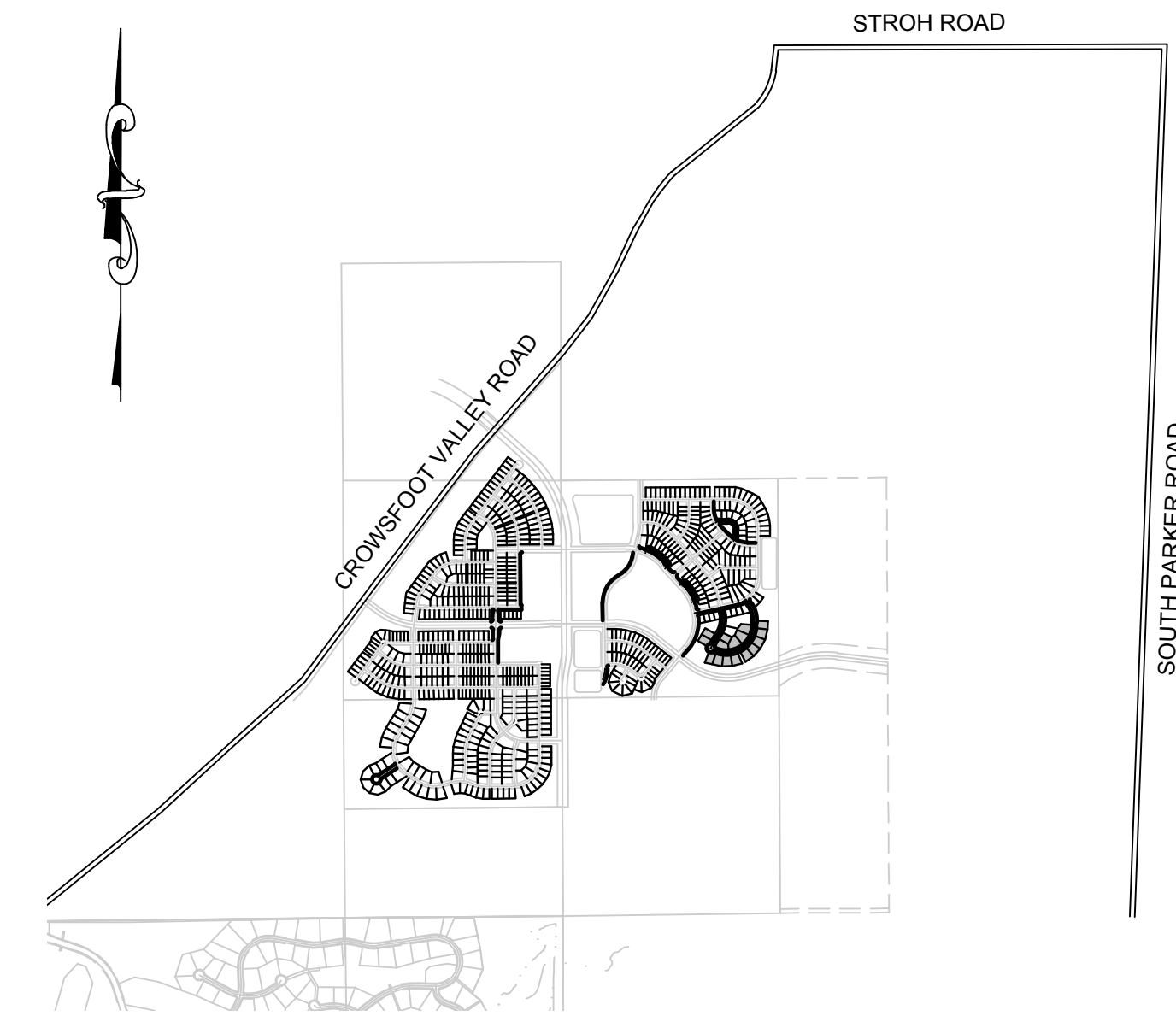


TRAILS AT CROWFOOT

FILING 12 CONSTRUCTION DRAWINGS

SECTIONS 4, 8, AND 9 TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO

| SHEET # | SHEET TITLE |
|---------|---------------------------|
| 1 | COVER SHEET |
| 2 | TOWN OF PARKER NOTES |
| 3 | HORIZONTAL CONTROL PLAN |
| 4 | INITIAL CBMP PLAN |
| 5 | INTERIM & FINAL CBMP PLAN |
| 6 | CBMP DETAILS |
| 7 | CBMP DETAILS |
| 8 | CBMP DETAILS |
| 9 | CBMP DETAILS |
| 10 | CBMP DETAILS |
| 11 | ALPINE PHLOX LANE |
| 12 | FIELD MINT LANE |
| 13 | INTERSECTION PLANS |
| 14 | ROADWAY DETAILS |
| 15 | ROADWAY DETAILS |
| 16 | ROADWAY DETAILS |
| 17 | SIGNAGE AND STRIPING |



VICINITY MAP
SCALE: 1" = 2000'

DEVELOPER

HR 935 LLC
7353 SOUTH ALTON WAY
CENTENNIAL, CO 80112
TEL: (303) 770-9111
CONTACT: MATT JANKE

WATER & SANITATION DISTRICT

PARKER WATER AND SANITATION DISTRICT
18100 E. WOODMAN DR.
PARKER, CO 80134
TEL: (303) 841-4627
CONTACT: DRAYTON SANDERSON

PLANNER/ LANDSCAPE DESIGNER:

PCS GROUP, INC.
200 KALAMATH STREET
DENVER, CO 80233
TEL: (303) 531-4905
CONTACT: JOHN PRESTWICH

FIRE DISTRICT

SOUTH METRO FIRE DISTRICT
9195 E. MINERAL AVE.
CENTENNIAL, CO 80112
TEL: (720) 989-2000
CONTACT:

SURVEYOR/ ENGINEER:

CVL CONSULTANTS OF COLORADO, INC.
10333 E. DRY CREEK RD. STE 240
ENGLEWOOD, CO 80112
TEL: (720) 482-9526
CONTACT: JIM JANNICKE

ELECTRIC COMPANY

IREA
5496 N. U.S. HWY. 85
SEDALIA, CO 80135
TEL: (303) 688-3100

MUNICIPALITY

TOWN OF PARKER
20120 E. MAIN STREET
PARKER, CO 80138
TEL: (303) 841-0353

GAS COMPANY

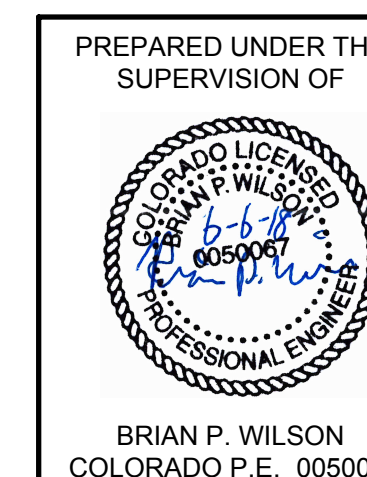
XCEL ENERGY
1518 CHESTNUT AVE
MINNEAPOLIS, MN 55403
TEL: 1 800 628-2121

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED SUBDIVISION, TRAILS AT CROWFOOT, IS DESIGNED IN ACCORDANCE WITH THE TOWN OF PARKER SIGHT DISTANCE CRITERIA AND WITH AASHTO POLICY ON GEOMETRIC DESIGN OF HIGHWAY & STREETS.

Brian P. Wilson 6-13-18
BRIAN P. WILSON, CO. P.E. 0050067 DATE

BENCHMARK
DOUGLAS COUNTY CONTROL POINT KNOWN AS 1.069032, BEING A 3-1/4" ALUMINUM CAP, BEING LOCATED IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, HAVING A PUBLISHED ELEVATION OF 1799.2870 METERS (5903.13 FEET) NAVD '88 DATUM.

BASIS OF BEARINGS:
THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 9 BEING MONUMENTED AT THE NORTHEAST CORNER OF SAID SECTION 9 BY A 3-1/4" ALUMINUM CAP STAMPED LS 23053 AND AT THE EAST QUARTER CORNER OF SAID SECTION 9 BY A 2-1/2" ALUMINUM CAP STAMPED LS 6935 BEING CONSIDERED TO BEAR SOUTH 00°15'06" EAST, 2648.70 FEET.



THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES. SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

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| | | | |
|---|-----------------|---------------------|----------------------|
| 1 | SCALE: AS SHOWN | FILE NO: 8130283701 | DATE: SEPTEMBER 2017 |
| | DRAWN BY: JF | CHECKED BY: JJ | DATE: SEPTEMBER 2017 |
| TRAILS AT CROWFOOT FILING 12 CONSTRUCTION DRAWINGS COVER SHEET | | | |
| CVL CONSULTANTS | | | |
| HR 935 LLC 7353 South Alton Way CENTENNIAL, CO 80112 | | | |
| 10333 E. Dry Creek Rd. Englewood, Colorado 80110 Tel: (720) 482-9526 Fax: (720) 482-9546 | | | |
| No. | Revisions | Date | Appr. |
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UNCC
 UTILITY NOTIFICATION
 CENTER OF COLORADO
 CALL 811
 TWO WORKING DAYS
BEFORE YOU DIG
 1-800-922-1987

CONSTRUCTION NOTES:

- 1. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE LATEST EDITION FOR THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
2. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT. THE TOWN RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
3. A PRECONSTRUCTION MEETING SHALL BE SCHEDULED A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF A CONSTRUCTION. A PRECONSTRUCTION MEETING WILL NOT BE SCHEDULED UNTIL THE GRADING PERMIT AND ALL OTHER NECESSARY PERMITS HAVE BEEN OBTAINED.
4. A DEVELOPMENT REVIEW ENGINEER SHALL BE CONTACTED A MINIMUM OF 24 HOURS PRIOR TO A NECESSARY INSPECTION. IF A DEVELOPMENT REVIEW ENGINEER IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE PERMITTEE MAY COMMENCE WORK IN THE DEVELOPMENT REVIEW ENGINEER'S ABSENCE. HOWEVER, TOWN OF PARKER RESERVES THE RIGHT TO REJECT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
5. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION. FOR INFORMATION CONTACT: DENVER INTER-UTILITY GROUP, 303-534-6700 OR 1-800-922-1987. THE CONTRACTOR SHALL FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
6. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS, APPROVED BY THE TOWN OF PARKER PUBLIC WORKS DIRECTOR, AND ONE (1) COPY OF THE ROADWAY DESIGN AND CONSTRUCTION CRITERIA AT THE JOB SITE AT ALL TIMES.
7. ALL PROPOSED STREET CUTS TO EXISTING PAVEMENTS FOR UTILITIES, STORM SEWER OR FOR OTHER PURPOSES ARE LISTED AND REFERENCED BELOW:
EXAMPLES: WATER TIE-IN SHEET 3 STORM SEWER CONNECTION SHEET 6
8. A PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE SUBMITTED TO THE TOWN OF PARKER FOR ACCEPTANCE WITH THE RIGHT-OF-WAY PERMIT USE APPLICATION. A PERMIT WILL NOT BE ISSUED WITHOUT AN APPROVED TRAFFIC CONTROL PLAN FOR USE DURING CONSTRUCTION.
9. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION."
10. COMPACTION OF ALL TRENCHES MUST BE ATTAINED AND COMPACTION TEST RESULTS SUBMITTED TO THE DEVELOPMENT REVIEW ENGINEER IN PRELIMINARY FORM PRIOR TO PAVING AND IN FINAL FORM PRIOR TO PROBATIONARY ACCEPTANCE.
11. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE PLAN MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH APPROVAL FROM THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
12. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.
13. PLANS ARE APPROVED FOR A PERIOD OF 1 (ONE) YEAR FROM THE DATE SHOWN ON THE TOWN OF PARKER SIGNATURE BLOCK. PLANS SHALL BE RESUBMITTED TO THE TOWN FOR APPROVAL AFTER 1 YEAR. THE COST OF THE PLAN RE-REVIEW AND RE-ACCEPTANCE WILL BE CHARGED BACK TO THE DEVELOPER INCLUDING ALL TIME AND EXPENSES OF THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
14. REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING IS THE RESPONSIBILITY OF THE CONTRACTOR.
15. ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
16. ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY." FOR INFORMATION, PLEASE CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, WQCD-PE-B2, 4300 CHERRY DRIVE SOUTH, DENVER, COLORADO 80222-1530. ATTENTION: PERMITS AND ENFORCEMENT SECTION. PHONE (303) 692-3500.
17. IF DEWATERING IS REQUIRED, A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED FOR DISCHARGES TO A STORM SEWER, CHANNEL, IRRIGATION DITCH, ANY STREET THAT IS TRIBUTARY TO THE AFOREMENTIONED FACILITIES, OR ANY WATER OF THE UNITED STATES.
18. ALL REFERENCES TO BOOKS, PAGES, MAPS, AND RECEPTION NUMBER ARE PUBLIC DOCUMENTS ON FILE WITH THE COUNTY CLERK AND RECORDER'S OFFICE.

ROADWAY NOTES:

- 1. PAVING SHALL NOT COMMENCE UNTIL A SOILS REPORT AND PAVEMENT DESIGN IS APPROVED BY THE ENGINEERING DIVISION AND SUBGRADE COMPACTION TESTS ARE SUBMITTED TO AND APPROVED BY THE DEVELOPMENT REVIEW ENGINEER.
2. STANDARD TOWN OF PARKER HANDICAP RAMPS ARE TO BE CONSTRUCTED AT ALL CURB RETURNS AND AT ALL "T" INTERSECTIONS.
3. ALL STATIONING IS BASED ON CENTERLINE OF ROADWAYS UNLESS OTHERWISE NOTED.
4. ALL ELEVATIONS ARE ON USGS DATUM WITH DATE, RANGE POINT OR MONUMENT SHALL BE SHOWN ON THE CONSTRUCTION PLANS.
5. EXCEPT WHERE OTHERWISE PROVIDED FOR IN THESE PLANS AND SPECIFICATIONS, THE COLORADO DEPARTMENT OF HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE COLORADO DEPARTMENT OF HIGHWAYS M AND S STANDARDS, AND THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, LATEST EDITION, SHALL APPLY.

STORM DRAINAGE INFRASTRUCTURE NOTES:

- 1. ALL STORM DRAINAGE IMPROVEMENTS ARE SUBJECT TO COMPLIANCE WITH THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, M & S STANDARDS, AND ALL STANDARD SPECIAL PROVISIONS CURRENTLY USED BY CDOT, WITH THE MODIFICATIONS SET FORTH IN THE TOWN OF PARKER'S STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL (SDECM), AS AMENDED.
2. THE CONTRACTOR SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT (TITLE 25, ARTICLE 8 CRS), THE "PROTECTION OF FISHING STREAMS" TITLE 33, ARTICLE 5, CRS), THE "CLEAN WATER ACT (33 USC 1344), CHERRY CREEK RESERVOIR CONTROL REGULATION NO. 72 (5 CCR 1002-72), THE REGULATION PROMULGATED, CERTIFICATION OR PERMITS ISSUES, AND THE REQUIREMENTS PRESENTED IN THE SDECM REVISION TO SECTION 107 AND THE CONSTRUCTION BMP PLAN. IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND WATER QUALITY CONTROL LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, OR STATE AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
3. INSPECTIONS: CONSTRUCTION SHALL NOT BEGIN UNTIL A GRADING PERMIT HAS BEEN ISSUED FOR THE PROJECT. THE CONTRACTOR SHALL NOTIFY THE TOWN OF PARKER ENGINEERING DEPARTMENT (PUBLIC WORKS) TO SCHEDULE INSPECTIONS A MINIMUM OF 48 HOURS PRIOR TO THE CONSTRUCTION OF ALL DRAINAGE INFRASTRUCTURE (STORM SEWERS, INLETS, MANHOLES, ENERGY DISSIPATORS, RIPRAP, GROUDED BOULDERS, DETENTION POND OUTLET STRUCTURES, FOREBAYS, TRICKLE CHANNELS, ETC). FAILURE TO NOTIFY THE ENGINEERING DEPARTMENT FOR INSPECTIONS MAY RESULT IN NON-ACCEPTANCE OF THE INFRASTRUCTURE BY THE TOWN. URBAN DRAINAGE AND FLOOD CONTROL DISTRICT MUST ALSO BE NOTIFIED IN A SIMILAR MANNER FOR ALL MAINTENANCE ELIGIBLE DRAINAGE INFRASTRUCTURES (CONSULT WITH STORMWATER ENGINEERING DIVISION).
4. STRUCTURAL BACKFILL (CDOT CLASS 1) SHALL BE COMPACTED TO CONFORM TO CDOT STANDARD SPECIFICATION 203.03. STRUCTURAL BACKFILL (CDOT CLASS 2) SHALL CONFORM TO CDOT STANDARD SPECIFICATION 203.07. AT THE CONTRACTOR'S OPTION, STRUCTURAL BACKFILL (SQUEEGEE) MEETING THE GRADATION REQUIREMENTS CONTAINED IN REVISION OF SECTION 206 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM, MAY BE SUBSTITUTED FOR STRUCTURE BACKFILL (CLASS 1) OR CLASS 2) FOR BACKFILLING OF CULVERT PIPES, STORM SEWER PIPES, MANHOLES AND INLET STRUCTURES; HOWEVER, THE TOP 2 FEET BELOW SUBGRADE ELEVATION SHALL BE THE REQUIRED EMBANKMENT MATERIAL.
5. ALL EXCAVATIONS SHALL MEET OSHA REQUIREMENTS.
6. TESTING: PROBATIONARY ACCEPTANCE OF STORM DRAINAGE IMPROVEMENTS WILL BE CONTINGENT UPON SATISFACTORY TESTING RESULTS. IN ALL CASES WHERE TESTS INDICATE COMPACTION LESS THAN THAT REQUIRED BY TOWN SPECIFICATIONS, ADDITIONAL COMPACTION AND TESTS WILL BE REQUIRED UNTIL THE SPECIFICATIONS ARE MET. FREQUENCY OF TESTING WILL BE AS FOLLOWS: * 1 TEST FOR SUBGRADE AND 1 TEST FOR BACKFILL AT EVERY ABOVE GROUND APPURTENANCE (MANHOLES, INLETS, ETC) * 1 TEST EVERY 200 LF OF MAINLINE TRENCH EVERY 1 FOOT OF BACKFILL LIFT AND WITHIN 1 FOOT FROM ALL STRUCTURES.
7. ALLOWABLE STORM SEWER CONDUIT MATERIAL WITHIN THE TOWN OF PARKER SHALL BE LIMITED TO REINFORCED CONCRETE PIPE (RCP) CONFORMING TO CDOT STANDARD SPECIFICATION 706.02.
8. ALL RCP JOINTS SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM C443. RUBBER GASKETS SHALL BE USED ON ALL PIPE JOINTS CONFORMING TO ASTM C443. ALL RCP SECTIONS SHALL BE JOINED IN SUCH A MANNER THAT THE ENDS ARE FULLY ENTERED AND THE INNER SURFACES ARE REASONABLY FLUSH. AVERAGE JOINT GAP THAT EXCEEDS 1/8 INCH SHALL BE FILLED WITH AN APPROVED FLEXIBLE PLASTIC SEALANT.
9. JOINT RESTRAINTS AND TOE-WALLS, CONFORMING TO CDOT M&S STANDARD PLAN NO. M-601-11 SHALL BE USED ON ALL RCP FLARED END SECTION OUTFALLS.
10. EPOXY COATED REBAR SHALL BE USED AS REINFORCING STEEL ON ALL STORM INLETS. REFERENCE CDOT M&S STANDARD PLAN NO. M-604-10, 11, 12, AND 13.
11. CDOT CLASS D CONCRETE SHALL BE USED FOR ALL CONCRETE DRAINAGE STRUCTURES.
12. PRE-CAST INLETS AND MANHOLE BASES SHALL NOT BE USED WITHIN THE TOWN OF PARKER RIGHT-OF-WAY, WITH THE EXCEPTION OF CDOT TYPE C AND D INLETS.
13. TWO- (2) MANHOLE ACCESS POINTS ARE REQUIRED ON ALL TYPE "R" CURB INLETS GREATER THAN OR EQUAL TO TEN (10) FEET IN LENGTH AS PRESENTED IN CDOT M&S STANDARD PLAN NO. M-604-12.
14. ALL GROUING (BOULDERS, RIPRAP) SHALL BE IN ACCORDANCE WITH THE REVISION OF SECTION 506 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM.
15. ALL BOULDERS AND RIPRAP SHALL BE SELECTED AND PLACED IN ACCORDANCE WITH THE REVISION OF SECTION 506 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM.
16. CONTRACTOR SHALL REFER TO THE TOWN OF PARKER'S CONSTRUCTION BEST MANAGEMENT PRACTICES DETAILS AND NOTES FOR ALL REQUIREMENTS RELATING TO RE-VEGETATION, SEDIMENT AND EROSION CONTROL REQUIREMENTS FOR CONSTRUCTION ACTIVITIES.

SIGNAGE AND STRIPING NOTES:

- 1. ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MOST RECENT VERSION OF THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), COLORADO SUPPLEMENTAL MUTCD, AND THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL. FURTHER SPECIFICATIONS AND ILLUSTRATIONS ARE LOCATED IN THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) M AND S STANDARDS.
2. A FIELD INSPECTION OF LOCATION AND INSTALLATION OF ALL SIGNS AND MARKINGS SHALL BE PERFORMED BY THE TOWN OF PARKER.
3. THE CONTRACTOR INSTALLING SIGNS SHALL BE RESPONSIBLE FOR THE LOCATING AND PROTECTING OF ALL UNDERGROUND UTILITIES.
4. TYPE III (LIGHTED) BARRICADES SHALL BE SET AT THE ENDS OF ROADWAYS SEPARATING FINISHED (AND/OR ACCEPTED) AND UNFINISHED CONSTRUCTION AREAS AND SHALL BE MAINTAINED BY THE CONTRACTOR/DEVELOPER. A "ROAD CLOSED AHEAD" AND A "TO BE EXTENDED" WARNING SIGN SHALL BE INSTALLED APPROPRIATELY IN ADVANCE OF THE TYPE III BARRICADES.
5. SPECIAL CARE SHALL BE TAKEN IN SIGN LOCATIONS TO ENSURE AN UNOBSTRUCTED VIEW OF EACH SIGN.
6. WHERE STOP SIGN CONTROL IS APPROPRIATE, 36 INCH STOP SIGNS SHALL BE USED FOR APPROACHES TO ANY ROADWAY THAT IS CLASSIFIED AS A COLLECTOR OR GREATER.
7. A 7 FOOT MINIMUM POST LENGTH SHALL BE MAINTAINED FROM THE BOTTOM OF THE SIGN PANEL TO THE GROUND. THIS REQUIREMENT FOR VERTICAL CLEARANCE IS FOR ALL SIGNS.
8. DELINEATION OF ROADWAYS SHALL BE AS SPECIFIED IN THE COLORADO DEPARTMENT OF TRANSPORTATION M AND S STANDARDS.
9. RAISED MEDIAN ISLAND NOSES SHALL HAVE R4-7 SIGNS AT EACH END AND A 4"x12" HIGH INTENSITY YELLOW SIGN BLANK LOCATED MIDWAY BETWEEN THE R4-7 SIGN AND FINISHED GRADE ON EACH POST.
10. SIGNAGE AND STRIPING HAS BEEN DETERMINED BY INFORMATION AVAILABLE AT THE TIME OF REVIEW. PRIOR TO THE INITIATION OF ANY WARRANTY PERIOD, THE TOWN OF PARKER RESERVES THE RIGHT TO REQUIRE MODIFICATIONS TO EXISTING, OR INSTALLATION OF, ADDITIONAL SIGNAGE AND/OR PAVEMENT MARKING IF IT IS DETERMINED THAT CONDITIONS WARRANT SUCH MODIFICATION ACCORDING TO THE MUTCD OR THE CDOT M AND S STANDARDS. ALL SIGNAGE AND STRIPING SHALL FALL UNDER THE REQUIREMENTS OF THE TWO YEAR WARRANTY PERIOD FOR NEW CONSTRUCTION. ADDITIONALLY, ALL PAVEMENT MARKINGS SHALL NOT LIFT OR PEEL DURING THE FIRST YEAR AFTER INSTALLATION.
11. DIAMOND GRADE MATERIAL SHALL BE USED ON ALL STOP SIGNS AND OVERHEAD SIGNS. ALL OTHER ROADSIDE TRAFFIC CONTROL DEVICES SHALL USE HIGH INTENSITY GRADE SHEETING. NO FLUORESCENT YELLOW GREEN SHEETING SHALL BE USED UNLESS SPECIFICALLY APPROVED BY THE TOWN OF PARKER.
12. ALL STREET NAME SIGNS SHALL BE HIGH INTENSITY, EXTRUDED, GREEN AND WHITE BLADES. ARTERIAL AND COLLECTOR STREET NAME SIGNS SHALL BE 9 INCH BLADES AND HAVE MIXED CASE LETTERING. LOCAL STREET NAME SIGNS SHALL BE 6 INCHES BLADES WITH MIXED CASE LETTERING.
13. ALL LAYOUTS FOR INTERNALLY ILLUMINATED STREET NAME SIGNS SHALL BE SUBMITTED TO THE TOWN FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
14. ALL REMOVED SIGNS SHALL BE RETURNED TO THE TOWN OF PARKER.
15. CROSSWALKS: SHALL BE CONSTRUCTED USING PREFORMED THERMO-PLASTIC OR AN APPROVED EQUAL. SHALL BE LONGITUDINAL 2 FEET BY 10 FEET (CONTINENTAL) TYPE OR OTHER APPROVED BY THE TOWN OF PARKER. SHALL LINE UP WITH HANDICAP RAMPS. SHALL BE CENTERED WITHIN LANES AND PLACED ON LANE AND CURB LINES SO AS TO AVOID VEHICLE WHEEL PATHS.
16. ALL PAVEMENT MARKING MATERIAL (INCLUDING WORDS AND SYMBOLS) SHALL BE AS FOLLOWS: FOR CONCRETE SURFACE: LONG LINE MARKINGS (CHANNELIZATION LINES, SKIPS, ETC.) SHALL BE EPOXY PAINT. OTHER PAINT MAY BE USED FOR TEMPORARY APPLICATION ONLY WHEN APPROVED BY THE TOWN OF PARKER. WORDS, SYMBOLS, AND CROSSWALKS/STOP BARS SHALL BE METHYL-MYTHACRALATE, PREFORMED THERMOPLASTIC (90 MIL), PREFORMED PLASTIC (90 MIL), INLAYED TAPE (STAMARK), OR AS SPECIFIED. (SAND OR WATER BLAST CURING COMPOUND PRIOR TO INSTALLATION OF MARKINGS.) FOR ASPHALT SURFACE: LONG LINE MARKINGS (CHANNELIZATION LINES, SKIPS, ETC.) SHALL BE EPOXY PAINT. OTHER PAINT MAY BE USED FOR TEMPORARY APPLICATION ONLY WHEN APPROVED BY THE TOWN OF PARKER. WORDS, SYMBOLS, AND CROSSWALKS/STOP BARS SHALL BE HOT APPLIED THERMOPLASTIC (90 MIL), PREFORMED PLASTIC (90 MIL), INLAYED TAPE (STAMARK), METHYL-MYTHACRALATE, OR AS SPECIFIED.
17. INSPECTION AND APPROVAL OF STRIPING AND CROSSWALK LAYOUT TO BE DONE BY TOWN OF PARKER DEVELOPMENT REVIEW ENGINEER (CALL 303-840-9546) PRIOR TO APPLICATION OF FINAL STRIPING.

N:\PROJECTS\SSS\BENCHM\ENGINEERING\SHEET SET\TOWN OF PARKER\12 COVER.DWG, ANDREW.WP, 3/26/2018 9:45 PM

UNCC 1-800-922-1987
CALL 811
TWO WORKING DAYS
BEFORE YOU DIG

BENCHMARK
DOUGLAS COUNTY CONTROL POINT KNOWN AS 1.069032, BEING A 3-1/4" ALUMINUM CAP, BEING LOCATED IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, HAVING A PUBLISHED ELEVATION OF 1799.2870 METERS (5903.13 FEET) NAVD '88 DATUM.

BASIS OF BEARINGS:
THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 9 BEING MONUMENTED AT THE NORTHEAST CORNER OF SAID SECTION 9 BY A 3-1/4" ALUMINUM CAP STAMPED LS 23053 AND AT THE EAST QUARTER CORNER OF SAID SECTION 9 BY A 2-1/2" ALUMINUM CAP STAMPED LS 6935 BEING CONSIDERED TO BEAR SOUTH 00°15'06" EAST, 2648.70 FEET.

PREPARED UNDER THE SUPERVISION OF
BRIAN P. WILSON
COLORADO P.E. 0050067

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES. SUBJECT TO THESE PLANS BEING STAMPED, SIGN, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

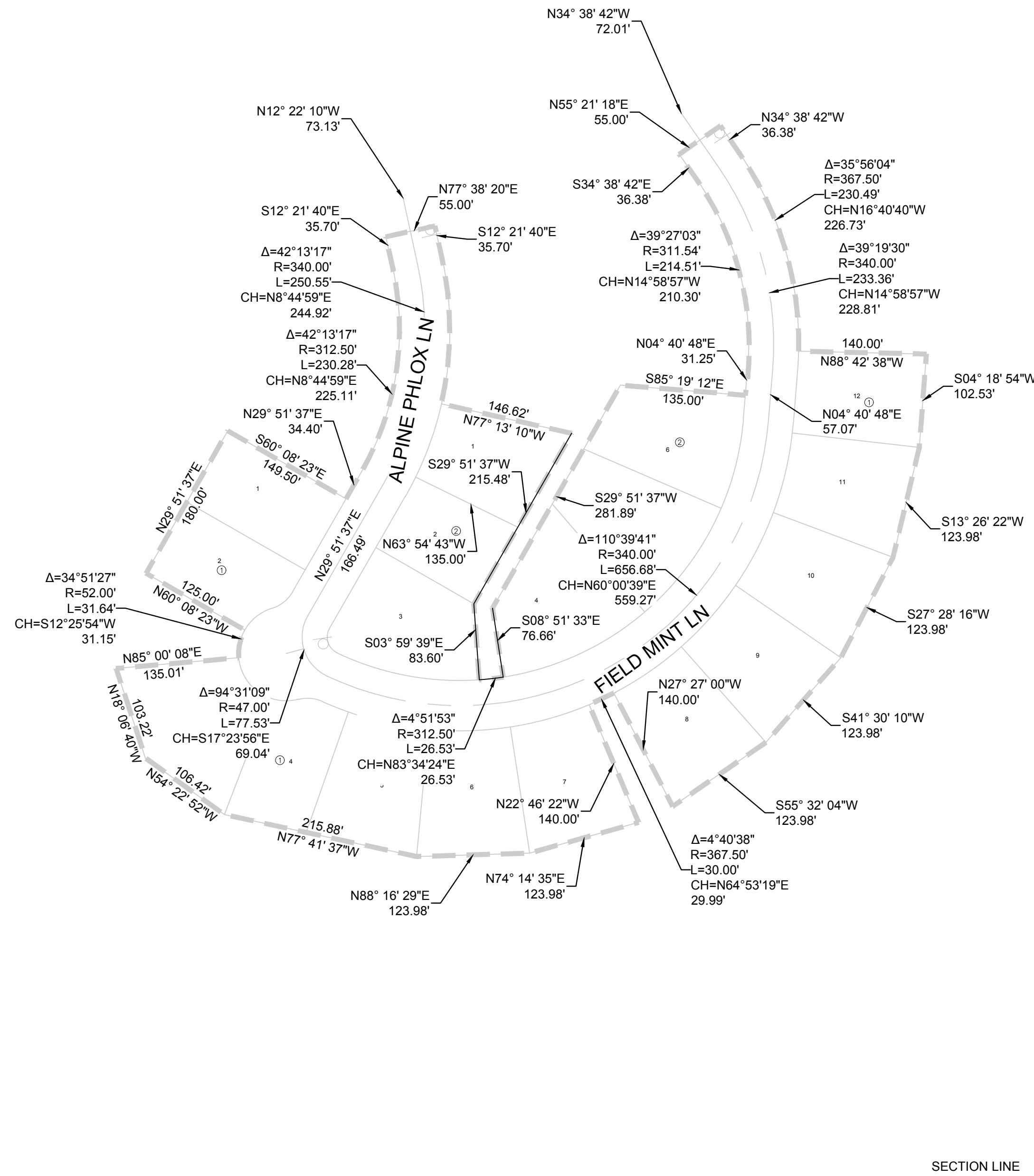
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Scale: AS SHOWN
File No: 8130283701
Date: SEPTEMBER 2017
SHEET NUMBER 2
TRAILS AT CROWFOOT
FILING 12 CONSTRUCTION DRAWINGS
TOWN OF PARKER NOTES
HR 935 LLC
7353 South Alton Way
CENTENNIAL, CO 80112
CVL CONSULTANTS
10338 E. Dry Creek Rd.
Suite 410
Englewood, CO 80150
Tel: (720) 482-9526
Fax: (720) 482-9546

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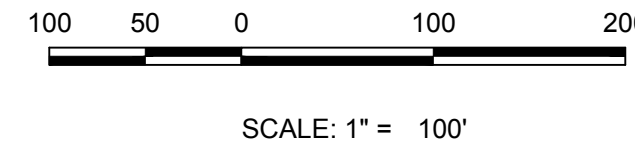
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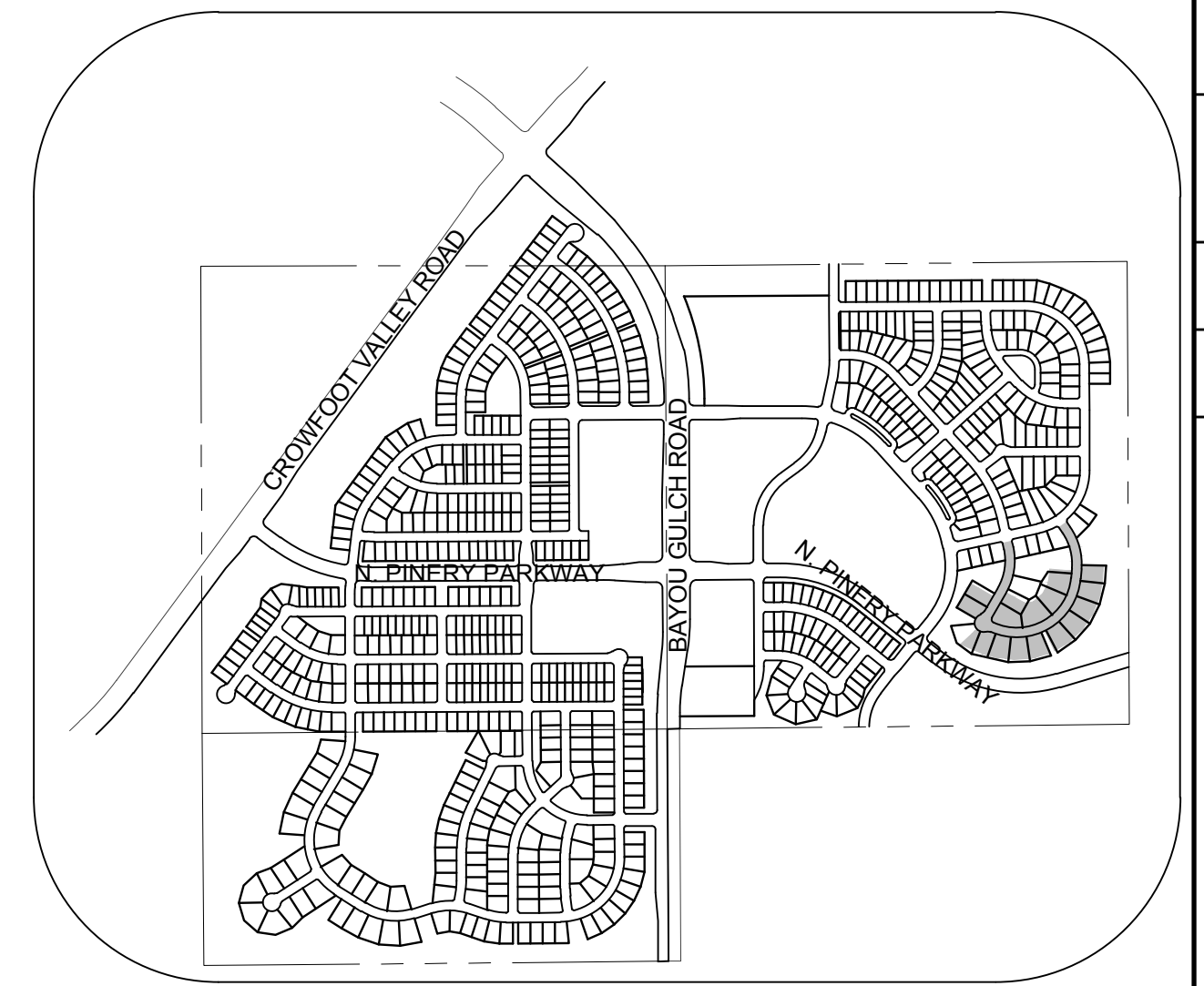


SECTION LINE

SECTION LINE



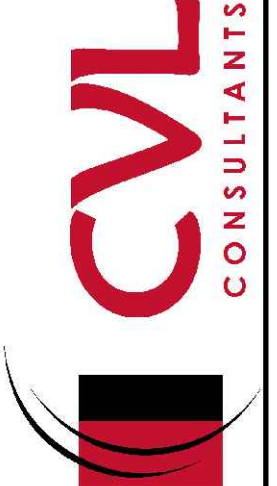
SCALE: 1" = 100'



KEYMAP
N.T.S.

| No. | Revisions | Date | Init. | Appr. | Date |
|-----|-----------|------|-------|-------|------|
| | | | | | |

10338 E. Dry Creek Rd.
Suite 410
Englewood, CO 80150
Tel: (720) 482-9526
Fax: (720) 482-9546



HR 935 LLC
7353 South Alton Way
CENTENNIAL, CO 80112

TRAILS AT CROWFOOT
FILING 12 CONSTRUCTION DRAWINGS
HORIZONTAL CONTROL PLAN

| | | |
|--------------------------|----------------|------------|
| SHEET NUMBER 3 | SCALE: | AS SHOWN |
| | FILE NO.: | 8130283701 |
| DRAWN BY: | TP | |
| CHECKED BY: | JJ | |
| DATE: | SEPTEMBER 2017 | |

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGN, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

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BENCHMARK
DOUGLAS COUNTY CONTROL POINT KNOWN AS 1.069032, BEING A 3-1/4" ALUMINUM CAP, BEING LOCATED IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, HAVING A PUBLISHED ELEVATION OF 1799.2870 METERS (5903.13 FEET) NAVD '88 DATUM.

BASIS OF BEARINGS:
THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 9 BEING MONUMENTED AT THE NORTHEAST CORNER OF SAID SECTION 9 BY A 3-1/4" ALUMINUM CAP STAMPED LS 23053 AND AT THE EAST QUARTER CORNER OF SAID SECTION 9 BY A 2-1/2" ALUMINUM CAP STAMPED LS 6935 BEING CONSIDERED TO BEAR SOUTH 00°15'06" EAST, 2648.70 FEET.

PREPARED UNDER THE SUPERVISION OF

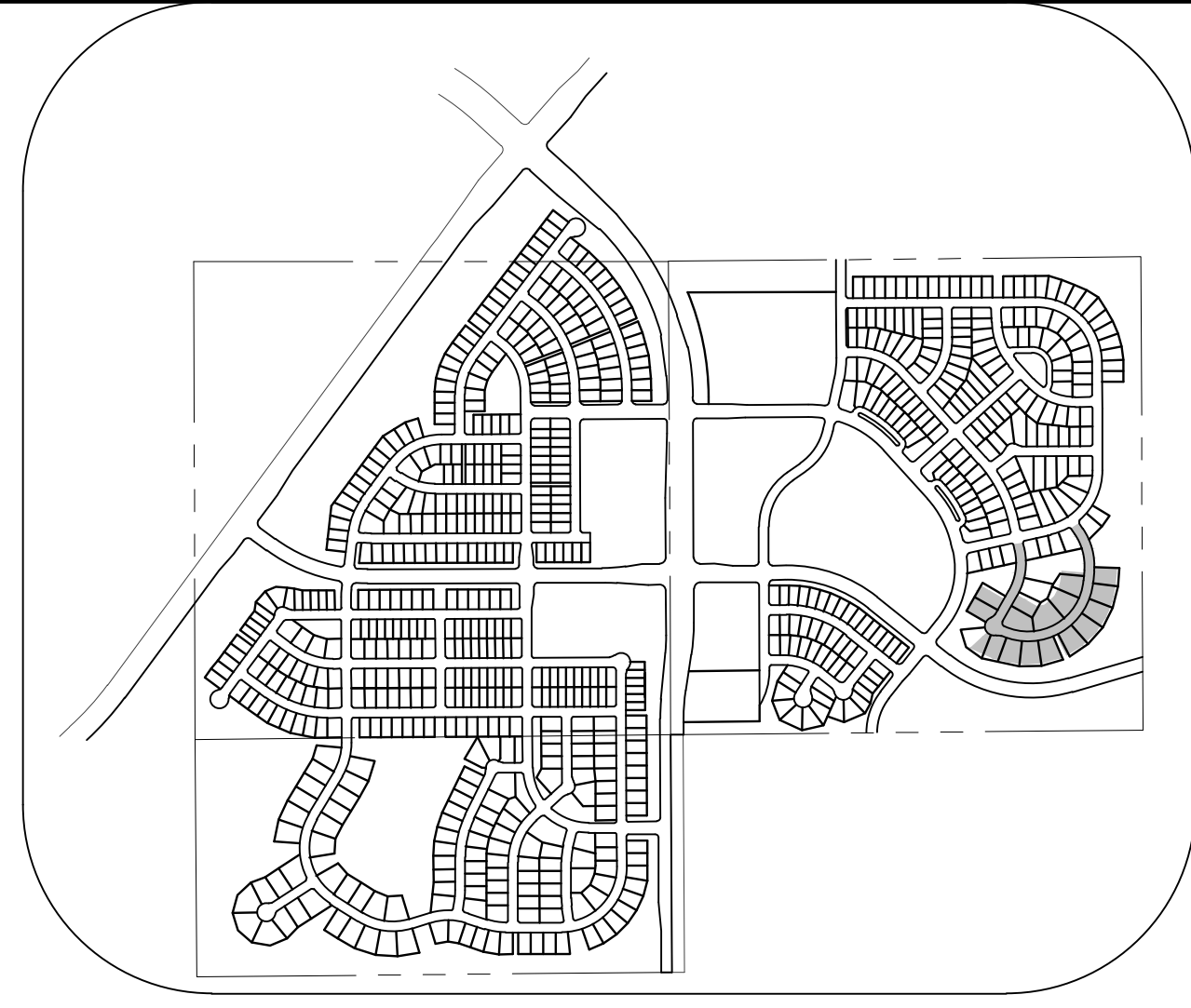
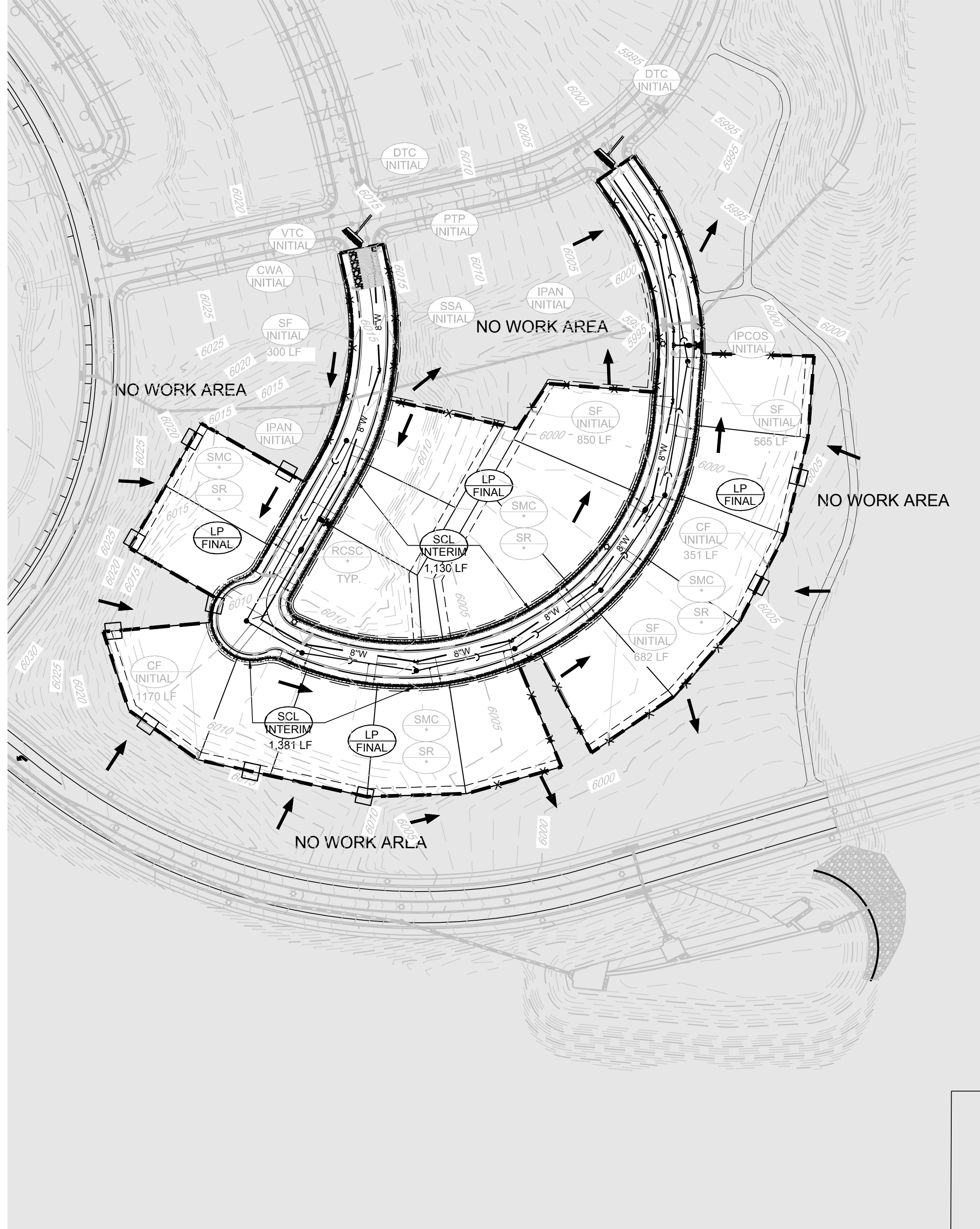
BRIAN P. WILSON
COLORADO P.E. 0050067

TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

N:\PROJECTS\SHES RANCH\CAD\ENGINEERING\SHETS\CD\SF 21\TOWN OF PARKER\F12 BMP PLANS.DWG. CDDVA. 3/13/2018 2:17 PM

UNCC
UTILITY NOTIFICATION
COURTESY OF PARKER

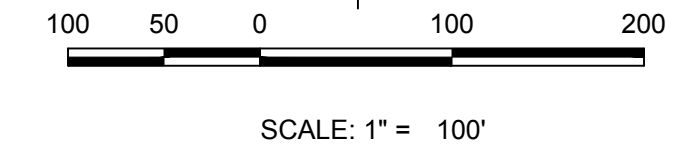
CALL 811
TWO WORKING DAYS
BEFORE YOU DIG
1-800-922-1987



KEYMAP
N.T.S.

LEGEND

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- NO WORK AREA
- EXISTING SURFACE FLOW DIRECTION
- PROPOSED SURFACE FLOW DIRECTION



| | | |
|--|---|--|
| <p>CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES</p> <ul style="list-style-type: none"> CD CHECK DAM CF CONSTRUCTION FENCE CF DRAINAGE PROTECTION CF CONCRETE WASHOUT AREA CF DOWNTURN CF CURB AND GUTTER CF DETENTION POND PROTECTION CF DEBRIS TRAP CONTROL CF EROSION CONTROL BLANKET CF INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT CF INLET PROTECTION FOR AREA INLETS IN PAVEMENT CF INLET PROTECTION OVERS GRASS/GRASS TYPE II INLET CF INLET PROTECTION OVERS ON SLURRY TYPE II INLET | <p>CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES</p> <ul style="list-style-type: none"> LP LOT PROTECTION LP MAJOR WORK PROTECTION LP PORTABLE TOILET PROTECTION LP ROUGH CUT STREET CONTROL LP ROCK BOD LP ROCK SOCK IN SWALE LP STRAW SALE LP SEDIMENT CONTROL LOGS LP SILT FENCE LP SEEDING, MULCHING AND COVERING LP SURFACE TROUGH LP STABILIZED STAGING AREA LP TEMPORARY TRANSITION PROTECTION | <p>CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES</p> <ul style="list-style-type: none"> T TEMPORARY FERTIGATION T TEMPORARY SEGMENT BARRI T VEHICLE TRACKING CONTROL |
|--|---|--|

- NOTE:**
- RCSC, SMC, & SR TO BE INSTALLED WITH FILING 1.
 - ALL STREET CUTS SHALL BE CONTROLLED PER THE ROUGH CUT STREET CONTROL DETAIL. SEE BMP DETAILS.
 - TO REDUCE THE POTENTIAL FOR CLOGGING OF DEBRIS GATES, NO STRAW MULCH SHALL BE USED WITHIN THE EXCESS URBAN RUNOFF VOLUME OF A DETENTION BASIN. INSTEAD, EROSION CONTROL BLANKET SHALL BE INSTALLED FOR A WIDTH OF AT LEAST 6 FEET ON BOTH SIDES OF THE CONCRETE LOW FLOW CHANNELS OR UP TO A DEPTH OF 1-FOOT IN SOIL RIPRAP OR BENCHING LOW FLOW CHANNELS. ADDITIONALLY, HYDRAULICALLY APPLIED WOOD FIBER MULCH, STABILIZED FIBER MATRIX, BONDED FIBER MATRIX, OR FLEXIBLE GROWTH MEDIUM SHALL BE USED IN ALL OTHER AREAS WITHIN THE EXCESS URBAN RUNOFF VOLUME OF THE DETENTION BASIN. THE BLANKET AND HYDRAULICALLY APPLIED MULCH SHALL COMPLY WITH THE MATERIALS AND INSTALLATION REQUIREMENTS FOR EROSION CONTROL BLANKETS AS REQUIRED BY THE TOWN'S CBMP PROGRAM, AND WHERE APPLICABLE, THE PRODUCT MANUFACTURER.
 - IT MAY BE NECESSARY TO PROVIDE BACK OF WALK PROTECTION AND BACK OF CURB PROTECTION ONCE VERTICAL CONSTRUCTION HAS BEGUN.
 - INSTALL ECB IN TREE LAWN AFTER INSTALLATION OF CURB AND GUTTER AND SIDEWALK. TYPICAL THROUGHOUT SUBDIVISION.
 - LOT PROTECTION REQUIRED ON ALL RESIDENTIAL LOTS IN ALL UNLANDSCAPED AREAS PRIOR TO CO.
 - SEDIMENT CONTROL BMPs MAY BE NECESSARY ALONG LOT LINES DURING HOME CONSTRUCTION.

BENCHMARK
DOUGLAS COUNTY CONTROL POINT KNOWN AS 1.060032, BEING A 3-1/4" ALUMINUM CAP, BEING LOCATED IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, HAVING A PUBLISHED ELEVATION OF 1799.2870 METERS (5903.13 FEET) NAVD '88 DATUM.

BASIS OF BEARINGS:
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PREPARED UNDER THE SUPERVISION OF

BRIAN P. WILSON
COLORADO P.E. 0050067

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES. SUBJECT TO THESE PLANS BEING STAMPED, SIGN, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

| | | | |
|--|--------------------|------------------------|-------------------------|
| SHEET NUMBER 5 | SCALE: AS SHOWN | FILE NO: 8130283701 | DATE: SEPTEMBER 2017 |
| | DRAWN BY: ASP | CHECKED BY: JU | |
| TRAILS AT CROWFOOT FILING 12 CONSTRUCTION DRAWINGS INTERIM & FINAL CBMP PLAN | | | |
| HR 935 LLC 7353 South Alton Way CENTENNIAL, CO 80112 | | | |
| CVL CONSULTANTS | | | |
| 10333 E. Dry Creek Rd. Suite 240 Englewood, CO 80112 Tel: (720) 482-9526 Fax: (720) 482-9546 | | | |
| No. | Revisions | Date | Appr. |
| | | | |

DEBRIS AND TRASH CONTROL

NOTE:

1. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, DRIVEWAYS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TRUCK CHANNELS, AND OTHER IMPROVED SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEANED AT THE END OF THE WORK DAY TO INCLUDE ALL CURB TRASH AND LITTER ASSOCIATED WITH THE PROJECT MUST BE REMOVED AND PROPERLY DISPOSED ON A DAILY BASIS.

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REV. 03/14

DEBRIS CONTROL NOTES:

1. A COMBINATION OF SURFACE SCANNING AND SWEEPING MAY BE NECESSARY TO PROPERLY CLEAN THE AREAS.
2. ALL CHYMEI OILS AND STAINS ON THE SITE SHALL BE CLEANED TO THE MAXIMUM EXTENT PRACTICABLE IN SOIL BASINS. IT MAY BE NECESSARY TO USE PRESSURIZED WATER AND A VACUUM TRUCK.
3. ON-SITE FERTILIZERS, PESTICIDES, ETC., SHOULD BE EDUCATED ON THE NEED FOR CONTINUAL EFFORTS AND TRANS-CONVEY.

1 OF 2
REV. 03/14

EROSION CONTROL BLANKET (SLOPE)

NOTE:

IF NECESSARY, ALL STAKES SHALL BE COMPLETED PRIOR TO THE INSTALLATION OF EROSION CONTROL BLANKETS. PLEASE SEE DETAIL FOR STAKING, MAINTENANCE, AND CLEANING REQUIREMENTS.

1 OF 2
REV. 03/14

EROSION CONTROL BLANKET (CHANNEL)

NOTE:

WOOD STAKES SHALL BE INSTALLED SUCH THAT ONLY 1/4" IS EXPOSED ABOVE THE GROUND. ALL WOOD STAKES SHALL BE COMPLETED PRIOR TO THE INSTALLATION OF EROSION CONTROL BLANKETS. PLEASE SEE DETAIL FOR STAKING, MAINTENANCE, AND CLEANING REQUIREMENTS.

1 OF 2
REV. 03/14

EROSION CONTROL BLANKET INSTALLATION NOTES

1. SET THE PLAN VIEW FOR THE LOCATION(S) OF THE EROSION CONTROL BLANKETS.
2. EROSION CONTROL BLANKETS USED IN CHANNEL PROTECTION SHALL BE THOROUGHLY SELECTED BY THE DESIGN ENGINEER BASED ON CURRENT AND FUTURE FLOW RATES WITHIN THE CHANNEL. BASED ON THESE CALCULATIONS, THE EROSION CONTROL BLANKET OR RIFRACTION MAY BE NECESSARY IN THE EROSION CONTROL BLANKETS.
3. INSTALLATION PRIOR TO BLANKET INSTALLATION, SOIL SURFACE SHALL BE SMOOTHED AND FREE OF ANY GAPS, HOLES, WEBS, ROCKS, STAKES OR OTHER UNDESIRABLE DEBRIS.
4. EROSION CONTROL BLANKET SHALL BE INSTALLED ACCORDING TO THE DETAIL DRAWINGS.
5. ANY DAMAGED OR WEAVING STAPLES OR STAKES SHALL BE REMOVED FROM THE SITE.
6. ALL EROSION CONTROL BLANKETS FOR SLOPE PROTECTION INSTALLED IN THE TOWN SHALL BE DOUBLE LAYER, STRAW OR EXCELISOR.

| MANUFACTURER | PRODUCT NAME |
|----------------------|----------------|
| NORTH AMERICAN GREEN | ST100 |
| APPROVED EQUAL | APPROVED EQUAL |

EROSION CONTROL BLANKET MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE EROSION CONTROL BLANKETS AND MAKE ANY NECESSARY REPAIRS.

1 OF 2
REV. 03/14

AREA INLET PROTECTION WITH CONCRETE APRON

NOTE:

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE AREA INLET PROTECTION.
2. THE AREA INLET PROTECTION SHOWN ON CBMP PLANS SHALL BE INSTALLED ON EXISTING INLETS IN PAVEMENT OR ANY LAND DISTURBING ACTIVITIES ON UNPAVED AREAS. THE INSTALLATION OF NEW INLETS, AN INTERMEDIATE INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.

1 OF 1
REV. 03/14

AREA INLET PROTECTION INSTALLATION NOTES

1. SEE PLAN VIEW FOR LOCATION(S) OF AREA INLET PROTECTION.
2. THE AREA INLET PROTECTION SHOWN ON CBMP PLANS SHALL BE INSTALLED ON EXISTING INLETS IN PAVEMENT OR ANY LAND DISTURBING ACTIVITIES ON UNPAVED AREAS. THE INSTALLATION OF NEW INLETS, AN INTERMEDIATE INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.

AREA INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE AREA INLET PROTECTION.
2. THE AREA INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
3. WHEN THE AREA INLET PROTECTION IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE AREA INLET PROTECTION SHALL BE REVEGETATED, SEEDING, MULCHED, AND COMPLETED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SPEC).
4. ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.

1 OF 1
REV. 03/14

AREA INLET PROTECTION IN PAVEMENT

NOTE:

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CURB INLET PROTECTION.
2. THE CURB INLET PROTECTION SHOWN ON CBMP PLANS SHALL BE INSTALLED ON EXISTING INLETS IN PAVEMENT OR ANY LAND DISTURBING ACTIVITIES ON UNPAVED AREAS. THE INSTALLATION OF NEW INLETS, AN INTERMEDIATE INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.

1 OF 1
REV. 03/14

INLET PROTECTION, CURB ON-GRADE, TYPE R INLET

NOTE:

1. ALL EROSION CONTROL BLANKETS FOR LOT PROTECTION INSTALLED IN THE TOWN SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:
2. ALL EROSION CONTROL BLANKETS FOR LOT PROTECTION SHALL BE INSTALLED ACCORDING TO THE DETAIL DRAWINGS, WITH THE FOLLOWING ALLOWANCES AND ADDITIONS:
 - THE TOWN WILL ALLOW THE USE OF BIODEGRADABLE EROSION CONTROL BLANKETS - STAPLES SHALL BE MADE OF IRON OR ALUMINUM METAL STAPLES.
 - ALL EROSION CONTROL BLANKET JOISTS (STAPLES AND ENDS) MUST OVERLAP THE ADJACENT BLANKETS BY A MINIMUM OF 6" NOTICES WITH THE ADJACENT EDGES BEING PLACED ON TOP OF THE DOWN-SLOPE EDGE OF THE ADJACENT BLANKET.
 - ALL JOISTS (STAPLES AND ENDS) OF THE EROSION CONTROL BLANKETS SHALL BE INSTALLED TO BE REVEALED INTO THE GROUND ASSURING THE SITE CONDITIONS WILL NOT CAUSE EROSION BEHIND THE BLANKETS. THESE ASSUMPTIONS WILL BE THE RESPONSIBILITY OF THE EROSION CONTROL SUPERVISOR. ON OCCASION, THE TOWN'S INSPECTOR MAY REQUEST REVEALING BASED UPON SITE CONDITIONS.
 - TOPSOIL PLACEMENT, SEEDING, AND MULCHING WILL NOT BE REQUIRED ON THE LOTS PRIOR TO THE INSTALLATION OF THE EROSION CONTROL BLANKETS.
3. ANY DAMAGED OR EXCESS STAPLES SHALL BE REMOVED FROM THE SITE UPON OCCUPANCY.
4. THE EROSION CONTROL BLANKETS REQUIRED AS PART OF THE LOT PROTECTION (LP) REQUIREMENT MUST BE INSTALLED ON ALL UNPAVED AREAS WITHIN EACH RESIDENTIAL, COMMERCIAL, AND COMMERCIAL LOT PRIOR TO THE OCCUPANCY OF A CERTIFICATE OF OCCUPANCY / TEMPORARY CERTIFICATE OF OCCUPANCY.

EROSION CONTROL BLANKET FOR LOT PROTECTION MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE EROSION CONTROL BLANKET FOR LOT PROTECTION.
2. EROSION CONTROL BLANKETS FOR LOT PROTECTION ARE INTENDED TO REMAIN IN PLACE AND MAINTAINED UNTIL LANDSCAPING IS INSTALLED.

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REV. 03/14

TUBULAR TRAFFIC MARKER DETAIL

1 OF 3
REV. 03/14

INLET PROTECTION, CURB ON-GRADE INSTALLATION NOTES

1. SET CBMP PLAN FOR LOCATION(S) OF ON-GRADE INLET PROTECTION.
2. CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
3. ROCK SOCK FOR ON-GRADE INLET PROTECTION SHALL BE ONE CONTINUOUS PIECE.
4. ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL, WELD TO KILL ROCK TO PREVENT SPINNING OUT.
5. ROCK SOCK SHALL BE PLACED 5.0' UPHILL OF THE INLET OPENING.
6. TUBULAR MARKERS SHALL BE A MINIMUM OF 3.0' HIGH WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
7. THE CURB INLET PROTECTION SHOWN ON CBMP PLANS SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE COMPLETE INSTALLATION OF THE CURB INLET PROTECTION ON ROADWAYS ADJACENT TO THE INLET.

ON-GRADE INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE ON-GRADE INLET PROTECTION.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
3. ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
4. ON-GRADE INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

1 OF 1
REV. 03/14

INLET PROTECTION, CURB ON SUMP, TYPE R INLET

NOTE:

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CURB INLET PROTECTION.
2. THE CURB INLET PROTECTION SHOWN ON CBMP PLANS SHALL BE INSTALLED ON EXISTING INLETS IN PAVEMENT OR ANY LAND DISTURBING ACTIVITIES ON UNPAVED AREAS. THE INSTALLATION OF NEW INLETS, AN INTERMEDIATE INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.

1 OF 2
REV. 03/14

CURB INLET PROTECTION INSTALLATION NOTES

1. SET CBMP PLAN FOR LOCATION(S) OF CURB INLET PROTECTION.
2. CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
3. ROCK SOCK SHALL BE ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAPPED JOINTS (SEE DETAIL RS).
4. ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL SIZED TO KEEP ROCK FROM SPINNING OUT.
5. ROCK SOCK SHALL BE 5.0' UPHILL OF CURB OPENING WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
6. TUBULAR MARKERS SHALL BE A MINIMUM OF 36" IN HEIGHT WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
7. THE CURB INLET PROTECTION SHOWN ON CBMP PLANS SHALL BE INSTALLED ON EXISTING INLETS IN PAVEMENT OR ANY LAND DISTURBING ACTIVITIES ON UNPAVED AREAS. THE INSTALLATION OF NEW INLETS, AN INTERMEDIATE INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.

CURB INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CURB INLET PROTECTION.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
3. ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
4. CURB INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

1 OF 1
REV. 03/14

LOT PROTECTION

1 OF 2
REV. 03/14

EROSION CONTROL BLANKET FOR LOT PROTECTION INSTALLATION NOTES

1. ALL EROSION CONTROL BLANKETS FOR LOT PROTECTION INSTALLED IN THE TOWN SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:
2. ALL EROSION CONTROL BLANKETS FOR LOT PROTECTION SHALL BE INSTALLED ACCORDING TO THE DETAIL DRAWINGS, WITH THE FOLLOWING ALLOWANCES AND ADDITIONS:
 - THE TOWN WILL ALLOW THE USE OF BIODEGRADABLE EROSION CONTROL BLANKETS - STAPLES SHALL BE MADE OF IRON OR ALUMINUM METAL STAPLES.
 - ALL EROSION CONTROL BLANKET JOISTS (STAPLES AND ENDS) MUST OVERLAP THE ADJACENT BLANKETS BY A MINIMUM OF 6" NOTICES WITH THE ADJACENT EDGES BEING PLACED ON TOP OF THE DOWN-SLOPE EDGE OF THE ADJACENT BLANKET.
 - ALL JOISTS (STAPLES AND ENDS) OF THE EROSION CONTROL BLANKETS SHALL BE INSTALLED TO BE REVEALED INTO THE GROUND ASSURING THE SITE CONDITIONS WILL NOT CAUSE EROSION BEHIND THE BLANKETS. THESE ASSUMPTIONS WILL BE THE RESPONSIBILITY OF THE EROSION CONTROL SUPERVISOR. ON OCCASION, THE TOWN'S INSPECTOR MAY REQUEST REVEALING BASED UPON SITE CONDITIONS.
 - TOPSOIL PLACEMENT, SEEDING, AND MULCHING WILL NOT BE REQUIRED ON THE LOTS PRIOR TO THE INSTALLATION OF THE EROSION CONTROL BLANKETS.
3. ANY DAMAGED OR EXCESS STAPLES SHALL BE REMOVED FROM THE SITE UPON OCCUPANCY.
4. THE EROSION CONTROL BLANKETS REQUIRED AS PART OF THE LOT PROTECTION (LP) REQUIREMENT MUST BE INSTALLED ON ALL UNPAVED AREAS WITHIN EACH RESIDENTIAL, COMMERCIAL, AND COMMERCIAL LOT PRIOR TO THE OCCUPANCY OF A CERTIFICATE OF OCCUPANCY / TEMPORARY CERTIFICATE OF OCCUPANCY.

EROSION CONTROL BLANKET FOR LOT PROTECTION MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE EROSION CONTROL BLANKET FOR LOT PROTECTION.
2. EROSION CONTROL BLANKETS FOR LOT PROTECTION ARE INTENDED TO REMAIN IN PLACE AND MAINTAINED UNTIL LANDSCAPING IS INSTALLED.

1 OF 2
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1 OF 2
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1 OF 2
REV. 03/14

10338 E. Dry Creek Rd.
Suite 600
Englewood, CO 80110
Tel: (720) 482-9526
Fax: (720) 482-9546

CVL CONSULTANTS

HR 935 LLC
7353 South Alton Way
CENTENNIAL, CO 80112

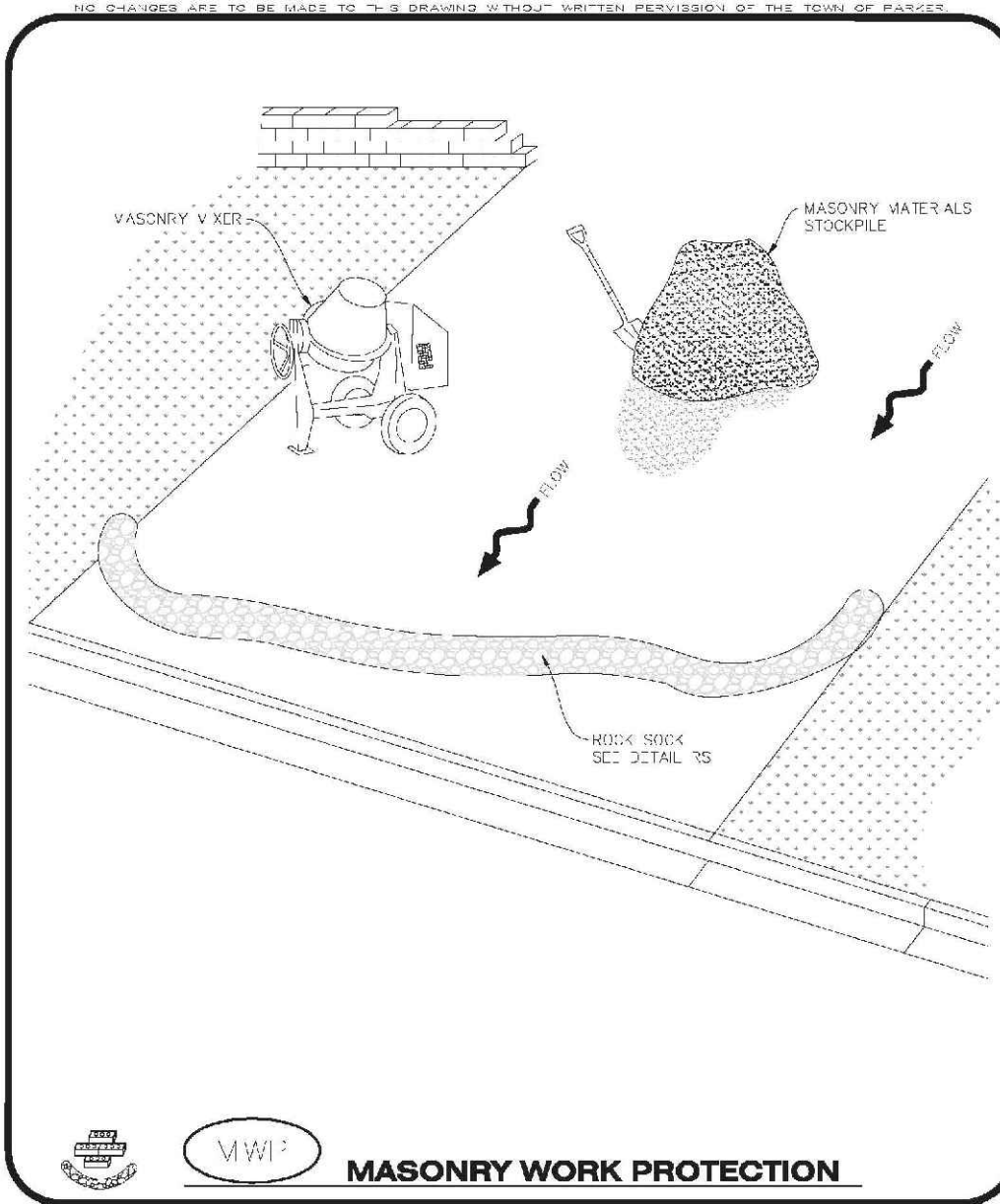
TRAILS AT CROWFOOT
FILING 12 CONSTRUCTION DRAWINGS
BMP DETAILS

SCALE: AS SHOWN
DRAWN BY: JF
CHECKED BY: JJ
DATE: SEPTEMBER 2017

FILE NO: 8130283701

SHEET NUMBER: 7

Revisions: No. Date Initial Appr. Date



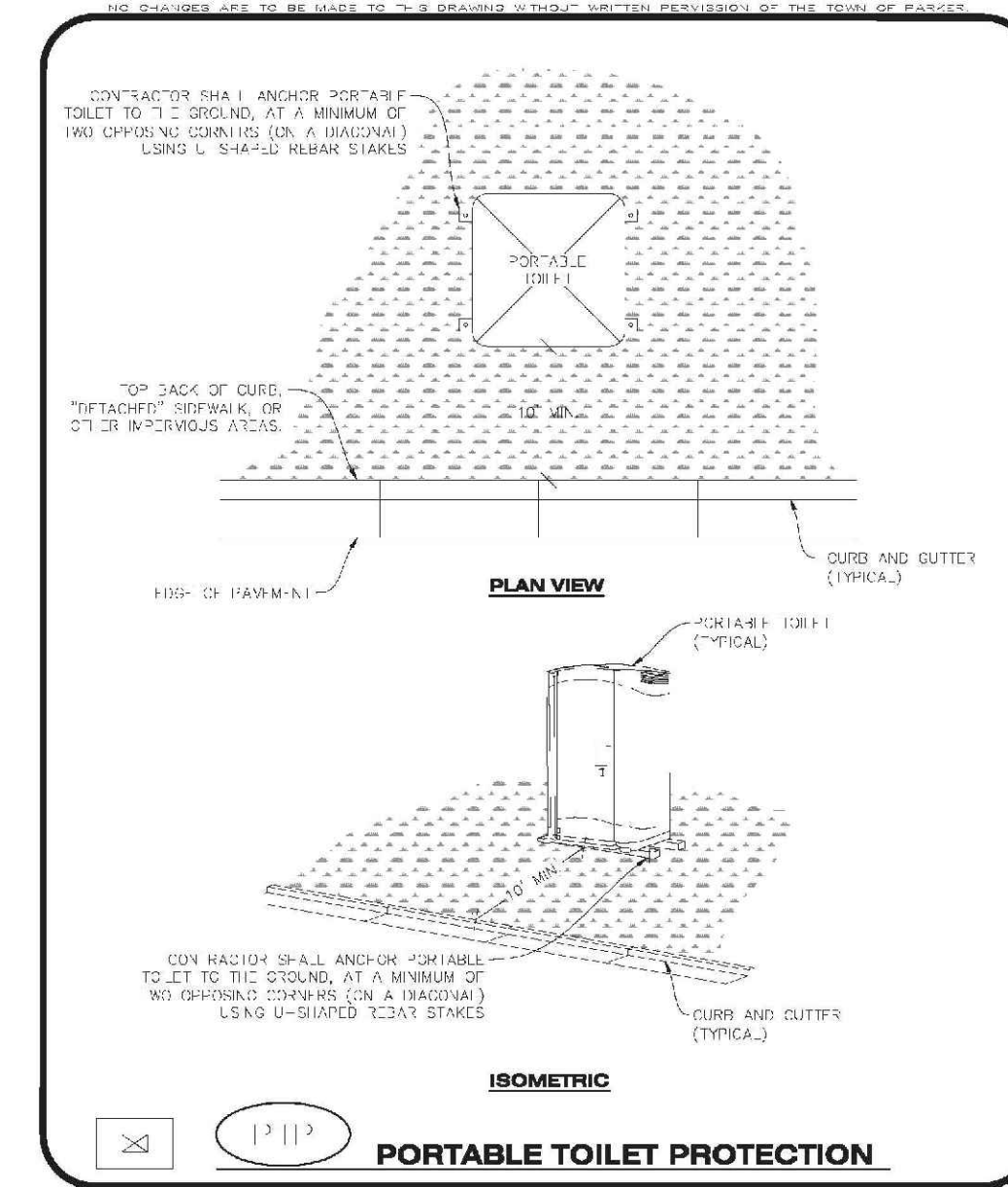
MASONRY WORK PROTECTION INSTALLATION NOTES

- MASONRY WORK PROTECTION SHALL BE INSTALLED WHEN MASONRY WORK AND MIXING IS OCCURRING.
- A ROCK SOCK SHALL BE INSTALLED IN A CRESCENT SHAPE ON THE DOWNHILL SIDE OF THE MASONRY WORK AND MIXER.
- CRUSHED ROCK SHALL BE 2.0' x 3.0' N SIZE WITH A FRACTURED FACE (ALL SIDES).
- ROCK SOCK SHALL BE ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAP-UP JOINTS (SEE DETAIL 10).
- ROCK SOCK SHALL BE CONSTRUCTED USING CHAIN WIRE OR OTHER APPROVED MATERIAL, SHALL BE 4.0' ROCK FROM SPILLING OUT.

MASONRY WORK PROTECTION INSPECTION AND MAINTENANCE NOTES

- THE PROJECT CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE MASONRY WORK AND LOCATION.
- ALL CONCRETE WASTE SHALL BE REGULARLY CLEANED AND PLACED IN THE CONCRETE WASTE COLLECTION AREA.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.

Parker COLORADO | **CBMP** | **MWP**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
REV. 2014



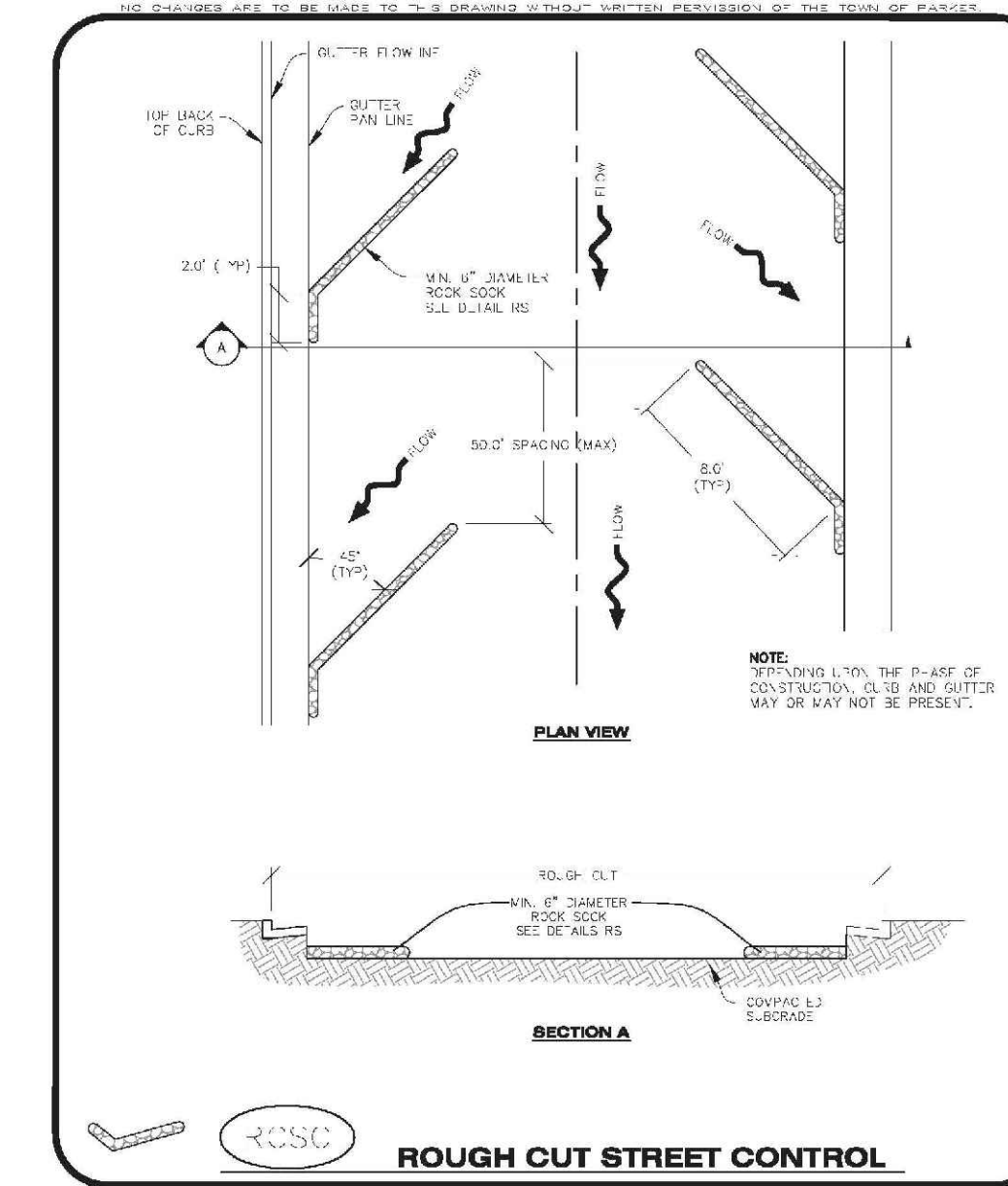
PORTABLE TOILET PROTECTION INSTALLATION NOTES

- PORTABLE TOILETS SHALL BE PLACED A MINIMUM OF 10.0' BEHIND ALL CURBS, SIDEWALKS, AND OTHER IMPERVIOUS AREAS.
- ALL PORTABLE TOILETS MUST BE CIRCUMFERED 100% WITH:
- PORTABLE TOILETS SHALL BE SECURELY ANCHORED TO THE GROUND USING U-SHAPED STEEL STAKES.
- U-SHAPED STEEL STAKES SHALL BE POSITIONED ON AT LEAST 2 OPPOSITE DIRECTION CORNERS.

PORTABLE TOILET PROTECTION INSPECTION AND MAINTENANCE NOTES

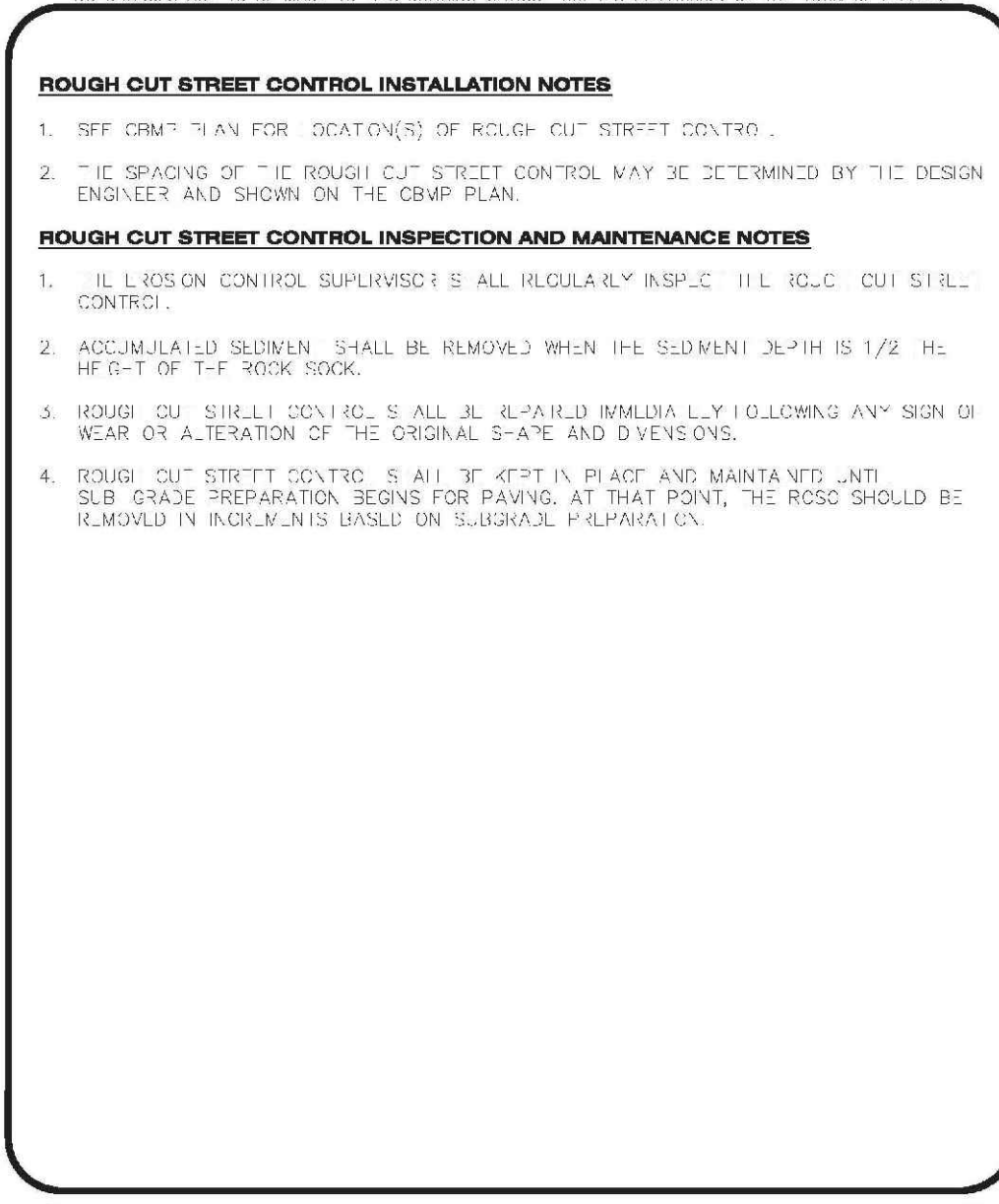
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE PORTABLE TOILET PROTECTION.
- PORTABLE TOILETS SHALL BE SECURED AT THE NECESSARY INTERVALS TO MAINTAIN THE POSSIBILITY OF OVERTURN.
- WHEN THE PORTABLE TOILETS ARE BEING USED, ANY DISBURSED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE TOILETS MAY NEED TO BE LANDSCAPED OR ROCK-CHEEDED, SEEDED, MULCHED, AND GRATED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL 5M).
- PORTABLE TOILETS THAT ARE NOT CONSISTENTLY MAINTAINED ACCORDANCE WITH THESE REQUIREMENTS MAY NEED TO BE DISBURSED IMMEDIATELY IN ORDER TO INCREASE COMPLIANCE AND REDUCE THE CHANCE OF A SPILL.

Parker COLORADO | **CBMP** | **PTP**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
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ROUGH CUT STREET CONTROL

Parker COLORADO | **CBMP** | **RCSC**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
REV. 2014



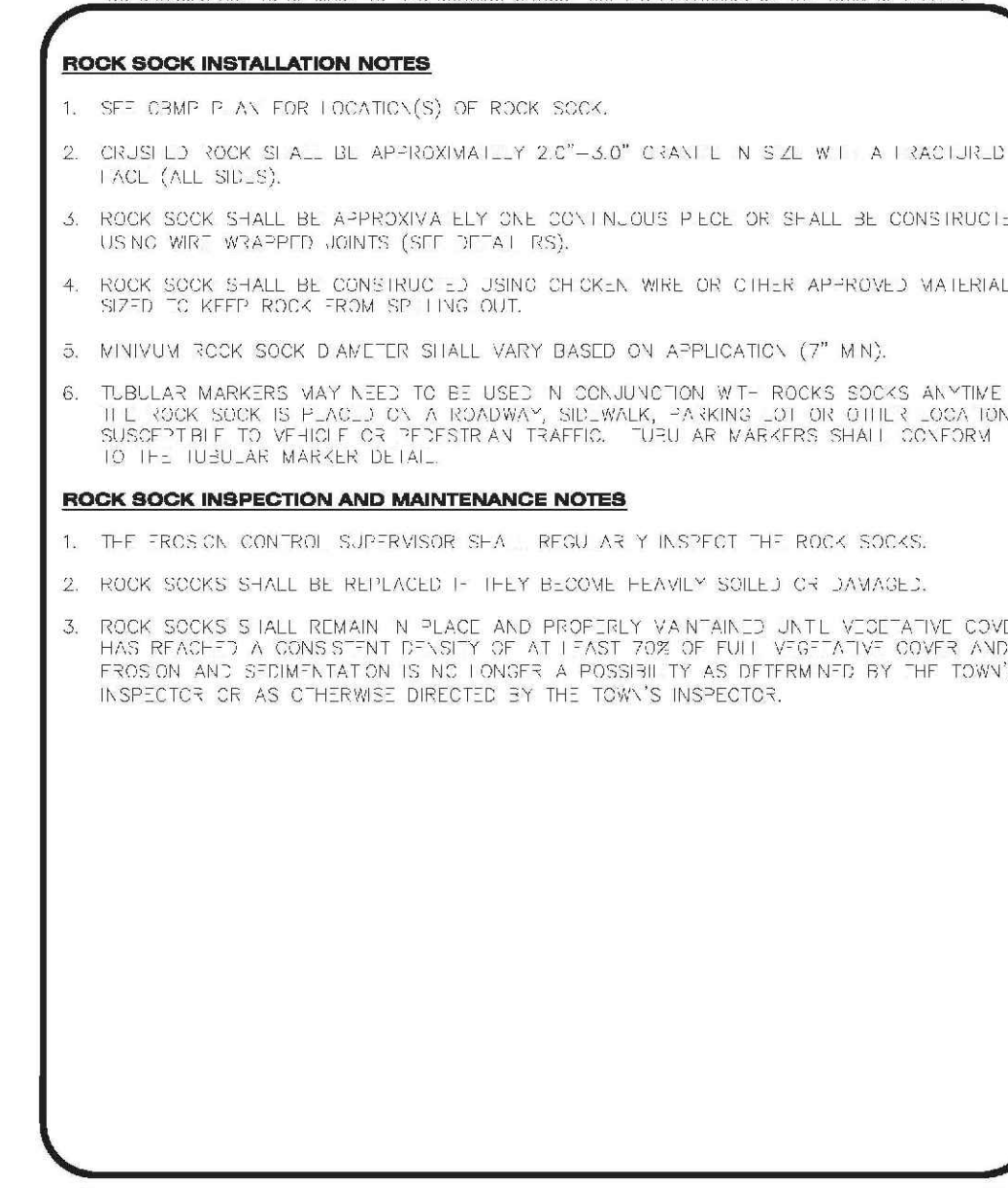
ROUGH CUT STREET CONTROL INSTALLATION NOTES

- SEE CBMP PLAN FOR LOCATION(S) OF ROUGH CUT STREET CONTROL.
- TYPICAL SPACING OF THE ROUGH CUT STREET CONTROL MAY BE DETERMINED BY THE DESIGN ENGINEER AND SHOWN ON THE CBMP PLAN.

ROUGH CUT STREET CONTROL INSPECTION AND MAINTENANCE NOTES

- THE PROJECT CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE ROUGH CUT STREET CONTROL.
- ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN THE SEDIMENT DEPTH IS 1/2 THE HEIGHT OF THE ROCK SOCK.
- ROCK SOCK SHALL BE REPLACED WHEN THE SEDIMENT DEPTH IS FOLLOWING ANY SIGN OF WEAR OR ALTERATION OF THE ORIGINAL SHAPE AND DIMENSIONS.
- ROUGH CUT STREET CONTROL SHALL BE KEPT IN PLACE AND MAINTAINED UNTIL SUBGRADE PREPARATION BEGINS FOR PAVING. AT THAT POINT, THE ROCK SOCK SHOULD BE REMOVED IN ACCORDANCE WITH THE TOWN'S SPECIFICATIONS.

Parker COLORADO | **CBMP** | **RCSC**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
REV. 2014



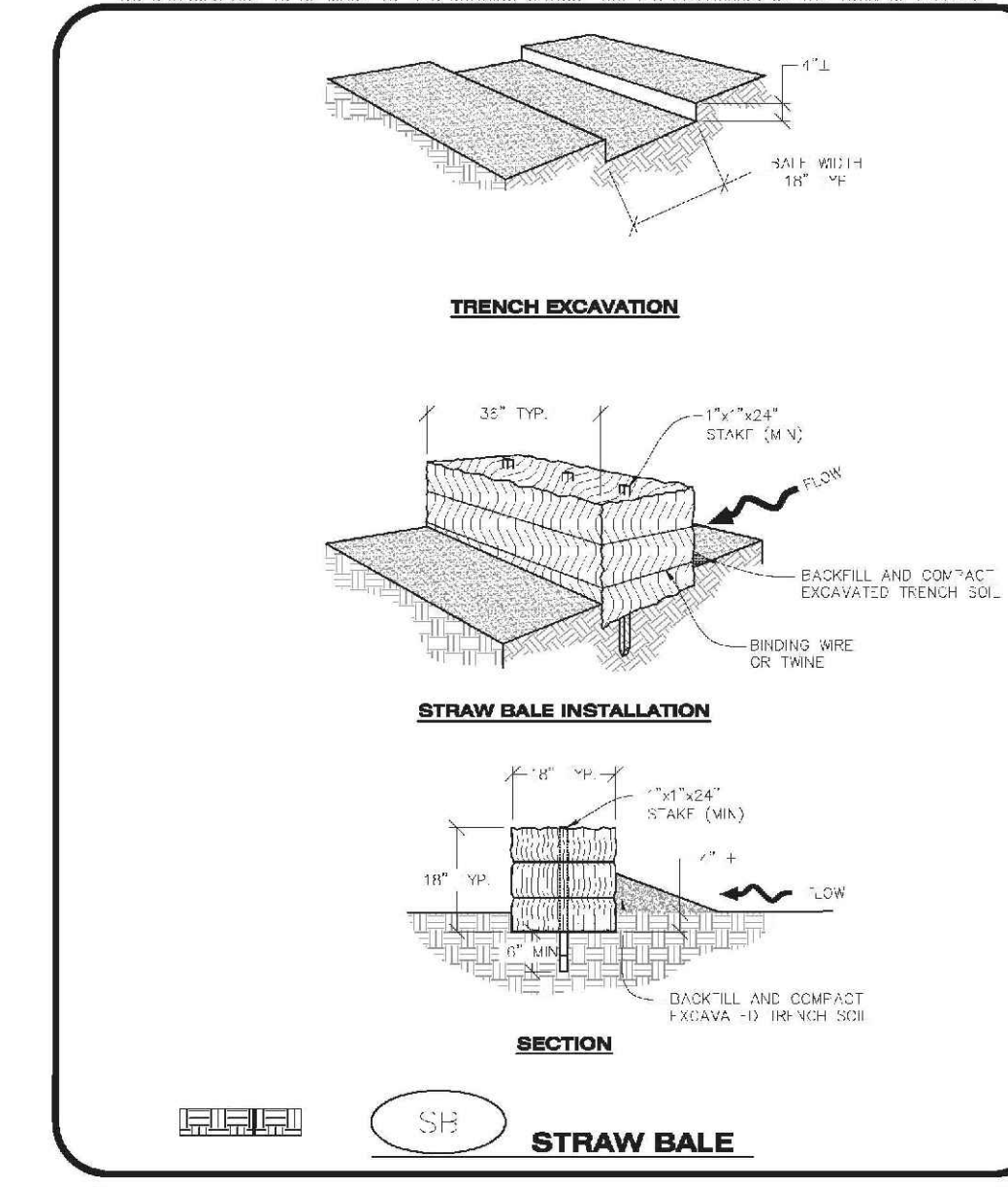
ROCK SOCK INSTALLATION NOTES

- SEE CBMP PLAN FOR LOCATION(S) OF ROCK SOCK.
- CRUSHED ROCK SHALL BE APPROXIMATELY 2.0' x 3.0' GRAVEL SIZE WITH A FRACTURED FACE (ALL SIDES).
- ROCK SOCK SHALL BE APPROXIMATELY ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAP-UP JOINTS (SEE DETAIL 10).
- ROCK SOCK SHALL BE CONSTRUCTED USING CHAIN WIRE OR OTHER APPROVED MATERIAL, SHALL BE 4.0' ROCK FROM SPILLING OUT.
- MINIMUM ROCK SOCK DIAMETER SHALL VARY BASED ON APPLICATION (7" MIN).
- TUBULAR MARKERS MAY NEED TO BE USED IN CONJUNCTION WITH ROCK SOCKS ANYTIME THE ROCK SOCK IS PLACED ON A ROADWAY, SIDEWALK, PARKING LOT OR OTHER LOCAL ROADWAY SUBJECT TO THE TOWN'S SPECIFICATIONS FOR TRAFFIC CONTROL MARKERS (SEE DETAIL 5M).

ROCK SOCK INSPECTION AND MAINTENANCE NOTES

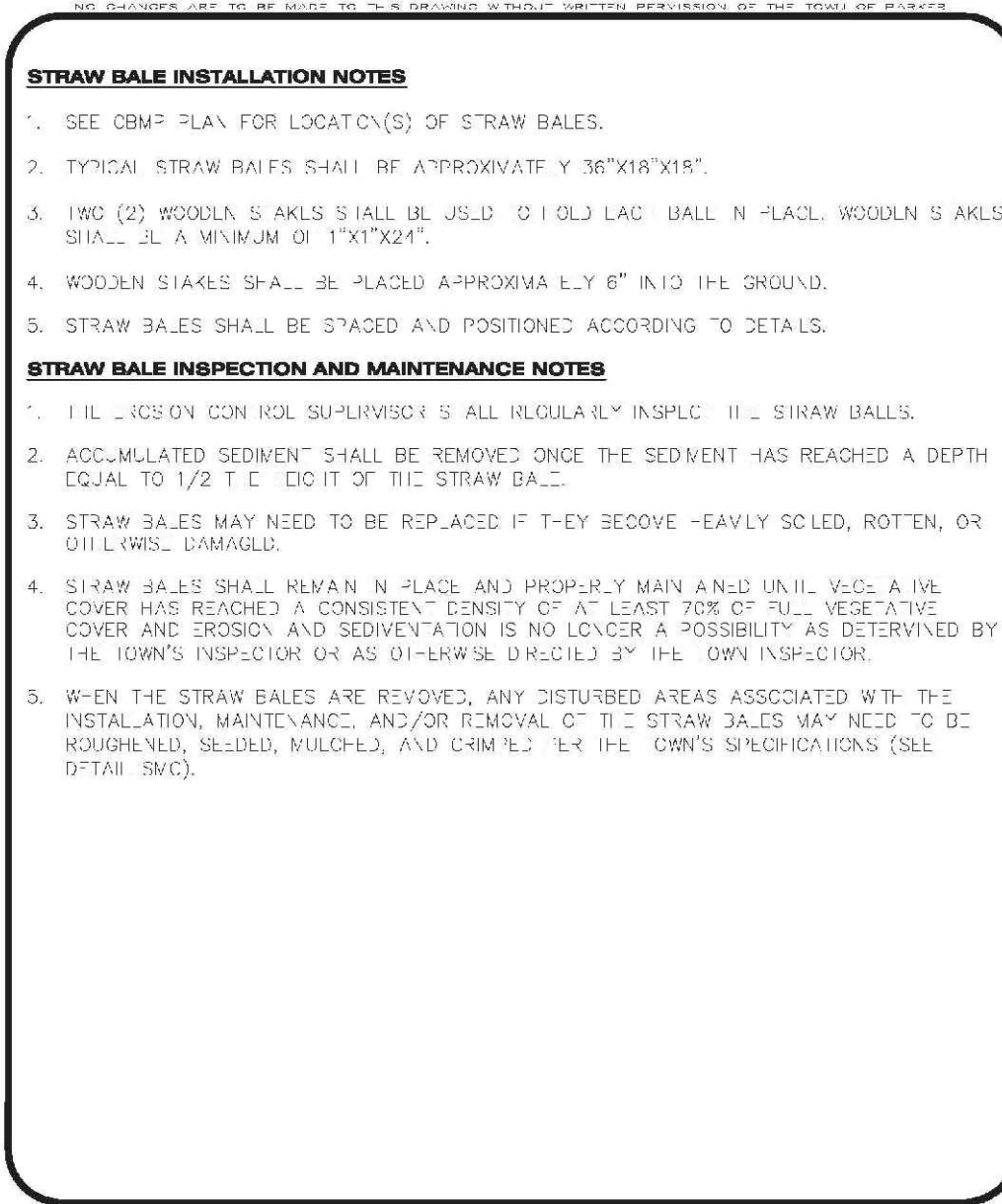
- THE PROJECT CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE ROCK SOCKS.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
- ROCK SOCKS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

Parker COLORADO | **CBMP** | **RS**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
REV. 2014



STRAW BALE

Parker COLORADO | **CBMP** | **SB**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
REV. 2014



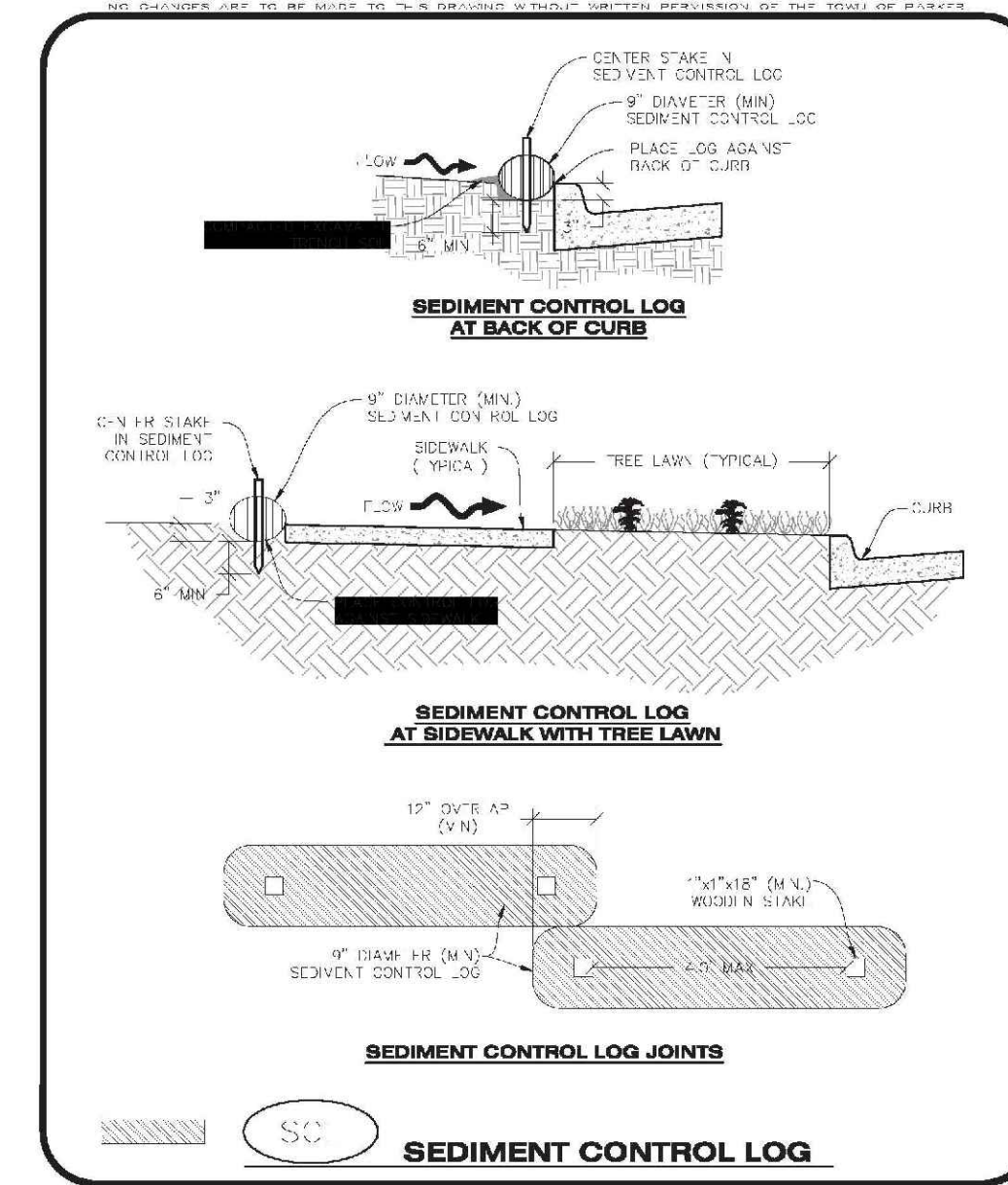
STRAW BALE INSTALLATION NOTES

- SEE CBMP PLAN FOR LOCATION(S) OF STRAW BALES.
- TYPICAL STRAW BALES SHALL BE APPROXIMATELY 36" x 18" x 18".
- TWO (2) WOODEN STAKES SHALL BE USED TO HOLD EACH BALE IN PLACE. WOODEN STAKES SHALL BE A MINIMUM OF 1" x 4" x 24".
- WOODEN STAKES SHALL BE PLACED APPROXIMATELY 6" INTO THE GROUND.
- STRAW BALES SHALL BE STAGED AND POSITIONED ACCORDING TO DETAILS.

STRAW BALE INSPECTION AND MAINTENANCE NOTES

- THE PROJECT CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE STRAW BALES.
- ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE STRAW BALE.
- STRAW BALES MAY NEED TO BE REPLACED IF THEY BECOME HEAVILY SOILED, ROTTEN, OR OTHERWISE DAMAGED.
- STRAW BALES SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- WHEN THE STRAW BALES ARE REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE STRAW BALES MAY NEED TO BE REVEGETATED, SEEDED, MULCHED, AND GRATED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL 5M).

Parker COLORADO | **CBMP** | **SB**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
REV. 2014



SEDIMENT CONTROL LOG INSTALLATION NOTES

- SEE CBMP PLAN FOR LOCATION(S) OF SEDIMENT CONTROL LOGS.
- ALL SEDIMENT CONTROL LOGS SHALL BE INSTALLED UPSTREAM OF ALL CURBS, SIDEWALKS, AND OTHER IMPERVIOUS AREAS.
- SEDIMENT CONTROL LOGS SHALL BE INSTALLED WITH A MINIMUM OF 10.0' FROM THE CURB AS A CURB SHALL BE INSTALLED IN PLACE. NO GAPS SHALL EXIST BETWEEN THE SEDIMENT CONTROL LOGS AND THE IMPERVIOUS SURFACE.
- A MINIMUM OF 4.0' SPACING BETWEEN (TYPICAL) IN THE SPACES OF A HIGH-SURFACE SHALL BE EXCAVATED USING A (TYPICAL) SHOVEL OR PICK UP ANCHOR (TYPICAL) SHALL BE SIZED TO ALLOW FOR THE SEDIMENT CONTROL LOG TO SEAT HIGHLY AGAINST THE ANCHOR TRENCH.
- EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF THE ANCHOR TRENCH AND PROPERLY COMPACTED.
- ANCHOR TRENCH SHALL BE RELATIVELY FREE OF ROCKS OR OTHER DEBRIS PRIOR TO THE PLACEMENT.
- ALL SEDIMENT CONTROL LOGS SHALL BE PLACED 3" (APPROX) BELOW THE GROUND AND PULLED TIGHT ON BOTH ENDS TO REMOVE ANY CURVES OR SNAGS.
- THE UPHILL SIDE OF THE SEDIMENT CONTROL LOG SHALL BE BACKFILLED WITH SOIL THAT IS RELATIVELY FREE OF ROCKS AND DEBRIS. THE SOIL SHALL BE TIGHTLY COMPACTED AGAINST THE GROUND AND SEDIMENT CONTROL LOG USING A SHOVEL OR SIMILAR DEVICE.
- SEDIMENT CONTROL LOG STAKES SHALL BE MADE OF WOOD AND SECURELY ANCHOR TO THE SOIL IN PLACE.
- STAKES SHALL BE PLACED ON 4.0' CENTERS AND EMBEDDED APPROXIMATELY 6" INTO THE GROUND. STAKES THAT ARE BROKEN PRIOR TO OR DURING INSTALLATION SHALL BE REPLACED.
- SEDIMENT CONTROL LOGS SHALL OVERLAP A MINIMUM OF 12". THE OVERLAPPING SHALL OCCUR ON THE UPHILL SIDE OF THE LOGS.
- SEDIMENT CONTROL LOGS SHALL BE STAGED WITHIN 6" FROM EACH END.
- SEDIMENT CONTROL LOGS SHALL BE INSTALLED WITH CURBS AND SIDEWALKS MUST BE DONE SO THAT NO MORE THAN A 2" GAP EXISTS BETWEEN THE SEDIMENT CONTROL LOGS AND THE IMPERVIOUS SURFACE. GAPS MAY BE RECLOSED IN AN ANGLES WHERE THE SOILS NOT OCCUR.

SEDIMENT CONTROL LOG INSPECTION AND MAINTENANCE NOTES

- THE PROJECT CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SEDIMENT CONTROL LOGS.
- ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE LOGS.
- SEDIMENT CONTROL LOGS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- SEDIMENT CONTROL LOGS SHALL BE REPLACED WHEN THERE ARE ANY SIGNS OF WEAR OR DAMAGE THAT WOULD PREVENT THE SEDIMENT CONTROL LOGS FROM FUNCTIONING AS DESIGNED.
- WHEN THE SEDIMENT CONTROL LOGS ARE REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE SEDIMENT CONTROL LOGS MAY NEED TO BE REVEGETATED, SEEDED, MULCHED, AND GRATED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL 5M).

Parker COLORADO | **CBMP** | **SCL**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 3 OF 3
REV. 2014



SEDIMENT CONTROL LOG

Parker COLORADO | **CBMP** | **SCL**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 3 OF 3
REV. 2014

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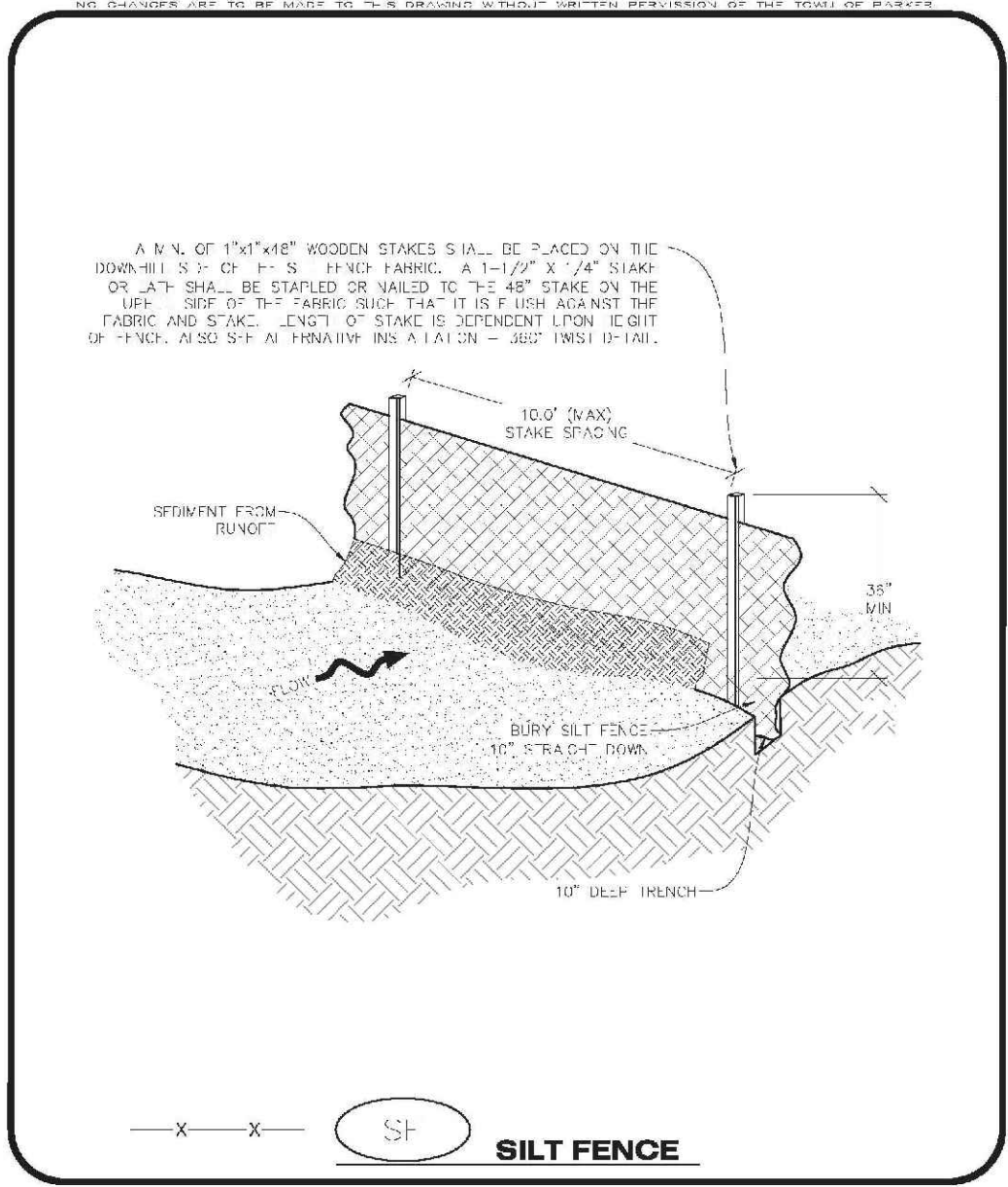
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| | | | | | | No. | Init. | Date |

10339 E. Dry Creek Rd.
Suite 110
Englewood, CO 80110
Tel: (720) 482-9526
Fax: (720) 482-9546

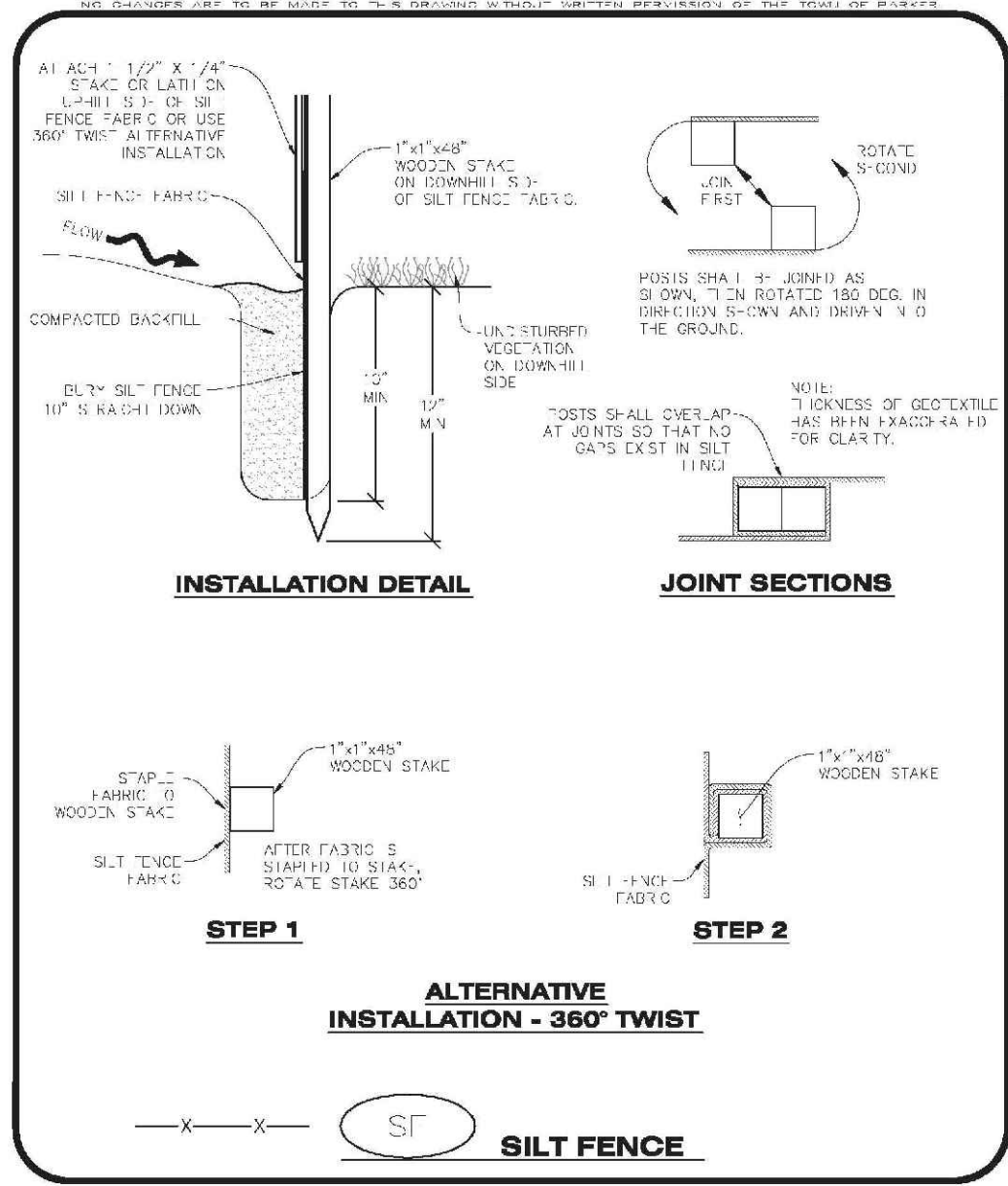
CVL CONSULTANTS

HR 935 LLC
7353 South Alton Way
CENTENNIAL, CO 80112

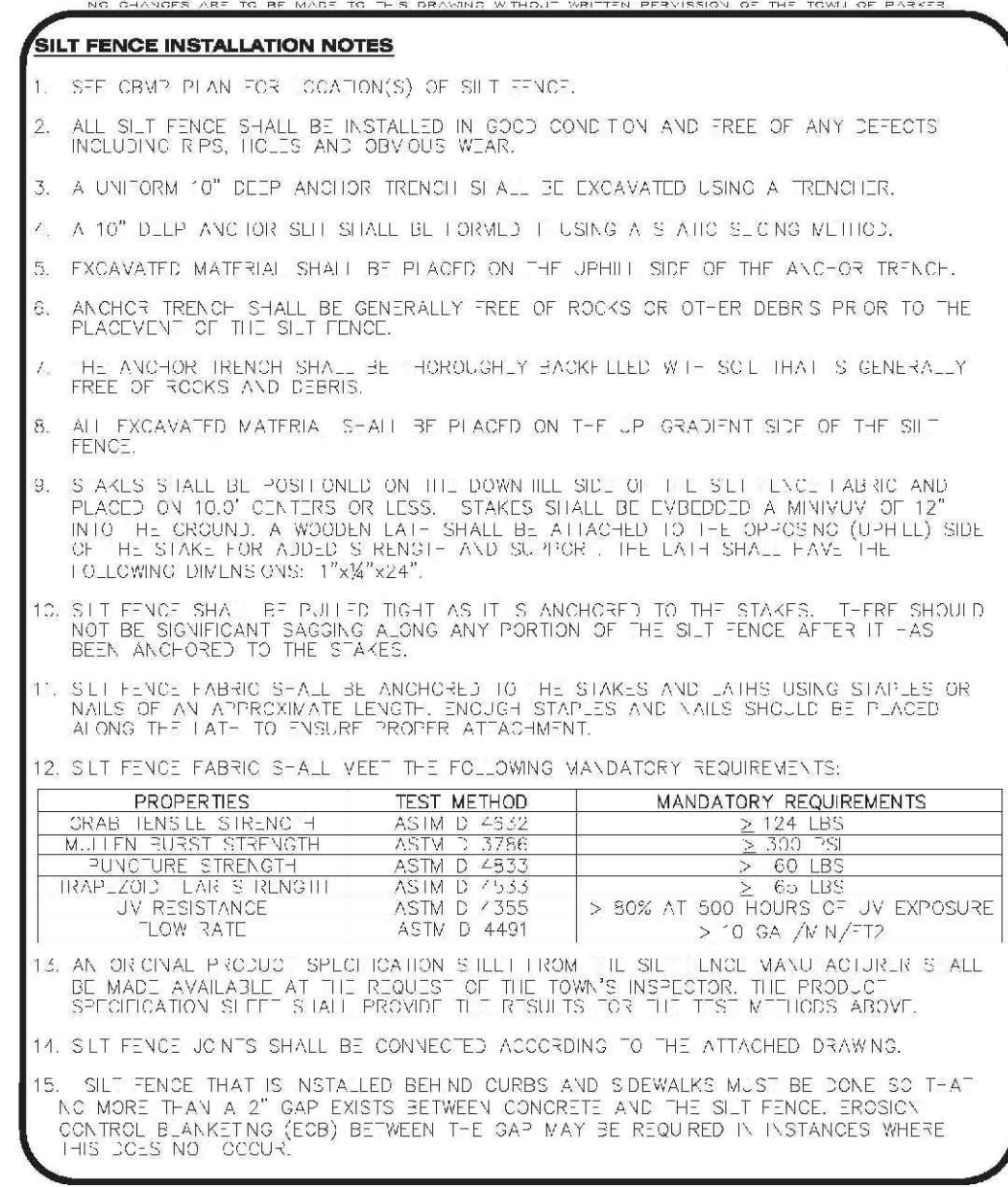
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CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
SF 2 OF 4
REV. 2014



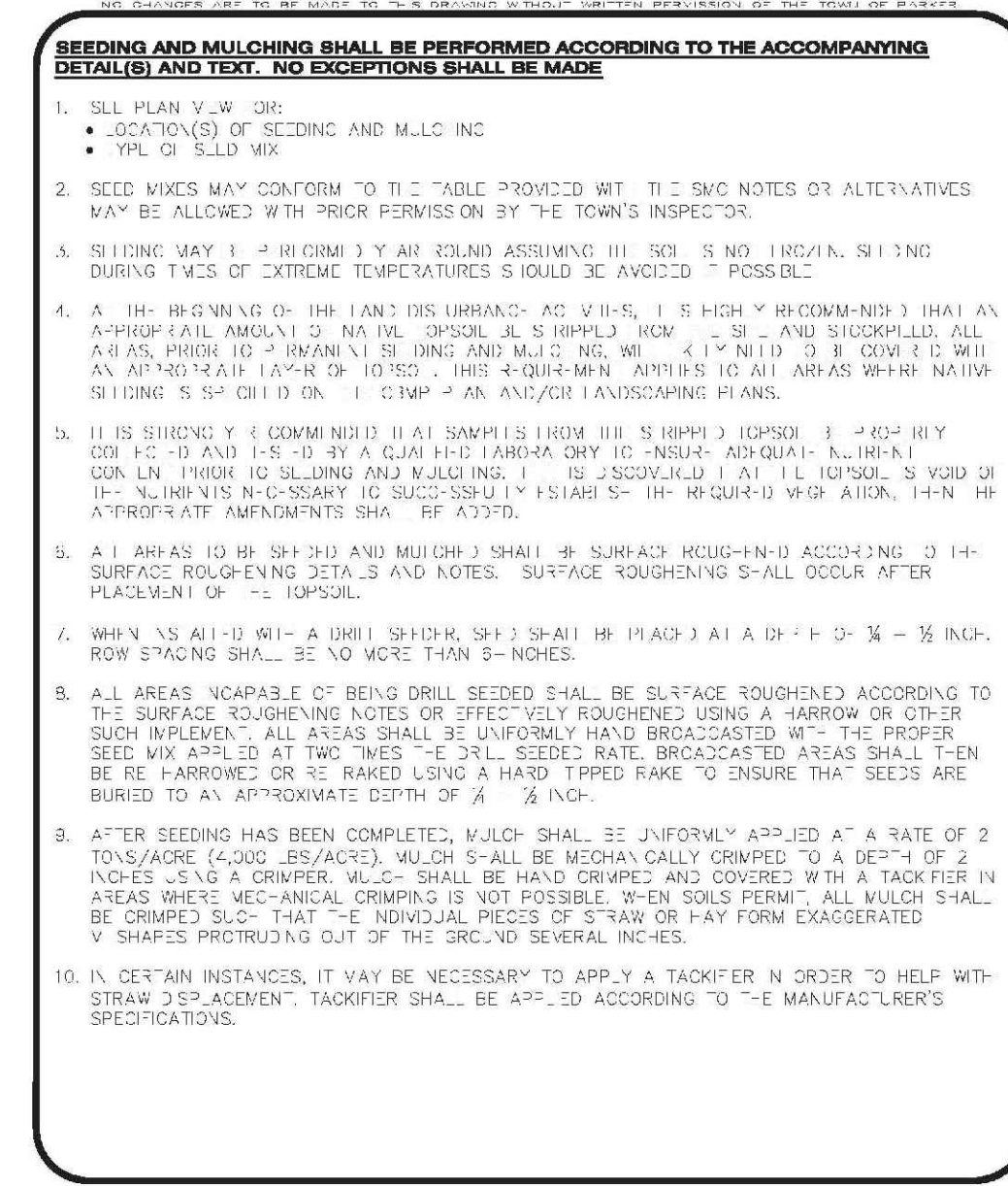
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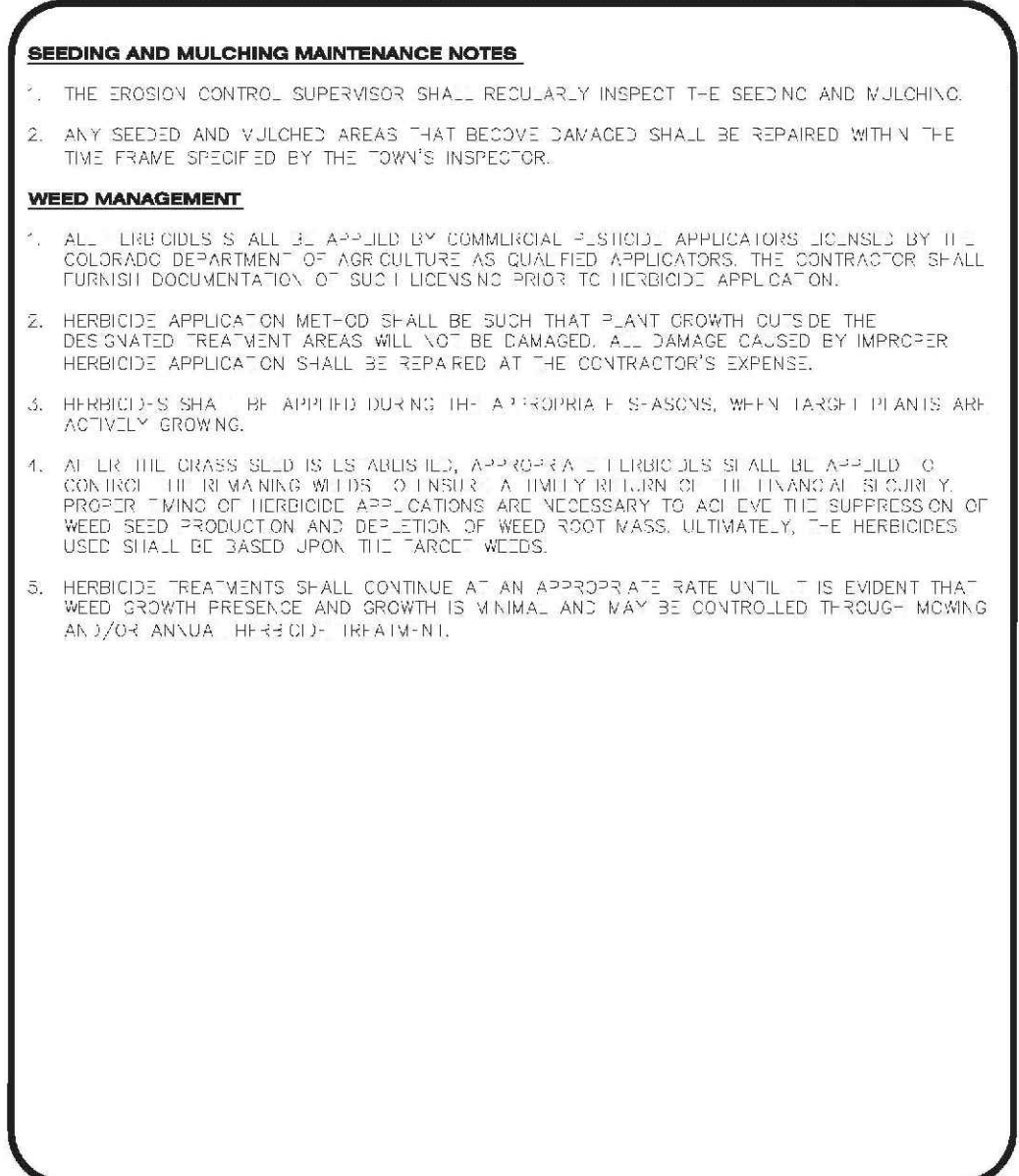
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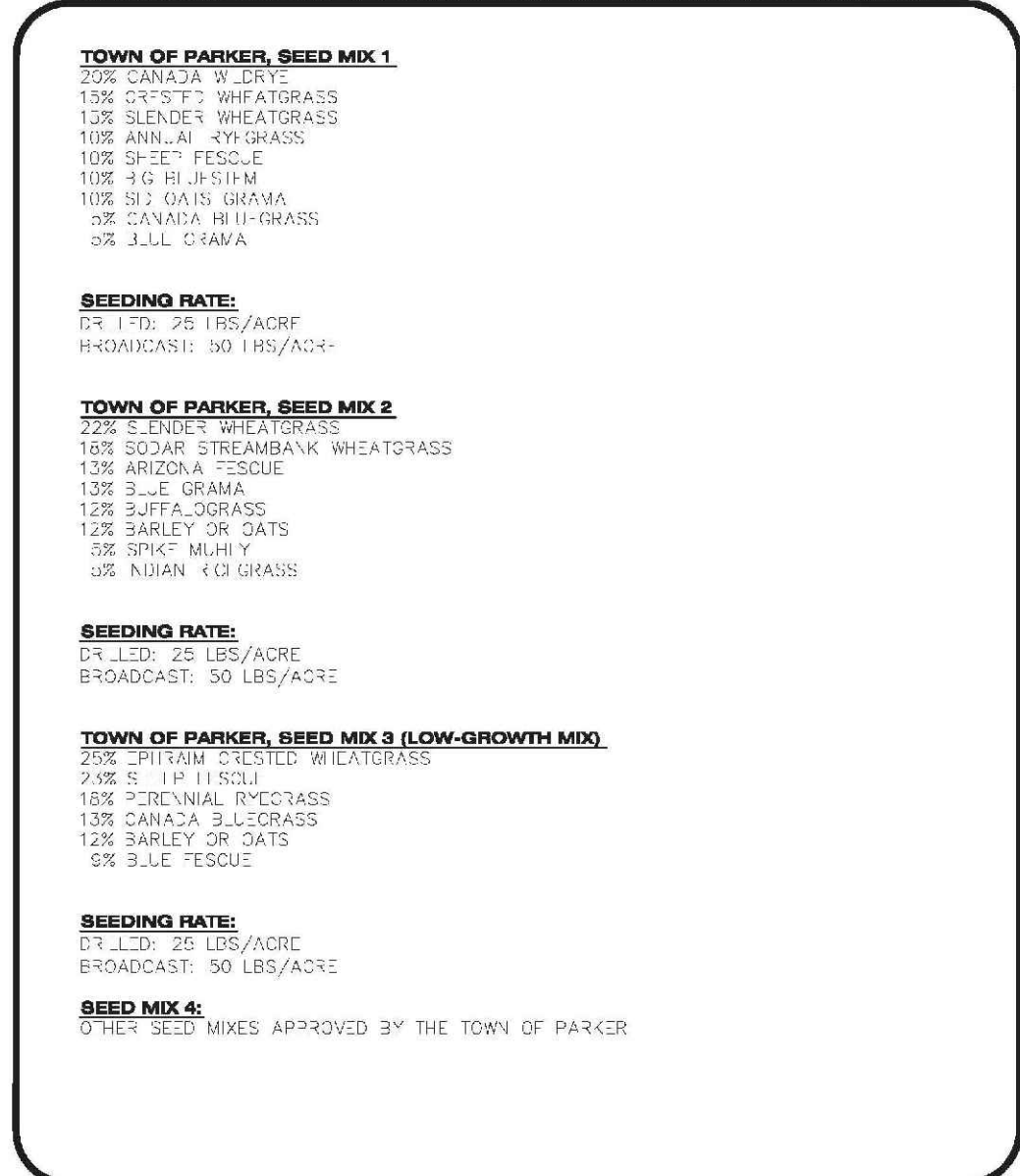
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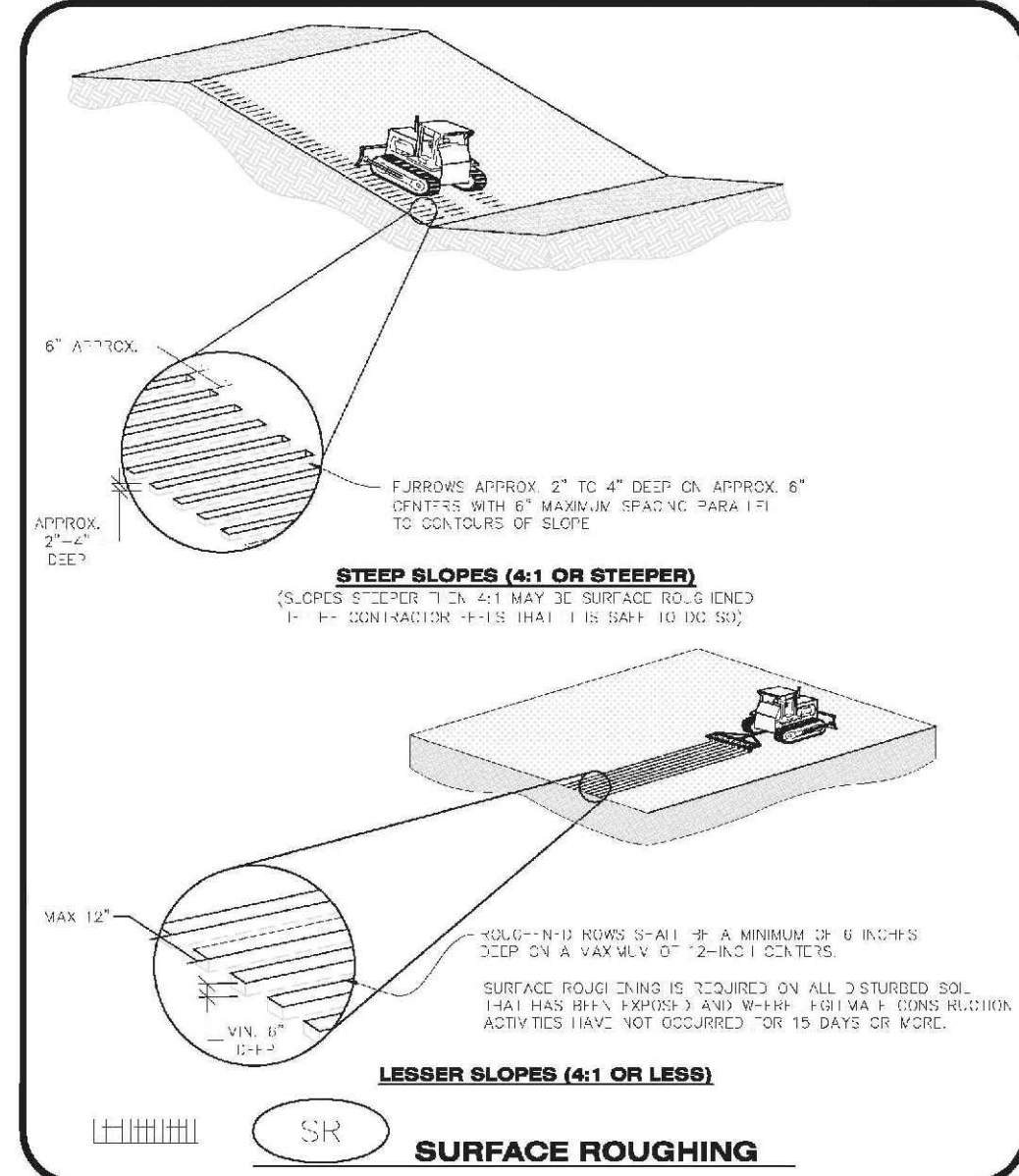
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SMC 1 OF 3
REV. 2014



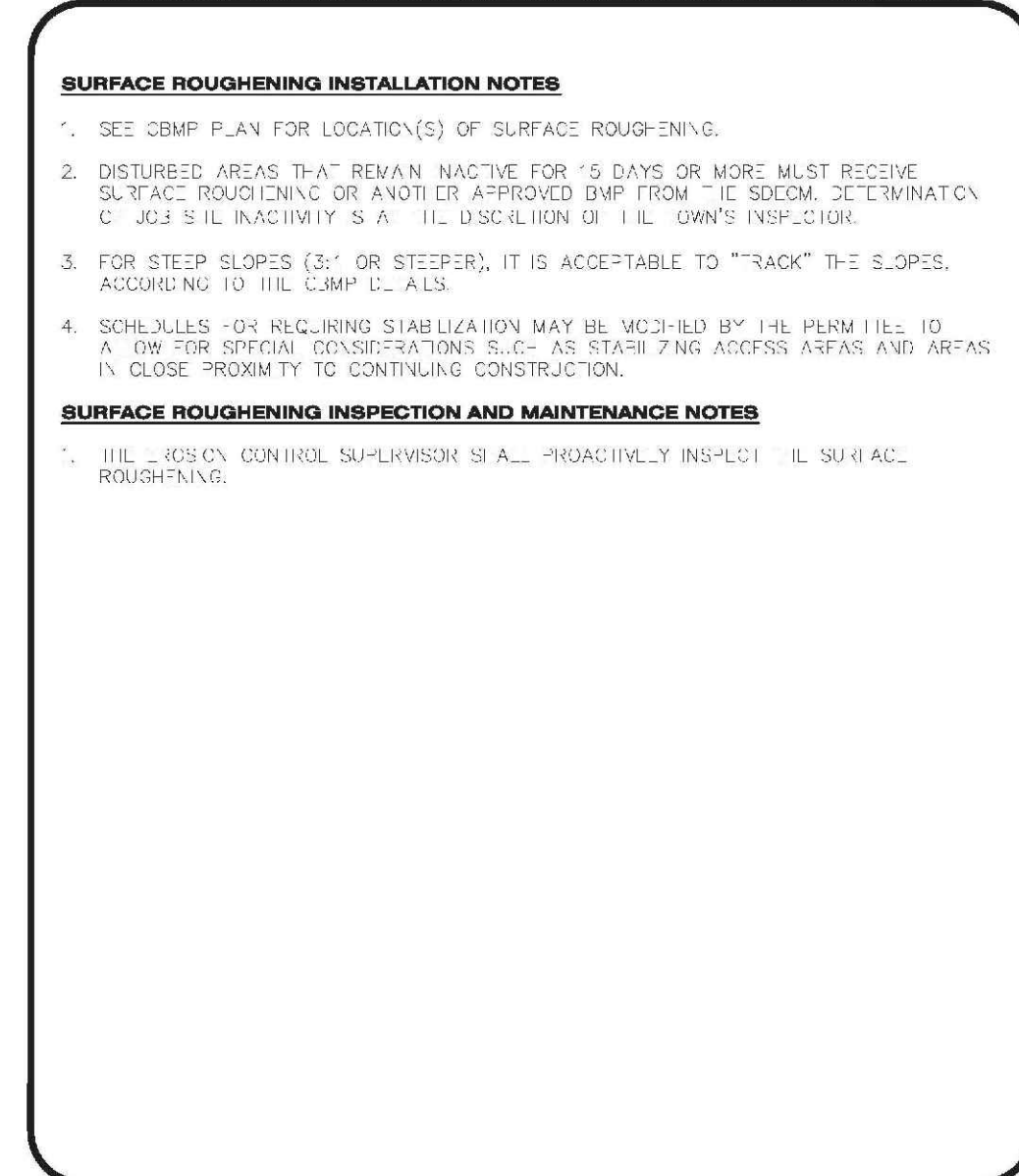
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SMC 2 OF 3
REV. 2014



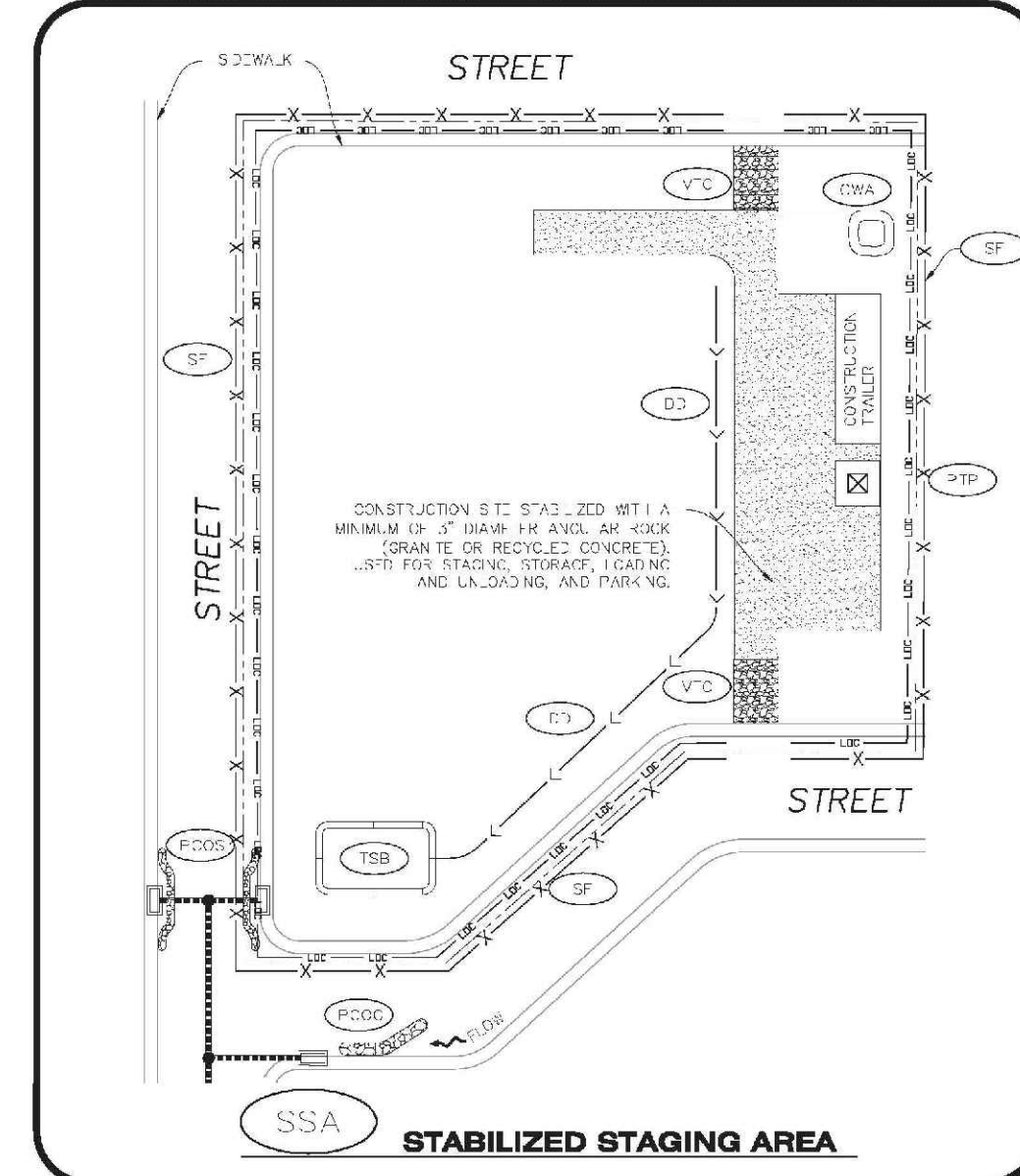
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SMC 3 OF 3
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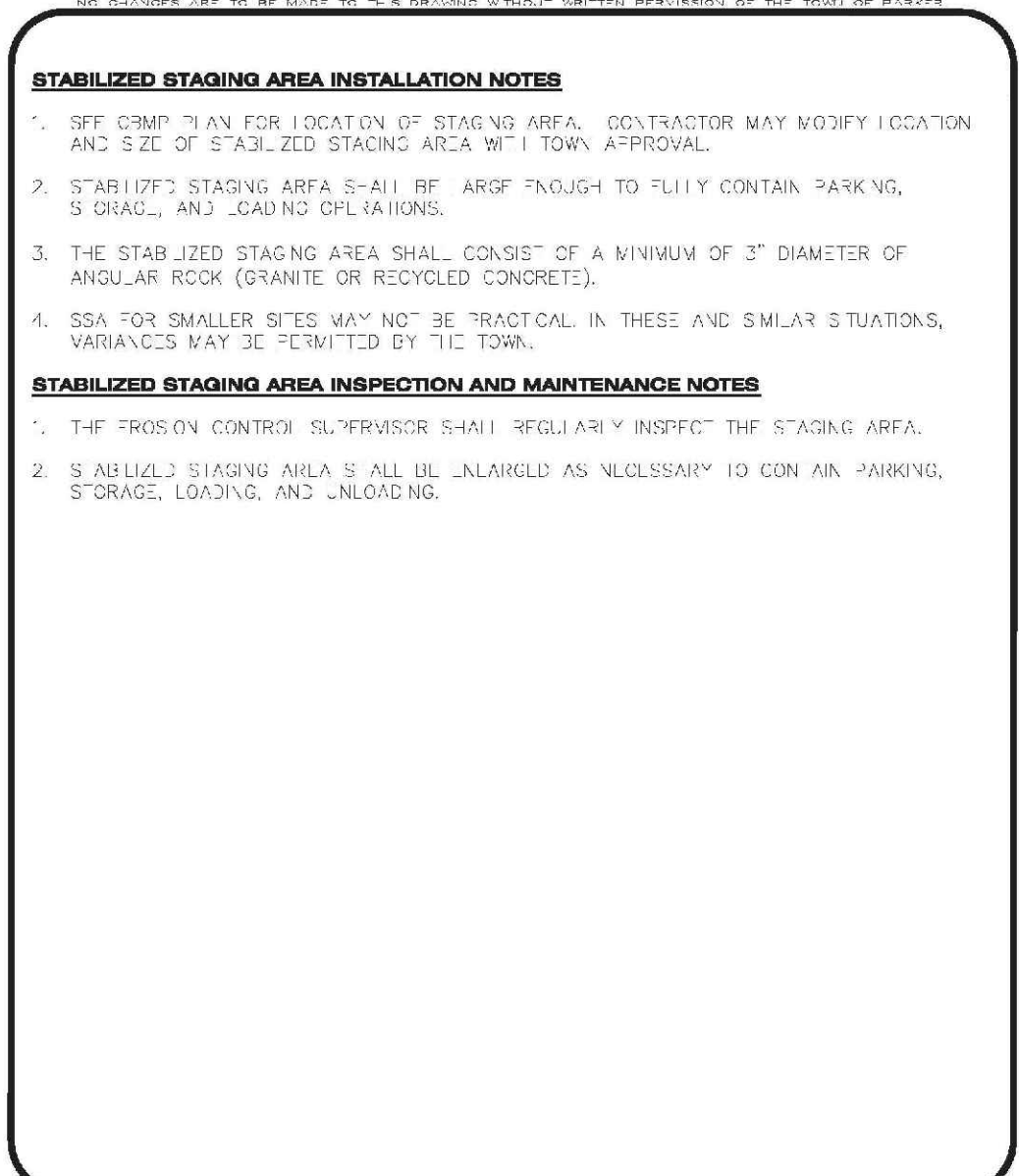
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SR 1 OF 2
REV. 2014



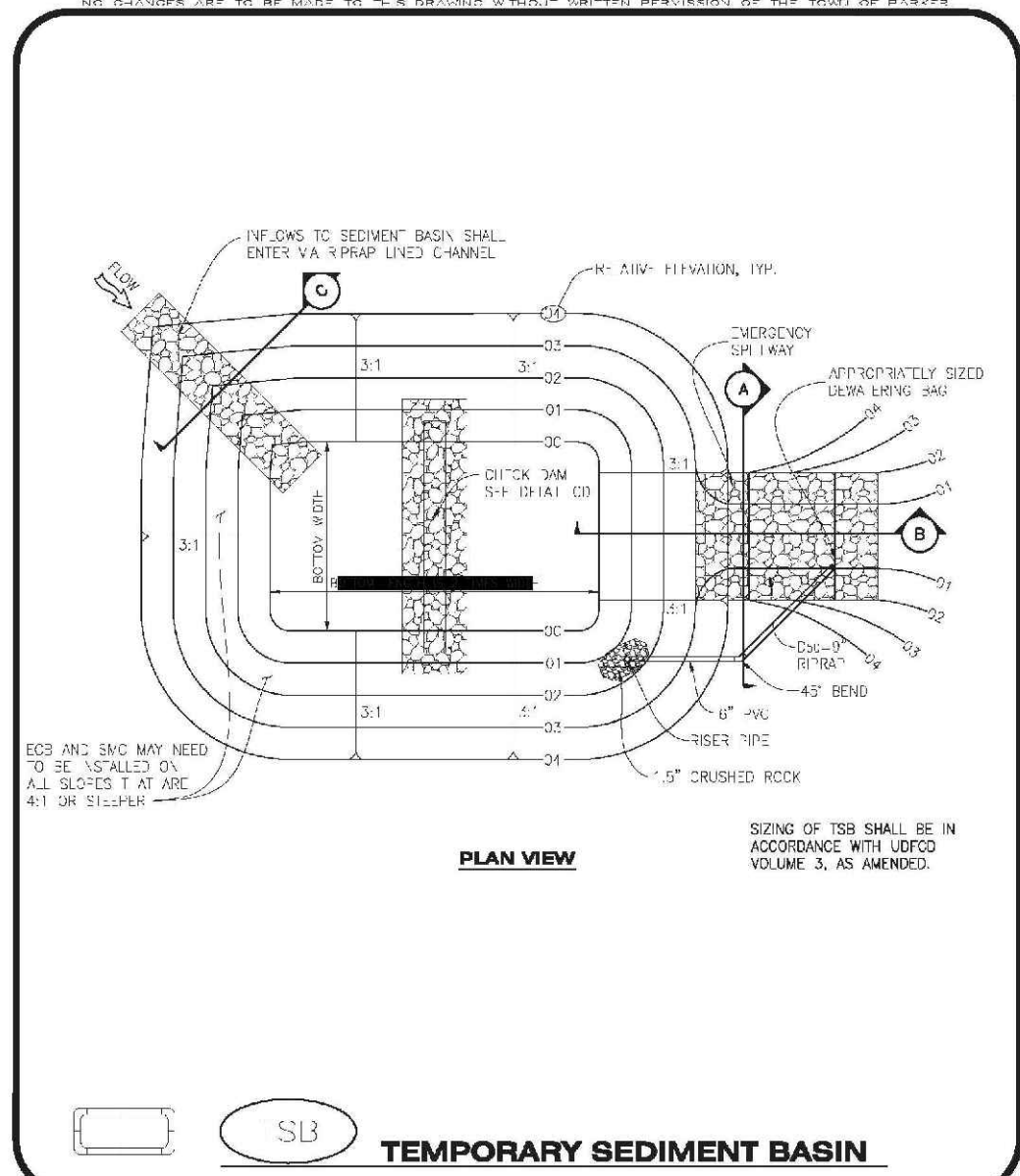
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SR 2 OF 2
REV. 2014



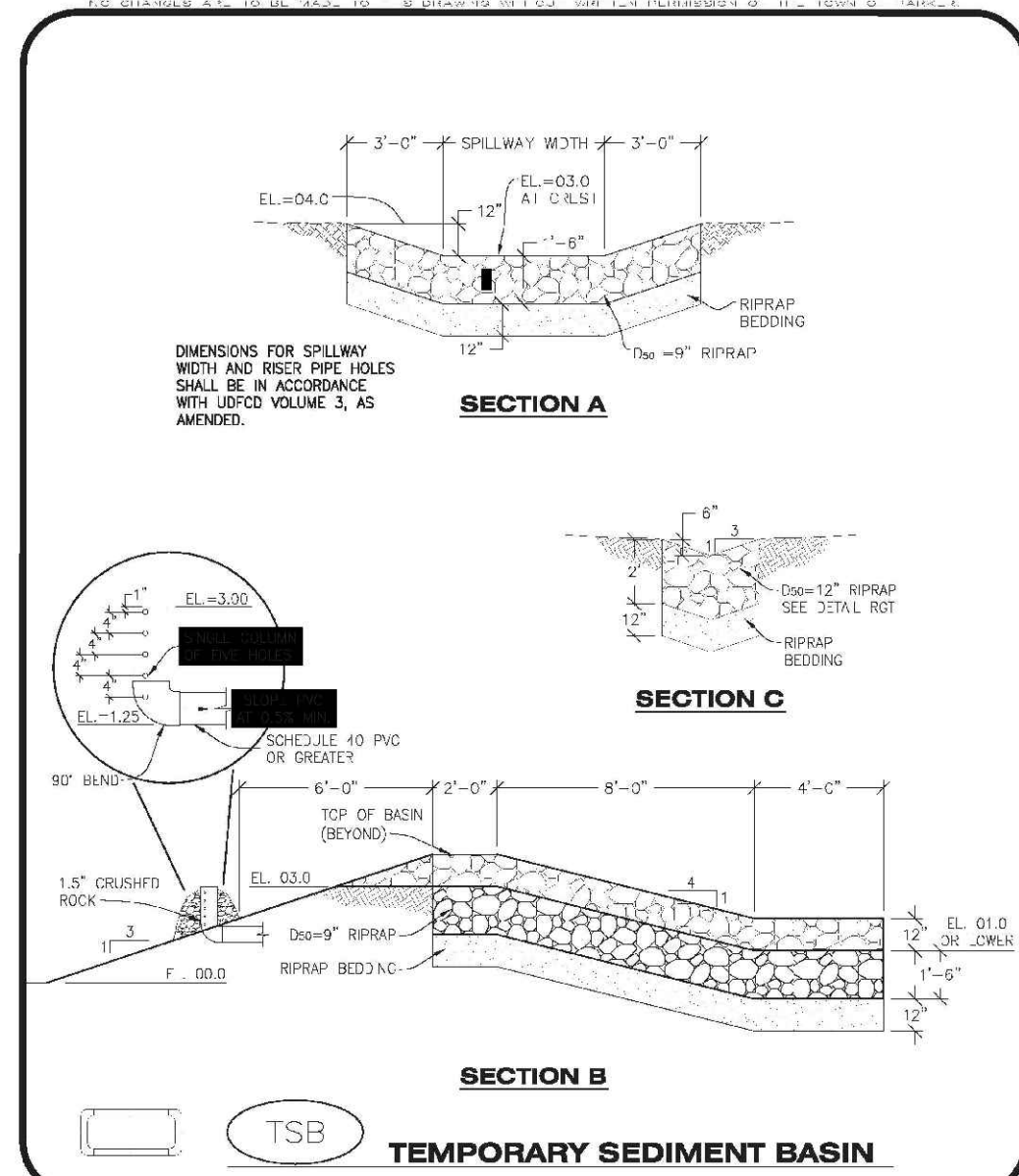
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SSA 1 OF 2
REV. 2014



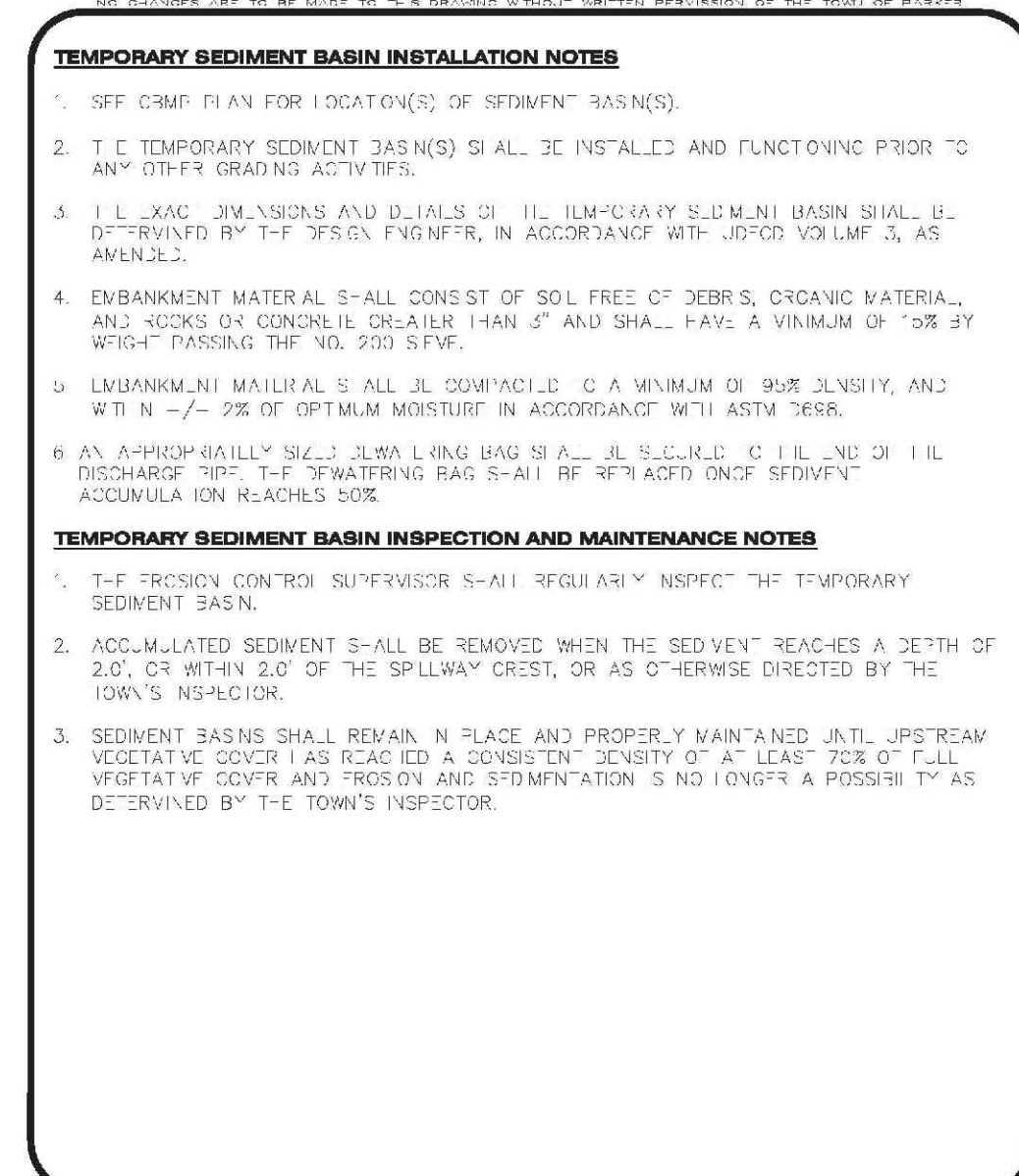
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SSA 2 OF 2
REV. 2014



CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
TSB 1 OF 3
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CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
TSB 2 OF 3
REV. 2014



CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
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REV. 2014

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NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

SECTION A

CHECK DAM

CD

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 3 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

SECTION B

SECTION C

CHECK DAM

CD

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 3 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

CHECK DAM INSTALLATION NOTES

- SEE PLAN VIEW FOR LOCATION(S) OF CHECK DAMS.
- CHECK DAMS SHOWN ON CBMP PLAN SHALL BE INSTALLED WHEN DIRECTED BY THE TOWN'S INSPECTOR.
- RIPRAP UTILIZED FOR CHECK DAMS SHALL HAVE A D50 MEDIAN STONE SIZE OF 12".
- RIPRAP PAD SHALL BE TRENCHED INTO THE GROUND A MINIMUM OF 1'-8".
- THE MAXIMUM SPACING BETWEEN CHECK DAMS SHOULD BE SUCH THAT THE BOTTOM OF THE UPSTREAM DAM IS AT THE SAME ELEVATION AS THE TOP OF THE DOWNSTREAM DAM AS SHOWN IN THE DETAIL.

CHECK DAM INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CHECK DAMS.
- ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE CREST OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- CHECK DAMS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- WHEN CHECK DAMS ARE REMOVED, THE TOWN'S INSPECTOR MAY REQUIRE EXCAVATIONS TO BE FILLED WITH SUITABLE COMPACTED TOPSOIL AND ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE CHECK DAMS BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMO).
- IN SOME INSTANCES, CHECK DAMS MAY REMAIN IN PLACE PERMANENTLY.

CD

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES 3 OF 3 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

TYPICAL DEWATERING SUMP

D

DEWATERING

D

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

DEWATERING INSTALLATION NOTES

- IT IS THE EROSION CONTROL SUPERVISOR'S RESPONSIBILITY TO ENSURE THAT ALL DEWATERING IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE).

DEWATERING MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL INSPECT THE DEWATERING OPERATION TO ENSURE THAT THE DISCHARGE WATER IS DRAINING TO THE PROPER LOCATION(S) AND PERFORM ANY NECESSARY REPAIRS OR MAINTENANCE ON A FREQUENT BASIS.

D

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

DIVERSION DITCH SECTION LINED CHANNEL

DIVERSION DITCH SECTION UNLINED CHANNEL

DD

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

DIVERSION DITCH INSTALLATION NOTES

- SEE THE PLAN VIEW FOR THE LOCATION(S) OF THE DIVERSION DITCHES.
- A PLASTIC LINER, RIPRAP, OR EROSION CONTROL BLANKET MAY BE NECESSARY TO PROTECT THE DIVERSION DITCH. THE REQUIRED LINING MATERIAL SHALL BE OBTAINED FROM THE CBMP PLANS VIA THE DESIGN ENGINEER.
- ALL MATERIAL EXCAVATED FROM THE DITCH MAY BE USED TO CONSTRUCT THE BERM ON THE DOWNHILL SIDE OF THE DITCH.
- THE DIVERSION DITCH SHALL BE A MINIMUM OF 20" DEEP WITH APPROX. 3:1 SIDE SLOPES. THE ADJACENT BERM SHALL BE A MINIMUM OF 20" IN HEIGHT WITH APPROX. 3:1 SIDE SLOPES. ALL EMBANKMENTS SHALL BE FIRMLY COMPACTED.
- THE DISCHARGE FROM THE DIVERSION DITCH SHALL BE DIRECTED TOWARDS AN APPROPRIATELY SIZED TEMPORARY SEDIMENT BASIN OR OTHER APPROVED AREA.

DIVERSION DITCH INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE DIVERSION DITCH.
- ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 (10") THE CREST HEIGHT.
- DIVERSION DITCHES SHALL BE RE-GRADED FOLLOWING THE SIGNS OF MODERATE OR MORE SOIL EROSION OR ANY DAMAGE.
- DIVERSION DITCHES ARE TO REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR. ALTERNATIVELY, THE DIVERSION DITCHES MAY BE REMOVED WHEN THE SITE'S TOPOGRAPHY CHANGES SUCH THAT SIGNIFICANT RUNOFF IS NO LONGER POSSIBLE. IN SOME INSTANCES, THE DIVERSION DITCHES MAY REMAIN IN PLACE PERMANENTLY.

DD

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

SIDEWALK TRANSITION PROTECTION (AT INTERSECTION)

STP

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 3 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

SIDEWALK TRANSITION PROTECTION (ALONG STRAIGHT ROADWAY)

STP

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 3 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

SIDEWALK TRANSITION PROTECTION INSTALLATION NOTES

- SEE PLAN VIEW FOR LOCATION(S) OF SIDEWALK TRANSITION PROTECTION.
- ROCK SOCK SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL RS).
- SILT FENCE SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL SF).
- CONSTRUCTION FENCE SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL CF).
- SEDIMENT CONTROL LOGS MAY BE USED IN LIEU OF SILT FENCE WITH PRIOR APPROVAL FROM THE TOWN.

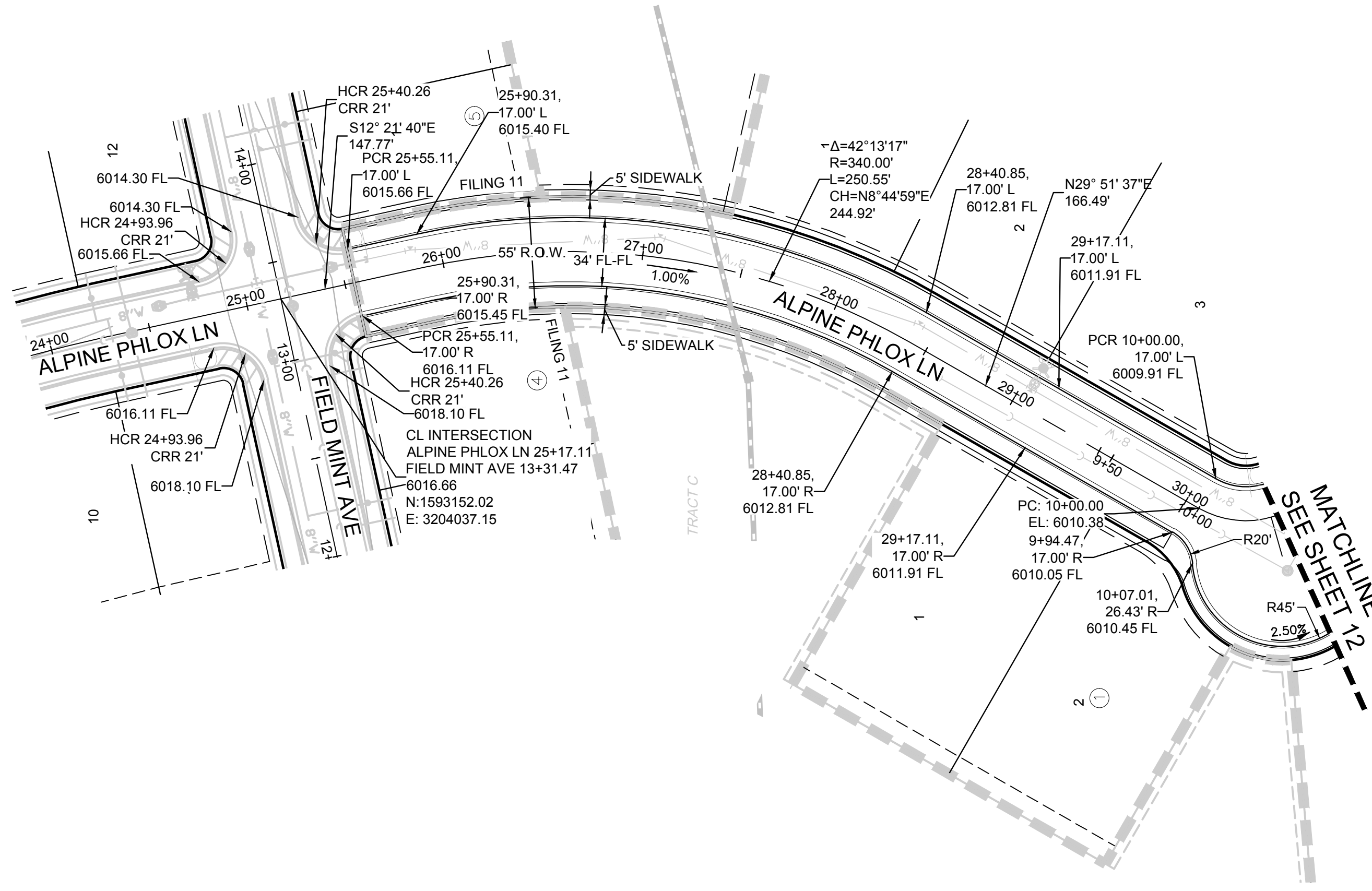
SIDEWALK TRANSITION PROTECTION INSPECTION & MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SIDEWALK TRANSITION INSPECTION.

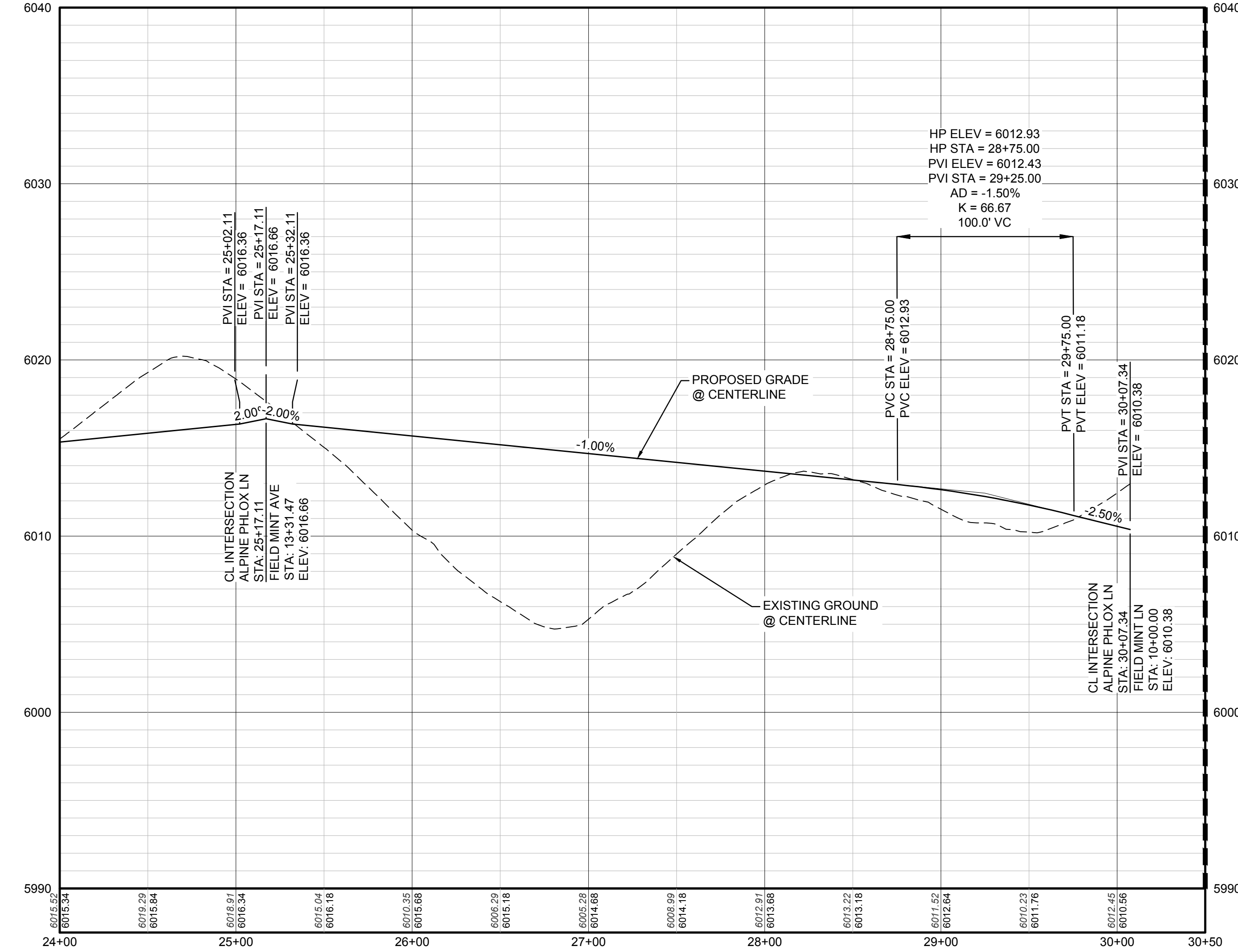
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CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES 3 OF 3 Oct. 2013

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| SHEET NUMBER | DRAWN BY: JF | SCALE: AS SHOWN | FILE NO: 8130283701 | Revisions | Date | Appr. | Date |
| | | | | No. | | | |
| 10 | CHECKED BY: JJ | DATE: SEPTEMBER 2017 | 8130283701 | TRAILS AT CROWFOOT FILING 12 CONSTRUCTION DRAWINGS BMP DETAILS | | | |
| | | | | 10333 E. Dry Creek Rd. Suite 110 Englewood, CO 80110 Tel: (720) 482-9526 Fax: (720) 482-9546 | | | |
| | | | | | | | |

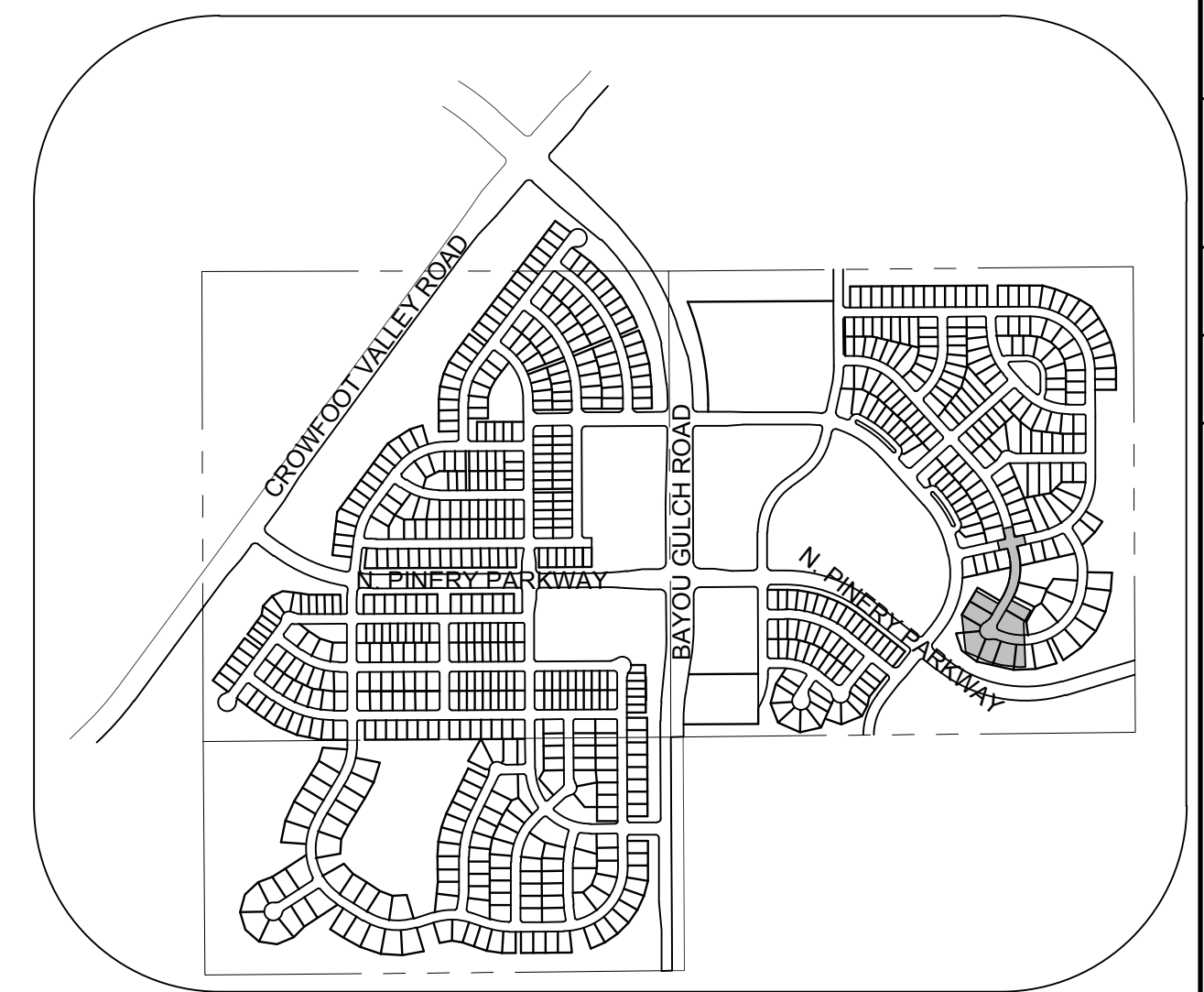


PLAN: ALPINE PHLOX LN STA: 24+00.00 TO 30+50.00
HORIZONTAL SCALE: 1" = 50'



BENCHMARK
DOUGLAS COUNTY CONTROL POINT KNOWN AS 1.069032, BEING A 3-1/4" ALUMINUM CAP, BEING LOCATED IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, HAVING A PUBLISHED ELEVATION OF 1799.2870 METERS (5903.13 FEET) NAVD '88 DATUM.

BASIS OF BEARINGS:
THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 9 BEING MONUMENTED AT THE NORTHEAST CORNER OF SAID SECTION 9 BY A 3-1/4" ALUMINUM CAP STAMPED LS 23053 AND AT THE EAST QUARTER CORNER OF SAID SECTION 9 BY A 2-1/2" ALUMINUM CAP STAMPED LS 6935 BEING CONSIDERED TO BEAR SOUTH 00°15'06" EAST, 2648.70 FEET.



KEYMAP
N.T.S.
LEGEND

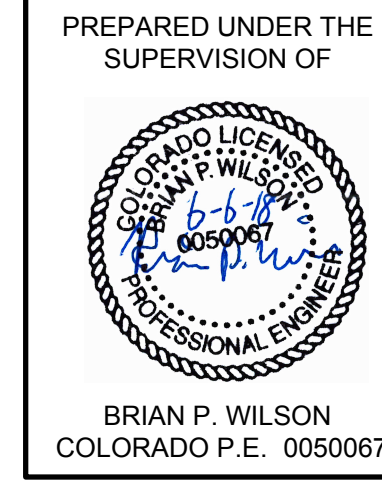
| | | | |
|-------|---------------------------------------|------|----------------------------------|
| ② | BLOCK NUMBER | △ | PROPOSED RANGE POINT |
| Ⓐ | LOT TYPE | --- | CENTERLINE |
| 6 | LOT NUMBER | --- | RIGHT-OF-WAY |
| ⊕ | PROPOSED BUTTERFLY VALVE | --- | PROPERTY LINE |
| ⌈ | PROPOSED CAP WITH END OF LINE BLOWOFF | --- | EDGE OF PAVEMENT |
| ⊘ | PROPOSED REDUCER | → | PROPOSED DIRECTION OF FLOW |
| ⊗ | PROPOSED VALVE | 1.0% | PROPOSED SLOPE & DIRECTION |
| ⊙ | PROPOSED FIRE HYDRANT | 5615 | EXISTING 5' CONTOUR |
| ⊕ | PROPOSED WL FITTING WITH THRUST BLOCK | 5616 | EXISTING 1' CONTOUR |
| ⊕ | PROPOSED FLARED END SECTION | 5620 | PROPOSED 5' CONTOUR |
| ⊕ | PROPOSED LOW POINT BLOW-OFF | 5607 | PROPOSED 1' CONTOUR |
| ⊕ | PROPOSED AIR VALVE | --- | PROPOSED STORM DRAIN |
| ⊕ | FUTURE PHASE VALVE | --- | PROPOSED SEWER LINE WITH MANHOLE |
| ⊕ | FUTURE FIRE HYDRANT | --- | PROPOSED SEWER LATERAL |
| ⊕ | PROPOSED LIGHT POLE | --- | PROPOSED WATER LINE |
| ⊕ | PROPOSED SIDEWALK | --- | PROPOSED WATER LATERAL W/ METER |
| ⊕ | PROPOSED SIDEWALK RAMP | --- | SECTION LINE |
| 10.00 | EXISTING ELEVATION | --- | FILING BOUNDARY |
| 10.00 | PROPOSED DESIGN ELEVATION | --- | EXISTING FIBER OPTIC LINE |
| ⊕ | PROPOSED STORM DRAIN INLET | --- | EXISTING OVERHEAD POWER |
| ⊕ | PROPOSED STORM DRAIN MANHOLE | --- | EXISTING TELEPHONE LINE |

ABBREVIATIONS

| | | | |
|-----------|------------------------|--------|---------------------------------|
| AD | ANGLE DIFFERENCE | MH | MANHOLE |
| AV | AIR VAC RELEASE VALVE | N.T.S. | NOT TO SCALE |
| BVC | BEGIN VERTICAL CURVE | PVC | POLYVINYL CHLORIDE |
| BVP | BEGIN VERTICAL PROFILE | PVI | PT. OF VERTICAL INTERSECTION |
| CBO | CAP WITH BLOW OFF | PVT | POINT OF VERTICAL TANGENT |
| CRR | CURB RETURN RADIUS | RCBC | REINFORCED CONCRETE BOX CULVERT |
| ELEVATION | ELEVATION | RCP | REINFORCED CONCRETE PIPE |
| EP | EDGE OF PAVEMENT | ROW | RIGHT OF WAY |
| EVC | END VERTICAL CURVE | SC | SANITARY CAP |
| EVP | END VERTICAL PROFILE | SD | STORM DRAIN |
| FG | FINISHED GROUND | SL | SECTION LINE |
| FH | FIRE HYDRANT | SS | SANITARY SEWER |
| FL | FLOW LINE | STA | STATION |
| GV | GATE VALVE | T.O.P. | TOP OF PIPE |
| HCR | HANDICAP CURB RAMP | UE | UTILITY EASEMENT |
| HP | HIGH POINT | VC | VERTICAL CURVE |
| INV | INVERT | WL | WATER LINE |
| K | CURVATURE COEFFICIENT | WLC | WATER LINE CONNECTION |
| LF | LINEAR FEET | WSE | WATER SURFACE ELEVATION |

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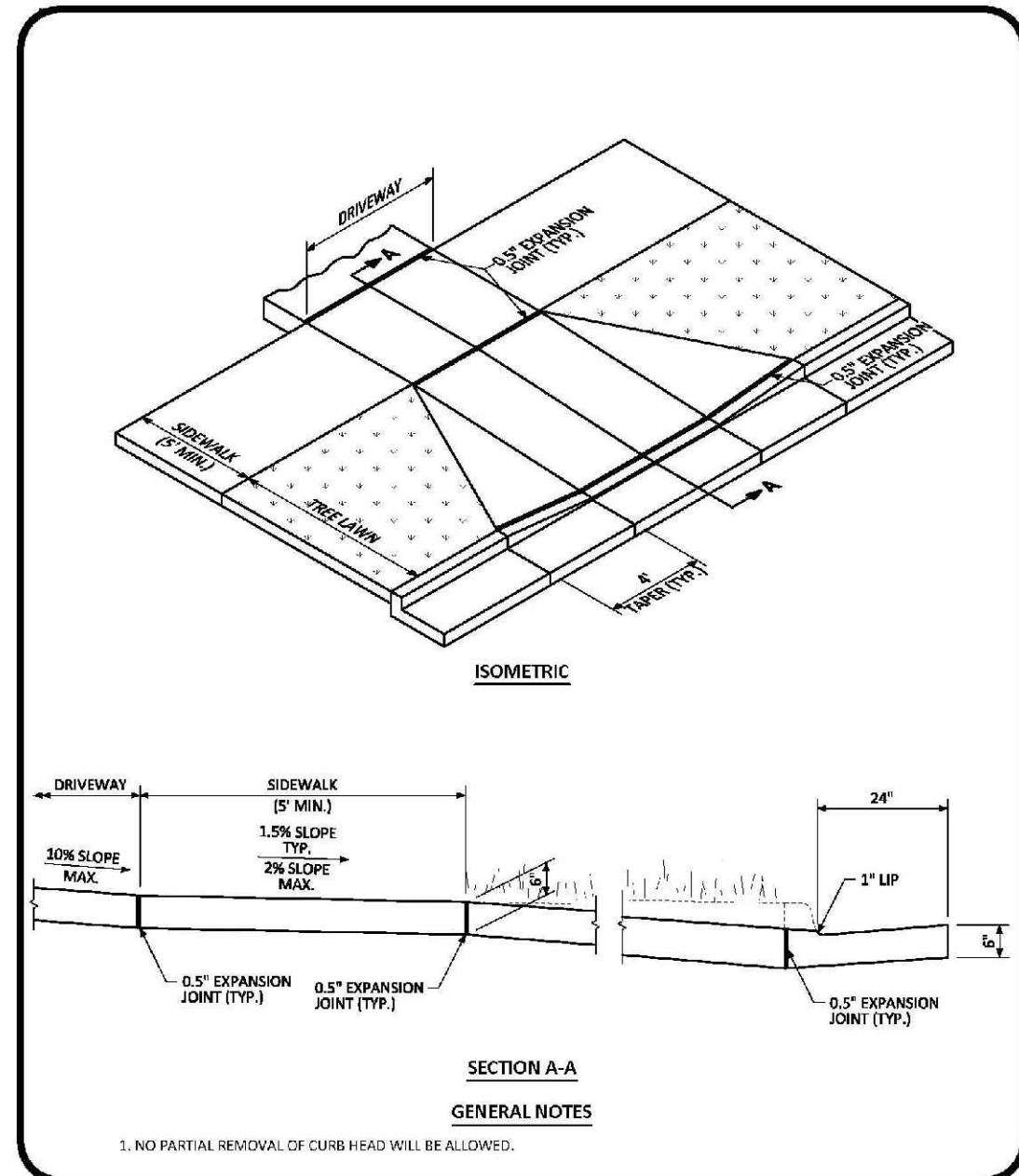


TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

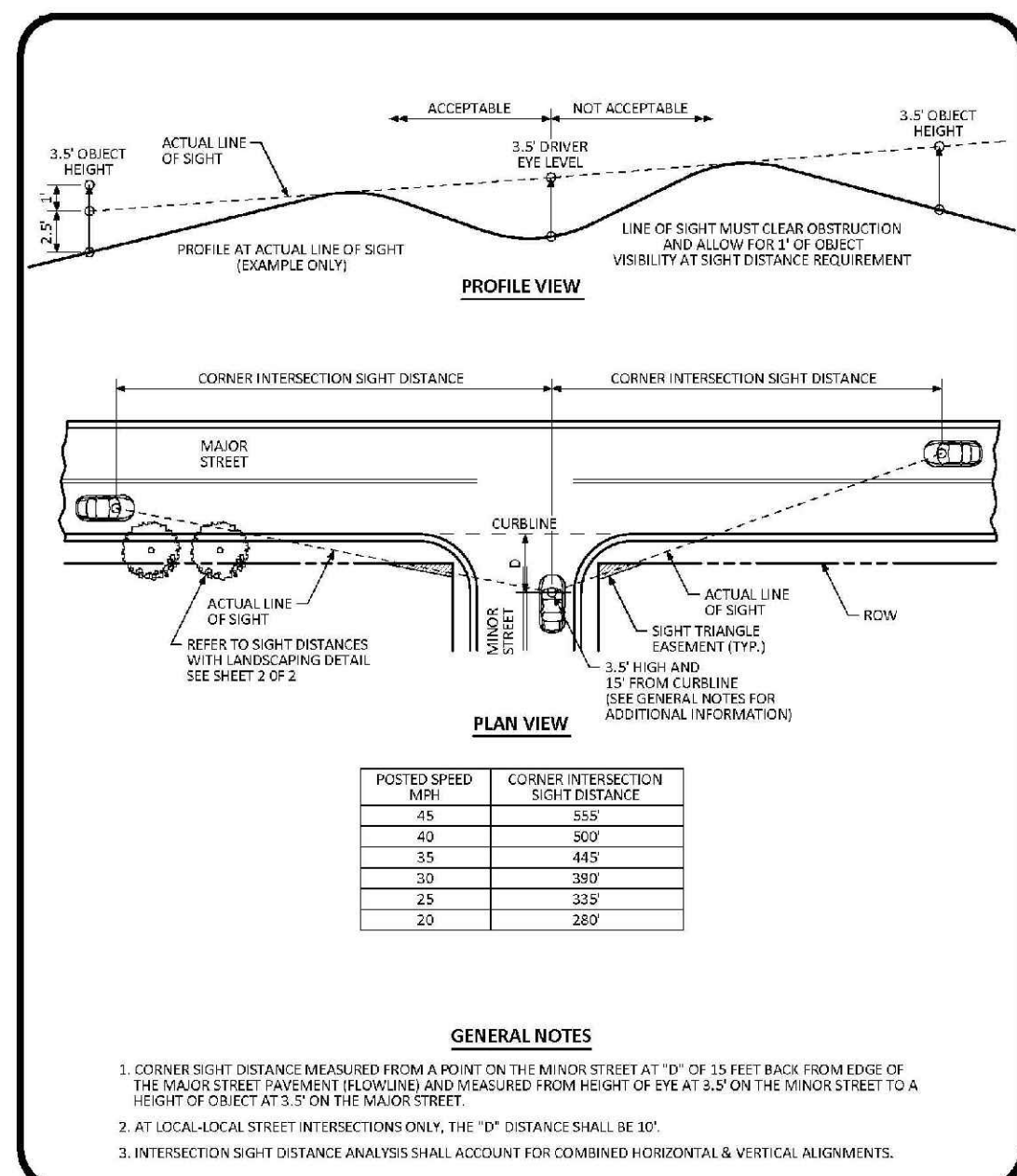
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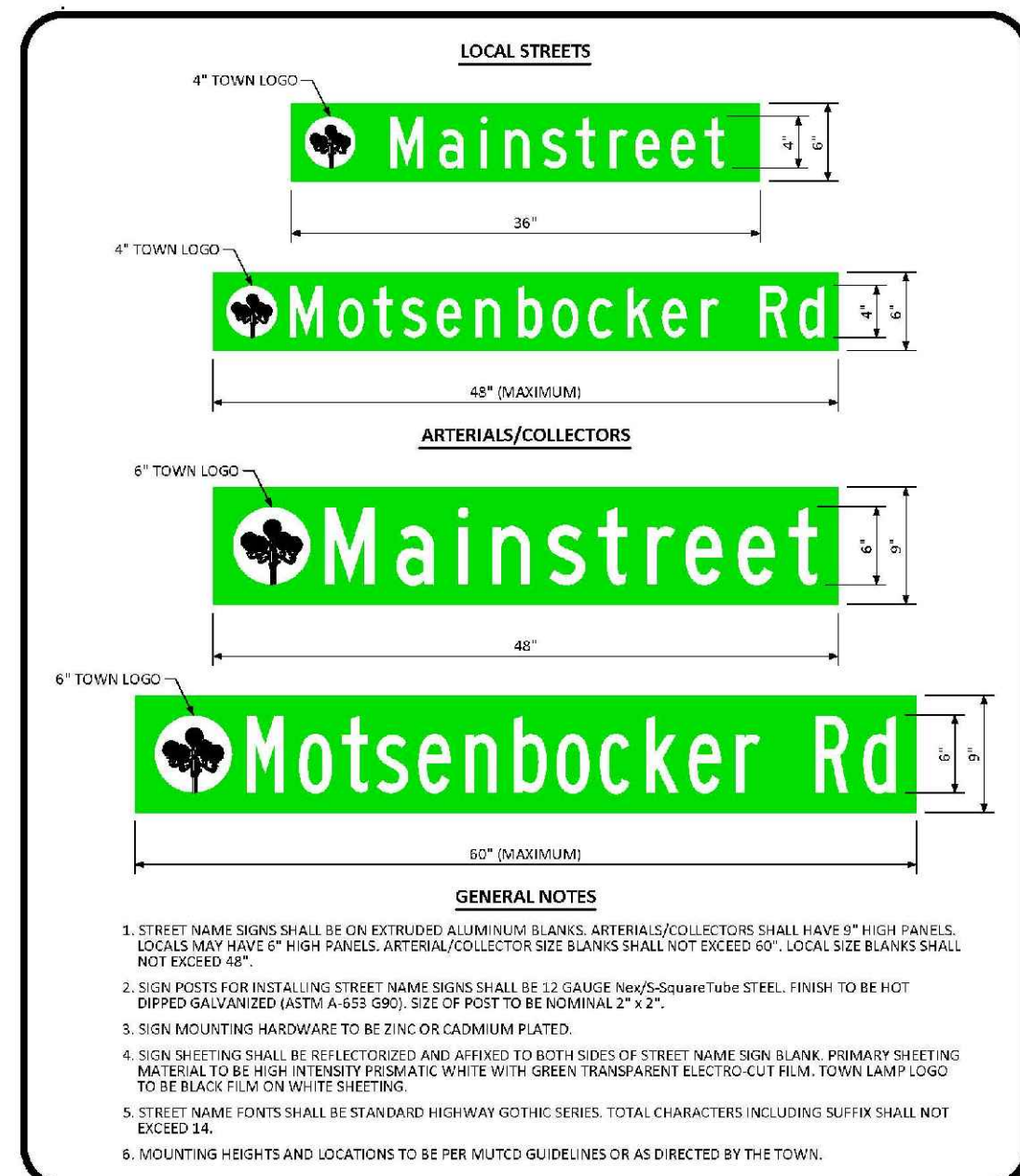
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| 10338 E. Dry Creek Rd. Suite 110 Englewood, Colorado 80110 Tel: (720) 482-9526 Fax: (720) 482-9548 | 10338 E. Dry Creek Rd. Suite 110 Englewood, Colorado 80110 Tel: (720) 482-9526 Fax: (720) 482-9548 |
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| SHEET NUMBER 11 | SHEET NUMBER 11 |



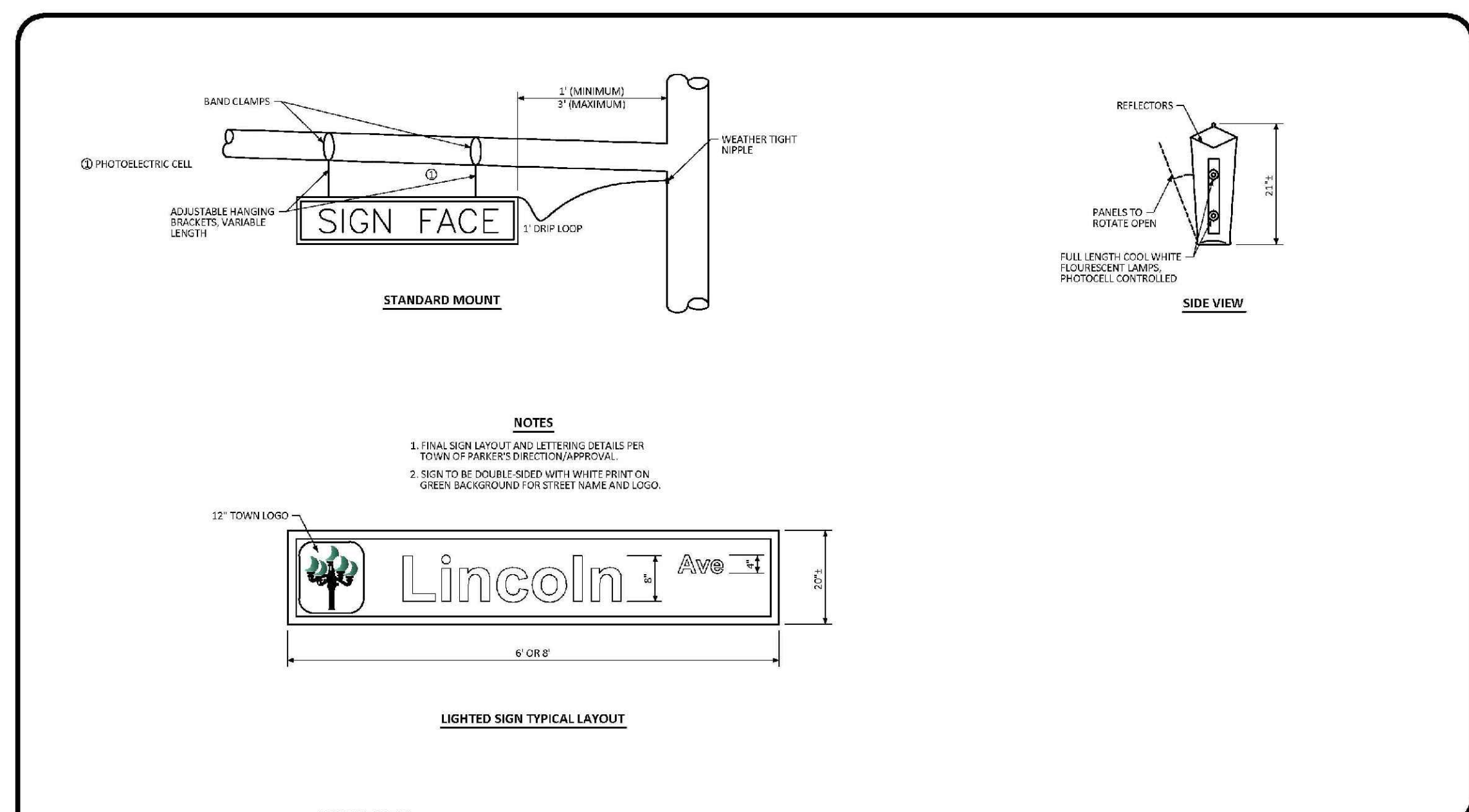
RESIDENTIAL DRIVEWAY WITH 6\"/>



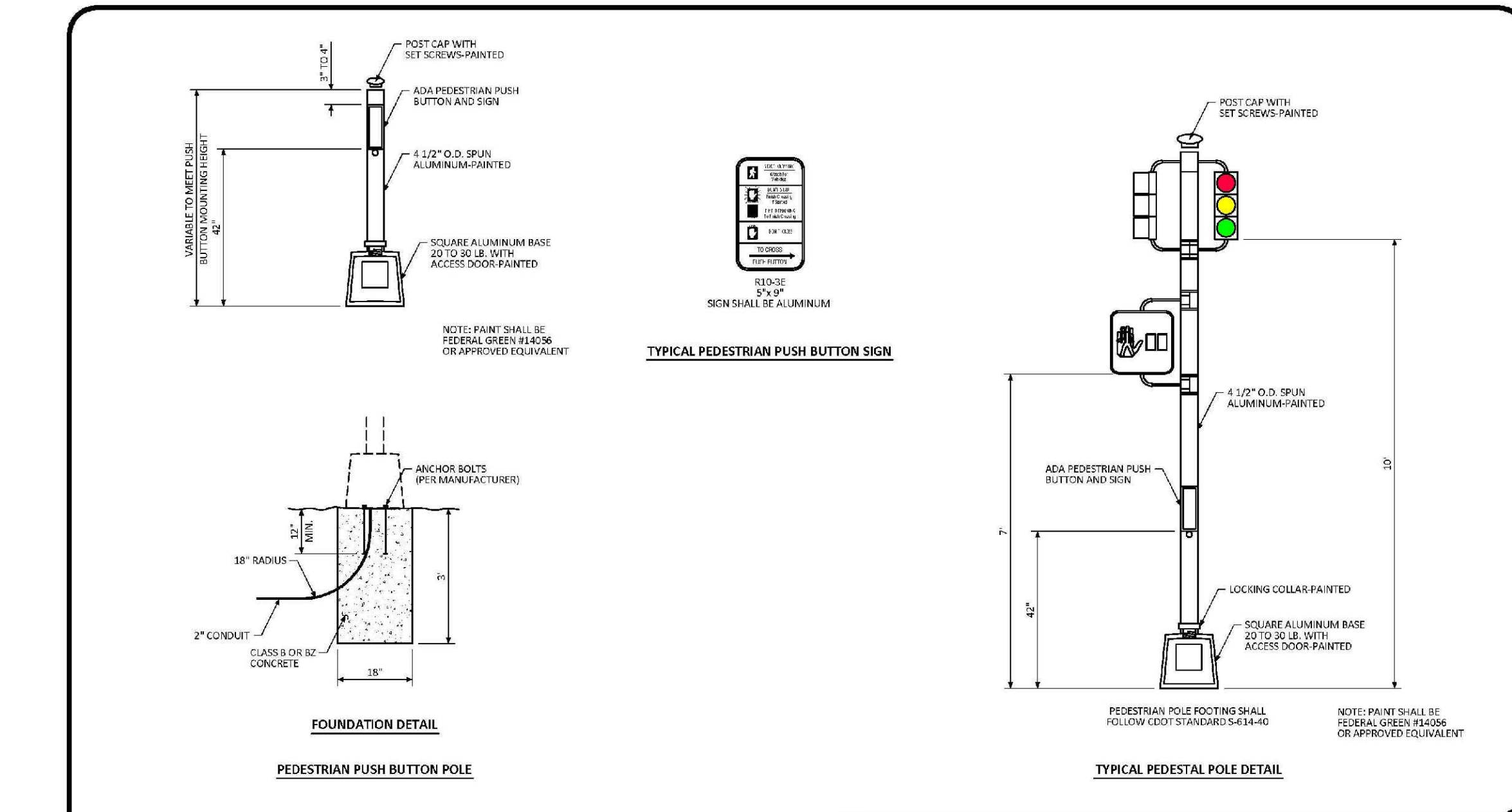
INTERSECTION SIGHT DISTANCE REQUIREMENTS STANDARD DETAIL



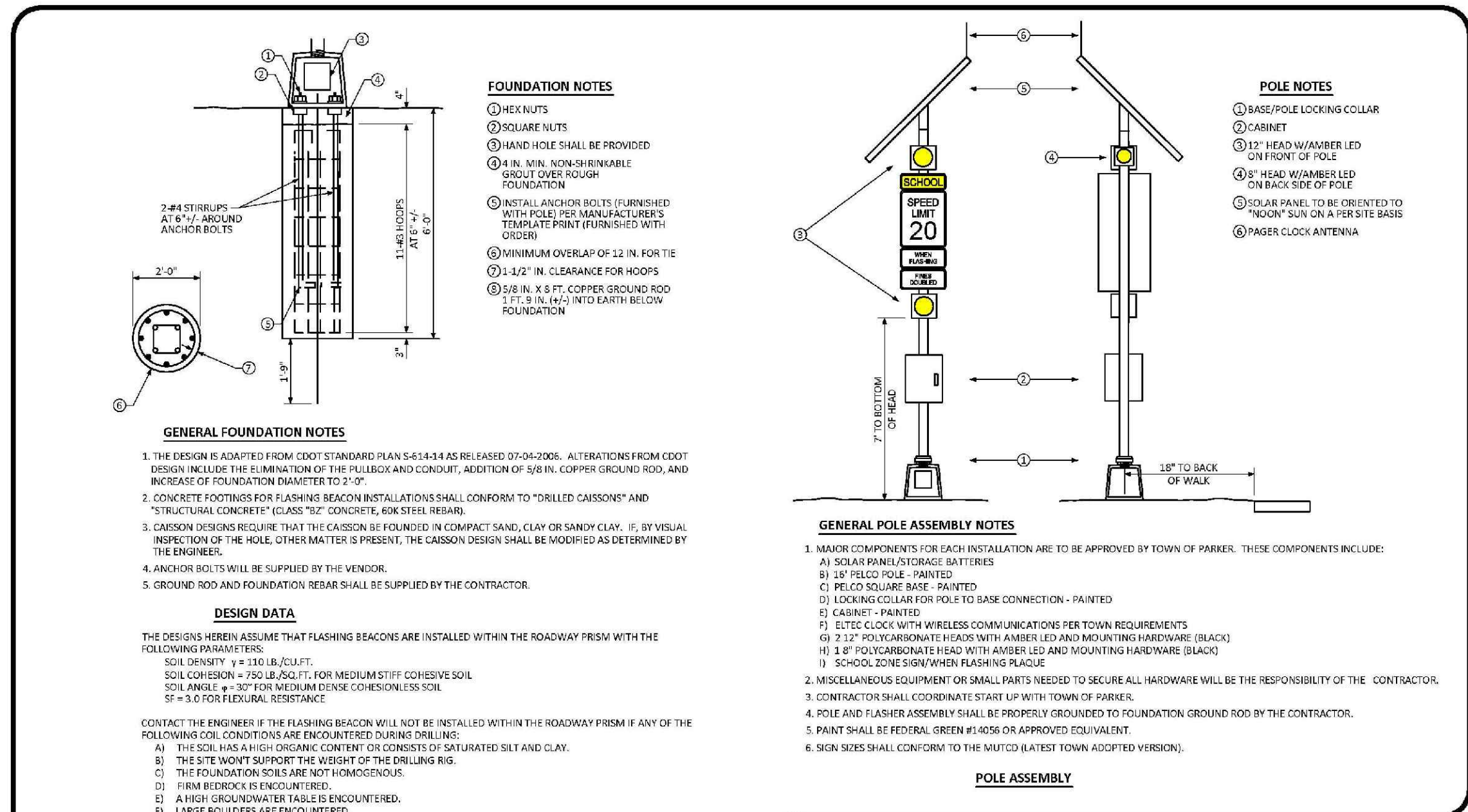
GROUND MOUNTED STREET NAME PANELS



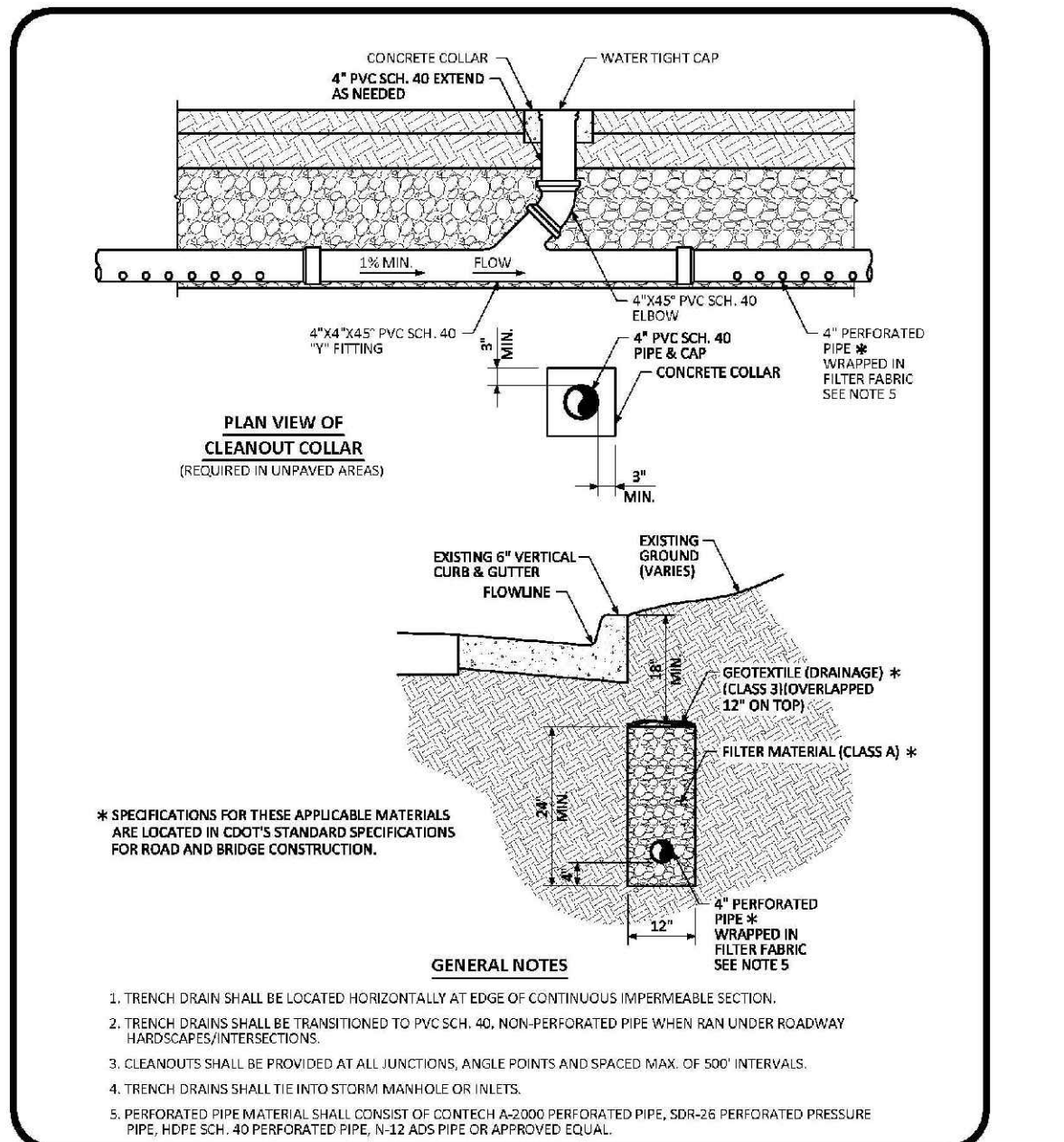
ILLUMINATED STREET NAME SIGN STANDARD SIGNAL DETAIL



PEDESTRIAN POLE STANDARD SIGNAL DETAIL



SCHOOL FLASHING BEACON STANDARD SIGNAL DETAIL



TRENCH DRAIN DETAIL SECTION STANDARD DETAIL

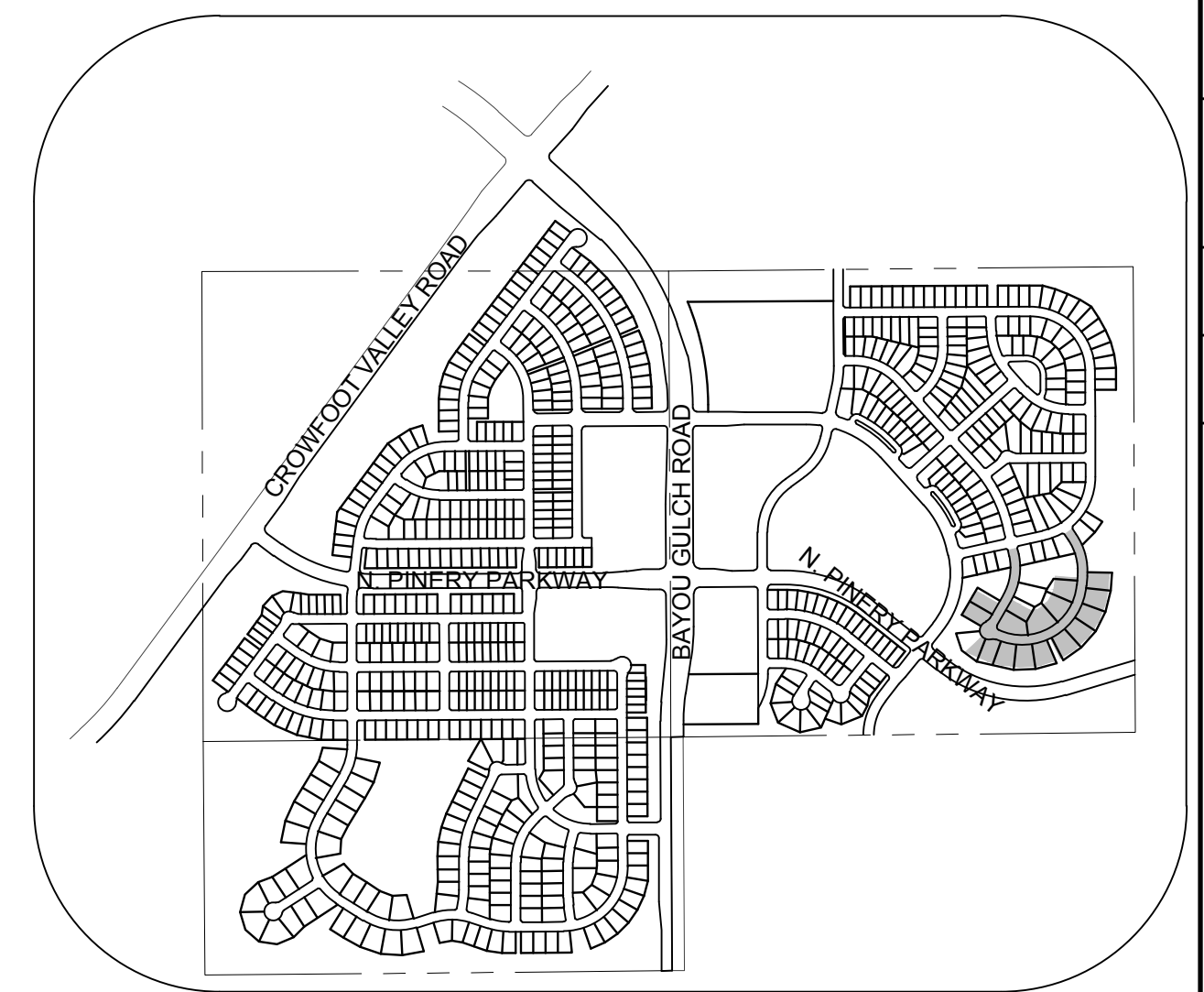
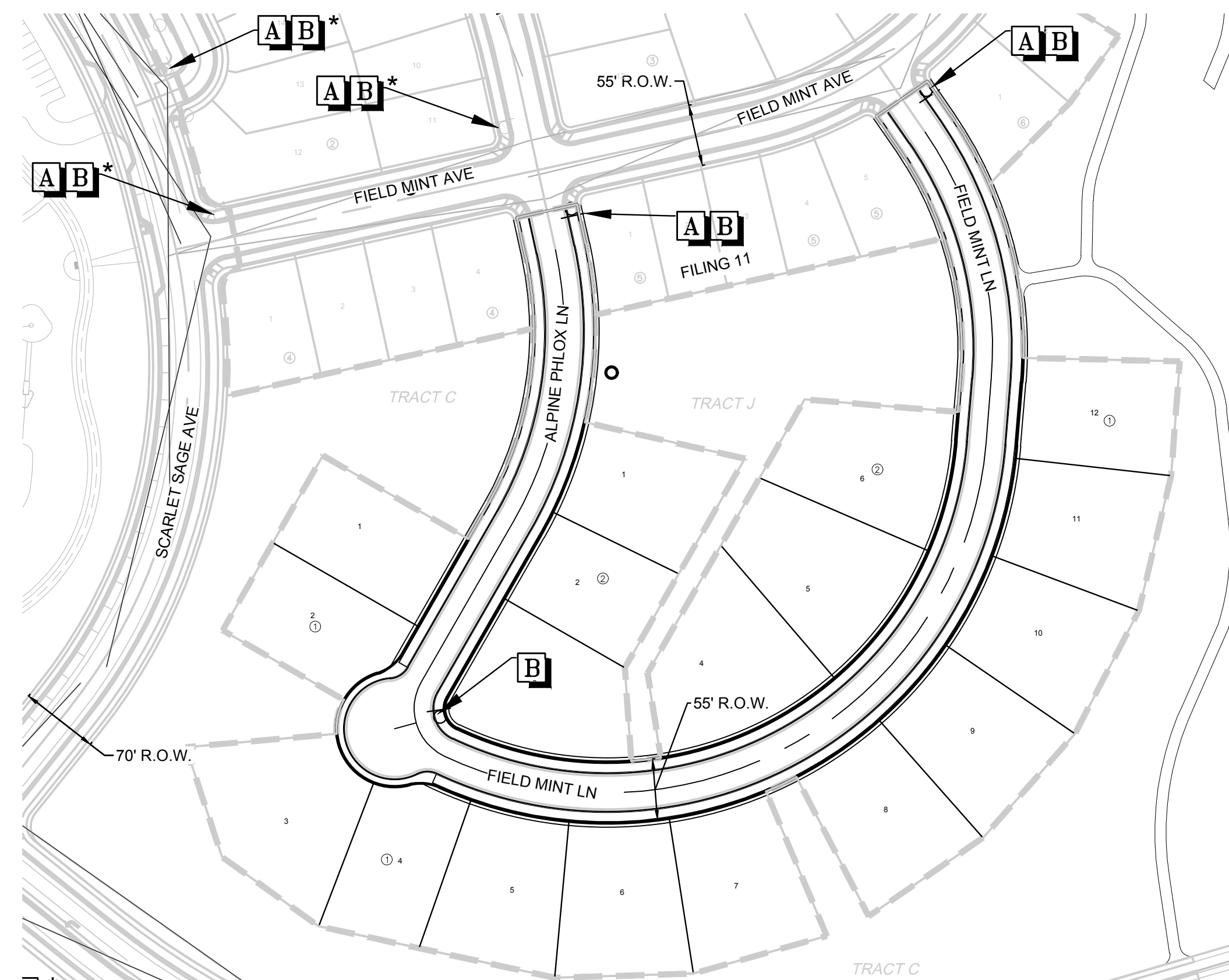
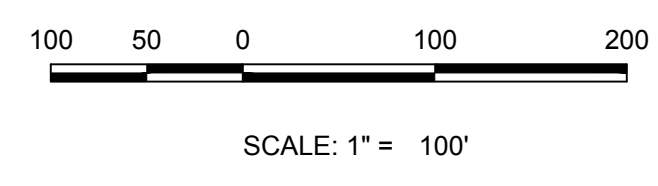
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KEYMAP
N.T.S.

| LEGEND | |
|----------|------------------------------------|
| A | STOP SIGN R1-1 |
| B | STREET NAME SIGN D3 |
| C | DEAD END SIGN W14-1 |
| D | SPEED LIMIT SIGN R2-1 |
| E | BIKE LANE SIGN R3-17 |
| F | AHEAD SIGN R3-17A |
| G | ENDS SIGN R3-17B |
| H | YIELD SIGN R1-2 |
| I | PEDESTRIAN TRAFFIC SIGN W11-2 |
| J | SCHOOL CROSSING SIGN S1-1 |
| * | TO BE INSTALLED WITH OTHER FILINGS |

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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

PREPARED UNDER THE SUPERVISION OF

BRIAN P. WILSON
COLORADO P.E. 0050067

BENCHMARK
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7353 South Alton Way
CENTENNIAL, CO 80112

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Suite 410
Englewood, CO 80150
Tel: (720) 482-9526
Fax: (720) 482-9548

