

TRAILS AT CROWFOOT SUBDIVISION FILING NO. 10

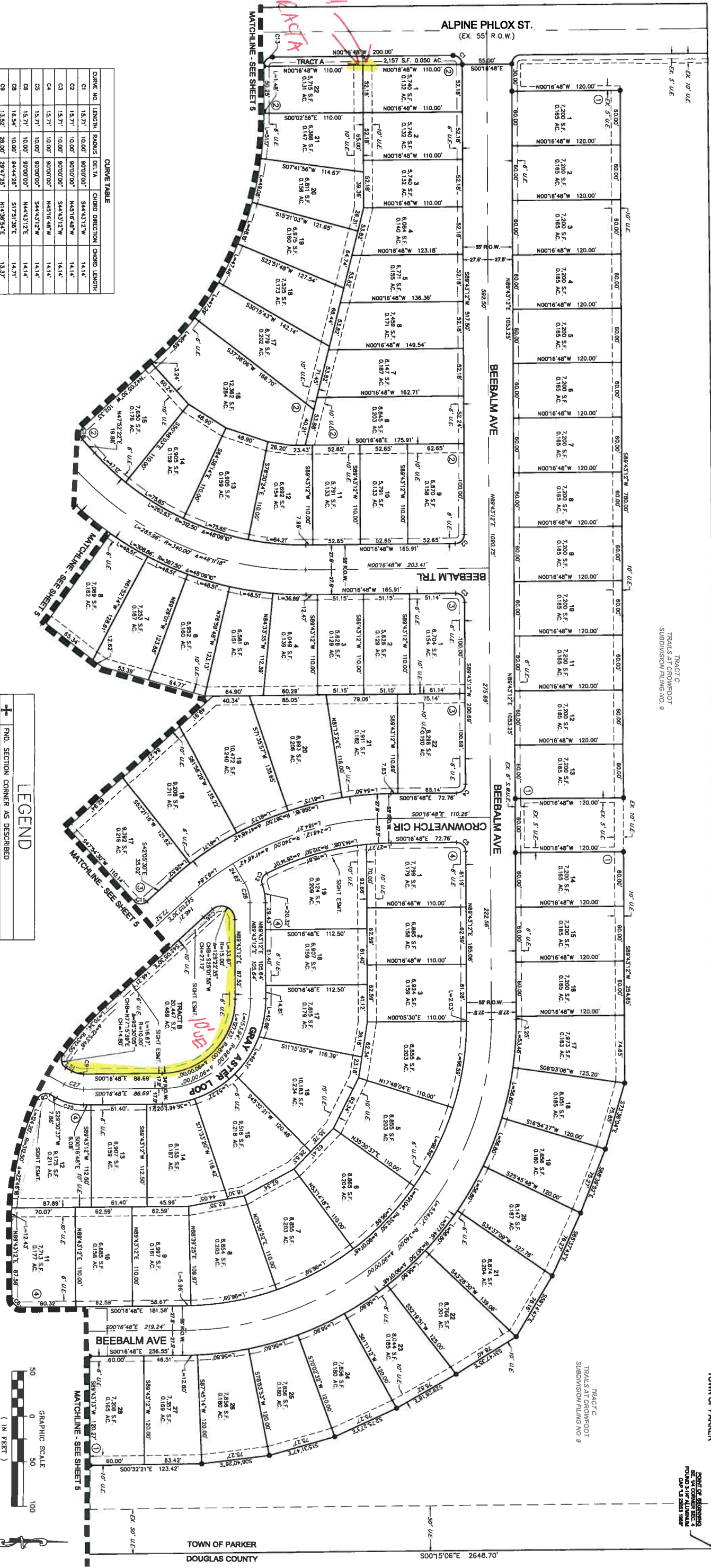
A PART OF THE SECTIONS 4, 8 AND 9, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6th PRINCIPAL MERIDIAN,
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
SHEET 4 OF 5

SHAWAN HILLS - AMENDED
REC. NO. 9804717
NEB - RURAL RESIDENTIAL
NOT A PART

RICHLAWN HILLS - 2ND AMENDMENT
REC. NO. 2010045222
ZONED - RURAL RESIDENTIAL
NOT A PART

RICHLAWN HILLS - 2ND AMENDMENT
ZONED - RURAL RESIDENTIAL
NOT A PART

POINT OF BEGINNING
FOUND 5' OF ALUMINUM
COP 1.5 2323 184"

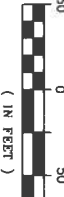


CURVE TABLE

CURVE NO.	LENGTH	RADIUS	DELTA	CHORD	DIRECTION	CHORD LENGTH
C1	15.71'	10.00'	90.0000°	544.4312'	W	14.14'
C2	15.71'	10.00'	90.0000°	544.4312'	W	14.14'
C3	15.71'	10.00'	90.0000°	544.4312'	W	14.14'
C4	15.71'	10.00'	90.0000°	544.4312'	W	14.14'
C5	15.71'	10.00'	90.0000°	544.4312'	W	14.14'
C6	15.71'	10.00'	90.0000°	544.4312'	W	14.14'
C7	15.71'	10.00'	90.0000°	544.4312'	W	14.14'
C8	15.71'	10.00'	90.0000°	544.4312'	W	14.14'
C9	15.71'	10.00'	90.0000°	544.4312'	W	14.14'
C10	15.71'	10.00'	90.0000°	544.4312'	W	14.14'
C11	15.71'	10.00'	90.0000°	544.4312'	W	14.14'
C12	15.71'	10.00'	90.0000°	544.4312'	W	14.14'
C13	15.71'	10.00'	90.0000°	544.4312'	W	14.14'
C14	15.71'	10.00'	90.0000°	544.4312'	W	14.14'
C15	15.71'	10.00'	90.0000°	544.4312'	W	14.14'
C16	15.71'	10.00'	90.0000°	544.4312'	W	14.14'
C17	15.71'	10.00'	90.0000°	544.4312'	W	14.14'
C18	15.71'	10.00'	90.0000°	544.4312'	W	14.14'
C19	15.71'	10.00'	90.0000°	544.4312'	W	14.14'
C20	15.71'	10.00'	90.0000°	544.4312'	W	14.14'
C21	15.71'	10.00'	90.0000°	544.4312'	W	14.14'
C22	15.71'	10.00'	90.0000°	544.4312'	W	14.14'
C23	15.71'	10.00'	90.0000°	544.4312'	W	14.14'
C24	15.71'	10.00'	90.0000°	544.4312'	W	14.14'
C25	15.71'	10.00'	90.0000°	544.4312'	W	14.14'
C26	15.71'	10.00'	90.0000°	544.4312'	W	14.14'
C27	15.71'	10.00'	90.0000°	544.4312'	W	14.14'
C28	15.71'	10.00'	90.0000°	544.4312'	W	14.14'

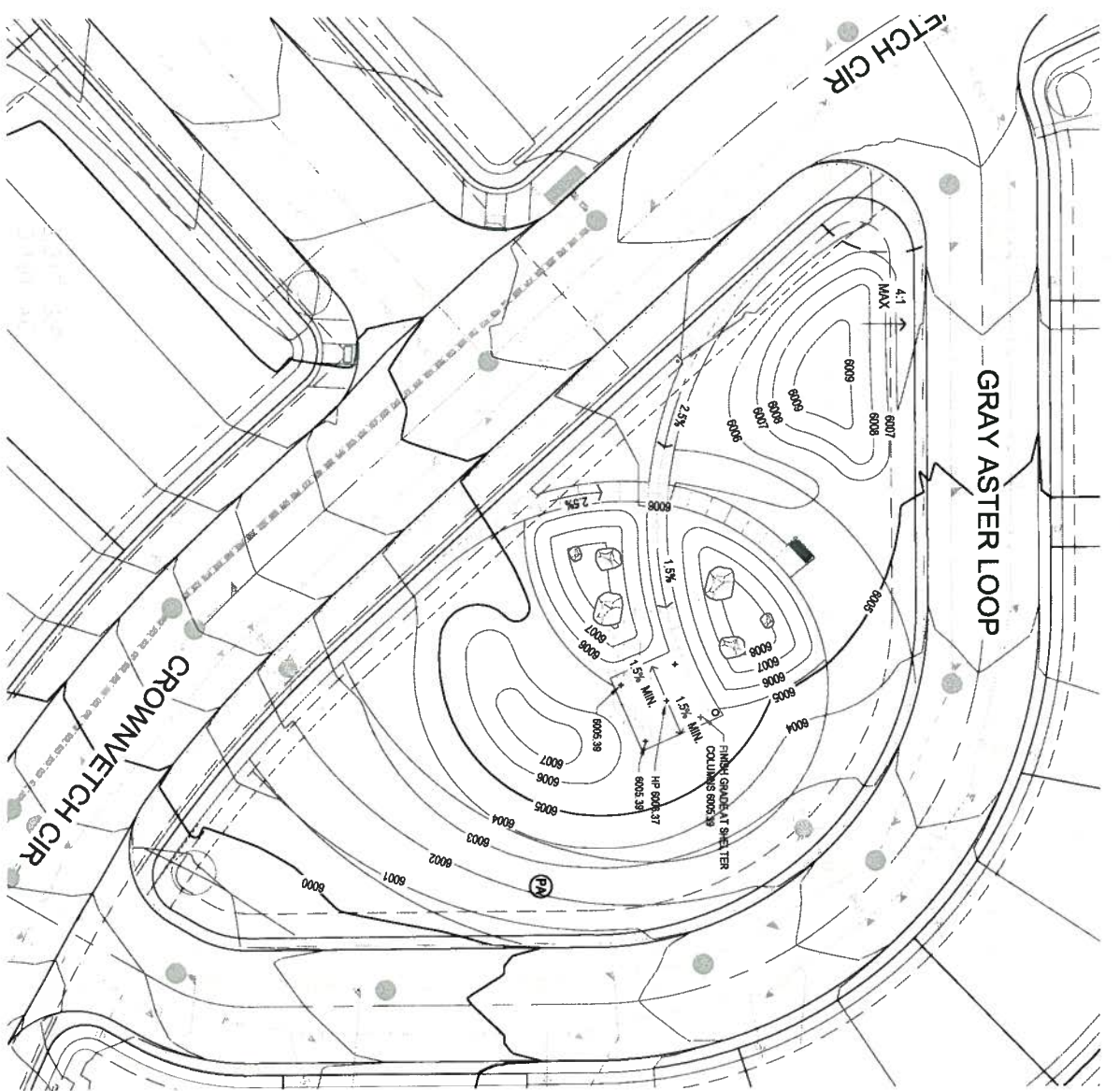
LEGEND

+	R/O. SECTION CORNER AS DESCRIBED
—	RIGHT-OF-WAY
—	S.W.U.E. SIDEWALK & UTILITY EASEMENT
—	U.E. UTILITY EASEMENT
—	D.U.E. DRAINAGE AND UTILITY EASEMENT
—	A.E. ACCESS EASEMENT
—	G.E. GAS EASEMENT
—	EX U.E. EXISTING UTILITY EASEMENT



MATCHLINE - SEE SHEET 5

TRAILS AT CROWFOOT SUBDIVISION FILING NO. 10
 PAUL PAUL
 J.N. ROBERTSON
 ENGINEER/SURVEYOR
 10555 E. CITY OF COLORADO, SUITE 240
 DENVER, CO 80231
 TEL: (720) 482-9581 / FAX: (720) 482-9586

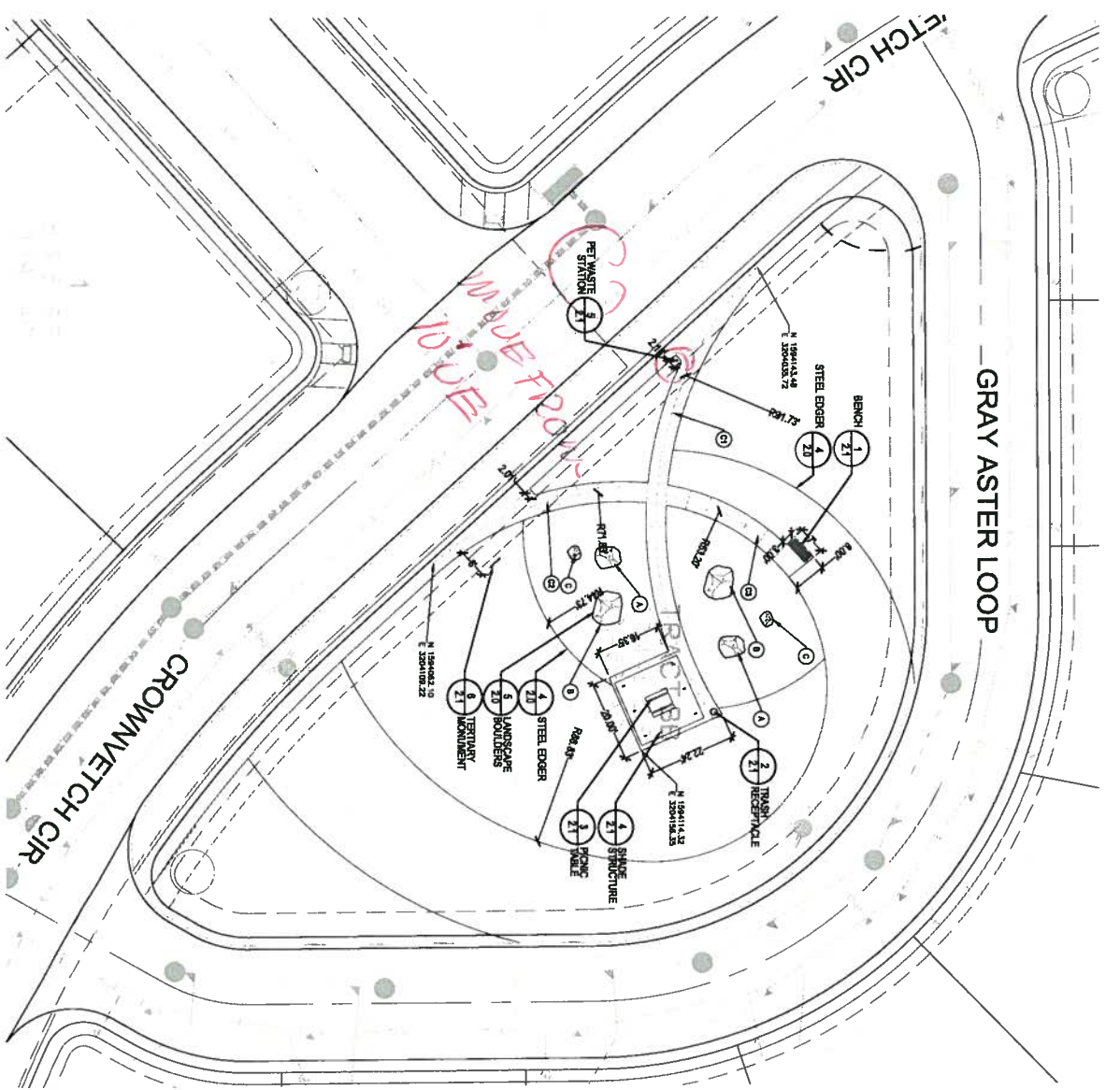


1 GRADING PLAN

SCALE 1/8"=1'-0"

LANDSCAPE GRADING NOTES

1. SLOPES NOT TO EXCEED 4:1 MAX. - 1% MIN.
2. SATISFACTORY SOILS: ASTM D 2487 SOIL CLASSIFICATION GROUPS GW, GP, GM, SW, SP, AND SM, OR A COMBINATION OF THESE GROUP SYMBOLS. FREE OF ROCK OR GRAVEL LARGER THAN 3 INCHES (75 MM) IN ANY DIMENSION. DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATERIALS.
3. STRIP TOPSOIL TO WHATEVER DEPTHS ARE ENCOUNTERED IN A MANNER TO PREVENT INTERMIXING WITH UNDERLYING SUBSOIL OR OTHER WASTE MATERIALS.
4. STRIP EXISTING SURFACES OF UNSUITABLE TOPSOIL, INCLUDING TYPICAL DEBRIS, WEEDS, ROOTS, AND OTHER WASTE MATERIALS.
5. STOCKPILE TOPSOIL MATERIALS ON-SITE WITHOUT INTERMIXING WITH SUBSOIL.
6. REMOVE EXISTING VEGETATION, DEBRIS, UNSUITABLE SOIL MATERIALS, OBSTRUCTIONS, AND DELETERIOUS MATERIALS FROM GROUND SURFACE BEFORE PLACING FILLS.
7. FLOW, STAIRWAY, BENCH, OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL, SO FILL MATERIAL WILL BOND WITH EXISTING MATERIAL.
8. UNIFORMLY GRADE AREAS TO A SMOOTH SURFACE. FREE FROM IRREGULAR SURFACE CHANGES. COMPLY WITH COMPACTON REQUIREMENTS AND GRADE TO CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED.
9. PROVIDE A SMOOTH TRANSITION BETWEEN ADJACENT EXISTING GRADES AND NEW GRADES.
10. CUT OUT SOFT SPOTS, FILL LOW SPOTS AND TRIM HIGH SPOTS TO COMPLY WITH REQUIRED SURFACE TOLERANCES.
11. SITE GRADING: SLOPE GRADES TO DIRECT WATER AWAY FROM ADJACENT STRUCTURES AND TO PREVENT PONDING. FINISH SUBGRADES TO REQUIRED ELEVATIONS WITHIN THE FOLLOWING TOLERANCES:
 - A. AT LOCATIONS DESIGNATED FOR LAWN OR UNPAVED AREAS, PLUS OR MINUS 1/4" INCH (25 MM).
 - B. AT DESIGNATED PAVEMENT LOCATIONS, PLUS OR MINUS 1/2" INCH (13 MM).
12. GRADING ON SLOPES: INSTALL EROSION STABILIZATION FABRIC PER MANUFACTURERS RECOMMENDATIONS ON SLOPED SURFACES EQUAL TO OR GREATER THAN A RATIO OF 1 VERTICAL FOOT TO 3 HORIZONTAL FEET.
13. CONTRACTOR WILL ENGAGE A QUALIFIED INDEPENDENT GEOTECHNICAL ENGINEERING TESTING AGENCY TO PERFORM FIELD QUALITY CONTROL TESTING.
14. PROJECT NEWLY GRADED AREAS FROM TRAFFIC, FREEZING, AND EROSION. KEEP FREE OF TRASH AND DEBRIS.
15. REPAIR AND REESTABLISH GRADES TO SPECIFIED TOLERANCES WHERE COMPLETED OR PARTIALLY COMPLETED SURFACES BECOME ERODED, RUTTED, SETTLED, OR WHERE THEY LOSE COMPACTON DUE TO SUBSEQUENT CONSTRUCTION OPERATIONS OR WEATHER CONDITIONS.
17. WHERE SETTLING OCCURS BEFORE PROJECT CORRECTION PERIOD ELAPSES, REMOVE FINISHED SURFACE GRADING, BACKFILL WITH ADDITIONAL SOIL MATERIAL, COMPACT, AND RECONSTRUCT SURFACE GRADING.
18. TRANSPORT SURPLUS SATISFACTORY SOIL TO DESIGNATED STORAGE AREAS ON OWNERS PROPERTY. STOCKPILE OR SPREAD SOIL AS DIRECTED BY OWNER.



2 LAYOUT & AMENITIES PLAN

SCALE 1/8"=1'-0"

GRADING KEYNOTES:

- LEGEND**
- (PA) PLANTING AREA
 - (C) PROPOSED CONTOUR - MAJOR
 - (Cg) PROPOSED CONTOUR - MINOR
 - HP HIGH POINT

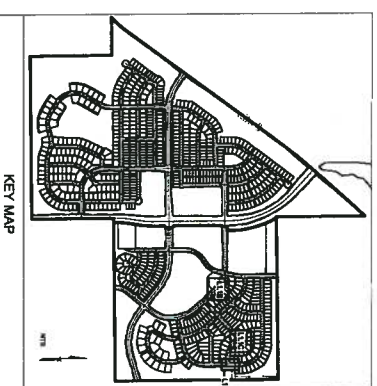
LINE & CURVE TABLES

CURVE NUMBER	CURVE TABLE
C1	121.93
C2	60.49
C3	41.13

LAYOUT NOTES

1. REFER TO CIVIL ENGINEER DRAWINGS FOR PROJECT BENCHMARK AND BASIS OF BEARING.
2. SITE LAYOUT AND DIMENSIONS SHALL BE PERFORMED FROM CIVIL ENGINEERING CONSULTANT CONTACT ONLY. ENGINEER REGARDING ANY DISCREPANCIES OR UNUSUAL DIMENSIONS NOTED, DIMENSIONS ARE TO THE FOLLOWING:
 - 3. CENTERLINE EDGE OF PAVING, CENTERS OF COLUMNS/POSTS.
 - 4. ALL EDGES OF PAVEMENT ARE TO BE STRAIGHT OR OF CONSISTENT RADIUS, IN THE CASE OF CURVES, AS SHOWN HEREON. NO UNSPECIFIED TANGENTS OR RADIUS WILL BE APPROVED.
 - 5. ALL CONSTRUCTION LAYOUT STAKING IS TO BE PERFORMED BY A LAND SURVEYOR OR PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF COLORADO. TO FACILITATE ACCURATE CONSTRUCTION STAKING, UPON WRITER REQUEST FROM CONTRACTOR, CIVIL ENGINEER SHALL PROVIDE THE EXISTING DATA COMPASSING THESE SITE BENCHMARK STAKING. THIS DATA WILL BE FORWARDED FROM THE LANDSCAPE ARCHITECT TO THE LAND SURVEYOR OR PROFESSIONAL ENGINEER EMPLOYED TO PERFORM CONSTRUCTION STAKING.
 - 6. IN ORDER TO MAINTAIN THE INTEGRITY OF THE HORIZONTAL AND VERTICAL CONTROL FOR THE SITE, THE SURVEYOR OR PROFESSIONAL ENGINEER EMPLOYED BY THE CONTRACTOR TO PERFORM CONSTRUCTION LAYOUT STAKING SHALL SET AND PROTECT ADDITIONAL TRAVERSE POINTS OUTSIDE THE AREAS OF CONSTRUCTION ACTIVITY.

- BOULDER LEGEND**
- (A) BOULDER SIZE: 61.4" x 74.6"
 - (B) BOULDER SIZE: 61.4" x 74.6"
 - (C) BOULDER SIZE: 61.4" x 74.6"



Prepared For:
ESX MANAGEMENT
7353 SOUTH ALTON WAY
CENTENNIAL, CO 80112

Land Planning
OOO
Creating spaces
people

Engineering
CWL
CONSULTANTS

10333 E. DRY CREEK RD., #240
ENGLEWOOD, CO 80112
720-482-9526

TRAILS AT CROWFOOT
FILING NO. 10
PARKER, COLORADO
LANDSCAPE PLANS

DRAFT NOT FOR CONSTRUCTION

Drawn by: J.M. BARR, ISA
Checked by: J.M. BARR
Submitted: 06/01/2017
Date: 06/01/2017

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Sheet Name: LAYOUT AND GRADING PLAN

Sheet Number: L1.2