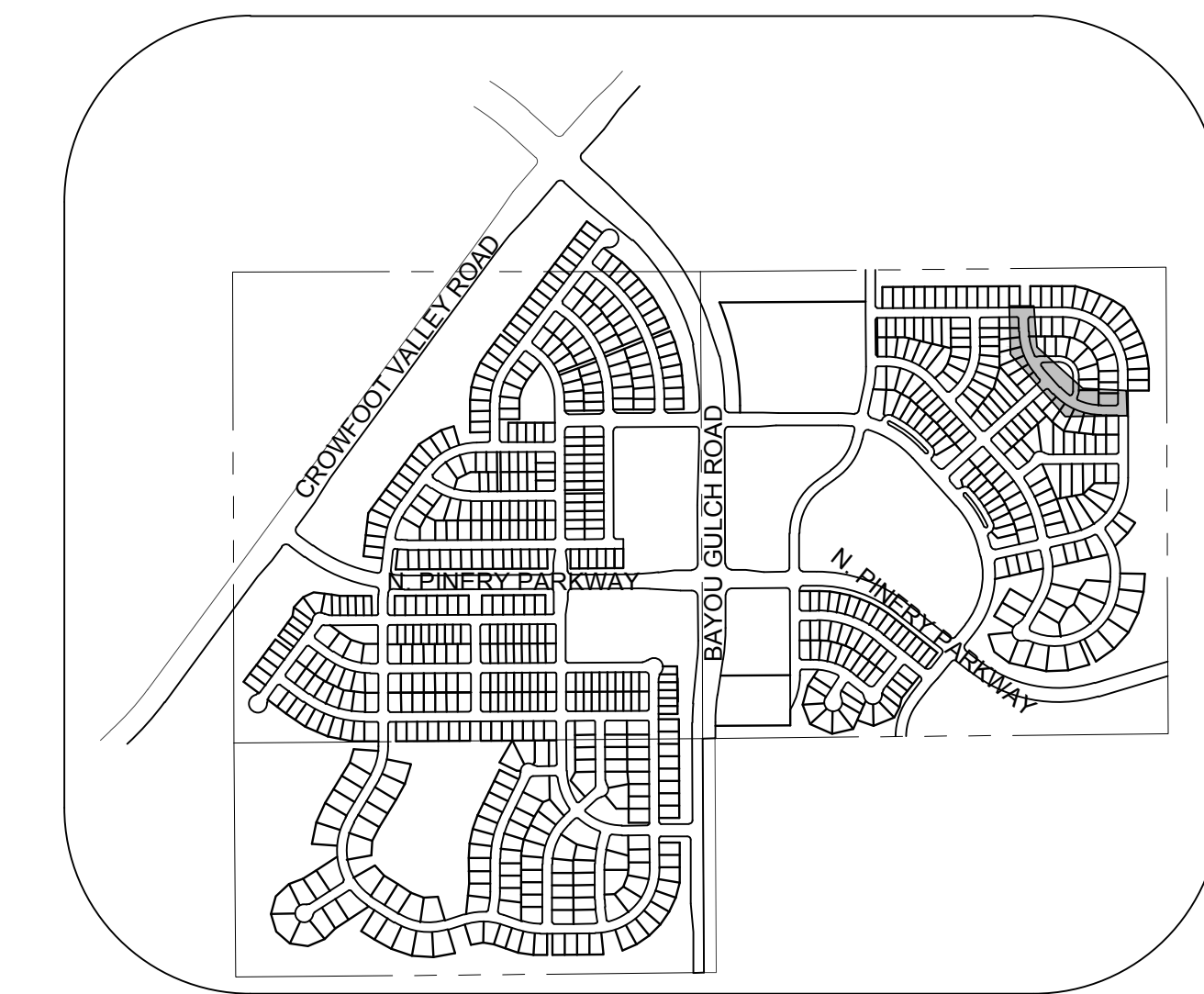


PROFILE: STORM LATERAL 52 STA: 9+00.00 TO 11+00.00  
HORIZONTAL: 1" = 50'  
VERTICAL: 1" = 5'

**STORM LATERAL 51 - SEE THIS SHEET**



PROFILE: STORM LATERAL 51 STA: 9+00.00 TO 11+00.00  
HORIZONTAL: 1" = 50'  
VERTICAL: 1" = 5'



**LEGEND**

- 2 BLOCK NUMBER
- A LOT TYPE
- 6 LOT NUMBER
- PROPOSED BUTTERFLY VALVE
- PROPOSED CAP WITH END OF LINE BLOWOFF
- PROPOSED REDUCER
- PROPOSED VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED WL FITTING WITH THRUST BLOCK
- PROPOSED FLARED END SECTION
- PROPOSED LOW POINT BLOW-OFF
- PROPOSED AIR VALVE
- FUTURE PHASE VALVE
- FUTURE FIRE HYDRANT
- PROPOSED LIGHT POLE
- PROPOSED SIDEWALK
- PROPOSED SIDEWALK RAMP
- 10.00 EXISTING ELEVATION
- 10.00 PROPOSED DESIGN ELEVATION
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED RANGE POINT
- CENTERLINE
- RIGHT-OF-WAY
- PROPERTY LINE
- EDGE OF PAVEMENT
- PROPOSED DIRECTION OF FLOW
- PROPOSED SLOPE & DIRECTION
- EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- PROPOSED 5' CONTOUR
- PROPOSED 1' CONTOUR
- PROPOSED STORM DRAIN
- PROPOSED SEWER LINE WITH MANHOLE
- PROPOSED SEWER LATERAL
- PROPOSED WATER LINE
- PROPOSED WATER LATERAL W/ METER
- SECTION LINE
- FILING BOUNDARY
- EXISTING FIBER OPTIC LINE
- EXISTING OVERHEAD POWER
- EXISTING TELEPHONE LINE

**ABBREVIATIONS**

- AD ANGLE DIFFERENCE
- AV AIR VAC RELEASE VALVE
- BVC BEGIN VERTICAL CURVE
- BVP BEGIN VERTICAL PROFILE
- CBO CAP WITH BLOW OFF
- CRR CURB RETURN RADIUS
- EL ELEVATION
- EP EDGE OF PAVEMENT
- EVC END VERTICAL CURVE
- EVP END VERTICAL PROFILE
- FG FINISHED GROUND
- FH FIRE HYDRANT
- FL FLOW LINE
- GV GATE VALVE
- HCR HANDICAP CURB RAMP
- HP HIGH POINT
- INV INVERT
- K CURVATURE COEFFICIENT
- LF LINEAR FEET
- MH MANHOLE
- N.T.S. NOT TO SCALE
- PVC POLYVINYL CHLORIDE
- PVI PT. OF VERTICAL INTERSECTION
- PVT POINT OF VERTICAL TANGENT
- RCB REINFORCED CONCRETE BOX CULVERT
- RCP REINFORCED CONCRETE PIPE
- ROW RIGHT OF WAY
- SC SANITARY CAP
- SD STORM DRAIN
- SS SANITARY SEWER
- STA STATION
- T.O.P. TOP OF PIPE
- UF UTILITY EASEMENT
- VC VERTICAL CURVE
- WL WATER LINE
- WLC WATER LINE CONNECTION
- WSE WATER SURFACE ELEVATION

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FILING 10 CONSTRUCTION DRAWINGS  
STORM PLAN & PROFILE  
CROWNVETCH CIR

SCALE: AS SHOWN  
FILE NO: 8130283701

DRAWN BY: JF  
CHECKED BY: JU  
DATE: SEPTEMBER 2017

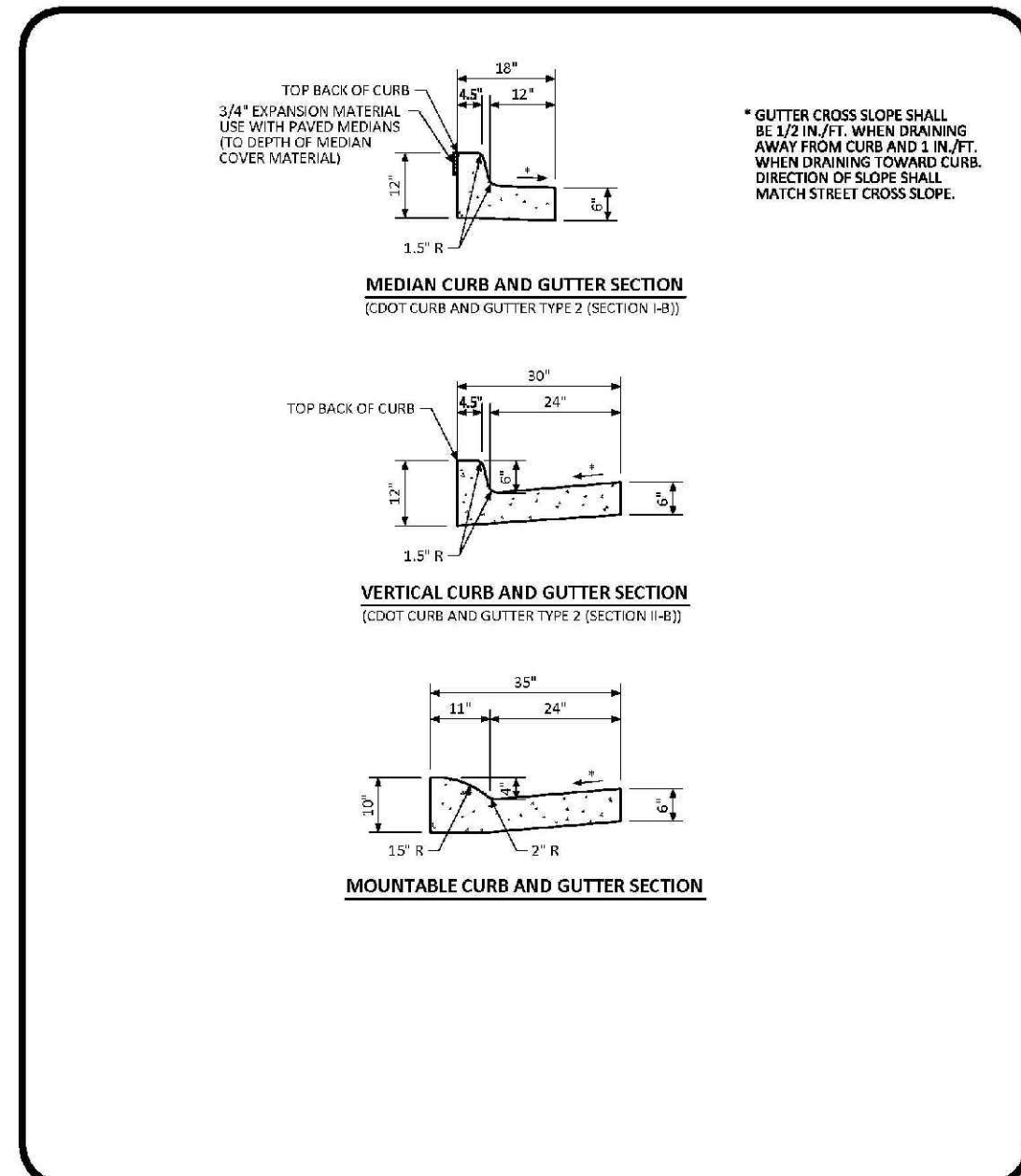
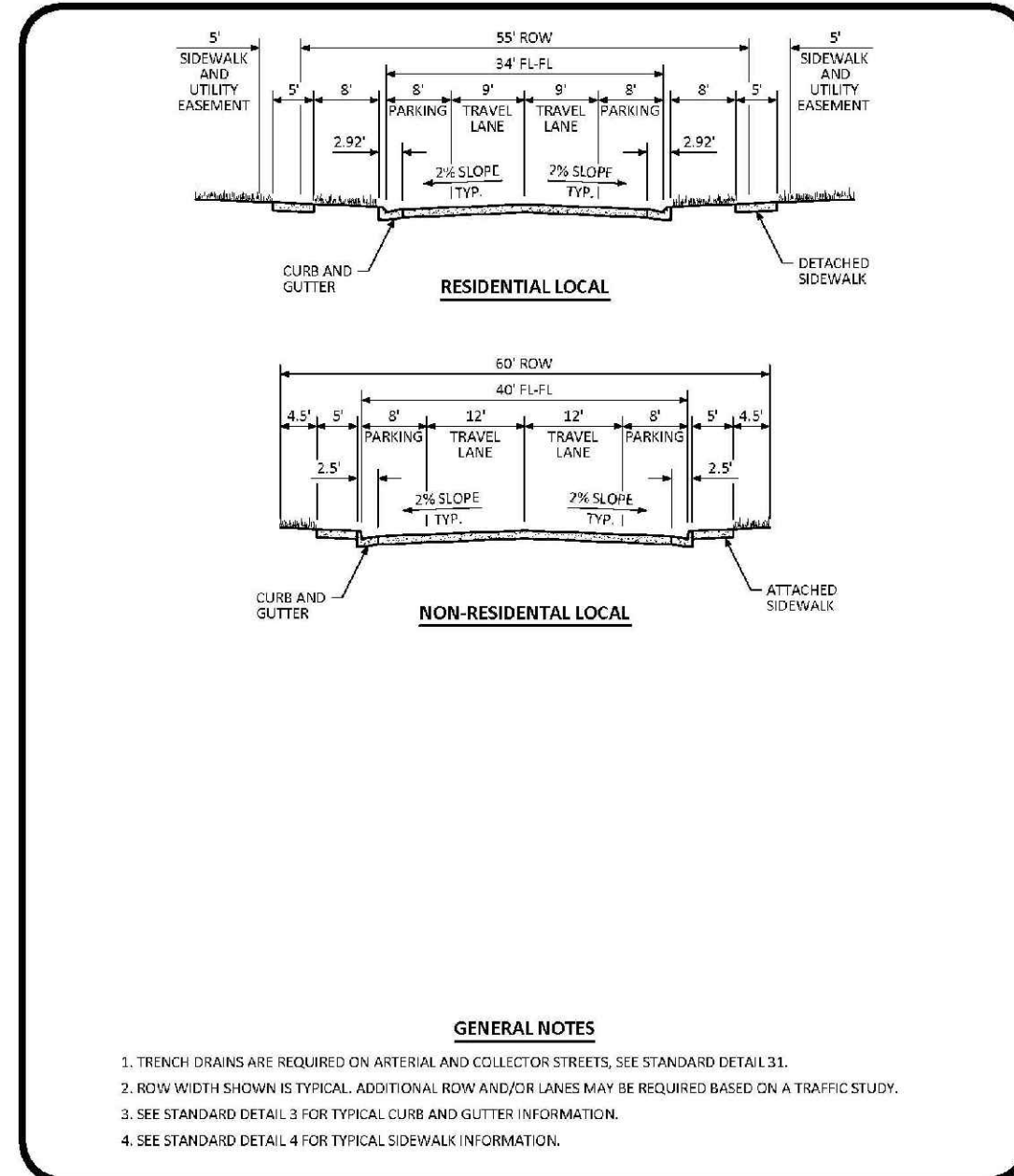
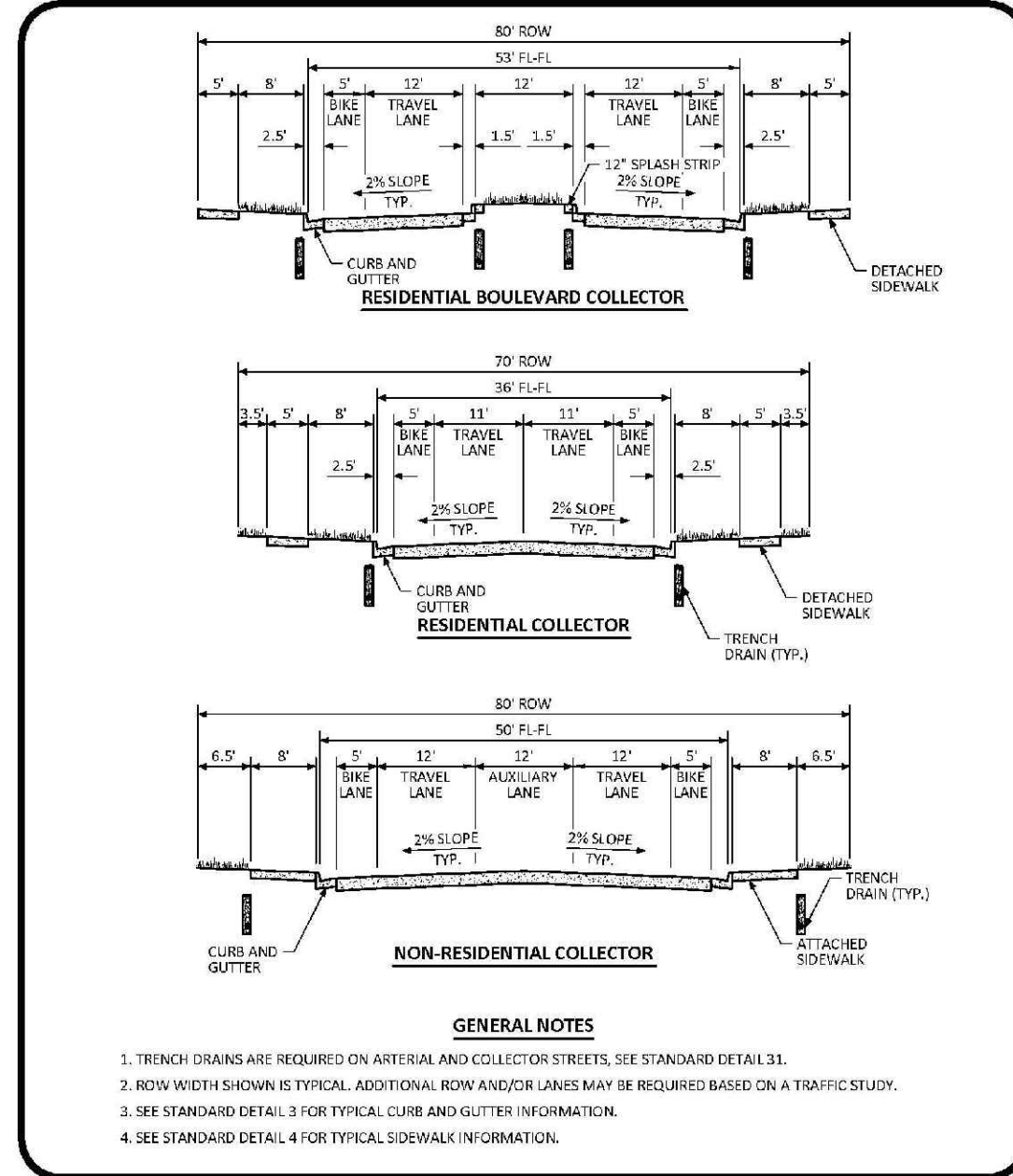
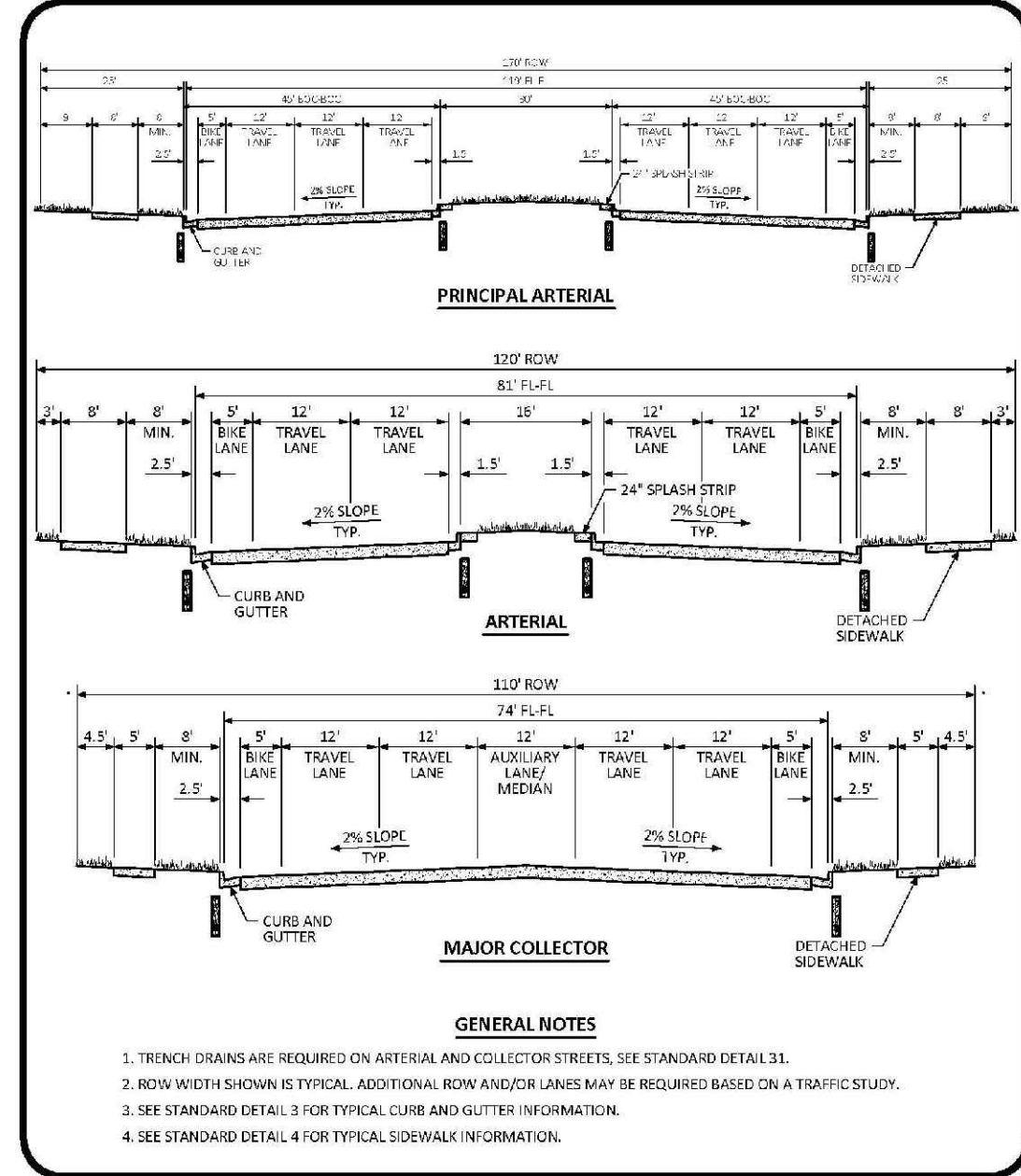
SHEET NUMBER 25

Date  
Appr.  
Date  
Revisions  
No.



**INDEX OF ROADWAY DESIGN STANDARD DETAILS**

| DETAIL CATEGORY                                 | DETAIL NUMBER |
|---|---------------|
| STREET CROSS SECTIONS AND TYPICAL CURB SECTIONS |               |
| TYPICAL STREET CROSS SECTIONS                   | 1 OF 3        |
| TYPICAL STREET CROSS SECTIONS                   | 2 OF 3        |
| TYPICAL STREET CROSS SECTIONS                   | 3 OF 3        |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 1 OF 2        |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 2 OF 2        |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 3 OF 2        |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 4 OF 2        |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 5 OF 2        |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 6 OF 2        |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 7 OF 2        |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 8 OF 2        |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 9 OF 2        |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 10 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 11 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 12 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 13 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 14 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 15 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 16 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 17 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 18 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 19 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 20 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 21 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 22 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 23 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 24 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 25 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 26 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 27 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 28 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 29 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 30 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 31 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 32 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 33 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 34 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 35 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 36 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 37 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 38 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 39 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 40 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 41 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 42 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 43 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 44 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 45 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 46 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 47 OF 2       |
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| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 52 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 53 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 54 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 55 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 56 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 57 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 58 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 59 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 60 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 61 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 62 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 63 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 64 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 65 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 66 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 67 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 68 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 69 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 70 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 71 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 72 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 73 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 74 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 75 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 76 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 77 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 78 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 79 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 80 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 81 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 82 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 83 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 84 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 85 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 86 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 87 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 88 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 89 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 90 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 91 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 92 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 93 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 94 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 95 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 96 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 97 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 98 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 99 OF 2       |
| TYPICAL RESIDENTIAL UTILITY LOCATIONS           | 100 OF 2      |



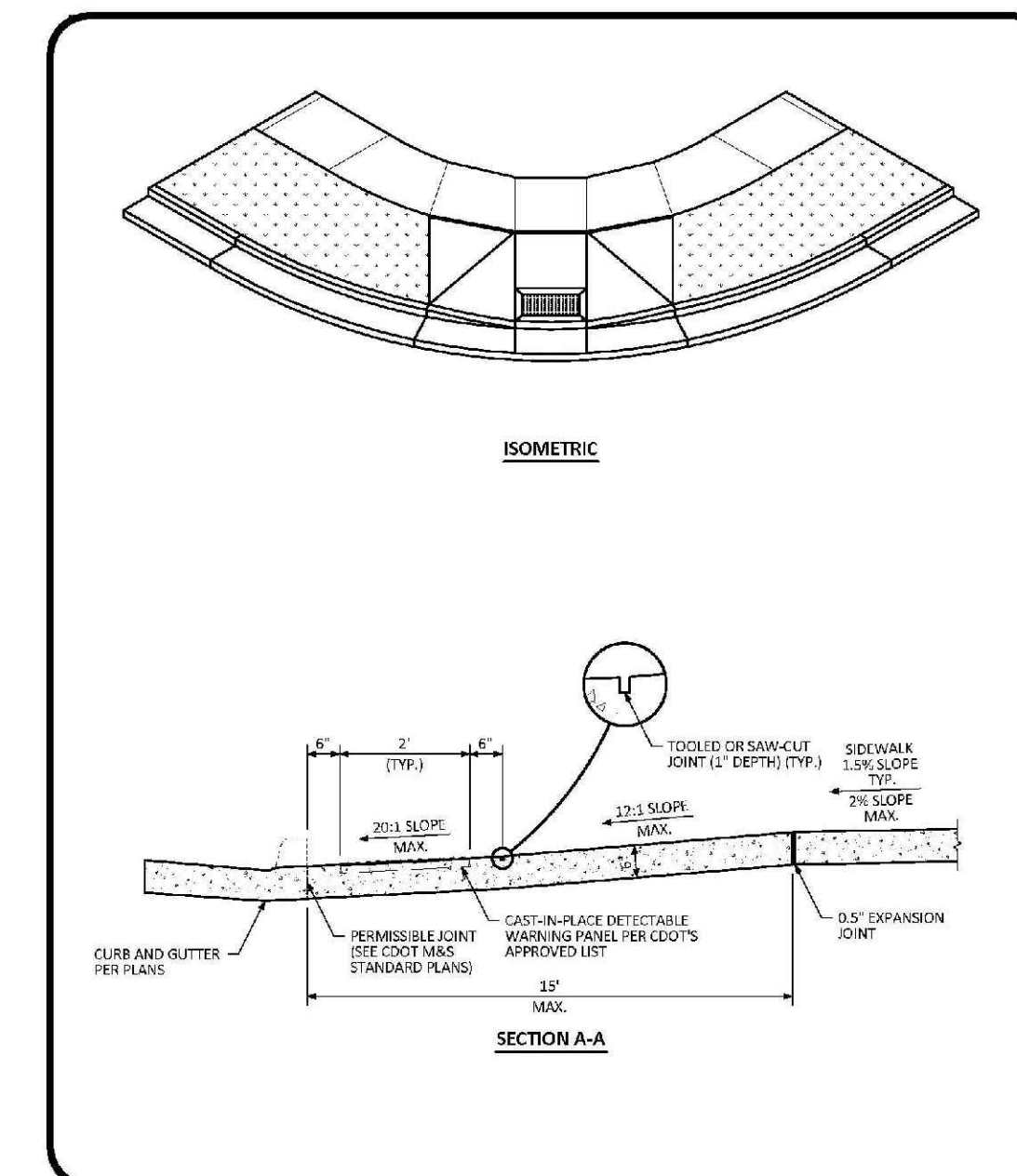
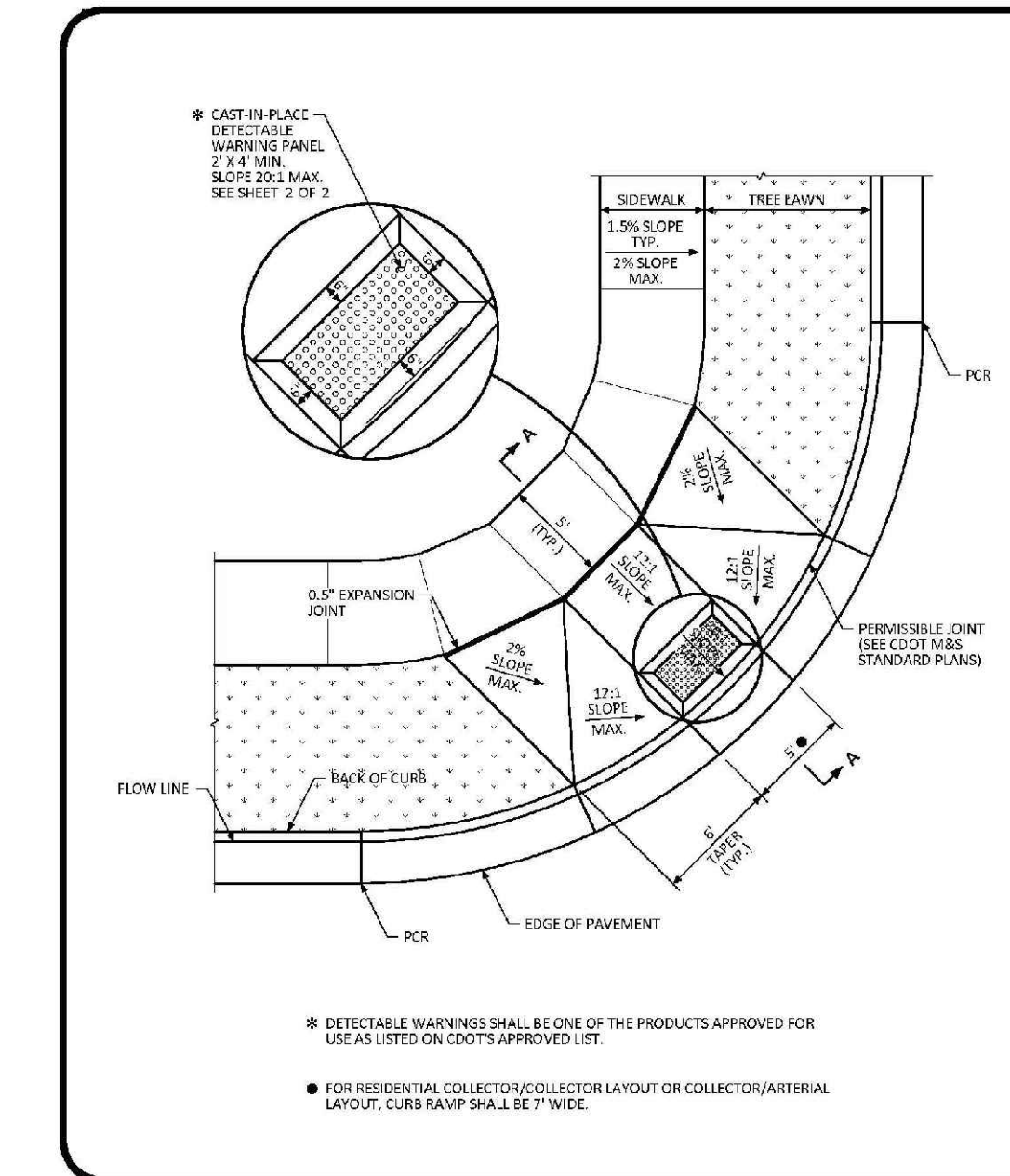
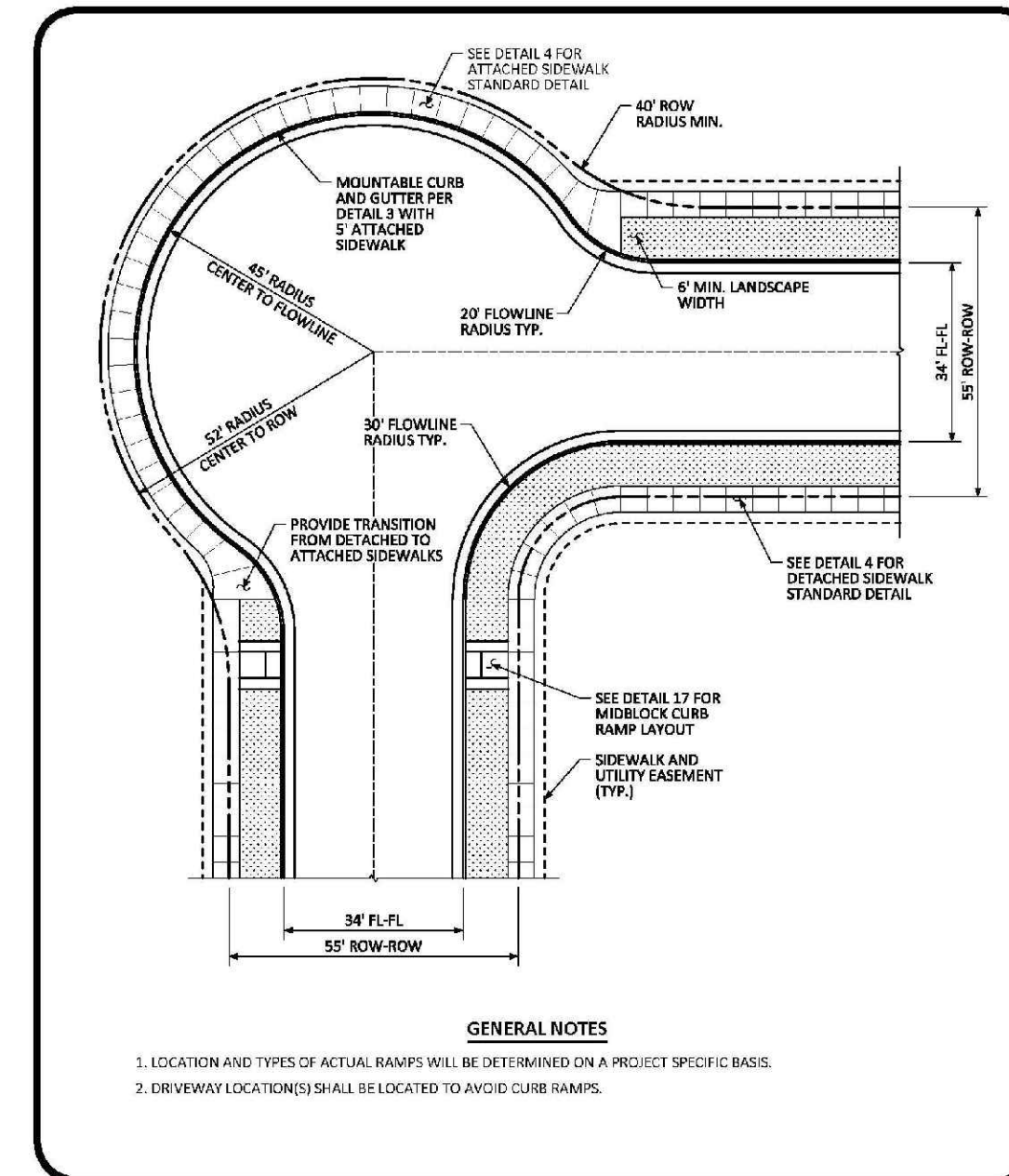
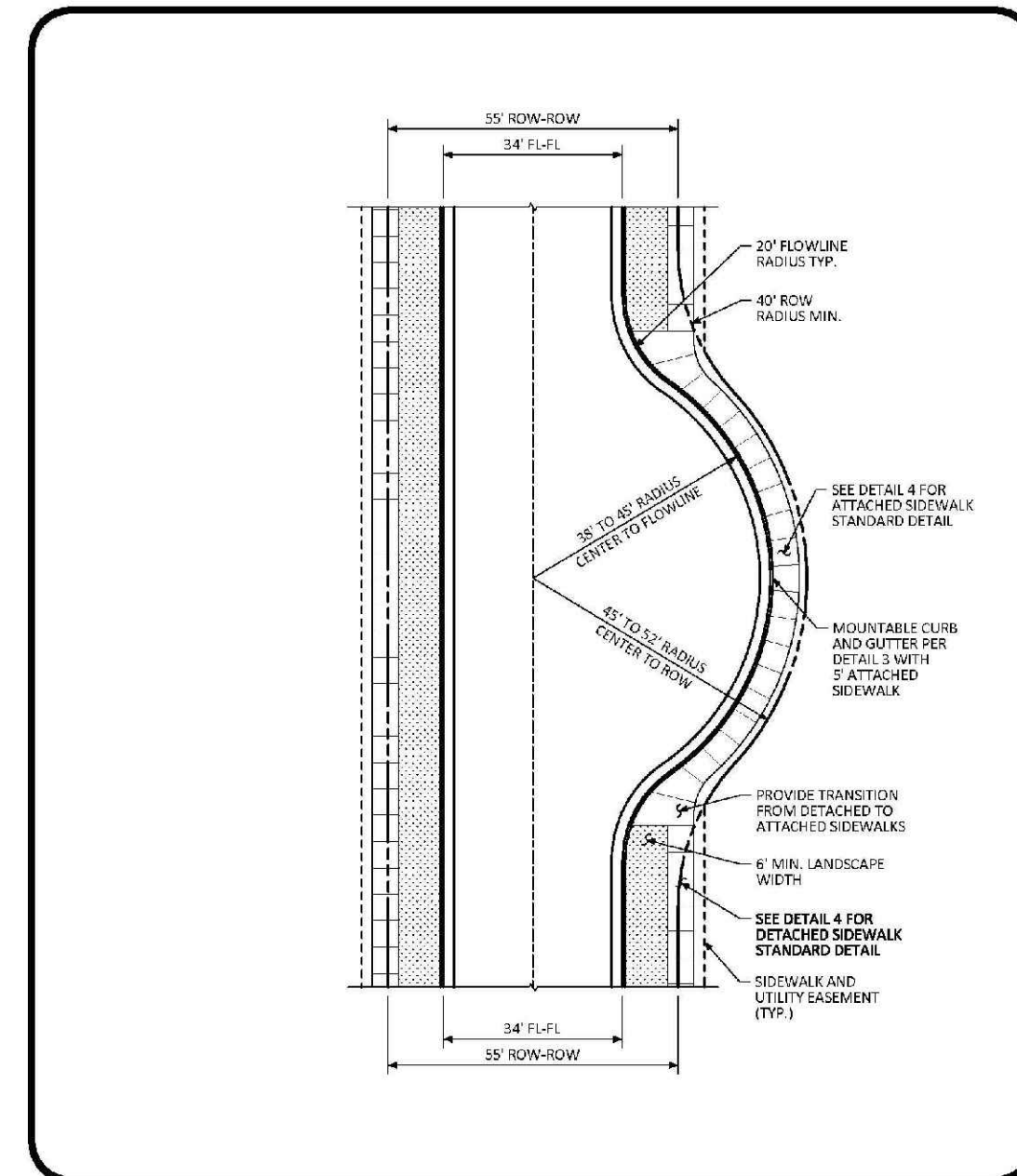
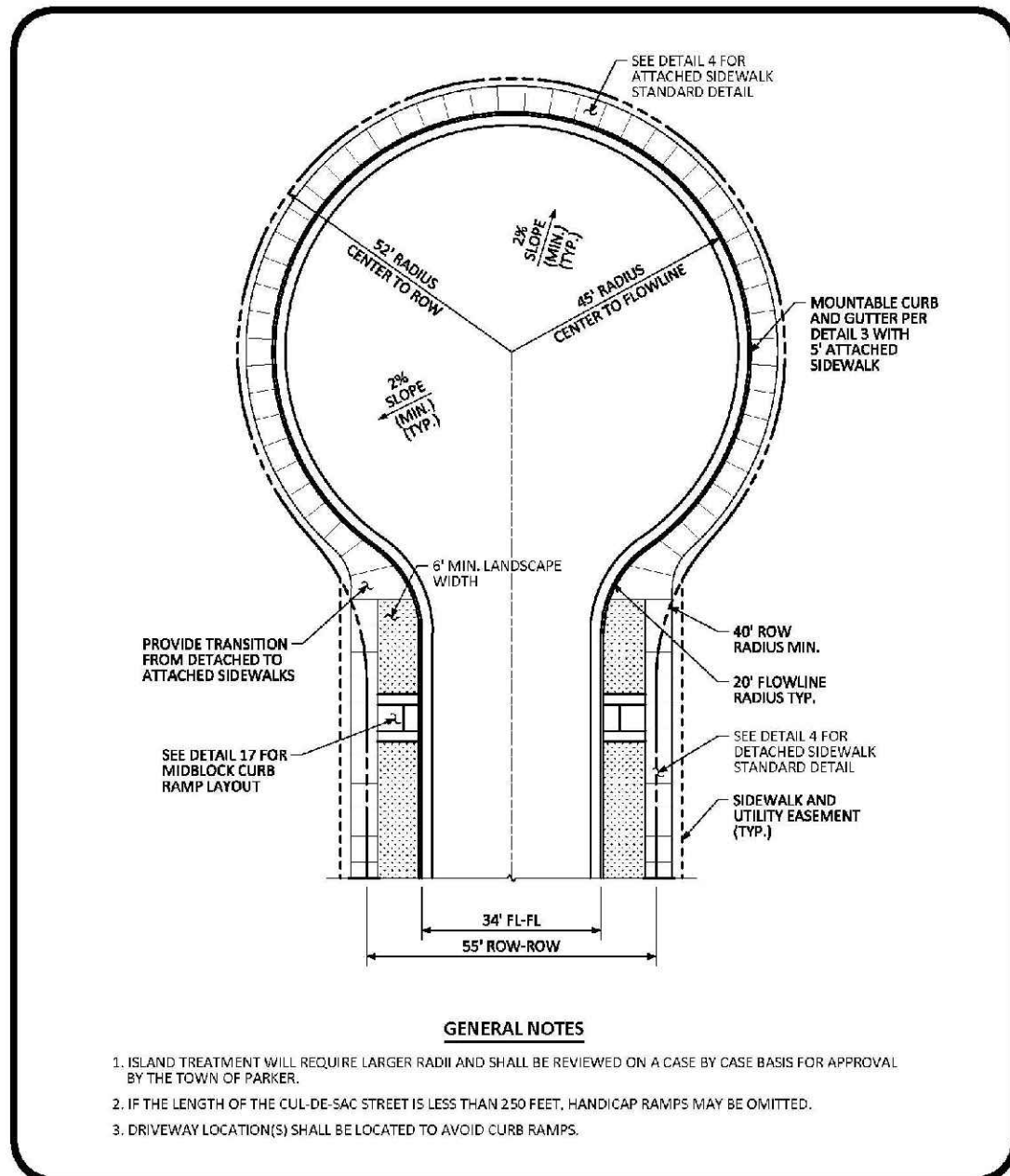
**INDEX OF ROADWAY DESIGN STANDARD DETAILS**  
DATE: JULY 2015  
DETAIL: 1 OF 1

**TYPICAL STREET CROSS SECTIONS STANDARD DETAIL**  
DATE: JULY 2015  
DETAIL: 1 OF 3

**TYPICAL STREET CROSS SECTIONS STANDARD DETAIL**  
DATE: JULY 2015  
DETAIL: 2 OF 3

**TYPICAL STREET CROSS SECTIONS STANDARD DETAIL**  
DATE: JULY 2015  
DETAIL: 3 OF 3

**CURB, GUTTER, AND SIDEWALK SECTIONS STANDARD DETAIL**  
DATE: AUGUST 2014  
DETAIL: 1 OF 1



**RESIDENTIAL LOCAL CUL-DE-SAC TYPICAL LAYOUT STANDARD DETAIL**  
DATE: AUGUST 2014  
DETAIL: 5 OF 1

**RESIDENTIAL LOCAL KNUCKLE TYPICAL LAYOUT STANDARD DETAIL**  
DATE: AUGUST 2014  
DETAIL: 6 OF 1

**RESIDENTIAL LOCAL CORNER KNUCKLE TYPICAL LAYOUT STANDARD DETAIL**  
DATE: AUGUST 2014  
DETAIL: 7 OF 1

**DIAGONAL CURB RAMP RAMP LAYOUT STANDARD DETAIL**  
DATE: AUGUST 2014  
DETAIL: 15 OF 2

**DIAGONAL CURB RAMP LAYOUT STANDARD DETAIL**  
DATE: AUGUST 2014  
DETAIL: 2 OF 2

N:\PROJECTS\BENCH\ENGINEERING\BENCH\SET\BENCH\TOWN OF PARKER\ROADWAY DETAILS\CIVIL\BIRAWK\_31220218.dwg, 8/15/14 4:15 PM

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Suite 110  
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Tel: (720) 482-9526  
Fax: (720) 482-9548

**CVL CONSULTANTS**

HR 935 LLC  
7353 South Alton Way  
CENTENNIAL, CO 80112

TRAILS AT CROWFOOT  
FILING 10 CONSTRUCTION DRAWINGS  
ROADWAY DETAILS

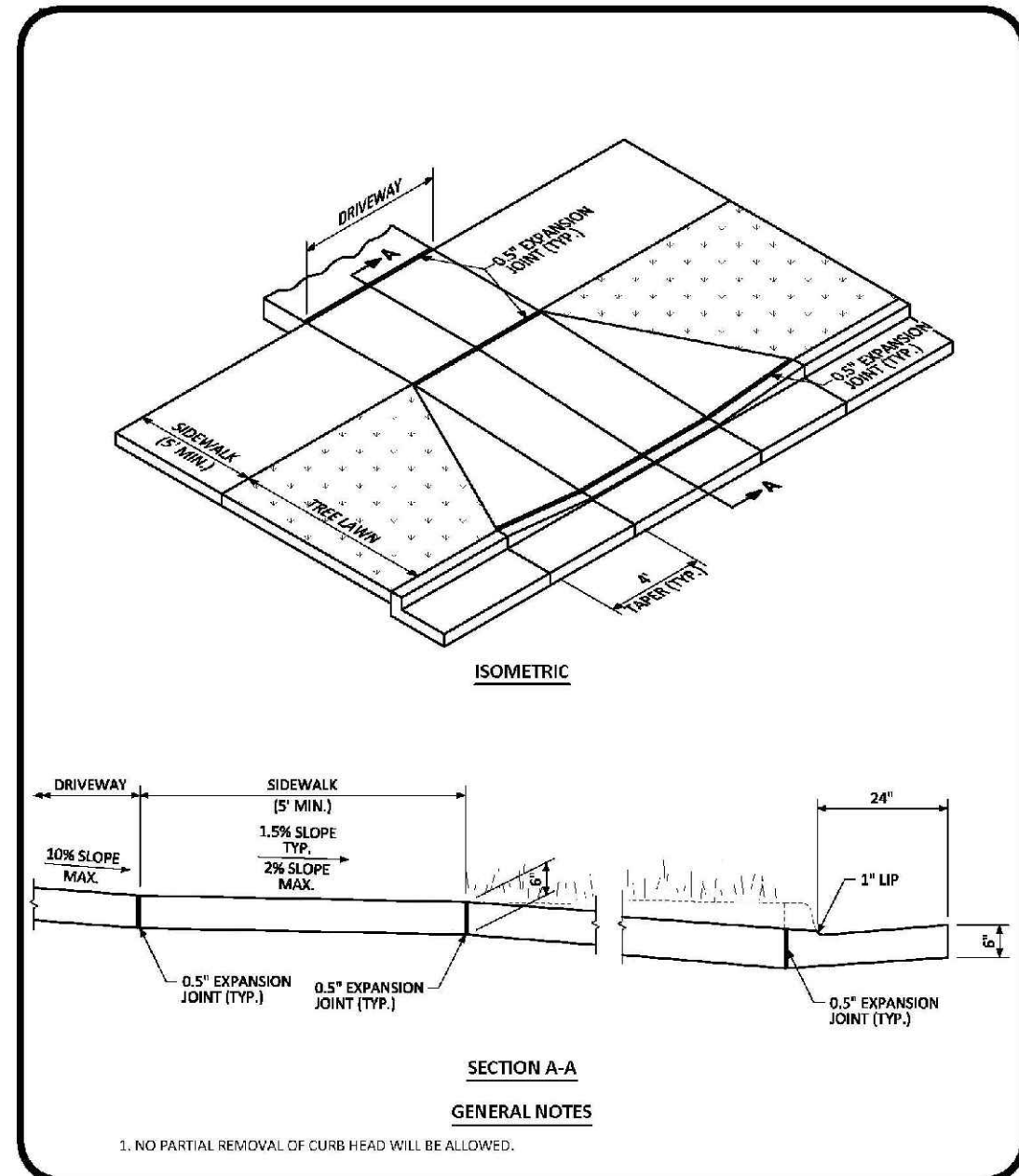
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DRAWN BY: JF  
CHECKED BY: JJ  
DATE: SEPTEMBER 2017

FILE NO: 8130283701

SHEET NUMBER: 27

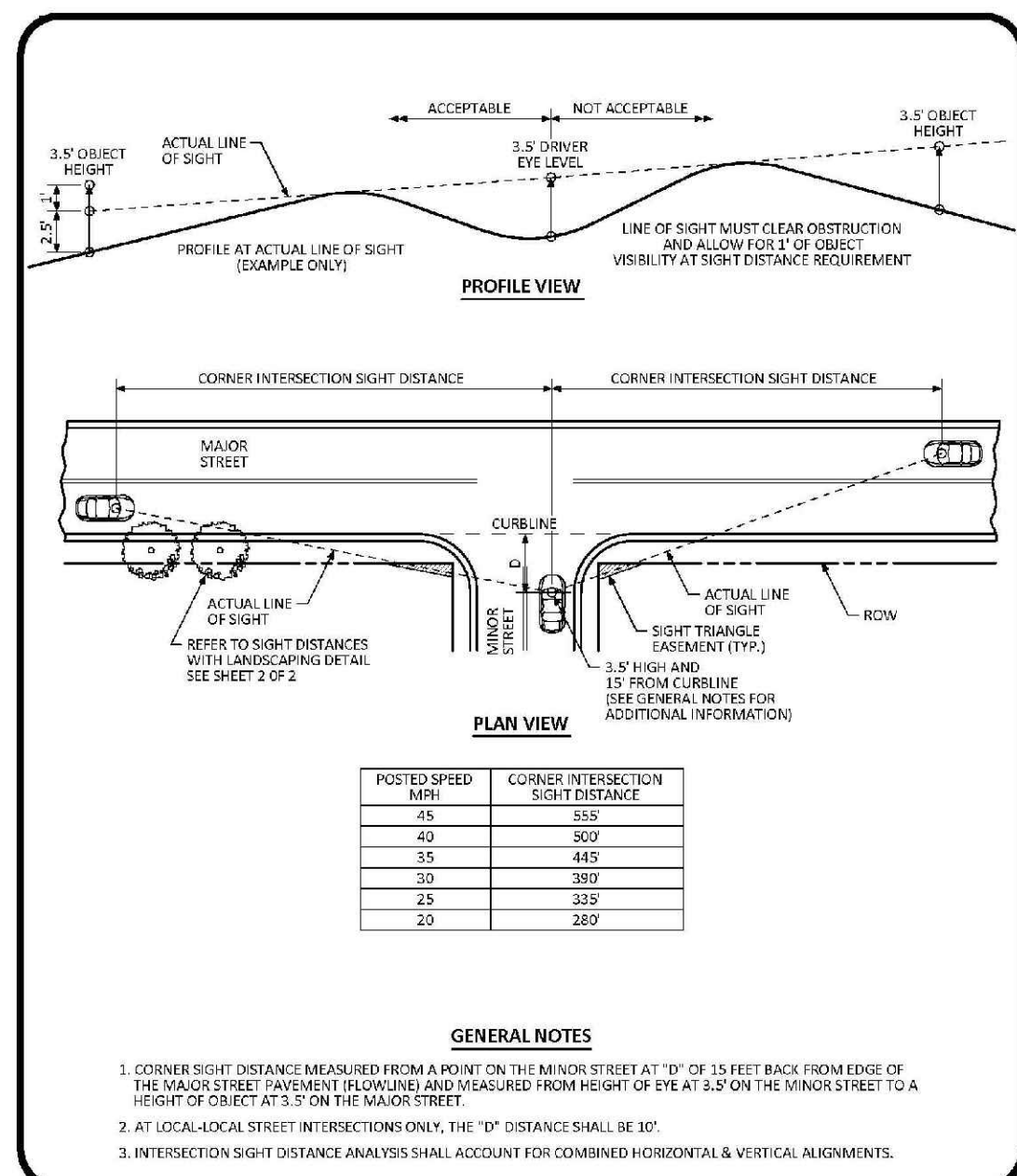
NO. OF REVISIONS: 0

| No. | Revisions | Date | Init. | Appr. | Date |
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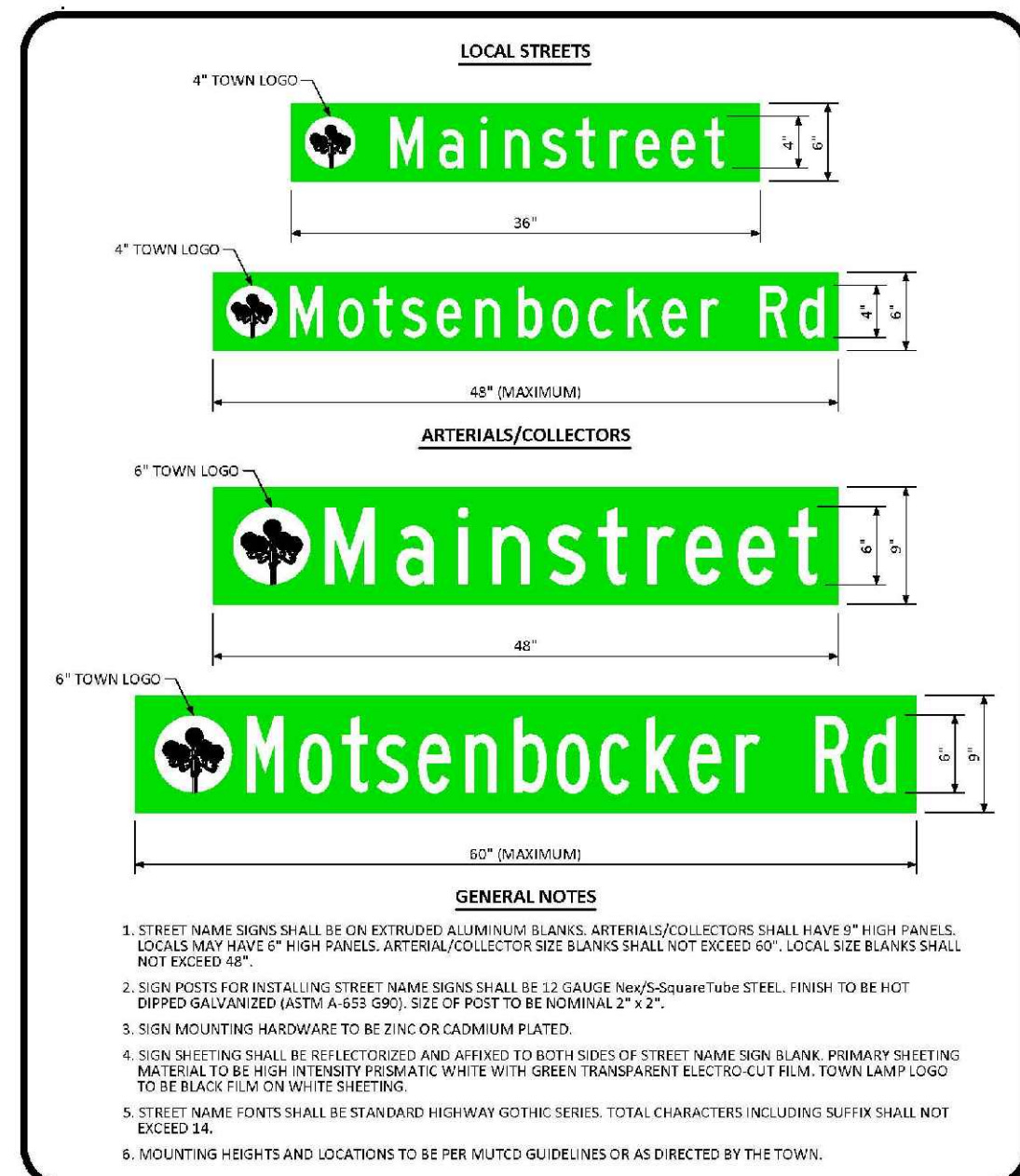
**RESIDENTIAL DRIVEWAY WITH 6" VERTICAL CURB & GUTTER LAYOUT STANDARD DETAIL**

DATE: AUGUST 2014  
 DETAIL: 23  
 1 OF 1



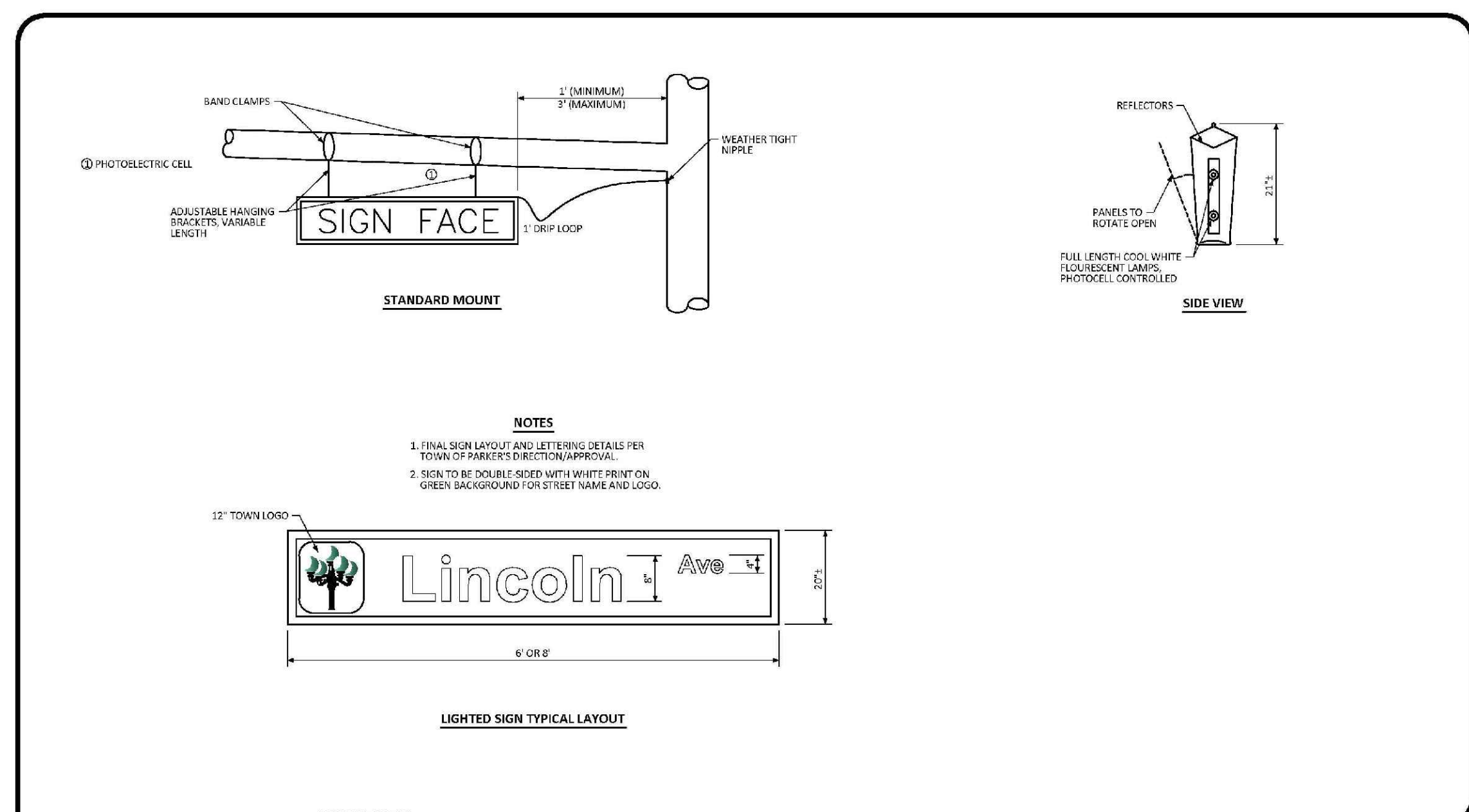
**INTERSECTION SIGHT DISTANCE REQUIREMENTS STANDARD DETAIL**

DATE: AUGUST 2014  
 DETAIL: 25  
 1 OF 2



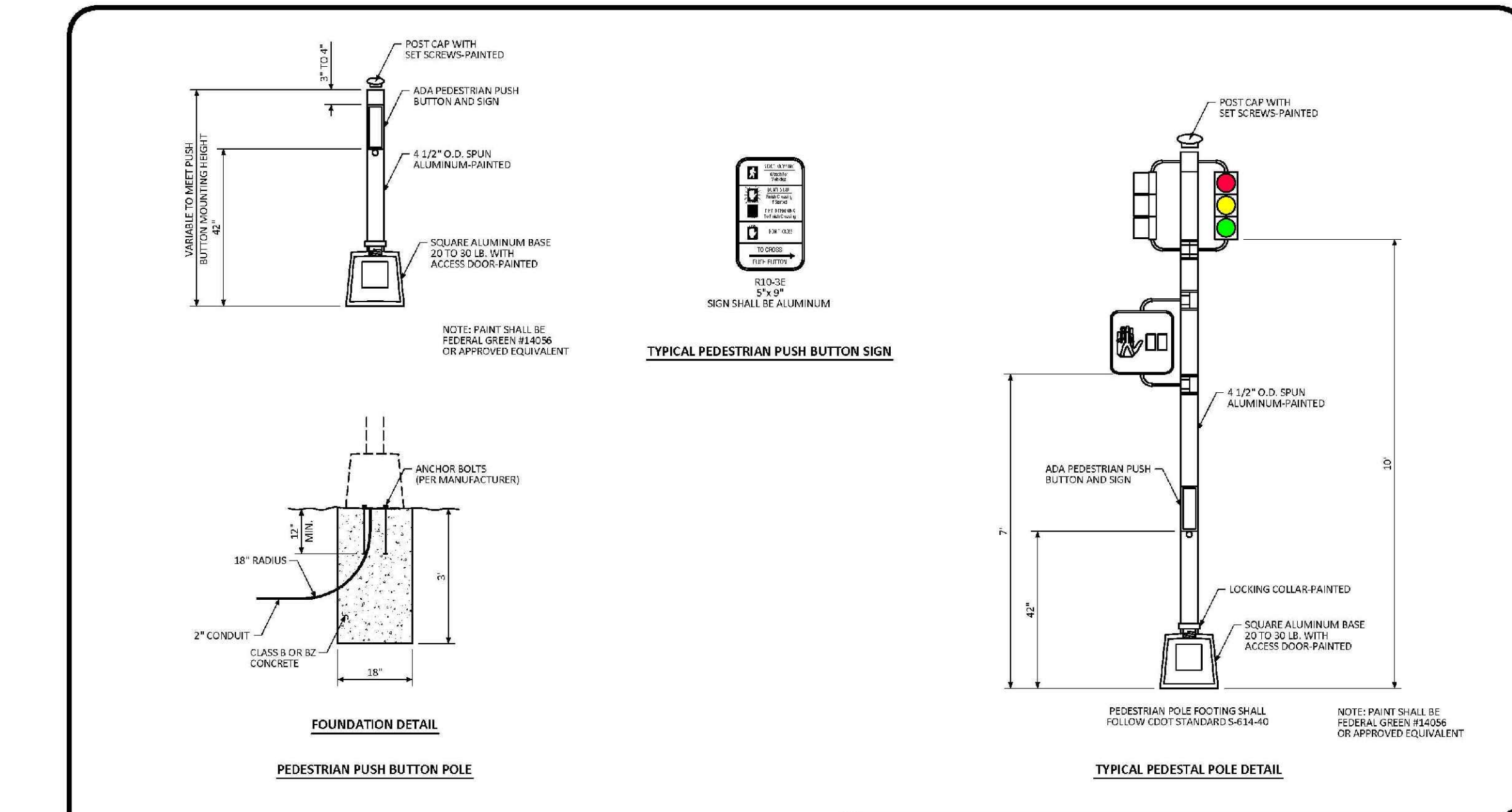
**GROUND MOUNTED STREET NAME PANELS**

DATE: DECEMBER 2016  
 DETAIL: 32  
 1 OF 1



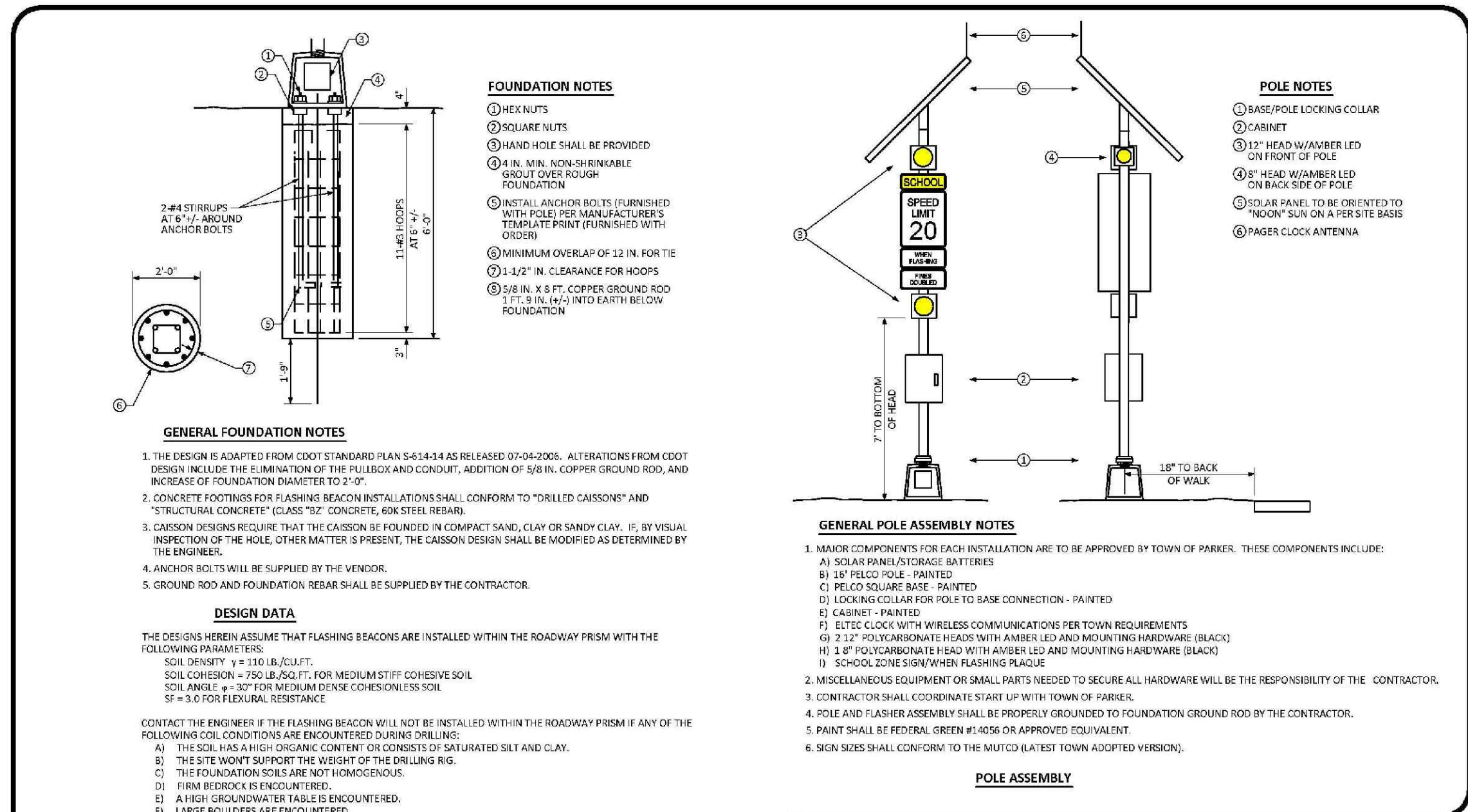
**ILLUMINATED STREET NAME SIGN STANDARD SIGNAL DETAIL**

DATE: NOVEMBER 2012  
 DETAIL: 3  
 1 OF 1



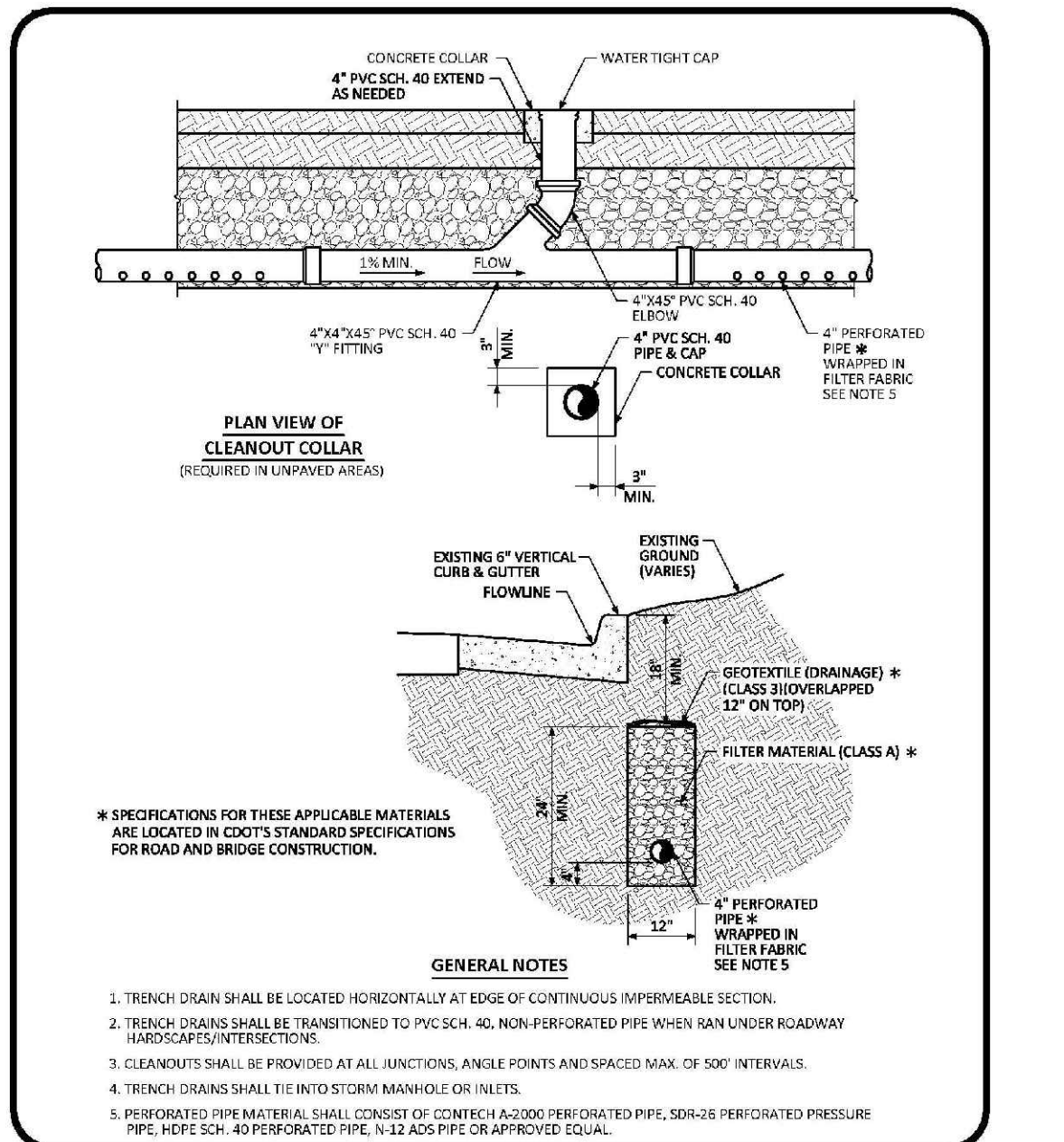
**PEDESTRIAN POLE STANDARD SIGNAL DETAIL**

DATE: NOVEMBER 2012  
 DETAIL: 4  
 1 OF 1



**SCHOOL FLASHING BEACON STANDARD SIGNAL DETAIL**

DATE: NOVEMBER 2012  
 DETAIL: 6  
 1 OF 1



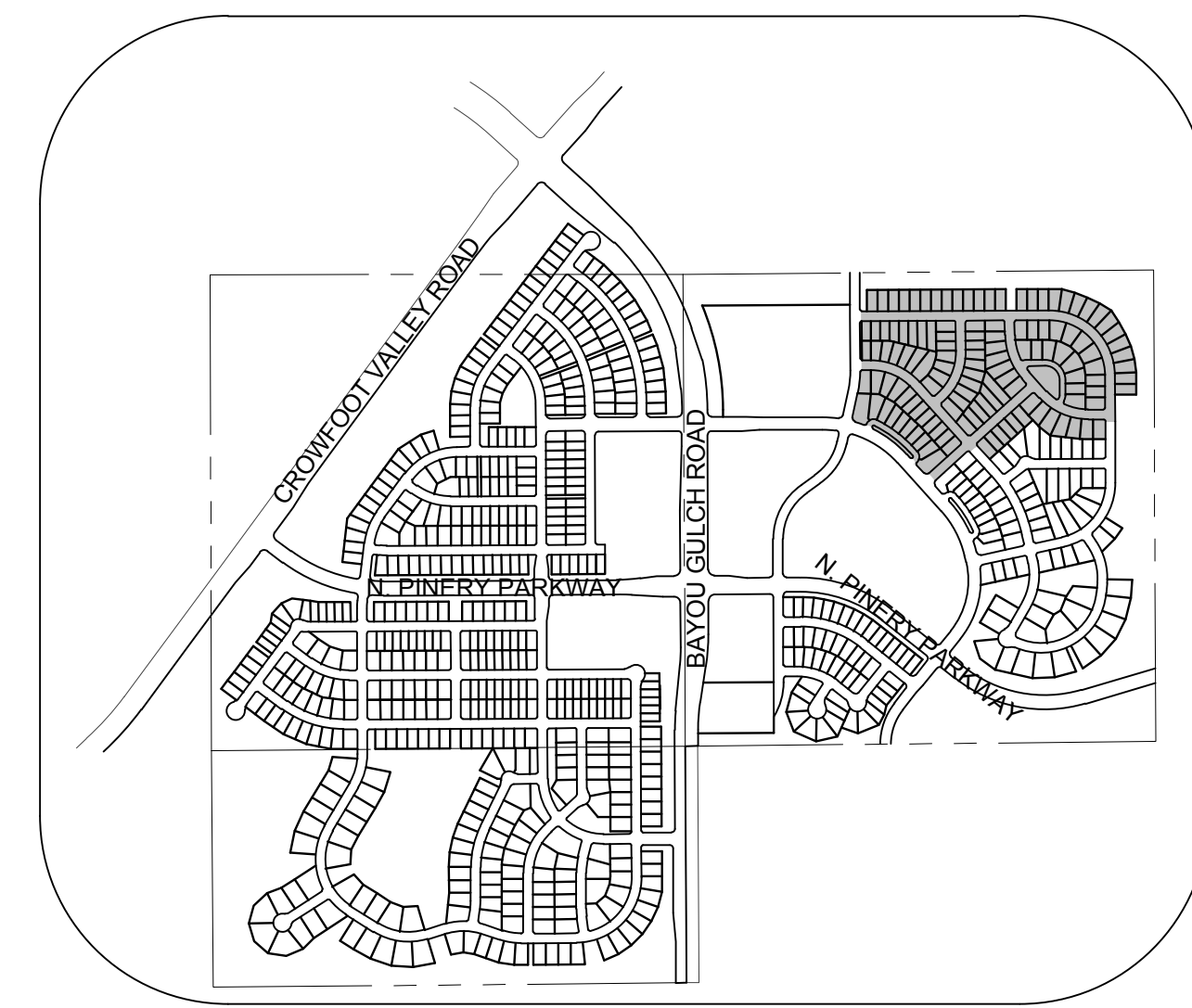
**TRENCH DRAIN DETAIL SECTION STANDARD DETAIL**

DATE: AUGUST 2014  
 DETAIL: 31  
 1 OF 1

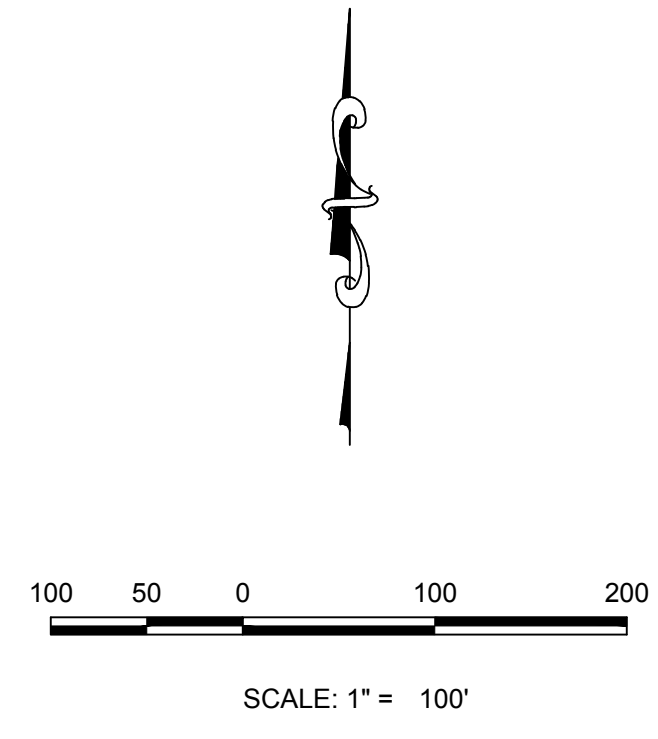
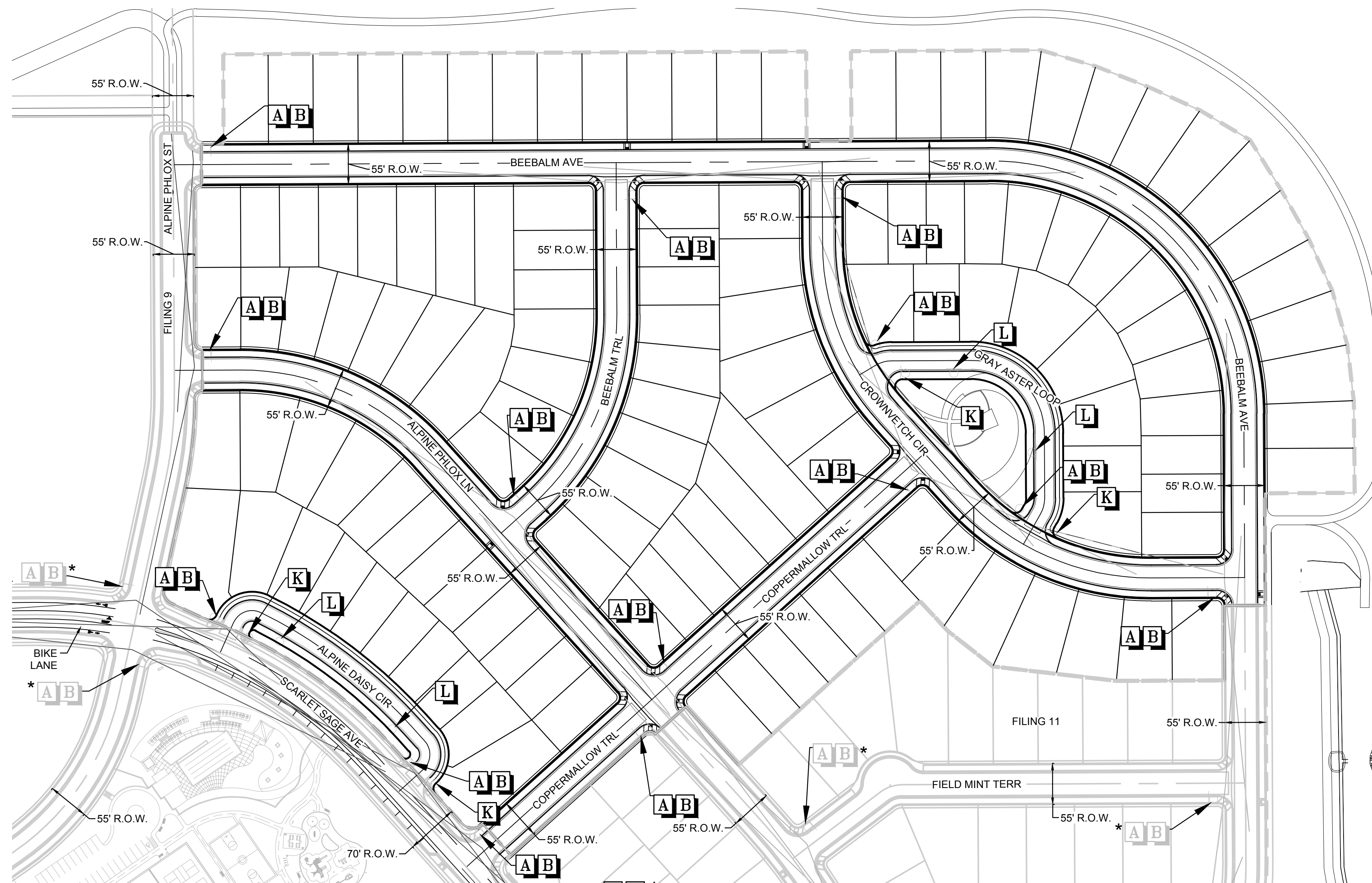
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|              |              |                 |                |                      |                        |                                 |  |      |       |      |
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| SHEET NUMBER | DRAWN BY: JF | SCALE: AS SHOWN | CHECKED BY: JJ | DATE: SEPTEMBER 2017 | FILE NO: 8130283701    | TRAILS AT CROWFOOT              |  | DATE | Appr. | Date |
|              |              |                 |                |                      |                        | FILING 10 CONSTRUCTION DRAWINGS |  |      |       |      |
| 28           |              |                 |                |                      |                        | HR 935 LLC                      |  |      |       |      |
|              |              |                 |                |                      |                        | 7353 South Alton Way            |  |      |       |      |
|              |              |                 |                |                      | CENTENNIAL, CO 80112   |                                 |  |      |       |      |
|              |              |                 |                |                      | CONSULTANTS            |                                 |  |      |       |      |
|              |              |                 |                |                      | 10333 E. Dry Creek Rd. |                                 |  |      |       |      |
|              |              |                 |                |                      | Suite 410              |                                 |  |      |       |      |
|              |              |                 |                |                      | Englewood, Colorado    |                                 |  |      |       |      |
|              |              |                 |                |                      | Tel: (720) 482-9526    |                                 |  |      |       |      |
|              |              |                 |                |                      | Fax: (720) 482-9548    |                                 |  |      |       |      |



**KEYMAP**  
N.T.S.



| LEGEND   |                                    |
|----------|------------------------------------|
| <b>A</b> | STOP SIGN R1-1                     |
| <b>B</b> | STREET NAME SIGN D3                |
| <b>C</b> | DEAD END SIGN W14-1                |
| <b>D</b> | SPEED LIMIT SIGN R2-1              |
| <b>E</b> | BIKE LANE SIGN R3-17               |
| <b>F</b> | AHEAD SIGN R3-17A                  |
| <b>G</b> | ENDS SIGN R3-17B                   |
| <b>H</b> | YIELD SIGN R1-2                    |
| <b>I</b> | PEDESTRIAN TRAFFIC SIGN W11-2      |
| <b>J</b> | SCHOOL CROSSING SIGN S1-1          |
| <b>K</b> | PRIVATE ROAD NO TOWN MAINTENANCE   |
| <b>L</b> | NO PARKING R8-3A                   |
| *        | TO BE INSTALLED WITH OTHER FILINGS |

| No. | Revisions | Date | Init. | Appr. | Date |
|-----|-----------|------|-------|-------|------|
|     |           |      |       |       |      |

10333 E. Dry Creek Rd.  
Suite 410  
Englewood, CO 80150  
Tel: (720) 482-9526  
Fax: (720) 482-9546

**HR 935 LLC**  
7353 South Alton Way  
CENTENNIAL, CO 80112

**TRAILS AT CROWFOOT**  
**FILING 10 CONSTRUCTION DRAWINGS**  
SIGNAGE AND STRIPING

SCALE: AS SHOWN  
FILE NO: 8130283701

DRAWN BY: JLR  
CHECKED BY: JJ  
DATE: SEPTEMBER 2017

SHEET NUMBER **29**

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES. SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

PREPARED UNDER THE SUPERVISION OF

BRIAN P. WILSON  
COLORADO P.E. 0050067

TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

**BENCHMARK**  
DOUGLAS COUNTY CONTROL POINT KNOWN AS 1.069032, BEING A 3-1/4" ALUMINUM CAP, BEING LOCATED IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, HAVING A PUBLISHED ELEVATION OF 1799.2870 METERS (5903.13 FEET) NAVD '88 DATUM.

**BASIS OF BEARINGS:**  
THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 9 BEING MONUMENTED AT THE NORTHEAST CORNER OF SAID SECTION 9 BY A 3-1/4" ALUMINUM CAP STAMPED LS 23053 AND AT THE EAST QUARTER CORNER OF SAID SECTION 9 BY A 2-1/2" ALUMINUM CAP STAMPED LS 6935 BEING CONSIDERED TO BEAR SOUTH 00°15'06" EAST, 2648.70 FEET.

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N:\PROJECTS\SSR\BENCHM\ENGINEERING\SHEET SET\BENCHM\FILING 10\TOWN OF PARKER\SIGNAGE AND STRIPING.DWG, CDDVA, 3/12/2018 4:19 PM