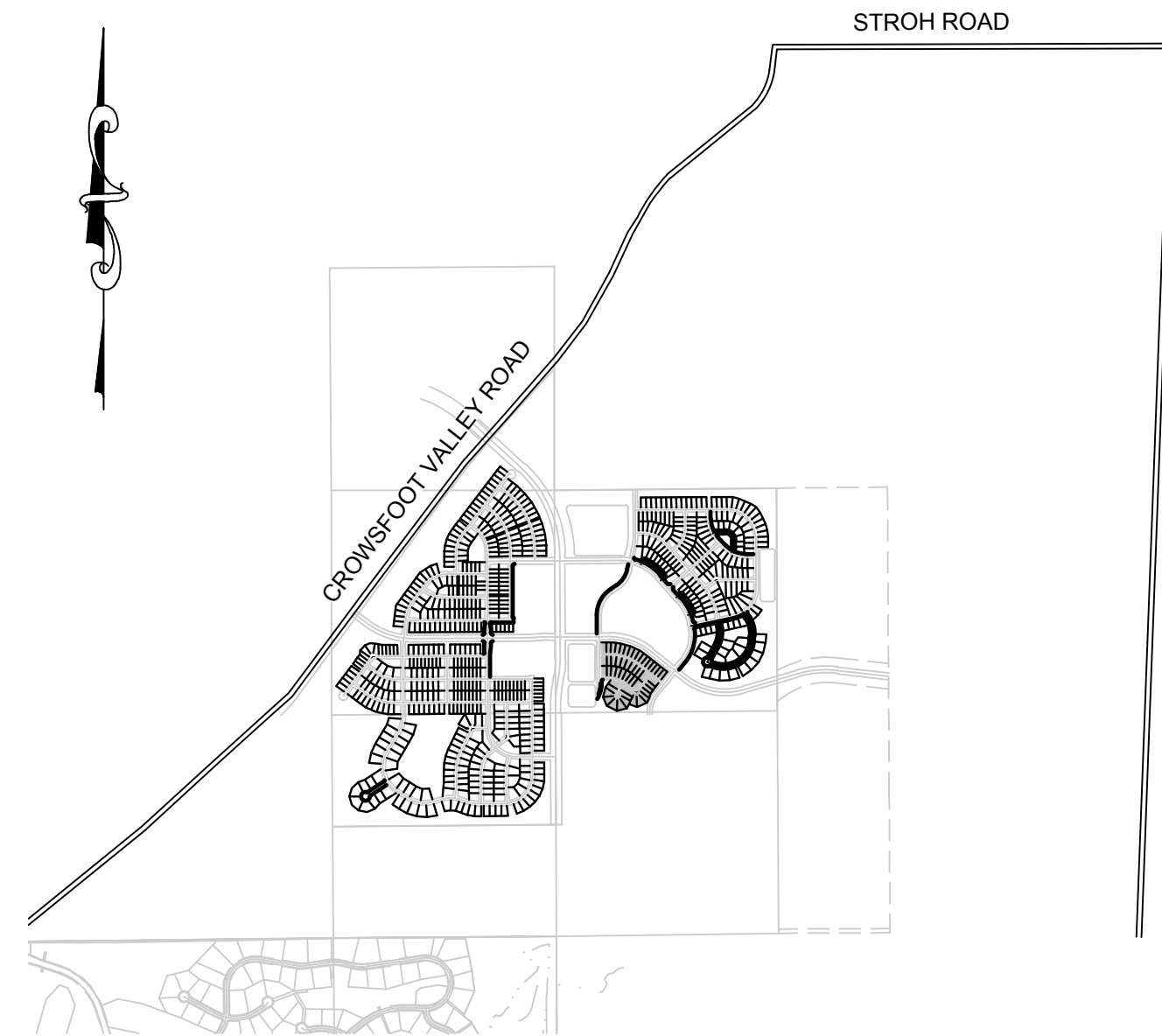


TRAILS AT CROWFOOT

FILING 13 CONSTRUCTION PLANS

SECTIONS 4, 8, AND 9 TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO

SHEET INDEX	
SHEET #	SHEET TITLE
1	COVER SHEET
2	TOWN OF PARKER NOTES
3	HORIZONTAL CONTROL PLAN
4	INITIAL CBMP PLAN
5	INTERIM & FINAL CBMP PLAN
6	CBMP DETAILS
7	CBMP DETAILS
8	CBMP DETAILS
9	CBMP DETAILS
10	CBMP DETAILS
11	SKY PILOT AVENUE
12	SKY PILOT LANE
13	PURPLE ASTER WAY
14	INTERSECTION PLANS
15	STORM P&P SKY PILOT AVENUE
16	ROADWAY DETAILS
17	ROADWAY DETAILS
18	ROADWAY DETAILS
19	SIGNAGE AND STRIPING



VICINITY MAP
SCALE: 1" = 2000'

DEVELOPER

HR 935 LLC
7353 SOUTH ALTON WAY
CENTENNIAL, CO 80112
TEL: (303) 770-9111
CONTACT: MATT JANKE

PLANNER/ LANDSCAPE DESIGNER:

PCS GROUP, INC.
200 KALAMATH STREET
DENVER, CO 80233
TEL: (303) 531-4905
CONTACT: JOHN PRESTWICH

SURVEYOR/ ENGINEER:

**CVL CONSULTANTS
OF COLORADO, INC.**
10333 E. DRY CREEK RD. STE 240
ENGLEWOOD, CO 80112
TEL: (720) 482-9526
CONTACT: JIM JANNICKE

TOWN OF PARKER
20120 E. MAIN STREET
PARKER, CO 80138
TEL: (303) 841-0353

WATER & SANITATION DISTRICT

**PARKER WATER AND
SANITATION DISTRICT**
18100 E. WOODMAN DR.
PARKER, CO 80134
TEL: (303) 841-4627
CONTACT: DRAYTON SANDERSON

FIRE DISTRICT

**SOUTH METRO FIRE
DISTRICT**
9195 E. MINERAL AVE.
CENTENNIAL, CO 80112
TEL: (720) 989-2000
CONTACT:

ELECTRIC COMPANY

IREA
5496 N. U.S. HWY. 85
SEDALIA, CO 80135
TEL: (303) 688-3100

GAS COMPANY

XCEL ENERGY
1518 CHESTNUT AVE
MINNEAPOLIS, MN 55403
TEL: 1 800 628-2121

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED SUBDIVISION, TRAILS AT CROWFOOT, IS DESIGNED IN ACCORDANCE WITH THE TOWN OF PARKER SIGHT DISTANCE CRITERIA AND WITH AASHTO POLICY ON GEOMETRIC DESIGN OF HIGHWAY & STREETS.

BRIAN P WILSON, CO. P.E.0050067 _____ DATE _____

PREPARED UNDER THE
SUPERVISION OF

BRIAN P. WILSON
COLORADO P.E. 0050067

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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

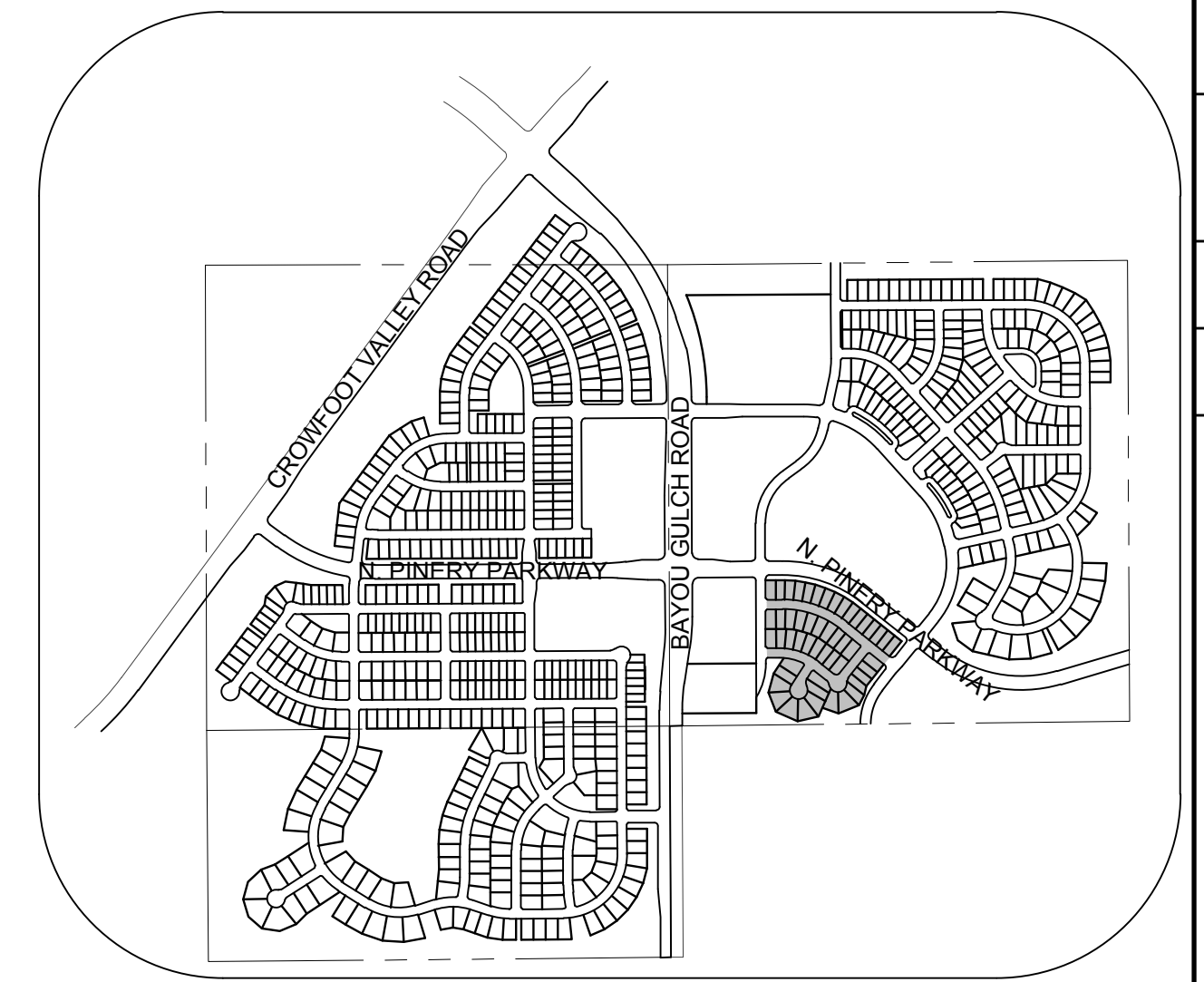
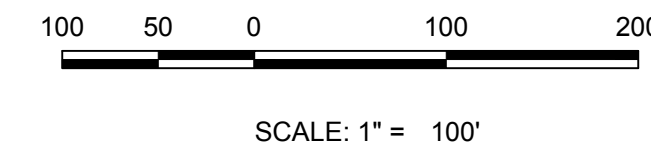
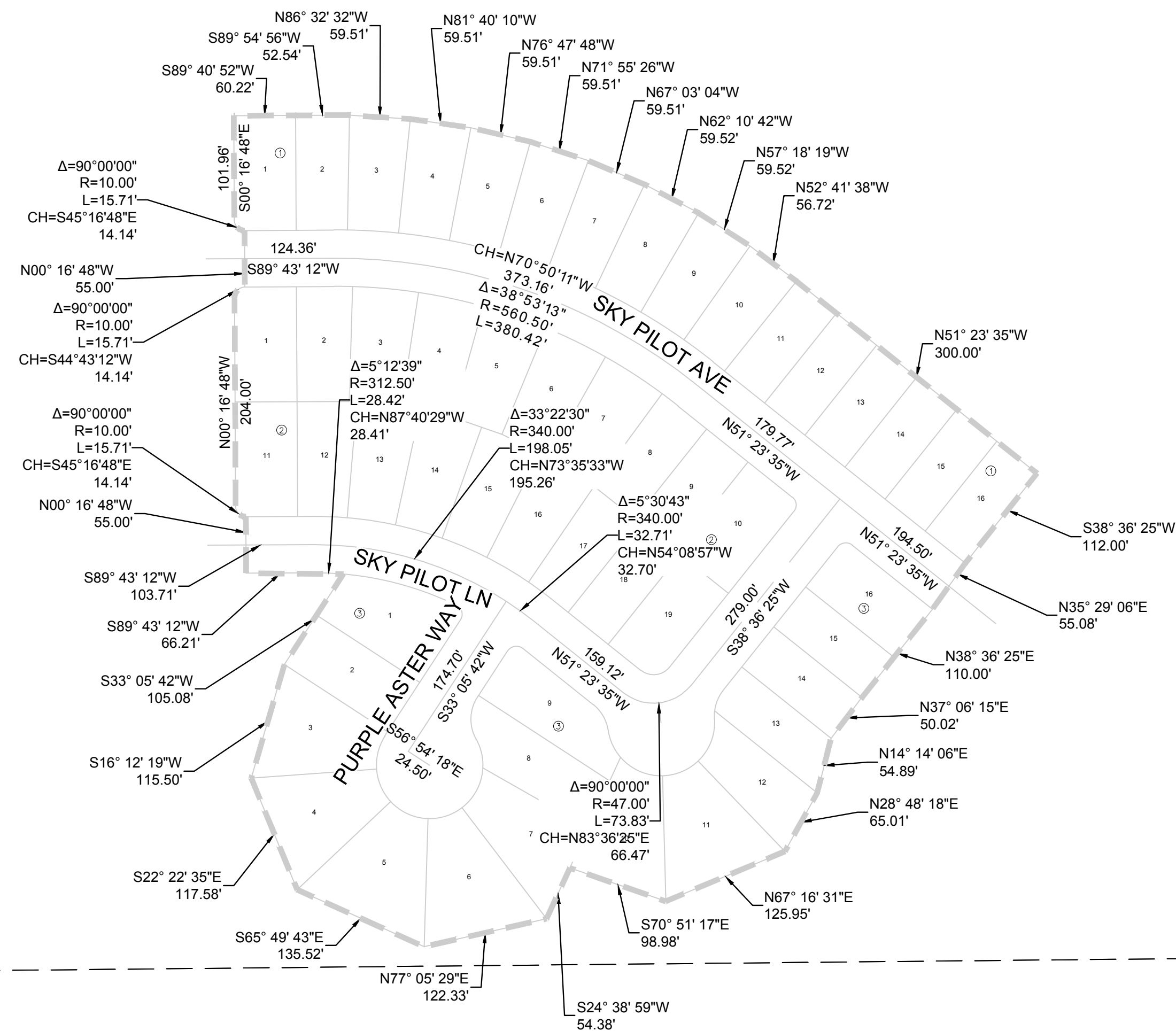
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	TRAILS AT CROWFOOT FILING 13 CONSTRUCTION DRAWINGS COVER SHEET						HR 935 LLC 7353 South Alton Way CENTENNIAL, CO 80112	CVL CONSULTANTS 10333 E. Dry Creek Rd. Ste 240 Englewood, CO 80112 Tel: (720) 482-9526 Fax: (720) 482-9546		

N:\PROJECTS\HR 935\ENGINEERING\SHEET SET\TRAILS AT CROWFOOT\TRAILS AT CROWFOOT FILING 13 COVER.DWG, ANDREW.WP, 3/12/2018 2:24 PM

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CENTER OF EXCELLENCE

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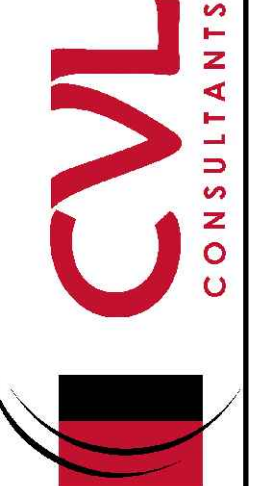
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KEYMAP
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No.	Revisions	Date	Init.	Appr.	Date

10333 E. Dry Creek Rd.
Suite 410
Englewood, CO 80150
Tel: (720) 482-9526
Fax: (720) 482-9546



HR 935 LLC
7353 South Alton Way
CENTENNIAL, CO 80112

**TRAILS AT CROWFOOT
FILING 13 CONSTRUCTION DRAWINGS
HORIZONTAL CONTROL PLAN**

SCALE: AS SHOWN
FILE NO: 8130283701
DRAWN BY: TP
CHECKED BY: JJ
DATE: SEPTEMBER 2017

SHEET NUMBER **3**

BENCHMARK
DOUGLAS COUNTY CONTROL POINT KNOWN AS 1.069032, BEING A 3-1/4" ALUMINUM CAP, BEING LOCATED IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, HAVING A PUBLISHED ELEVATION OF 1799.2870 METERS (5903.13 FEET) NAVD '88 DATUM.

BASIS OF BEARINGS:
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PREPARED UNDER THE SUPERVISION OF

BRIAN P. WILSON
COLORADO P.E. 0050067

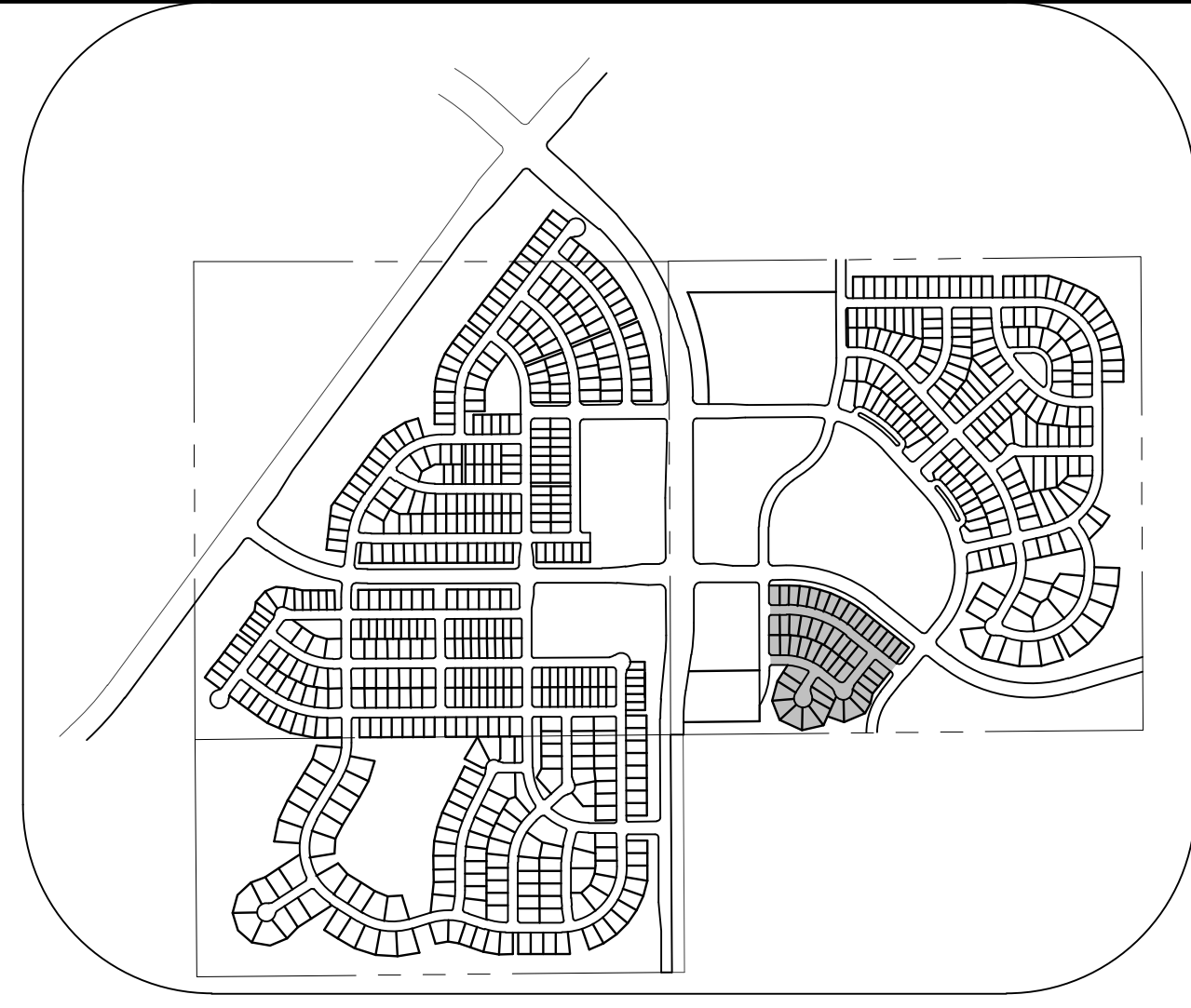
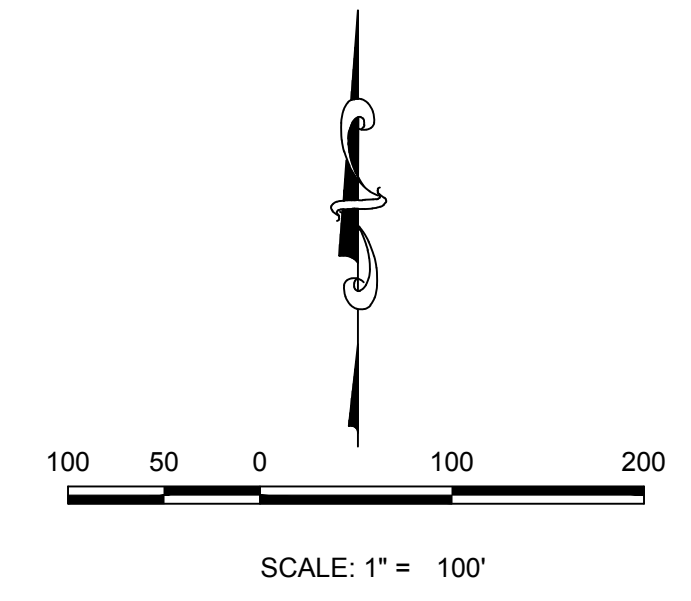
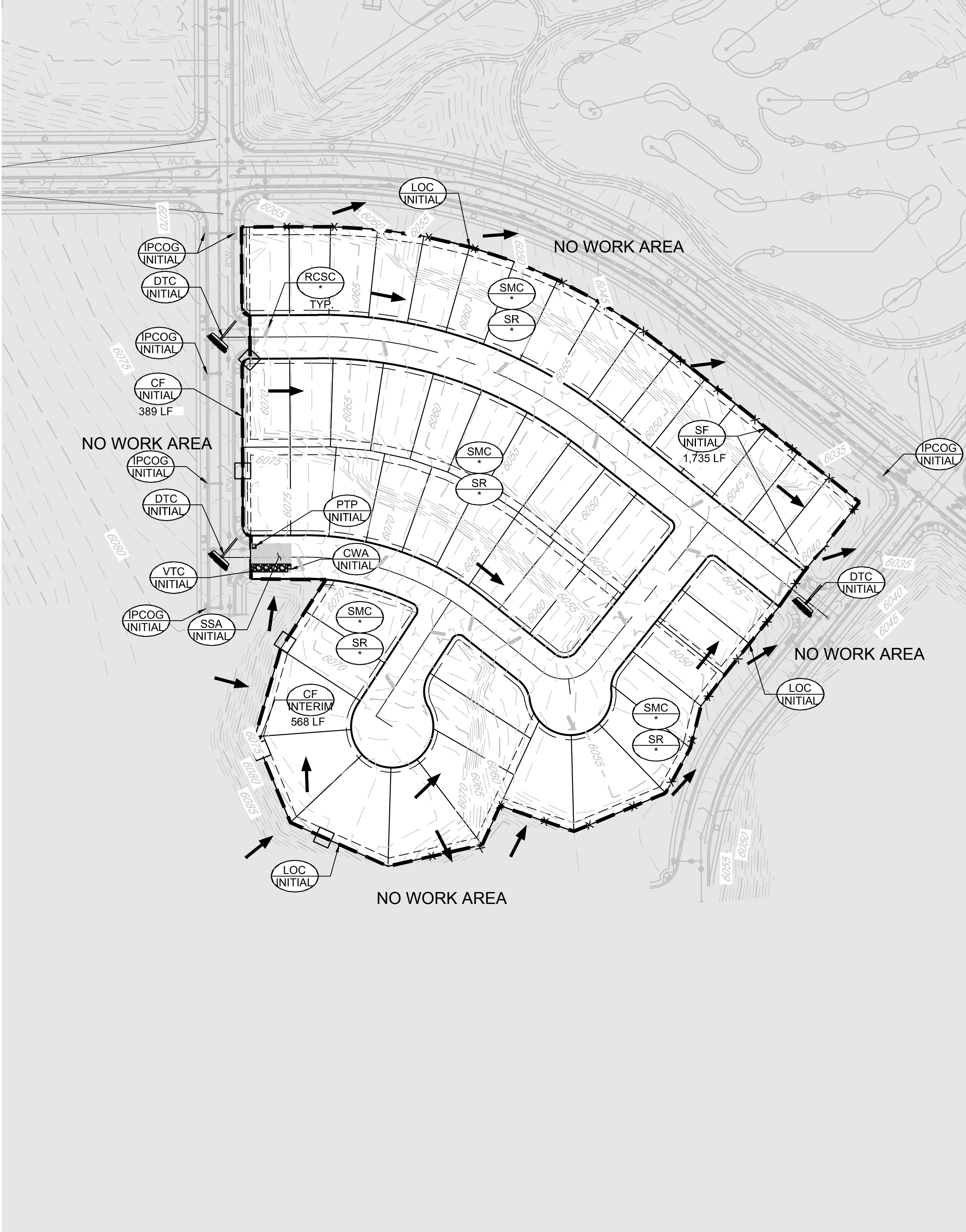
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PROJECT SHEET RANCH/CAD/ENGINEERING SHEET SETS/CD/SIF/31/TOWN OF PARKER/F13/BMP PLANS DWG. CDDVA. 3/12/2018 2:24 PM

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KEYMAP
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LEGEND

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- NO WORK AREA
- EXISTING SURFACE FLOW DIRECTION
- PROPOSED SURFACE FLOW DIRECTION

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES	CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES	CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

- NOTE:**
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DOUGLAS COUNTY CONTROL POINT KNOWN AS 1.060032, BEING A 3-1/4" ALUMINUM CAP, BEING LOCATED IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, HAVING A PUBLISHED ELEVATION OF 1799.2870 METERS (5903.13 FEET) NAVD '88 DATUM.

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PREPARED UNDER THE SUPERVISION OF

BRIAN P. WILSON
COLORADO P.E. 0050067

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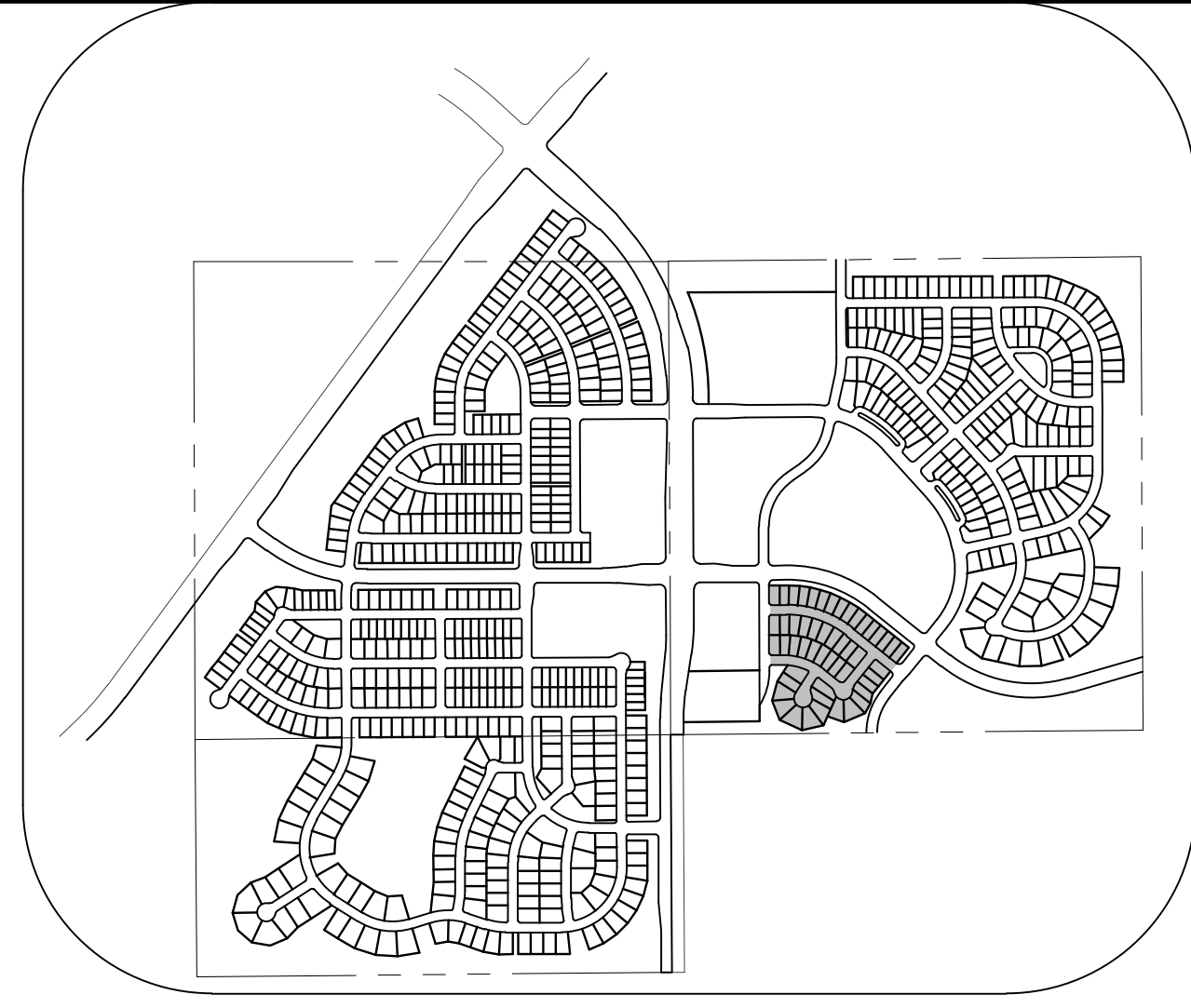
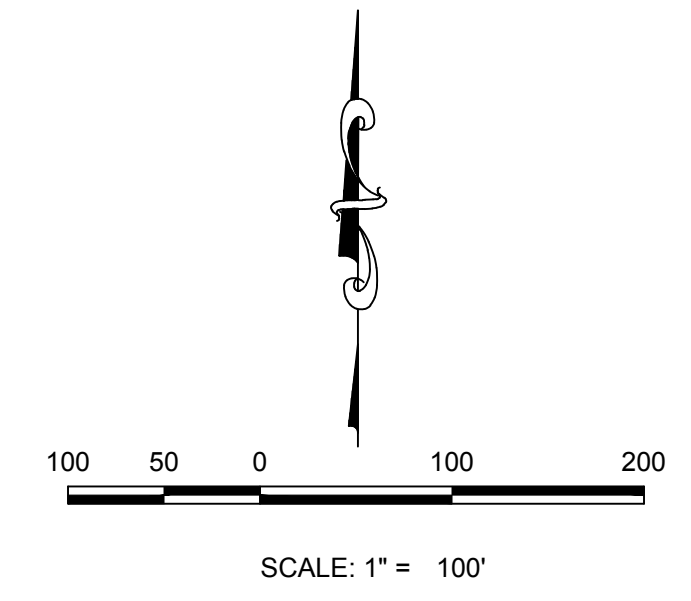
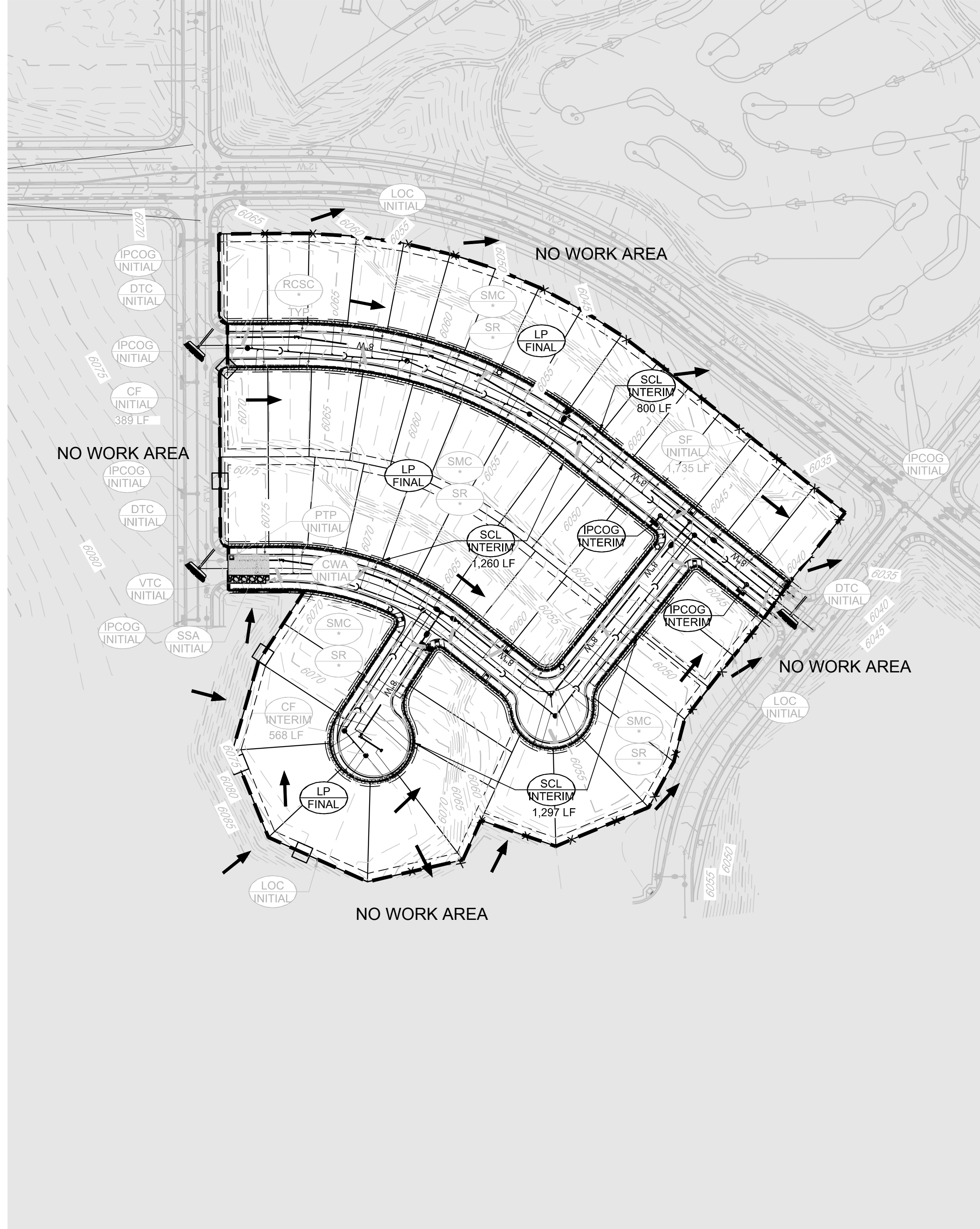
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SHEET NUMBER 4	SCALE: AS SHOWN	FILE NO: 8130283701		
	DRAWN BY: ASP	CHECKED BY: JU	DATE: SEPTEMBER 2017	
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HR 935 LLC 7363 South Allon Way CENTENNIAL, CO 80112				
CVL CONSULTANTS				
10333 E. Dry Creek Rd. Suite 240 Englewood, CO 80112 Tel: (720) 482-9526 Fax: (720) 482-9546				
No.	Revisions	Date	Appr.	Date

N:\PROJECTS\SHERRILL RANCH\CD\ENGINEERING\SHERRILL RANCH\SET\CD\SF\31\TOWN OF PARKER\F13\BMP PLANS\DWG.DWG. CDDVA. 3/12/2018 2:24 PM

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- PROPOSED MINOR CONTOUR
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<p>CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES</p>	<p>CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES</p>	<p>CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES</p>
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PREPARED UNDER THE SUPERVISION OF

BRIAN P. WILSON
COLORADO P.E. 0050067

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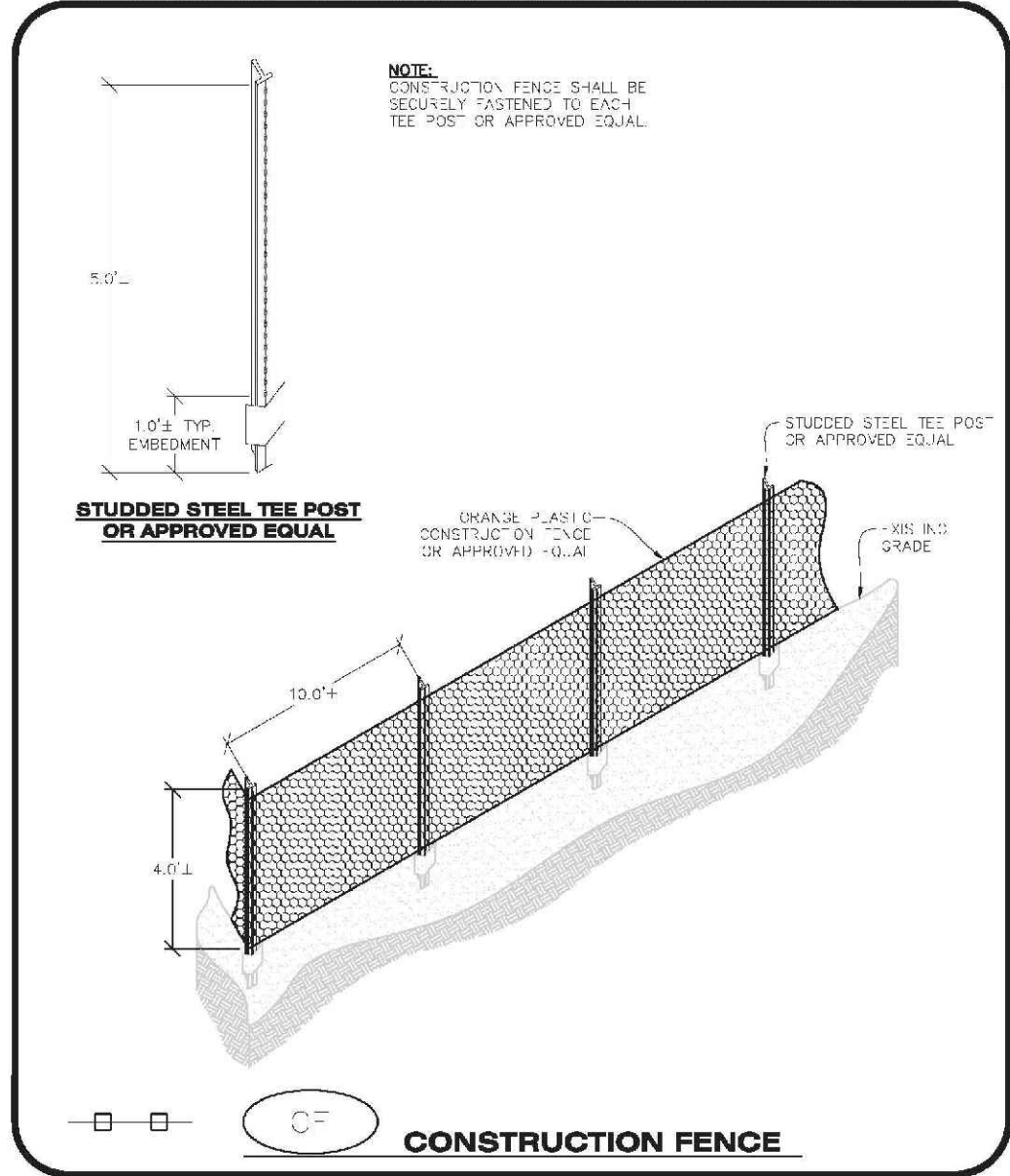
<p>10333 E. Dry Creek Rd. Suite 240 Englewood, CO 80112 Tel: (720) 482-9526 Fax: (720) 482-9546</p> <p>CVL CONSULTANTS</p>	<p>No. _____</p> <p>Revisions _____</p>	<p>Date _____</p> <p>Appr. _____</p>
	<p>HR 935 LLC 7363 South Alton Way CENTENNIAL, CO 80112</p>	<p>TRAILS AT CROWFOOT FILING 13 CONSTRUCTION DRAWINGS INTERIM & FINAL CBMP PLAN</p>
<p>SHEET NUMBER</p> <p style="font-size: 2em; font-weight: bold;">5</p>	<p>DATE: _____</p>	<p>DATE: _____</p>

BEST MANAGEMENT DETAILS

- GRADING, DRILLING, CLEARING, EXCAVATING, BACK-FILLING, SOIL STRIPPING, SOIL IMPORTING EXPORTING OR ANY OTHER FORM OF SOIL DISTURBANCE SHALL NOT COMMENCE UNTIL A TOWN OF PARKER GRADING/EXCAVATION PERMIT HAS BEEN ISSUED.
- THE TOWN OF PARKER GRADING/EXCAVATION PERMIT IS VALID FOR A PERIOD OF 2 YEARS FROM THE DATE OF ISSUANCE. ANY LAPSE IN PERMIT COVERAGE MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER AND/OR FINES.
- ALL EROSION AND SEDIMENT CONTROL BMPs SHALL BE INSTALLED ACCORDING TO THE CBMP PLAN INSTALLATION NOTES AND DETAILS AND/OR PERMITTED VARIANCES. ALL MATERIALS, WORKMANSHIP AND INSTALLATION METHODS ARE SUBJECT TO INSPECTION BY THE TOWN'S INSPECTOR. THE TOWN OF PARKER RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS, WORKMANSHIP AND/OR INSTALLATION METHODS THAT DO NOT CONFORM TO THE CBMP PLAN AND/OR PERMITTED VARIANCES.
- THE EROSION CONTROL SUPERVISOR SHALL REVISE OR MODIFY THE EROSION AND SEDIMENT CONTROL MEASURES IF IT BECOMES APPARENT THAT THE ORIGINAL PLAN IS INADEQUATE, OR AS A RESULT OF DEFICIENCIES IDENTIFIED DURING INSPECTIONS PERFORMED BY THE TOWN'S INSPECTOR.
- THE EROSION CONTROL SUPERVISOR SHALL BE READILY AVAILABLE TO DISCUSS AND CORRECT ANY PROBLEMS THAT MAY ARISE RELATING TO GRADING, EROSION AND SEDIMENT CONTROL.
- IF IT IS ANTICIPATED THAT ALL OR A PORTION OF THE PROJECT WILL OCCUR DURING SEASONS SUSCEPTIBLE TO SNOWFALL, THE USE OF CERTAIN EROSION AND SEDIMENT CONTROL BMPs ADJACENT TO PUBLIC ROADWAYS MAY NEED TO BE CONSIDERED DUE TO THE NATURE OF SNOW REMOVAL OPERATIONS. AN APPROVED ALTERNATIVE MAY BE NECESSARY TO MINIMIZE DAMAGES FROM THESE OPERATIONS. THE TOWN OF PARKER ASSUMES NO RESPONSIBILITY FOR DAMAGE TO ANY BMPs AS A RESULT OF SNOW PLOWING AND SNOW REMOVAL.
- AREAS OF LAND DISTURBANCE EQUAL TO 40 ACRES OR GREATER SHALL NOT BE EXPOSED FOR MORE THAN 30 CONSECUTIVE DAYS WITHOUT TEMPORARY OR PERMANENT STABILIZATION.
- AUTHORIZED EXEMPTIONS MAY BE ALLOWED TO THE 40-ACRE LIMIT FOR REMOVAL AND STORAGE OF CUT MATERIAL WHERE (A) GEOTECHNICAL LIMITATIONS RESTRICT THE USE OF TEMPORARY OR PERMANENT STABILIZATION OF THE STORED MATERIAL (E.G., SWELLING SOILS, ROCK) AND (B) WHEN THE OWNER CAN DEMONSTRATE THAT THE 40-ACRE LIMIT IS PHYSICALLY AND/OR FINANCIALLY IMPRACTICABLE. FOR SUCH EXEMPTIONS, A PHASING AND EARTHWORK QUANTITIES PLAN SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT AND APPROVED PRIOR TO THE COMMENCEMENT OF LAND DISTURBANCE ACTIVITIES. SUBMITTAL REQUIREMENTS INCLUDE:
 - (I) PHASING PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
 - (II) EARTHWORK QUANTITY PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
 - (III) BMP PLAN SHOWING SPECIFIC EROSION AND SEDIMENT CONTROLS FOR EACH PHASE.
- ANY EROSION AND SEDIMENT CONTROL BMPs THAT ARE DAMAGED OR IN NEED OF MAINTENANCE OR REPLACEMENT SHALL BE CORRECTED AS SOON AS POSSIBLE. IMMEDIATELY IN MOST CASES.
- ALL DEFICIENCIES LISTED ON THE NOTICE OF NUISANCE FORM SHALL BE COMPLETED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES. ALL REQUIRED ACTIONS MUST BE IN THE CORRECTED FORM DURING THE FOLLOW-UP INSPECTION.
- THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TROUBLE CHANNELS, AND/OR OTHER IMPERVIOUS SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEAN BEFORE THE END OF THE WORK DAY.
- BULK STORAGE OF LIQUIDS, PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS.
- ALL TRASH RECEPTACLES ON SITE SHALL BE FREE OF HOLES, CRACKS, GAPS, AND/OR OTHER PERMEABLE AREAS THAT MAY ALLOW FOR THE DISCHARGE OF POLLUTANTS.
- ALL TRASH RECEPTACLES ON SITE SHALL BE EMPTIED AT A FREQUENCY AS TO ENSURE THAT THE TRASH REMAINS CONFINED TO THE RECEPTACLE.
- ALL LOOSE TRASH AND LITTER ASSOCIATED WITH THE PROJECT MUST BE REMOVED AND PROPERLY DISCARDED ON A DAILY BASIS.
- ALL PORTABLE TOILETS SHALL BE STAKED DOWN AT ALL TIMES USING U-SHAPED REBAR STAKES. THE PORTABLE TOILETS SHALL ALSO BE PLACED A MINIMUM DISTANCE OF 10 FEET FROM ALL IMPERVIOUS SURFACES, INCLUDING, BUT NOT LIMITED TO STREETS, CURBS, GUTTERS, SIDEWALKS AND PARKING LOTS.
- THE EROSION CONTROL SUPERVISOR SHALL MAINTAIN STRICT ADHERENCE TO THE LIMITS OF CONSTRUCTION AND PROPERTY LIMITS FOR ALL MATERIALS, VEHICLES AND EQUIPMENT. FAILURE TO ABIDE BY THIS REQUIREMENT MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.
- ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE THROUGH THE APPROVED ACCESS POINT(S). A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL APPROVED ACCESS POINTS TO THE SITE. EXCEPTIONS MAY BE CONSIDERED FOR CONSTRUCTION ACTIVITY OCCURRING IMMEDIATELY ADJACENT TO PAVED AREAS AND WHERE ALTERNATIVE BMPs ARE IMPLEMENTED. SUCH ACTIVITY MAY INCLUDE, BUT NOT BE LIMITED TO RESIDENTIAL CONSTRUCTION, UTILITY CONSTRUCTION, ETC.
- NO PERMANENT SLOPES GREATER THAN 3:1 ARE ALLOWED.
- ALL PERMANENT SLOPES STEEPER THAN 4:1 (HORIZONTAL TO VERTICAL) SHALL REQUIRE EROSION CONTROL BLANKETS(1). TEMPORARY SLOPES IN TEMPORARY SEDIMENT BASINS THAT ARE STEEPER THAN 4:1 MAY REQUIRE EROSION CONTROL BLANKETS.
- THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ADVERSE IMPACTS THAT OCCUR TO NEIGHBORING PROPERTIES. THE EROSION CONTROL SUPERVISOR MUST OBTAIN PERMISSION FROM LAND OWNERS PRIOR TO ENTERING SUCH PROPERTY.
- A WATER SOURCE SHALL BE AVAILABLE ON-SITE DURING CONSTRUCTION ACTIVITIES, AND UTILIZED TO MINIMIZE FUGITIVE DUST. ALTERNATIVE BMPs MAY BE REQUIRED IF INITIAL ATTEMPTS TO SUPPRESS DUST ARE UNSUCCESSFUL.
- ALL CHEMICAL OR HAZARDOUS MATERIAL SPILLS, INCLUDING CONCRETE WASHOUT WATER, WHICH MAY ENTER WATERS OF THE STATE OF COLORADO, WHICH INCLUDES BUT ARE NOT LIMITED TO, SURFACE WATER, GROUND WATER, DRAIN GULLIES OR STORM SEWERS LEADING TO SURFACE WATER, SHALL BE IMMEDIATELY REPORTED TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT PER 25-B-601, AND THE TOWN OF PARKER. RELEASES OF PETROLEUM PRODUCTS AND CERTAIN HAZARDOUS SUBSTANCES LISTED UNDER THE FEDERAL CLEAN WATER ACT (40 CFR PART 117) MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER AND THE CORNER THAT POSES AN IMMEDIATE SAFETY HAZARD SHALL BE REPORTED TO 911.
- THE CLEANING OF CONCRETE TRUCKS AND EQUIPMENT IS RESTRICTED TO THE APPROVED CONCRETE WASHOUT LOCATION ON THE JOB SITE. CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO STATE WATERS OR STORM SEWER SYSTEMS.
- VEHICLE AND EQUIPMENT DECONTAMINATION IS PROHIBITED ON THE JOB SITE.
- ALL DEWATERING ON SITE SHALL BE COORDINATED WITH THE TOWN'S INSPECTOR. A STATE PERM IT MAY BE REQUIRED FOR DEWATERING. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR OBTAINING AND ADHERING TO ALL APPLICABLE PERMITS.
- HYDRAULIC SEEDING AND/OR HYDRAULIC MULCHING ARE ONLY ALLOWED IN AREAS UNDER TEMPORARY OR PERMANENT IRRIGATION OR FOR THE PURPOSE OF TEMPORARY SOIL STABILIZATION.
- APPLICABLE CONSTRUCTION BMPs SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL ALL LANDSCAPING HAS BEEN INSTALLED AND THE DESIRABLE VEGETATION HAS REACHED A POINT IN WHICH EROSION AND SEDIMENTATION IS NO LONGER A CONCERN AS DETERMINED BY THE TOWN'S INSPECTOR.

- DEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H OR ITEM I (BELOW).
 - ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERM IT HAVE PERMANENTLY CEASED.
 - UNIFORM PERENNIAL VEGETATION COVER HAS BEEN ESTABLISHED WITH AN INDIVIDUAL PLANT DENSITY OF AT LEAST SEVENTY PERCENT (70%) OF PRE-DISTURBANCE LEVELS.
 - ALL BMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
 - IF ANY EROSION IS PRESENT, IT IS INSIGNIFICANT AND IS NOT LEADING THE SITE AND/OR LEADING INTO ANY ON-SITE DRAINAGE INFRASTRUCTURE THAT MAY CONVEY SURFACE WATER OFF SITE.
 - WEEDS REPRESENT NO MORE THAN FIFTY PERCENT (50%) OF THE TOTAL VEGETATION ON THE SITE.
 - NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
 - A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR ASSIGNMENT AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION AT THE TIME OF CLOSING TO ENSURE THAT THE NEW SITE OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.
- NONDEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H AND J, OR ITEMS I AND J (BELOW).
 - ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
 - ALL BMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
 - EROSION IS NEGLIGIBLE, IF EVEN PRESENT.
 - THE VEGETATION REPRESENTS A PERENNIAL STAND OF A DENSE, UNIFORM SURFACE OF GRASS WITH NO AREA GREATER THAN ONE (1) SQUARE FOOT THAT IS BARREN OF DESIRABLE VEGETATION, INFREQUENT, WIDELY SCATTERED AREAS WHERE NATIVE VEGETATION HAS NOT YET TAKEN HOLD MAY QUALIFY FOR ACCEPTANCE AT THE DISCRETION OF THE TOWN.
 - WEEDS REPRESENT NO MORE THAN TEN PERCENT (10%) OF THE TOTAL VEGETATION ON SITE.
 - NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
 - A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR THE GRADING PERMIT HAS BEEN ASSIGNED AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION, AT THE TIME OF CLOSING ON THE SALE OF A SITE THAT IS SUBJECT TO A GRADING PERMIT, TO ENSURE THAT THE NEW PROPERTY OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.
 - ALL KNOWN DRAINAGE ISSUES ASSOCIATED WITH THE PROJECT HAVE BEEN MITIGATED AND A SUFFICIENT AMOUNT OF TIME HAS PASSED TO ENSURE THAT SUCH ISSUES HAVE BEEN CORRECTED. THIS REQUIREMENT DOES NOT INCLUDE THOSE DRAINAGE ISSUES ORIGINATING ON RESIDENTIAL LOTS.
 - NOXIOUS WEEDS MUST BE CONTROLLED AS PROVIDED UNDER STATE LAW AND SECTION 6.01.260 OF THE TOWN OF PARKER MUNICIPAL CODE. FAILURE TO CONTROL NOXIOUS WEEDS ON THE SITE MAY CONSTITUTE A NUISANCE, SUBJECT TO THE PENAL TIES CONTAINED IN THE CODE.

- DEVELOPABLE PROPERTY: MEANS ANY LAND THAT HAS BEEN GRADED AND IS PART OF A PLATTED LOT OR PLATTED TRACT OF RECORD, THAT WAS PLATTED FOR FUTURE DEVELOPMENT, INCLUDING RESIDENTIAL HOME CONSTRUCTION OR PUBLIC IMPROVEMENTS.
- NONDEVELOPABLE PROPERTY: MEANS LAND THAT HAS BEEN GRADED AND WILL NOT BE FURTHER DISTURBED AS PART OF ANY FUTURE DEVELOPMENT. EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO PARKS, OPEN SPACE, HOMEOWNER ASSOCIATION OR BUSINESS ASSOCIATION PLATTED TRACTS, DETENTION PONDS AND DRAINAGEWAYS.
- FAILURE TO COMPLY WITH ANY OF THE REQUIREMENTS DESCRIBED IN THIS SECTION MAY RESULT IN THE ISSUANCE OF A NOTICE OF INTENT TO ISSUE A STOP WORK ORDER, A STOP WORK ORDER AND/OR THE REMEDIES/PENALTIES DESCRIBED IN CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE.
- ANY PERSON CONVICTED OF VIOLATING ANY PROVISION OF THE TOWN OF PARKER, GRADING & EARTH MOVEMENT SECTION OF THE MUNICIPAL CODE SHALL BE GUILTY OF A MISDEMEANOR AND, UPON CONVICTION, BE PUNISHED BY A FINE OF NOT MORE THAN FOUR HUNDRED NINETY NINE DOLLARS (\$499.91) FOR EACH SEPARATE OFFENSE. EACH DAY A VIOLATION CONTINUES SHALL CONSTITUTE A SEPARATE OFFENSE. THE TOWN ALSO MAY SEEK IN MUNICIPAL COURT AN INJUNCTION, ABATEMENT, RESTITUTION OR ANY OTHER REMEDY TO PREVENT, ENJOIN, ABATE OR REMOVE THE VIOLATION. A PERSON CONVICTED OF VIOLATING CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE SHALL BE LIABLE FOR THE ACTUAL COST OF REHABILITATING THE PROPERTY. THE COSTS MAY BE RECOVERED AS RESTITUTION IN MUNICIPAL COURT PROCEEDINGS OR IN A SEPARATE CIVIL ACTION.
- THE TOWN OF PARKER RESERVES THE RIGHT TO ALLOW MODIFICATIONS AND SUBSTITUTIONS TO THE CBMP NOTES AND DETAILS WHEN SUCH MODIFICATIONS AND SUBSTITUTIONS OFFER THE SAME LEVEL OF PROTECTION AS THE STANDARD REQUIREMENTS BASED UPON THE SPECIFIC SITUATION, AS DETERMINED BY TOWN STAFF. DUE TO THE INSIGNIFICANCE AND REGULARITY OF SUCH MODIFICATIONS AND SUBSTITUTIONS, THE APPROVAL OF SUCH VARIATIONS MAY NOT BE DOCUMENTED BY TOWN STAFF.

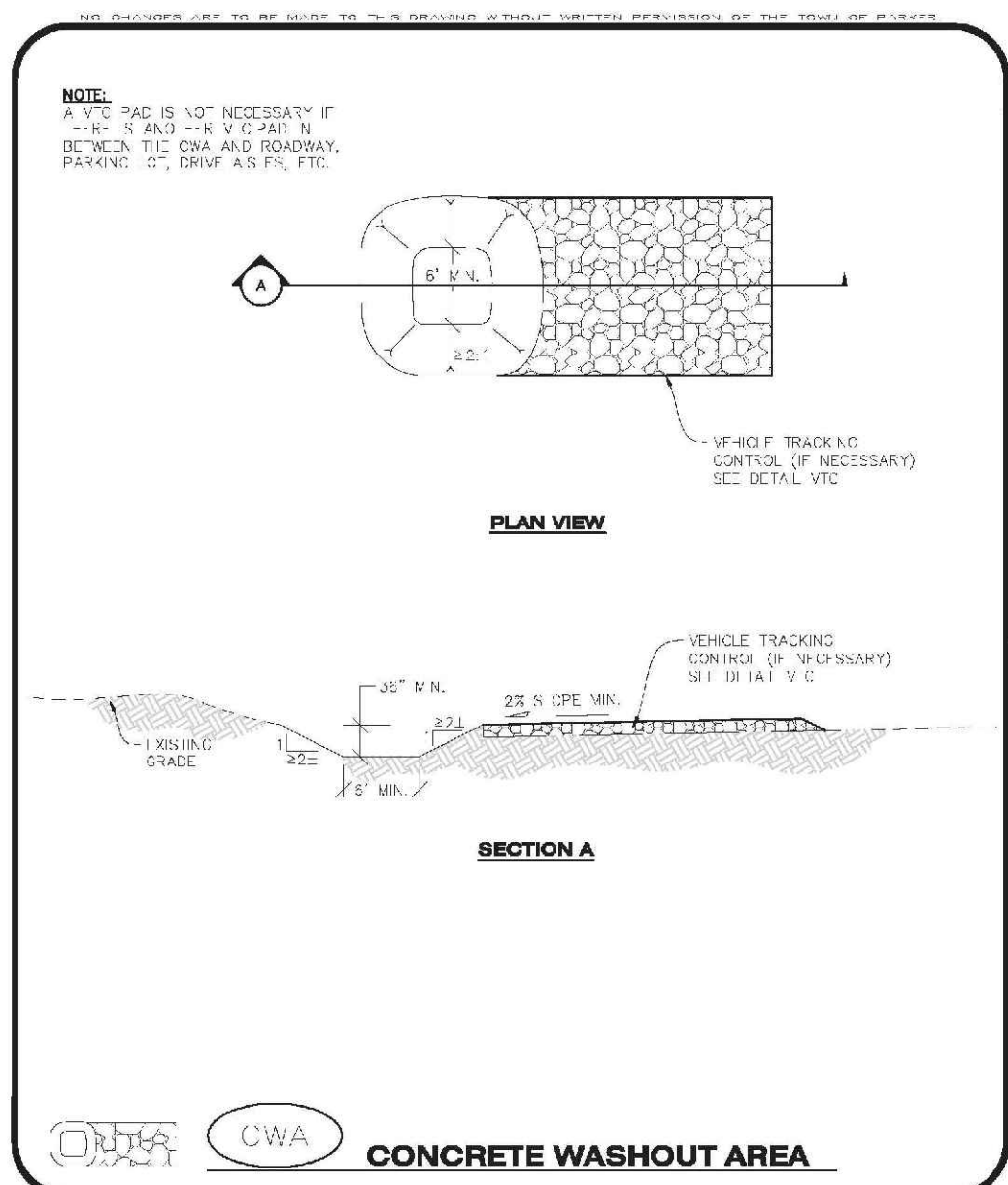


CONSTRUCTION FENCE

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

CF 1 OF 2

REV. 2014

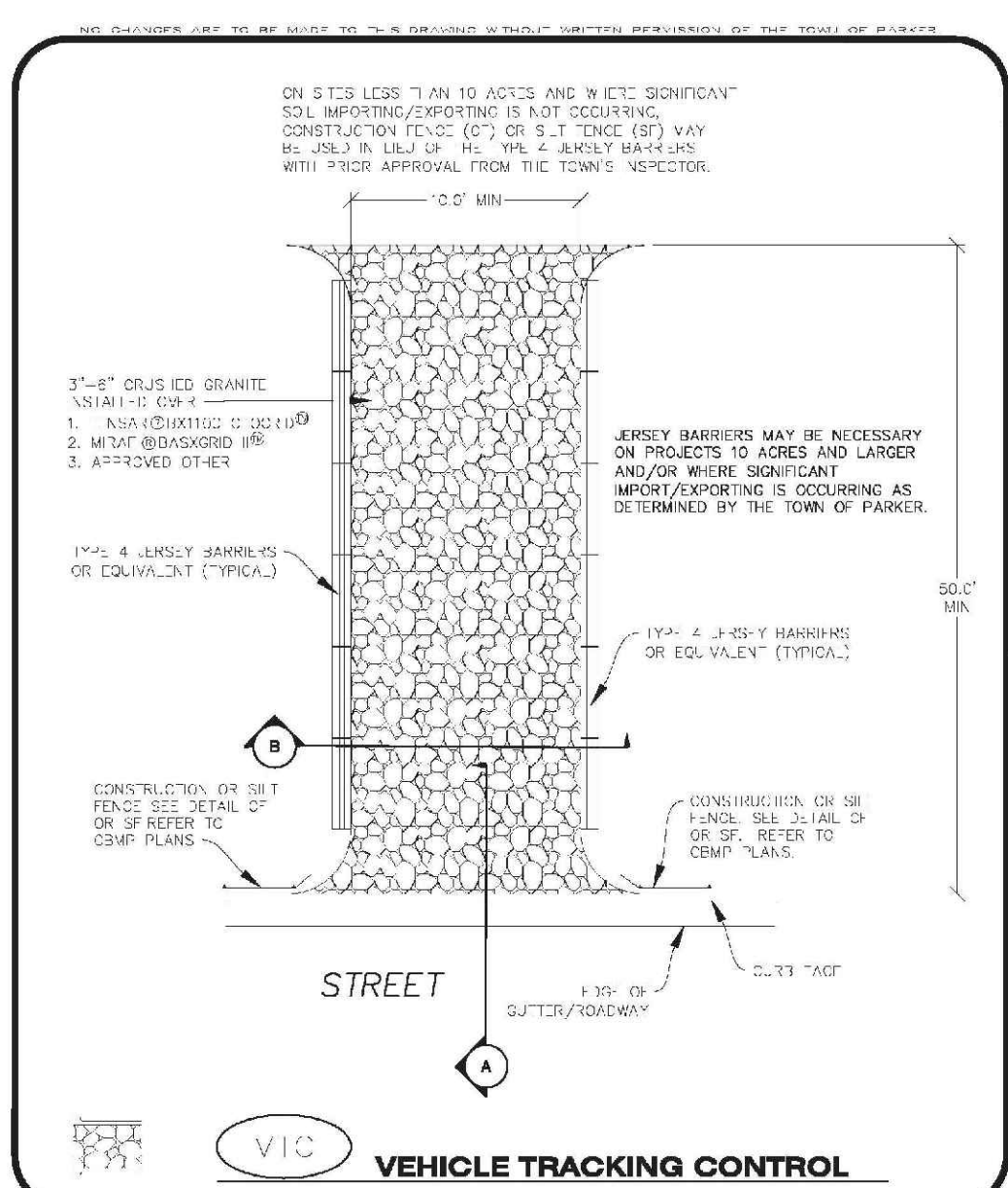


CONCRETE WASHOUT AREA

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

CWA 1 OF 2

REV. 2014

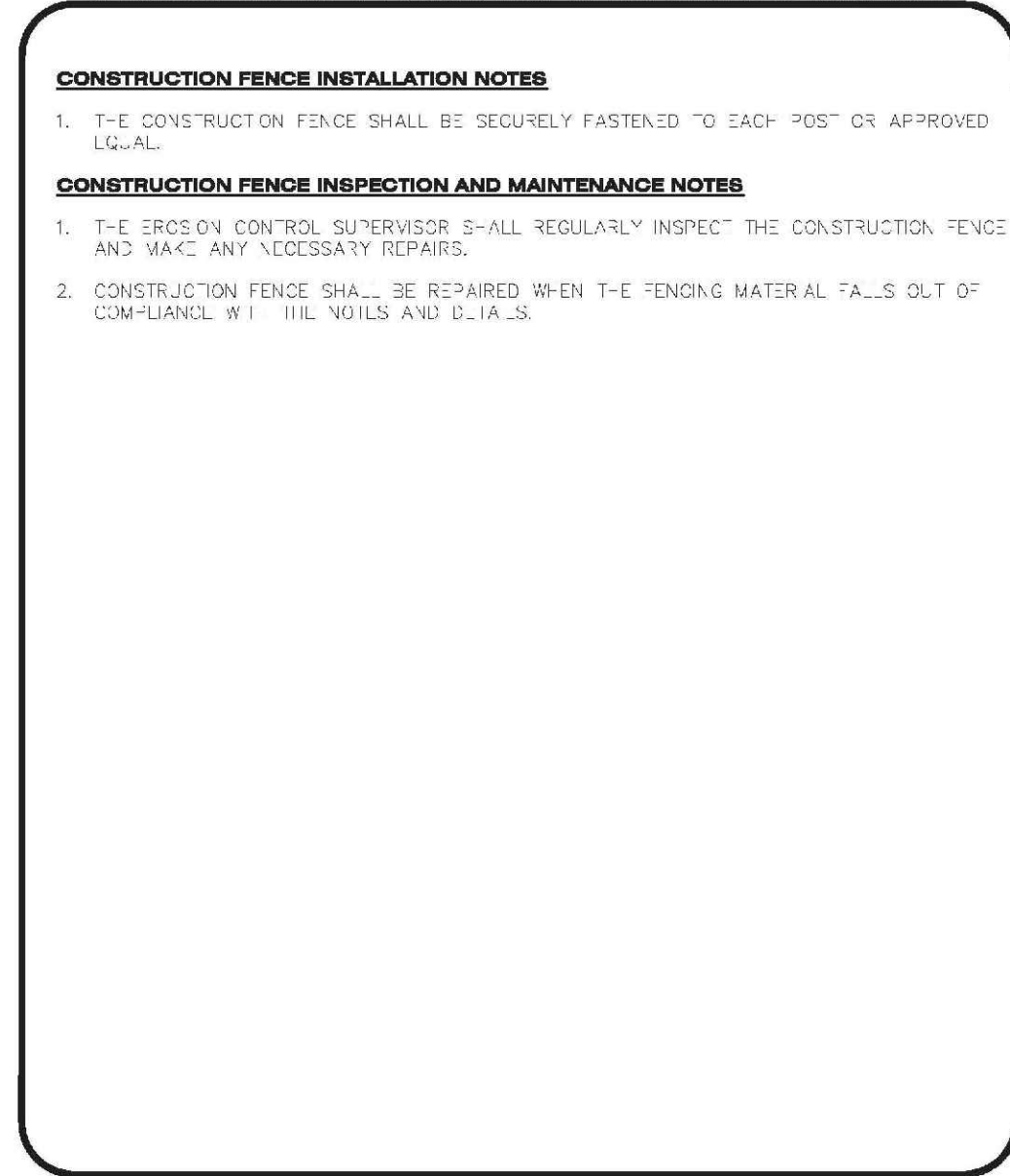


VEHICLE TRACKING CONTROL

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

VTC 2 OF 3

REV. 2014



CONSTRUCTION FENCE INSTALLATION NOTES

1. THE CONSTRUCTION FENCE SHALL BE SECURELY FASTENED TO EACH "POST" OR APPROVED EQUAL.

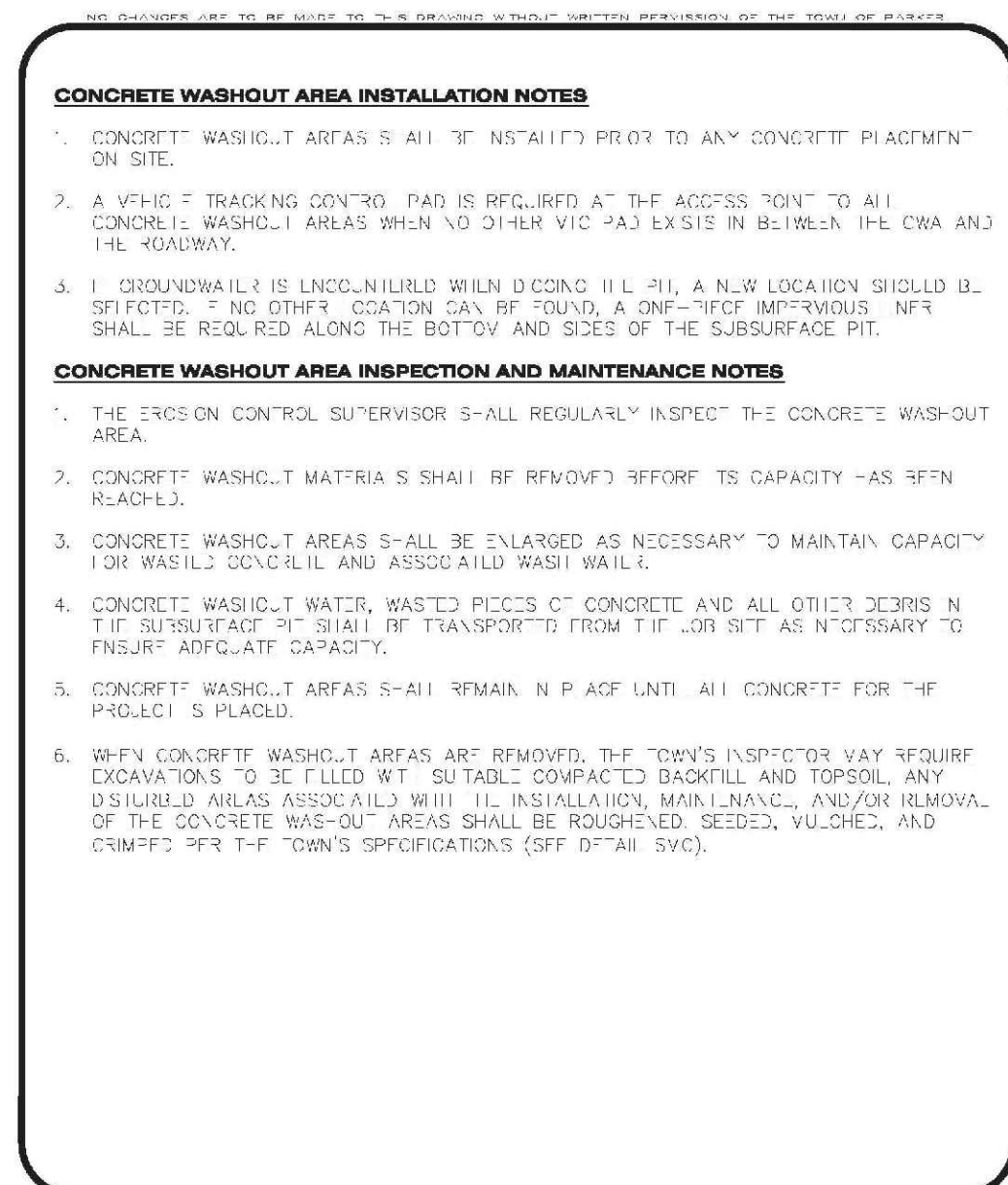
2. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CONSTRUCTION FENCE AND MAKE ANY NECESSARY REPAIRS.

3. CONSTRUCTION FENCE SHALL BE REPAIRED WHEN THE TENCING MATERIAL FALLS OUT OF COMPLIANCE WITH THE VOILS AND C.I.A.S.

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

CF 2 OF 2

REV. 2014



CONCRETE WASHOUT AREA INSTALLATION NOTES

1. CONCRETE WASHOUT AREAS SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.

2. A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT THE ACCESS POINT TO ALL CONCRETE WASHOUT AREAS WHEN NO OTHER VEHICLE TRACKING CONTROL IS INSTALLED ALONG THE ROADWAY.

3. CONCRETE WASHOUT AREAS SHALL BE ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR WASHOUT AND ASSOCIATED WASH WATER.

4. CONCRETE WASHOUT AREAS SHALL BE TRANSPORTED FROM THE JOB SITE AS NECESSARY TO INSURE ADEQUATE CAPACITY.

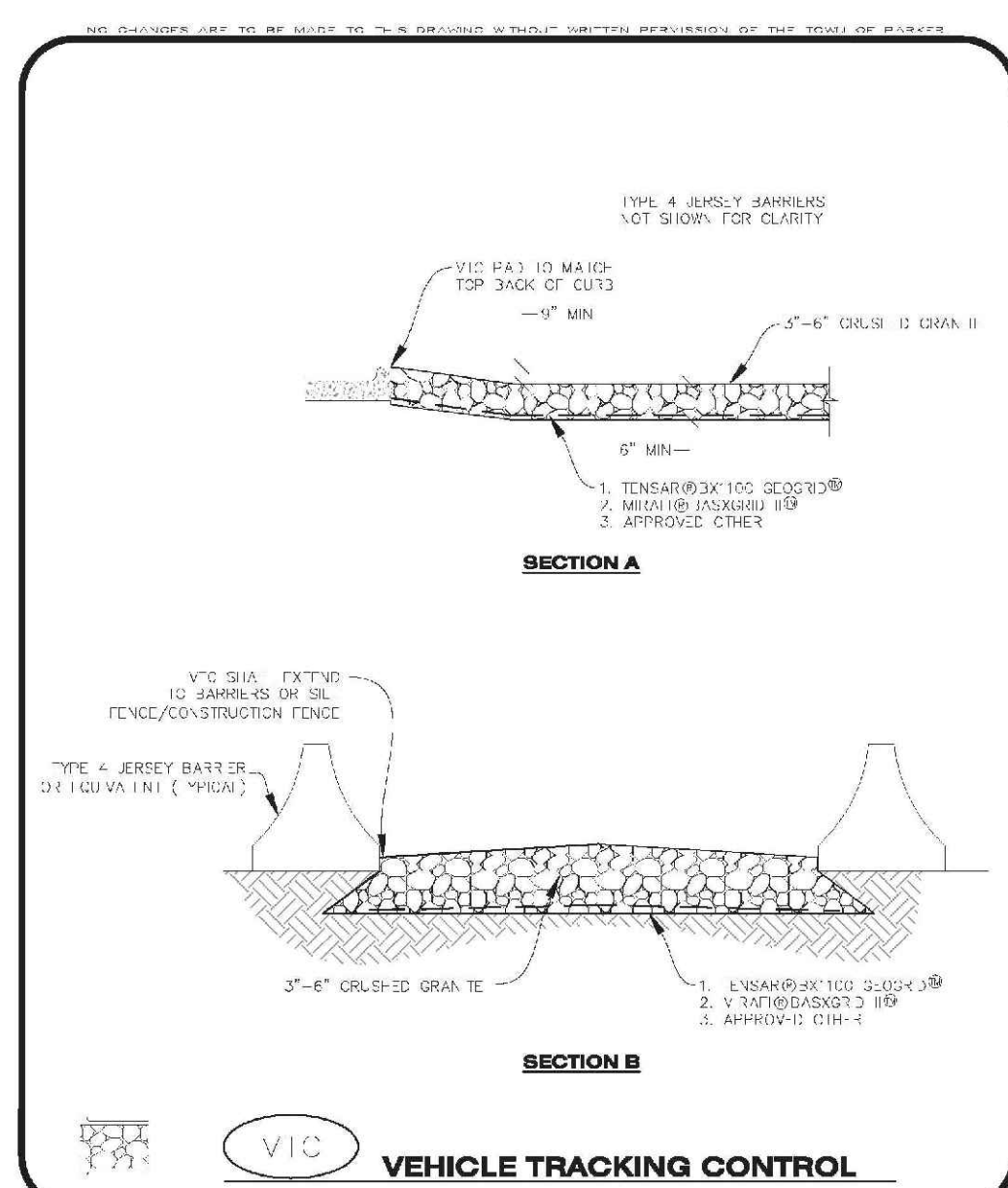
5. CONCRETE WASHOUT AREAS SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.

6. WHEN CONCRETE WASHOUT AREAS ARE REMOVED, THE TOWN'S INSPECTOR MAY REQUIRE EXCAVATIONS TO BE FILLED WITH SUITABLE COMPACTED BACKFILL AND TOPSOIL, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE CONCRETE WASHOUT AREAS SHALL BE ROUGHENED, SEEDING, MULCHED, AND GRIPPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SWC).

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

CWA 2 OF 2

REV. 2014



VEHICLE TRACKING CONTROL INSTALLATION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE VEHICLE TRACKING CONTROL PAD.

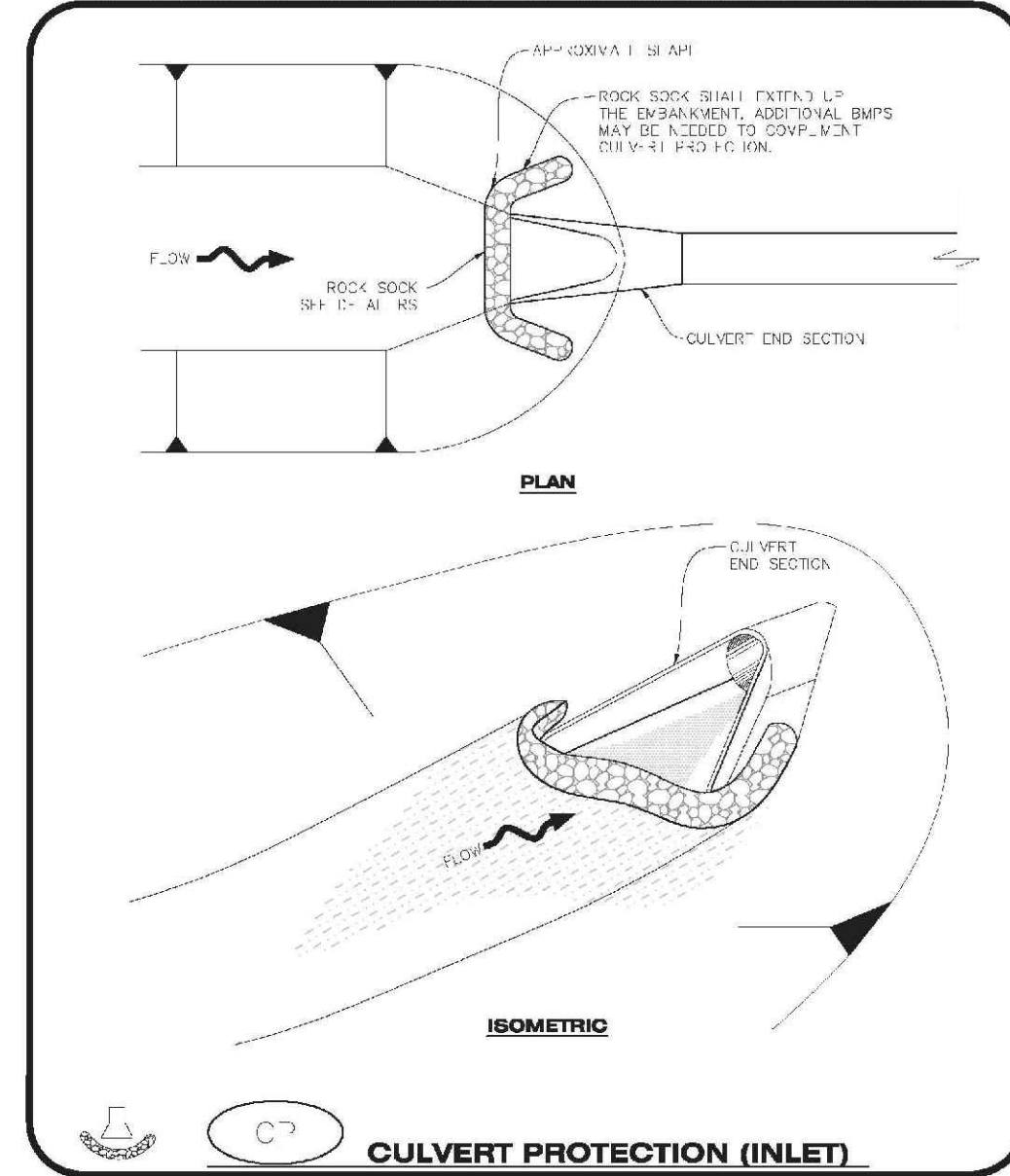
2. WHEN THE VEHICLE TRACKING CONTROL PAD IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE VEHICLE TRACKING CONTROL PAD SHALL BE ROUGHENED, SEEDING, MULCHED, AND GRIPPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SWC).

3. THE VEHICLE TRACKING CONTROL PAD SHALL BE MAINTAINED SUCH THAT THE ROCK REMAINS AT ALL TIMES AND ACCUMULATED MUD AND OTHER DEBRIS IS REMOVED.

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

VTC 3 OF 3

REV. 2014

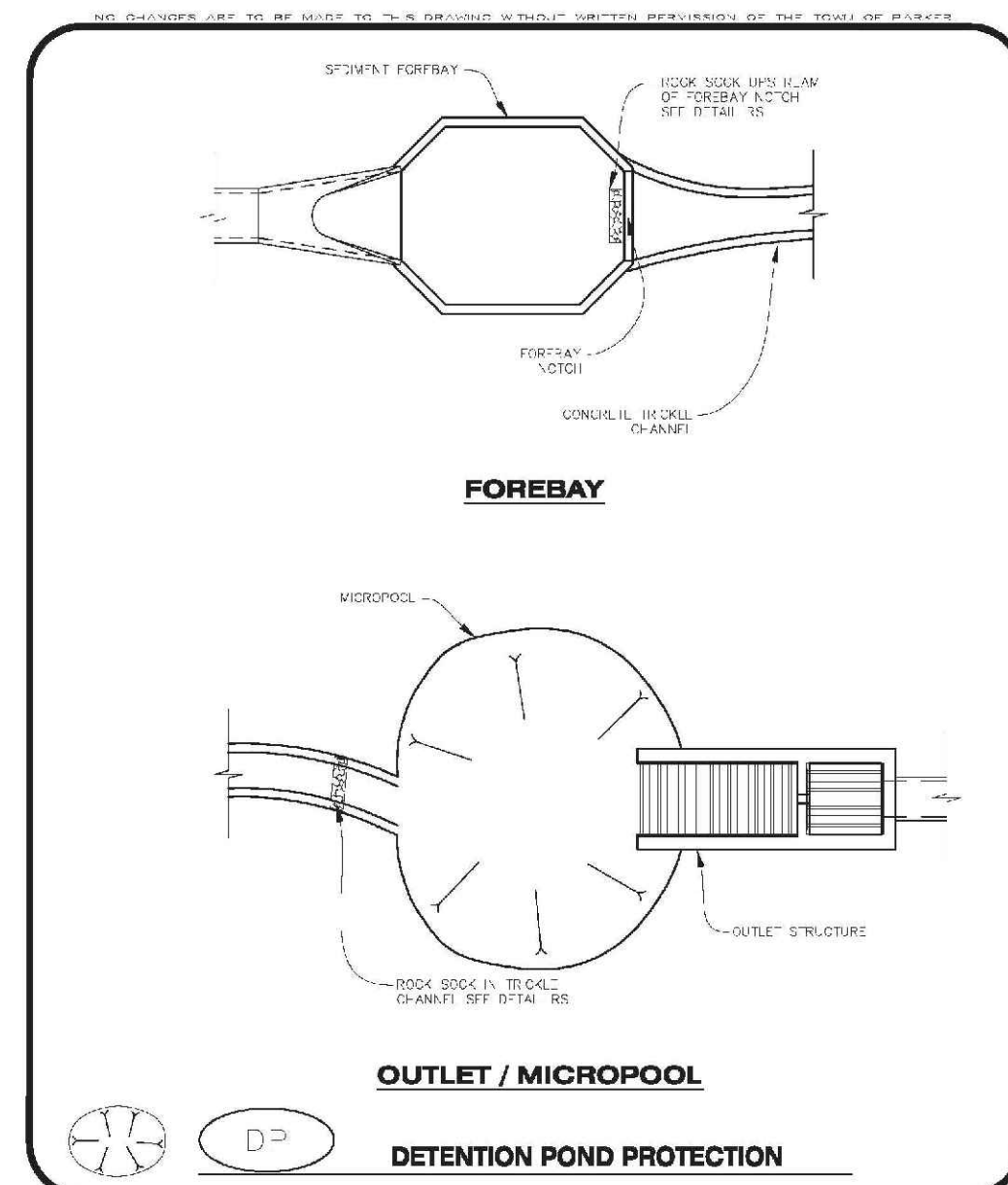


CULVERT PROTECTION (INLET)

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

CP 1 OF 2

REV. 2014

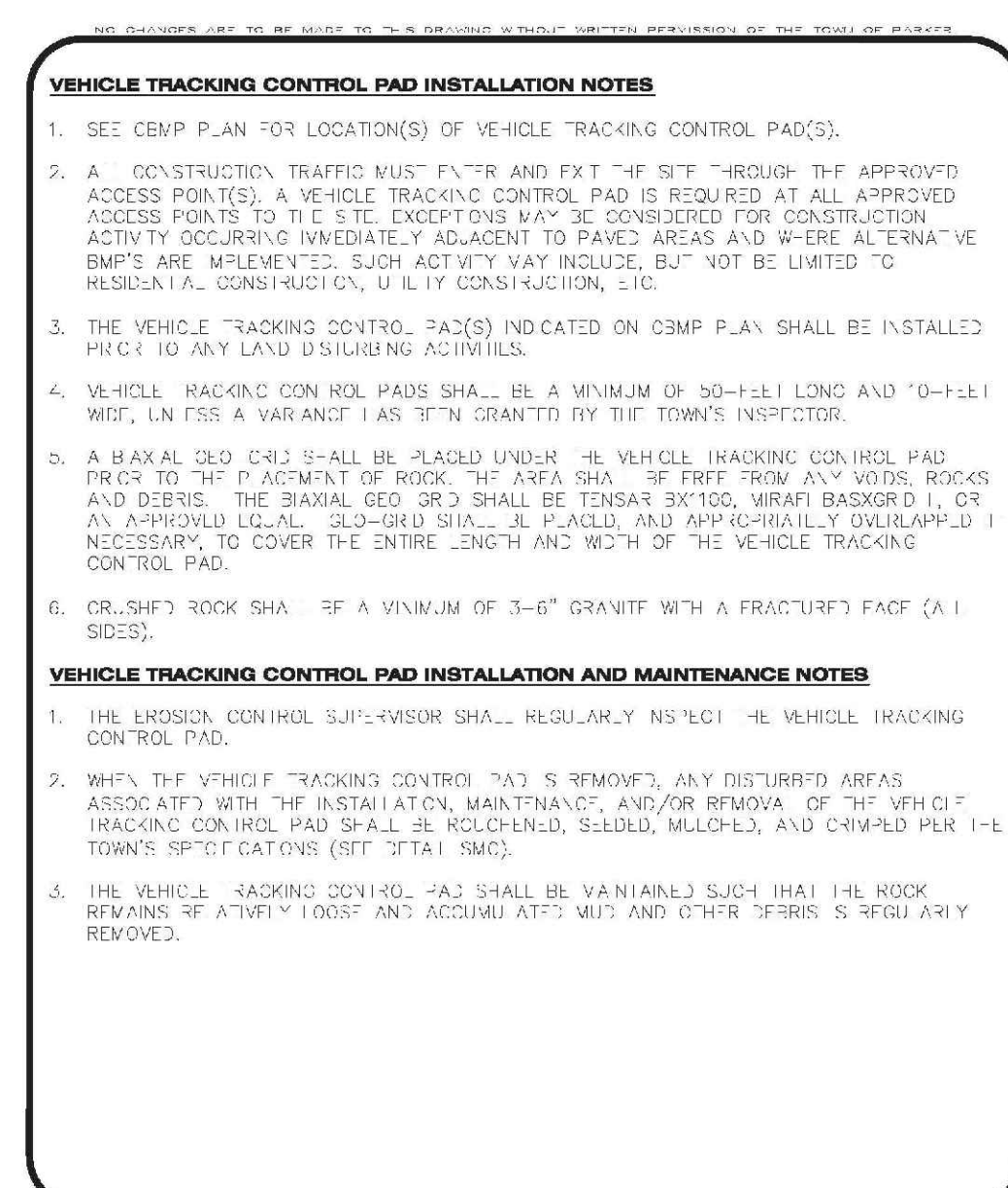


DETENTION POND PROTECTION

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

DP 2 OF 2

REV. 2014



VEHICLE TRACKING CONTROL INSTALLATION NOTES

1. SEE CBMP PLAN FOR LOCATIONS(S) OF VEHICLE TRACKING CONTROL PAD(S).

2. A CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE THROUGH THE APPROVED ACCESS POINT(S). A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL APPROVED ACCESS POINTS TO THE SITE EXCEPT WHERE THE SITE IS ADJACENT TO CONSTRUCTION ACTIVITY OCCURRING IMMEDIATELY ADJACENT TO PAVED AREAS AND WHERE ALTERNATIVE BMPs ARE IMPLEMENTED. SUCH ACTIVITY MAY INCLUDE, BUT NOT BE LIMITED TO RESIDENTIAL CONSTRUCTION, UTILITY CONSTRUCTION, ETC.

3. THE VEHICLE TRACKING CONTROL PAD(S) INDICATED ON CBMP PLAN SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

4. VEHICLE TRACKING CONTROL PADS SHALL BE A MINIMUM OF 50-FEET LONG AND 10-FEET WIDE, UNLESS A VARIANCE HAS BEEN GRANTED BY THE TOWN'S INSPECTOR.

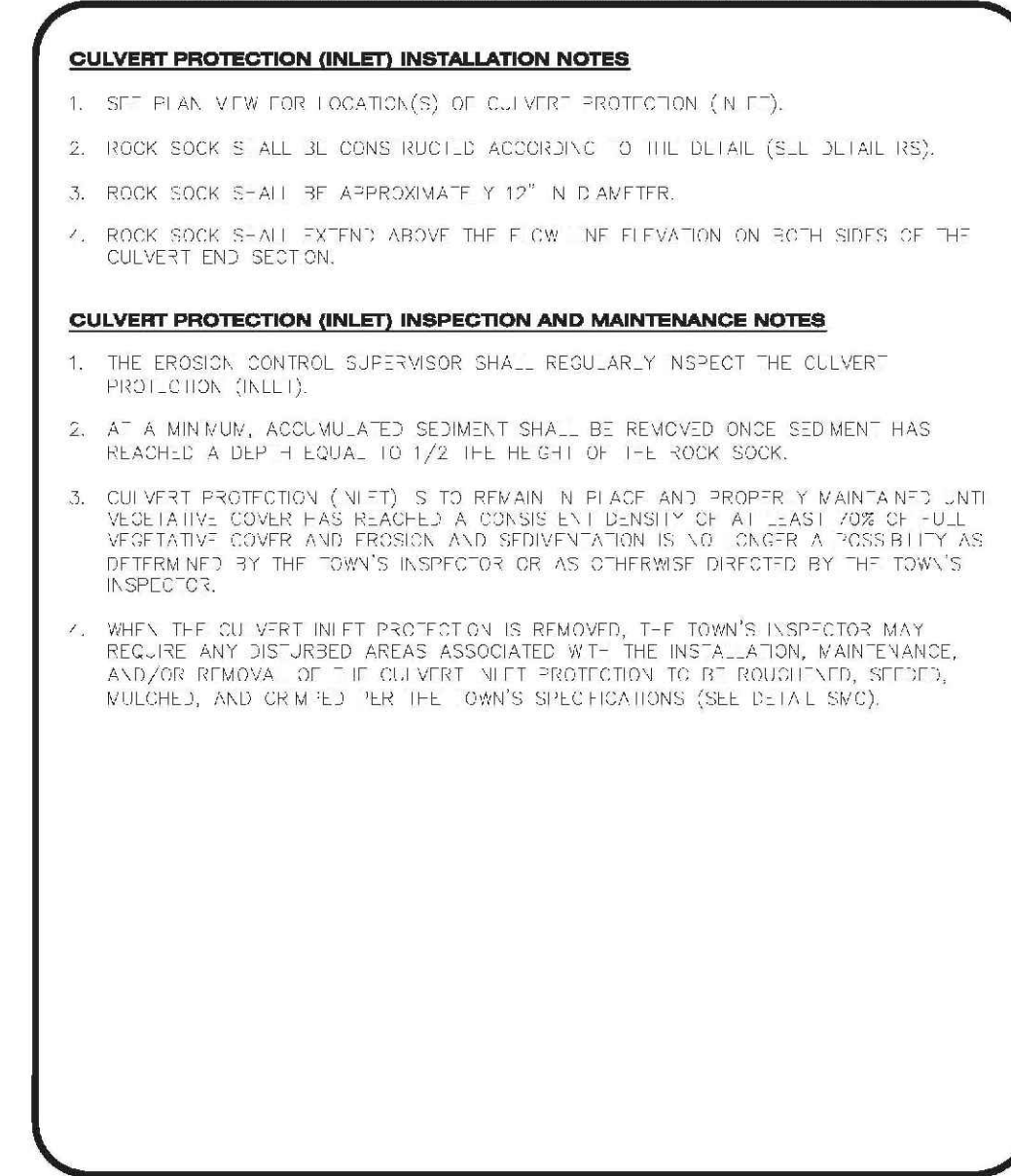
5. A MAXIMUM OF TWO (2) ROCK SOCKS SHALL BE PLACED UNDER THE VEHICLE TRACKING CONTROL PAD PRIOR TO THE PLACEMENT OF ROCK. THE AREA SHALL BE FREE FROM ANY WEEDS, ROCKS AND DEBRIS. THE BENTONITE GROUT SHALL BE TENSAR 63000, MESA BACKER 11, OR AN APPROVED EQUAL. GROUT SHALL BE PLACED AND APPROXIMATELY OVERLAP AS NECESSARY TO COVER THE ENTIRE LENGTH AND WIDTH OF THE VEHICLE TRACKING CONTROL PAD.

6. CONCRETE ROCK SOCK SHALL BE A MINIMUM OF 3-6" GRANITE WITH A FRACTURE FACED (A.I. SIDES).

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

VTC 3 OF 3

REV. 2014



CULVERT PROTECTION (INLET) INSTALLATION NOTES

1. SEE PLAN VIEW FOR LOCATION(S) OF CULVERT PROTECTION (INLET).

2. ROCK SOCK SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL HW).

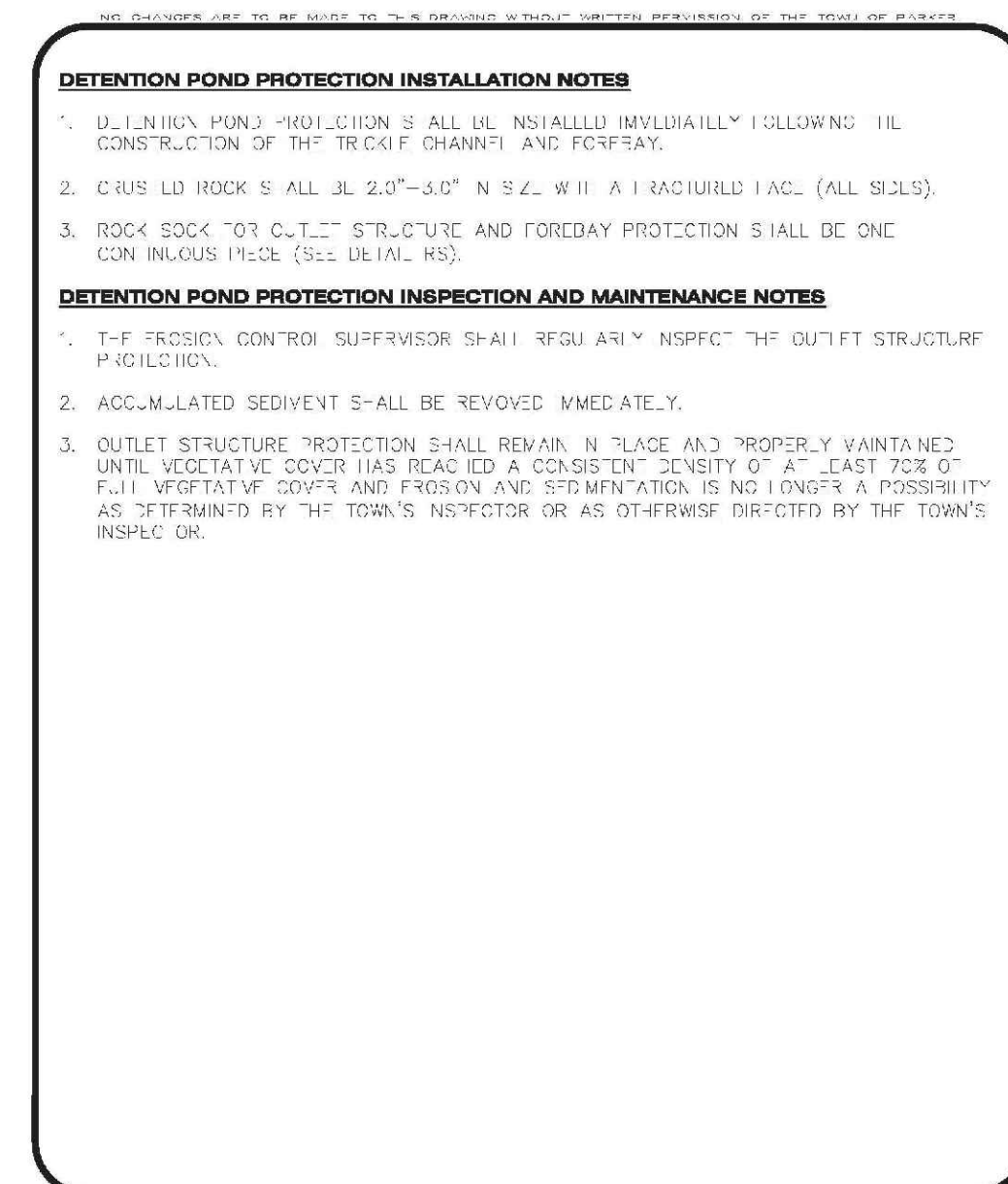
3. ROCK SOCK SHALL BE APPROXIMATELY 1/2" IN DIAMETER.

4. ROCK SOCK SHALL EXTEND ABOVE THE CULVERT ELEVATION ON BOTH SIDES OF THE CULVERT END SECTION.

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

CP 2 OF 2

REV. 2014



DETENTION POND PROTECTION INSTALLATION NOTES

1. DETENTION POND PROTECTION SHALL BE INSTALLED IMMEDIATELY FOLLOWING THE CONSTRUCTION OF THE TENSAR (MESA) BACKER AND FOREBAY.

2. CONCRETE ROCK SOCK SHALL BE 2-3" IN SIZE, WITH A FRACTURED FACED (ALL SIDES).

3. ROCK SOCK FOR CULVERT STRUCTURE AND FOREBAY PROTECTION SHALL BE ONE CONCRETE ROCK SOCK (SEE DETAIL HW).

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

DP 2 OF 2

REV. 2014



VEHICLE TRACKING CONTROL INSTALLATION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE OUTLET STRUCTURE INSTALLATION.

2. ACCUMULATED SEDIMENT SHALL BE REMOVED IMMEDIATELY.

3. OUTLET STRUCTURE PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND PROXIMITY AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

DP 2 OF 2

REV. 2014

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10338 E. Dry Creek Rd.
Suite 110
Englewood, CO 80150
Tel: (720) 482-9526
Fax: (720) 482-9546

HR 935 LLC
7353 South Alton Way
CENTENNIAL, CO 80112

TRAILS AT CROWFOOT
FILING 13 CONSTRUCTION DRAWINGS
BMP DETAILS

DRAWN BY: JF
CHECKED BY: JJ
DATE: SEPTEMBER 2017
SCALE: AS SHOWN
FILE NO: 8130283701
SHEET NUMBER: 6

DEBRIS AND TRASH CONTROL

NOTE:

1. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TRUCK CHANNELS, AND OTHER IMPROVED SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEANED AT THE END OF THE WORK DAY TO INCLUDE ALL CURB, TRASH AND LITTER ASSOCIATED WITH THE PROJECT MUST BE REMOVED AND PROPERLY DISPOSED ON A DAILY BASIS.

1 OF 2
REV. 02/14

DEBRIS CONTROL NOTES:

1. A COMBINATION OF SURFACE SCANNING AND SWEEPING MAY BE NECESSARY TO PROPERLY CLEAN THE AREAS.
2. ALL CHYMEI OILS AND STAINS ON THE SITE SHALL BE CLEANED TO THE MAXIMUM EX EXTENT POSSIBLE. IN SOME CASES IT MAY BE NECESSARY TO USE PRESSURIZED WATER AND A VACUUM TRUCK.
3. ON-SITE FERTILIZERS, PESTICIDES, ETC., SHOULD BE EDUCATED ON THE NEED FOR CONTINUAL EFFORTS AND TRANS-CONTOUR.

EROSION CONTROL BLANKET (SLOPE)

1 OF 2
REV. 02/14

EROSION CONTROL BLANKET (CHANNEL)

NOTE:

1. WOOD STAKES SHALL BE INSTALLED SUCH THAT ONLY 1" IS EXPOSED ABOVE THE GROUND.
2. ALL WOOD STAKES SHALL BE COMPLETED PRIOR TO THE INSTALLATION OF EROSION CONTROL BLANKETS. PLEASE SEE DETAIL FOR SEEDING, MULCHING AND CURVING REQUIREMENTS.

1 OF 2
REV. 02/14

EROSION CONTROL BLANKET MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE EROSION CONTROL BLANKETS AND MAKE ANY NECESSARY REPAIRS.

1 OF 2
REV. 02/14

EROSION CONTROL BLANKET INSTALLATION NOTES

1. SET THE PLAN VIEW FOR THE LOCATION(S) OF THE EROSION CONTROL BLANKETS.
2. EROSION CONTROL BLANKETS USED IN CHANNEL PROTECTION SHALL BE THOROUGHLY SELECTED BY THE DESIGN ENGINEER BASED ON CURRENT AND FUTURE FLOW RATES WITHIN THE CHANNEL. BASED ON THESE CALCULATIONS, THE EROSION CONTROL BLANKET OR RIPRAP MAY BE NECESSARY IN THE EROSION CONTROL BLANKETS.
3. INSTALLATION PRIOR TO BANK INSTALLATION, EROSION CONTROL BLANKETS SHOULD BE INSTALLED PRIOR TO ANY GRADING, EROSION CONTROL BLANKETS SHOULD BE INSTALLED PRIOR TO ANY GRADING.
4. EROSION CONTROL BLANKETS SHALL BE INSTALLED ACCORDING TO THE DETAIL DRAWINGS.
5. ANY DAMAGED OR WEAVING STAPLES OR STAKES SHALL BE REMOVED FROM THE SITE.
6. ALL EROSION CONTROL BLANKETS FOR SLOPE PROTECTION INSTALLED IN THE TOWN SHALL BE DOUBLE LAYER, STRAW OR EXCELISOR.

MANUFACTURER	PRODUCT NAME
AGRI-MANUFACTURING	ST150
APPROVED EQUAL	APPROVED EQUAL

EROSION CONTROL BLANKET MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE EROSION CONTROL BLANKETS AND MAKE ANY NECESSARY REPAIRS.

1 OF 2
REV. 02/14

AREA INLET PROTECTION INSTALLATION NOTES

1. SEE PLAN VIEW FOR LOCATION(S) OF AREA INLET PROTECTION.
2. THE AREA INLET PROTECTION SHOWN ON CBMP PLANS SHALL BE INSTALLED ON EXISTING INLETS IN PAVEMENT OR ANY LAND DISTURBING ACTIVITIES ON UNPAVED AREAS. THE INSTALLATION OF NEW INLETS, AN INTERMEDIATE INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.

AREA INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE AREA INLET PROTECTION.
2. AREA INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
3. WHEN THE AREA INLET PROTECTION IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE AREA INLET PROTECTION SHALL BE REVEGETATED, SEEDED, MULCHED, AND COMPACTED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SPEC).
4. ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.

1 OF 1
REV. 02/14

AREA INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE AREA INLET PROTECTION.
2. AREA INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
3. WHEN THE AREA INLET PROTECTION IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE AREA INLET PROTECTION SHALL BE REVEGETATED, SEEDED, MULCHED, AND COMPACTED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SPEC).
4. ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.

1 OF 1
REV. 02/14

AREA INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE AREA INLET PROTECTION.
2. AREA INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
3. WHEN THE AREA INLET PROTECTION IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE AREA INLET PROTECTION SHALL BE REVEGETATED, SEEDED, MULCHED, AND COMPACTED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SPEC).
4. ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.

1 OF 1
REV. 02/14

AREA INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE AREA INLET PROTECTION.
2. AREA INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
3. WHEN THE AREA INLET PROTECTION IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE AREA INLET PROTECTION SHALL BE REVEGETATED, SEEDED, MULCHED, AND COMPACTED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SPEC).
4. ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.

1 OF 1
REV. 02/14

TUBULAR TRAFFIC MARKER DETAIL

1 OF 1
REV. 02/14

INLET PROTECTION, CURB ON-GRADE INSTALLATION NOTES

1. SET CBMP PLAN FOR LOCATION(S) OF ON-GRADE INLET PROTECTION.
2. CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIZES).
3. ROCK SOCK FOR ON-GRADE INLET PROTECTION SHALL BE ONE CONTINUOUS PIECE.
4. ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL, WELD TO KILL ROCK TO PREVENT SPINNING OUT.
5. ROCK SOCK SHALL BE PLACED 5.0' UPHILL OF THE INLET OPENING.
6. TUBULAR MARKERS SHALL BE A MINIMUM OF 3.0' HIGH WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
7. THE CURB INLET PROTECTION SHOWN ON CBMP PLANS SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE COMPLETE INSTALLATION OF THE INLET ON ROADWAYS ADJACENT TO THE INLET.

ON-GRADE INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE ON-GRADE INLET PROTECTION.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
3. ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
4. ON-GRADE INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

1 OF 1
REV. 02/14

INLET PROTECTION, CURB ON SUMP, TYPE R INLET

1 OF 2
REV. 02/14

CURB INLET PROTECTION INSTALLATION NOTES

1. SET CBMP PLAN FOR LOCATION(S) OF CURB INLET PROTECTION.
2. CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIZES).
3. ROCK SOCK SHALL BE ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAPPED JOINTS (SEE DETAIL SPEC).
4. ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL SIZED TO KEEP ROCK FROM SPINNING OUT.
5. ROCK SOCK SHALL BE PLACED 5.0' UPHILL OF CURB OPENING WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
6. TUBULAR MARKERS SHALL BE A MINIMUM OF 36" IN HEIGHT WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
7. THE CURB INLET PROTECTION SHOWN ON CBMP PLANS SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE INSTALLATION OF THE INLET ON ROADWAYS ADJACENT TO THE CURB INLET. ON BLOCKS OR THE ROCK SOCK SHALL BE USED AS INTERIM PROTECTION UNTIL THE INLET IS COMPLETED.

CURB INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CURB INLET PROTECTION.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
3. ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
4. CURB INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

1 OF 1
REV. 02/14

LOT PROTECTION

1 OF 2
REV. 02/14

EROSION CONTROL BLANKET FOR LOT PROTECTION INSTALLATION NOTES

1. ALL EROSION CONTROL BLANKETS FOR LOT PROTECTION INSTALLED IN THE TOWN SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:
2. ALL EROSION CONTROL BLANKETS FOR LOT PROTECTION SHALL BE INSTALLED ACCORDING TO THE DETAIL DRAWINGS, WITH THE FOLLOWING ALLOWANCES AND ADDITIONS:
 - THE TOWN WILL ALLOW THE USE OF BIODEGRADABLE EROSION CONTROL BLANKETS PROVIDED THEY ARE A MINIMUM OF 6" HIGH WITH REFLECTIVE BANDS BEING PLACED ON TOP OF THE DOWN-SLOPE EDGE OF THE ADJACENT BLANKET.
 - ALL EROSION CONTROL BLANKET JOISTS (SEDS AND ENDS) MUST OVERLAP THE ADJACENT BLANKET BY A MINIMUM OF 6" WITH THE DOWN-SLOPE EDGE BEING PLACED ON TOP OF THE DOWN-SLOPE EDGE OF THE ADJACENT BLANKET.
 - ALL JOISTS (SEDS AND ENDS) OF THE EROSION CONTROL BLANKETS SHOULD BE INSTALLED REFLECTIVE INTO THE GROUND ASSURING THE SITE CONDITIONS MEET THE EROSION CONTROL SUPERVISOR'S REQUIREMENTS. THESE ASSUMPTIONS WILL BE THE RESPONSIBILITY OF THE EROSION CONTROL SUPERVISOR. ON OCCASION, THE TOWN'S INSPECTOR MAY REQUEST REFLECTIVE BANDS FROM SITE CONDITIONS.
 - TOPSOIL PLACEMENT, SEEDED, AND MULCHING WILL NOT BE REQUIRED ON THE LOTS PRIOR TO THE INSTALLATION OF THE EROSION CONTROL BLANKET.
3. ANY DAMAGED OR EXCESS STAPLES SHALL BE REMOVED FROM THE SITE UPON CONSTRUCTION INSTALLATION.
4. THE EROSION CONTROL BLANKETS REQUIRED AS PART OF THE LOT PROTECTION (LP) REQUIREMENT MUST BE INSTALLED PRIOR TO LANDSCAPING AREAS WITHIN EACH RESIDENTIAL, COMMERCIAL, AND COMMUNITY LOT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY / TEMPORARY CERTIFICATE OF OCCUPANCY.

EROSION CONTROL BLANKET FOR LOT PROTECTION MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE EROSION CONTROL BLANKET FOR LOT PROTECTION.
2. EROSION CONTROL BLANKETS FOR LOT PROTECTION ARE INTENDED TO REMAIN IN PLACE AND MAINTAINED UNTIL LANDSCAPING IS INSTALLED.

1 OF 2
REV. 02/14

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
1 OF 2
REV. 02/14

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
1 OF 2
REV. 02/14

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
1 OF 2
REV. 02/14

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
1 OF 2
REV. 02/14

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
1 OF 2
REV. 02/14

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CVL CONSULTANTS

TRAILS AT CROWFOOT
FILING 13 CONSTRUCTION DRAWINGS
BMP DETAILS

DRAWN BY: JF
CHECKED BY: JJ
DATE: SEPTEMBER 2017

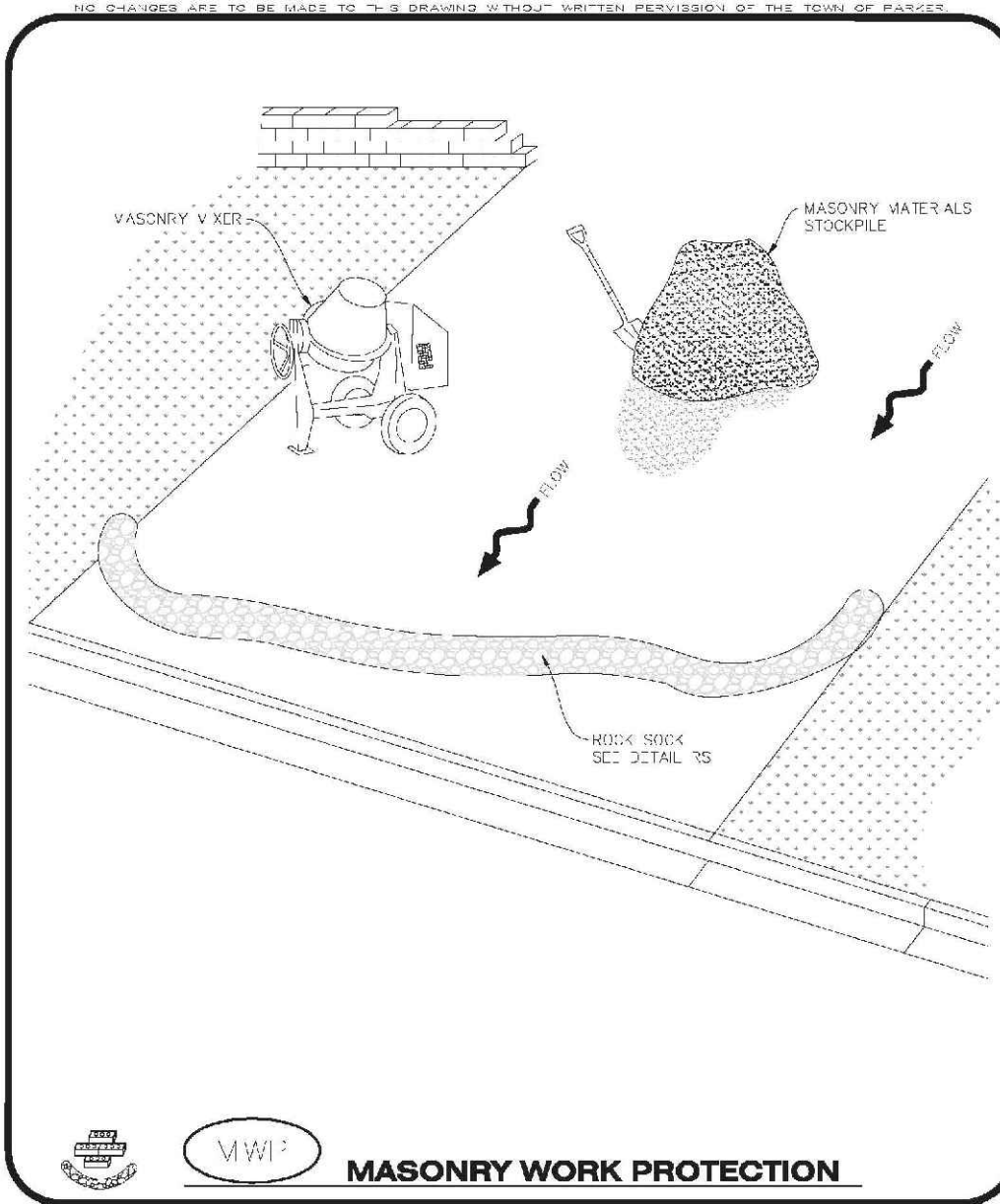
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SHEET NUMBER: 7

No. Revisions: 0

Date: 09/11/17

Appr. Date: 09/11/17



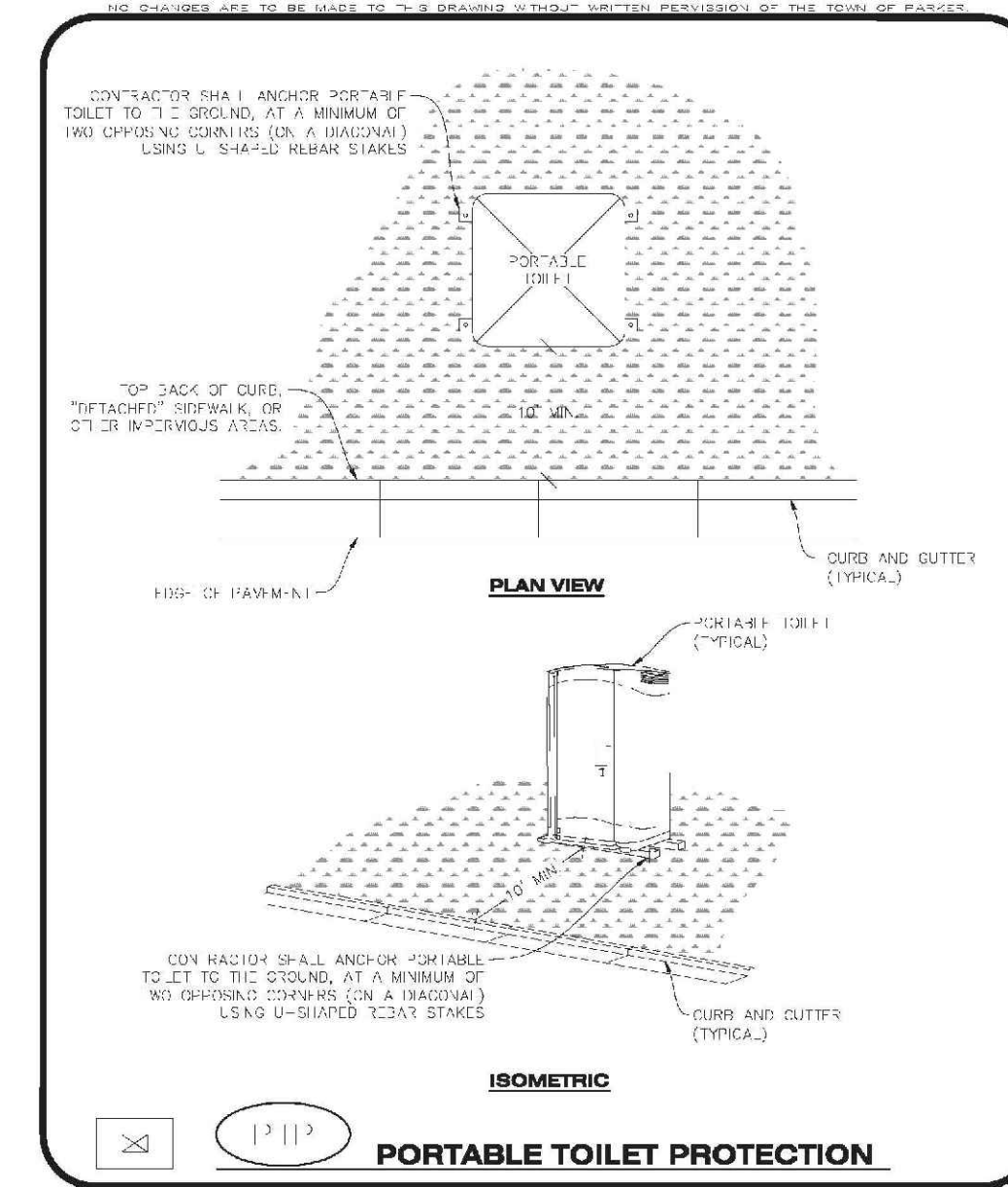
MASONRY WORK PROTECTION INSTALLATION NOTES

- MASONRY WORK PROTECTION SHALL BE INSTALLED WHEN MASONRY WORK AND MIXING IS OCCURRING.
- A ROCK SOCK SHALL BE INSTALLED IN A CRESCENT SHAPE ON THE DOWNHILL SIDE OF THE MASONRY WORK AND MIXER.
- CRUSHED ROCK SHALL BE 2.0" TO 3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
- ROCK SOCK SHALL BE ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAP-UP JOINTS (SEE DETAIL 10).
- ROCK SOCK SHALL BE CONSTRUCTED USING CHAIN WIRE OR OTHER APPROVED MATERIAL, SHALL BE 4.0" ROCK FROM SPILLING OUT.

MASONRY WORK PROTECTION INSPECTION AND MAINTENANCE NOTES

- THE PROJECT CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE MASONRY WORK AND ROCK SOCK.
- ALL CONCRETE WASTE SHALL BE REGULARLY CLEANED AND PLACED IN THE CONCRETE WASTE COLLECTION AREA.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.

Parker COLORADO | **CBMP** | **MWP**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
REV. 2014



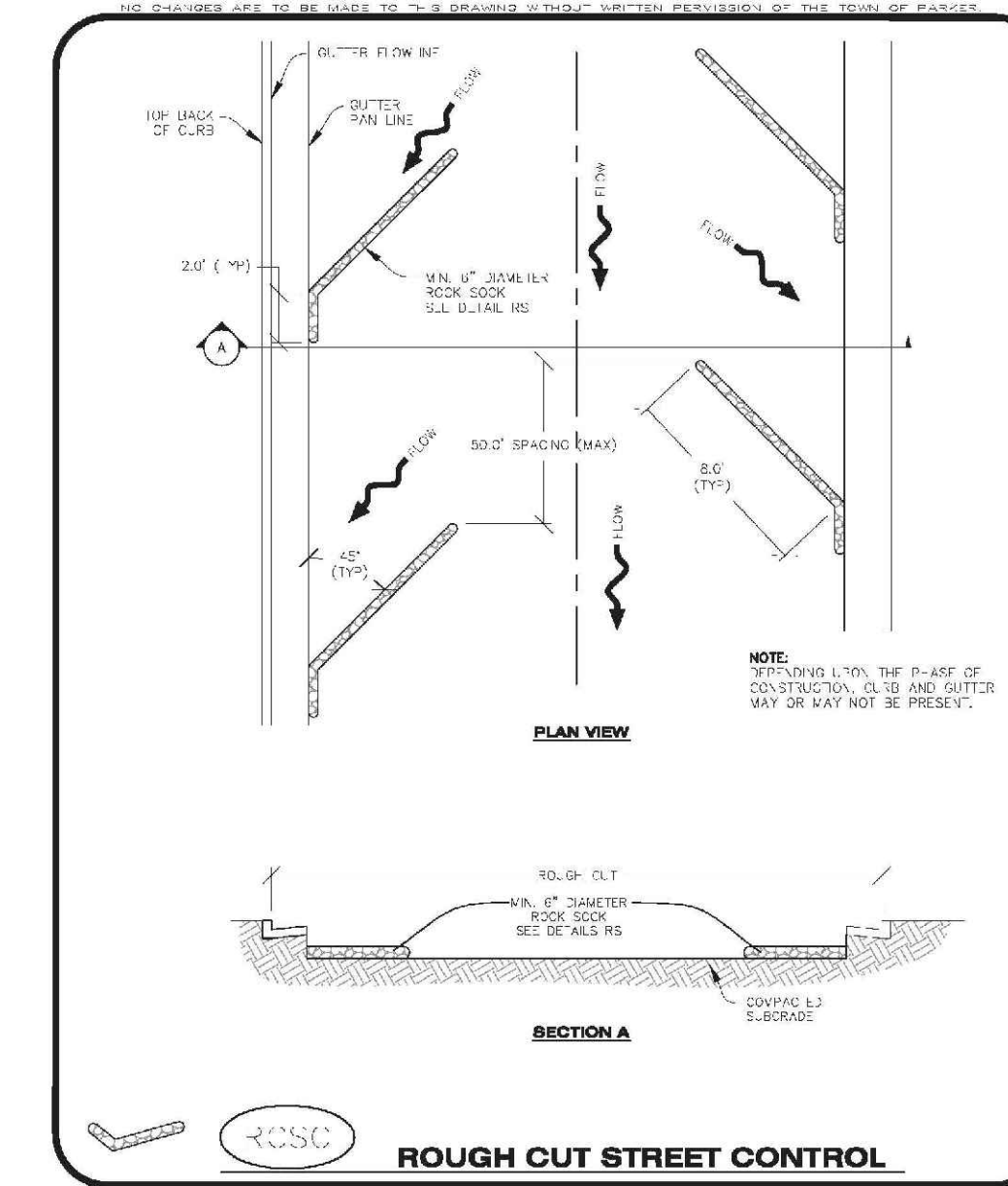
PORTABLE TOILET PROTECTION INSTALLATION NOTES

- PORTABLE TOILETS SHALL BE PLACED A MINIMUM OF 10.0' BEHIND ALL CURBS, SIDEWALKS, AND OTHER IMPERVIOUS AREAS.
- ALL PORTABLE TOILETS MUST BE CIRCUMFERENCED WITH.
- PORTABLE TOILETS SHALL BE SECURELY ANCHORED TO THE GROUND USING U-SHAPED STEEL STAKES.
- U-SHAPED STEEL STAKES SHALL BE POSITIONED ON AT LEAST 2 OPPOSITE DIAGONAL CORNERS.

PORTABLE TOILET PROTECTION INSPECTION AND MAINTENANCE NOTES

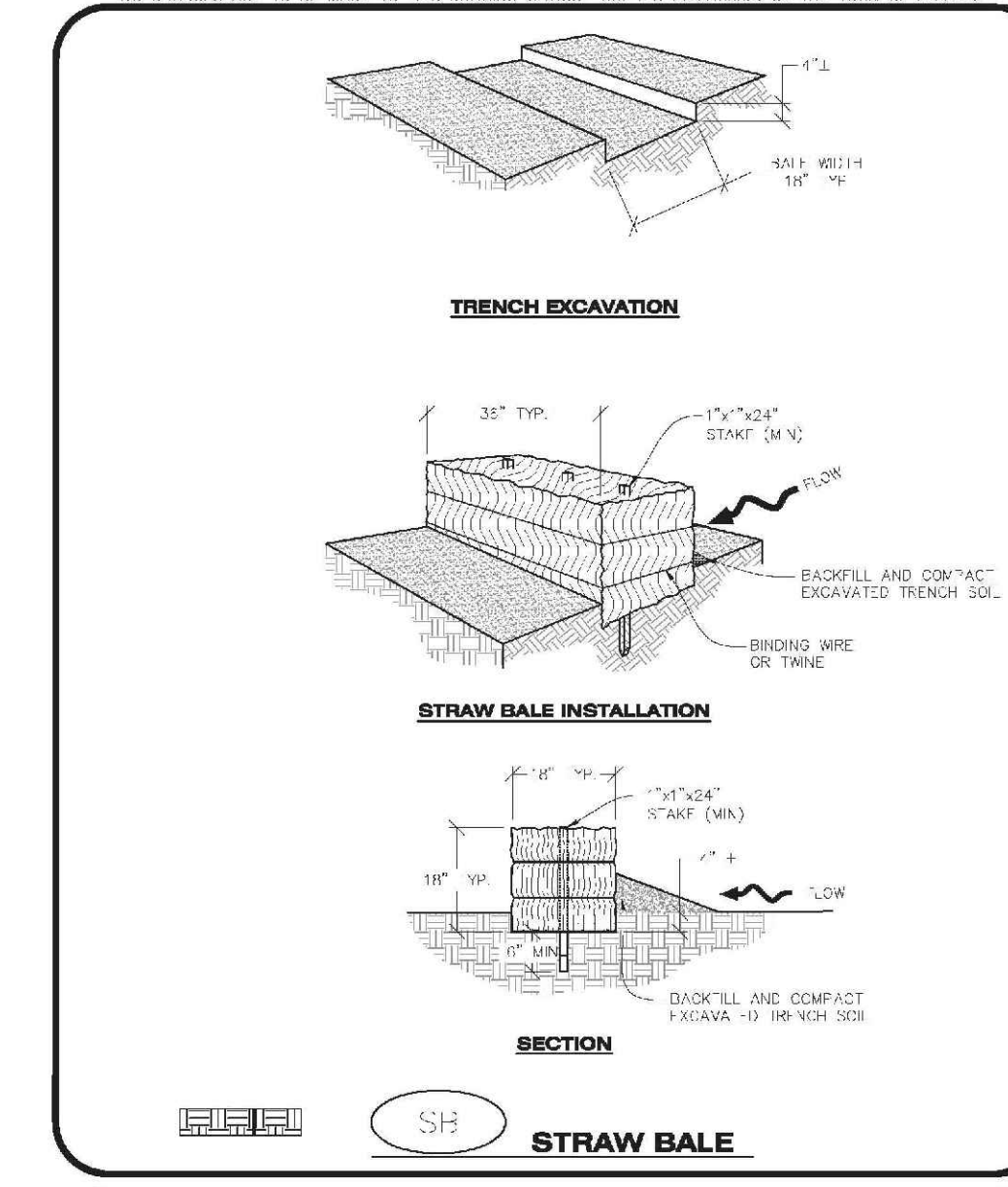
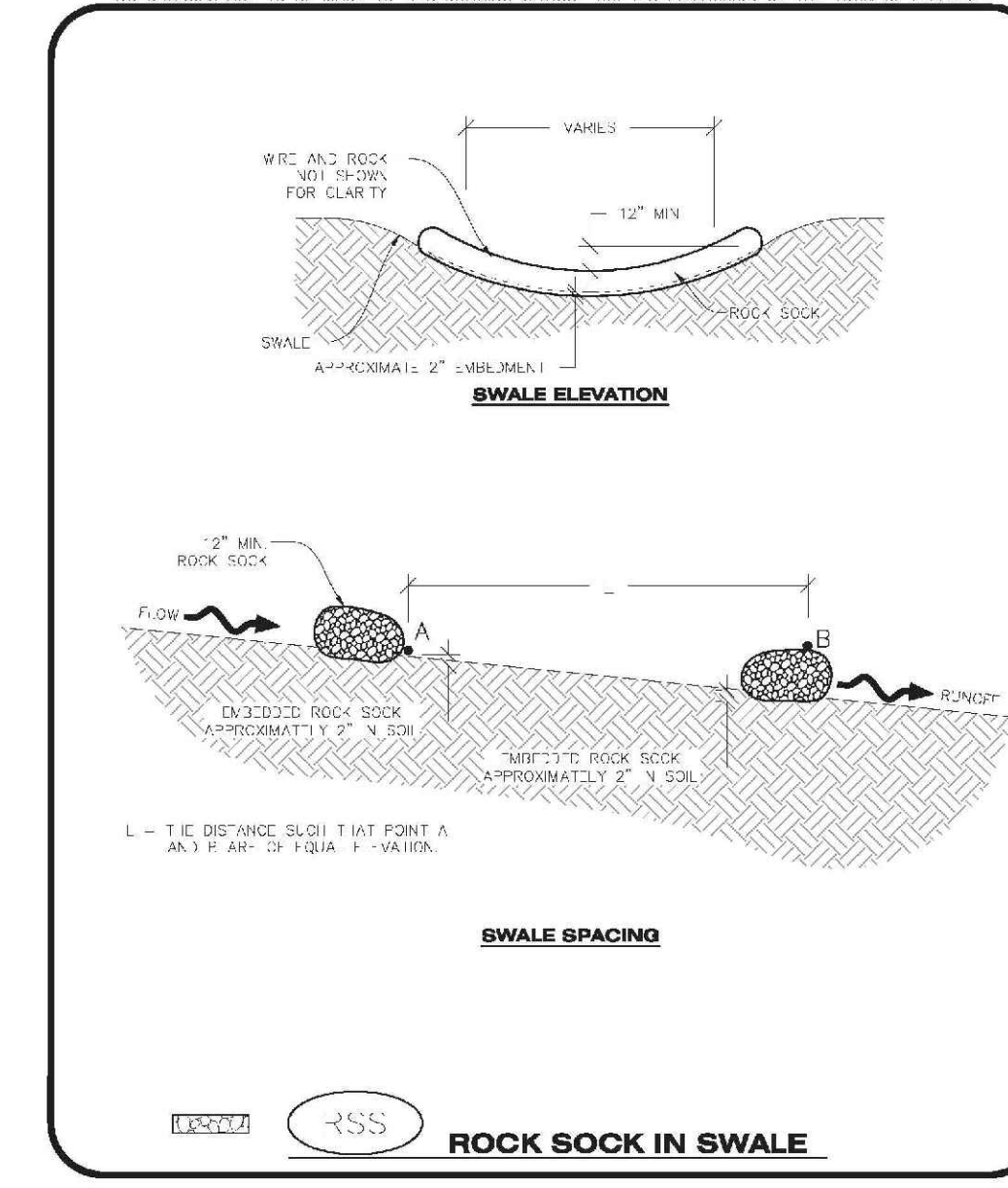
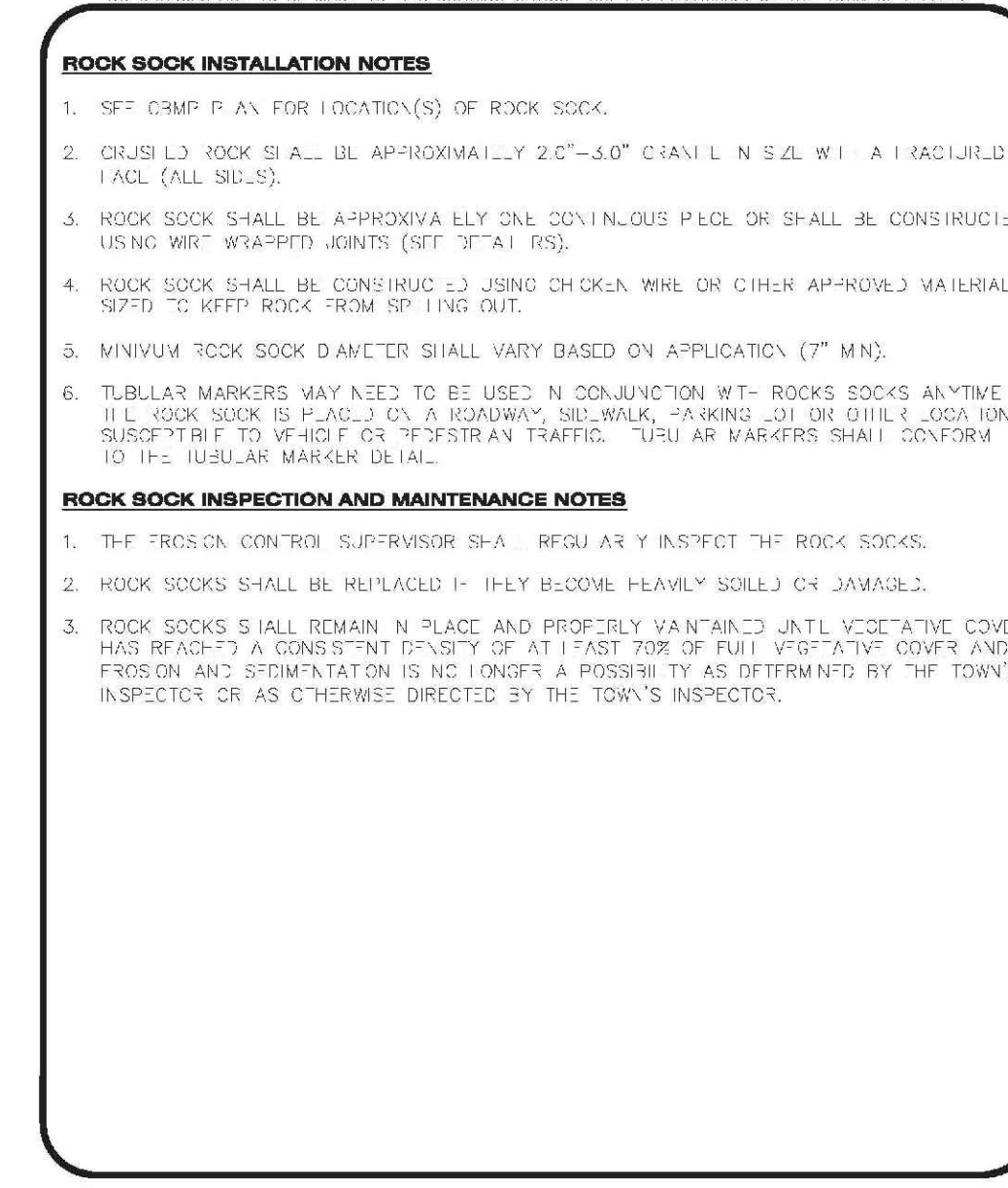
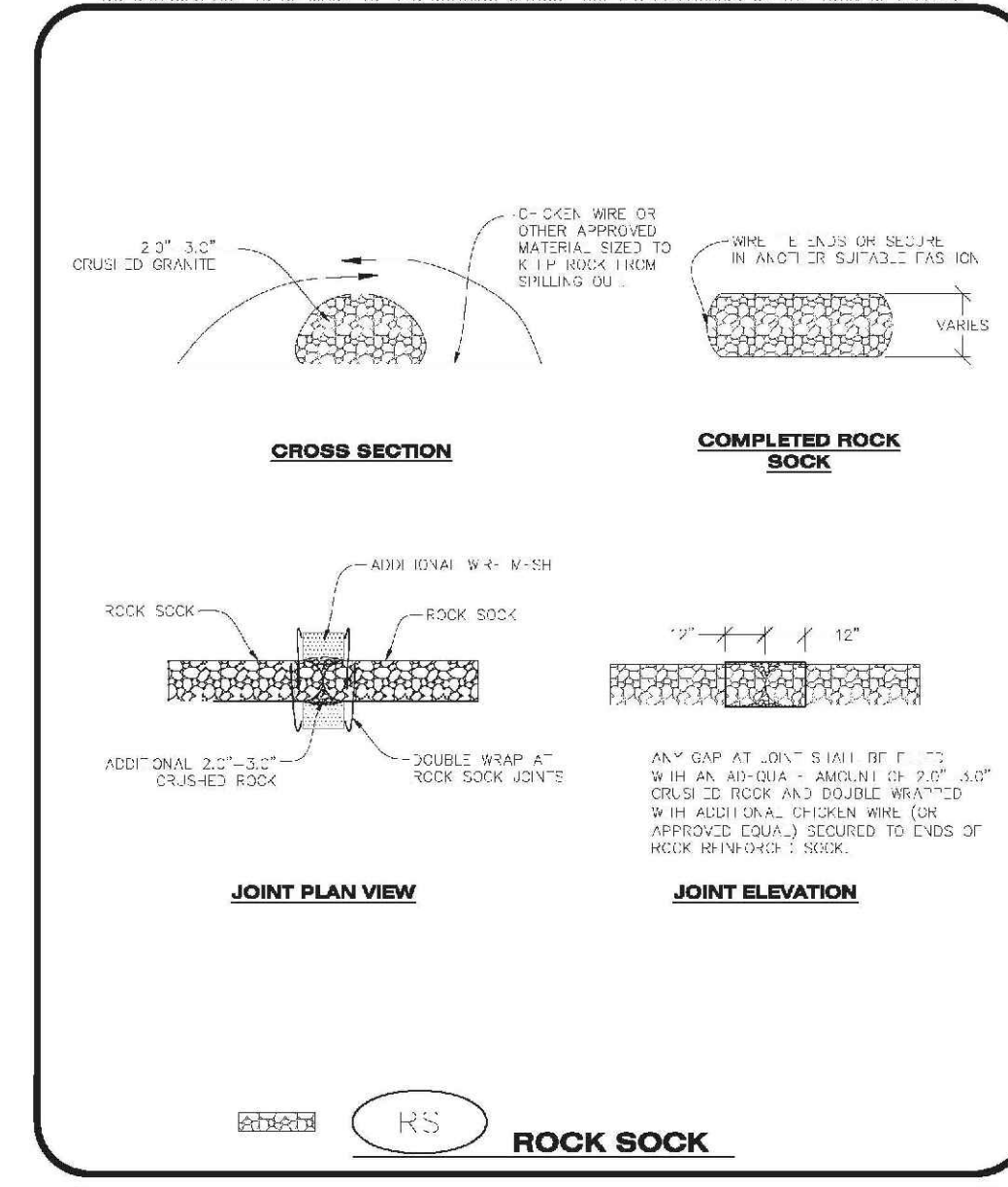
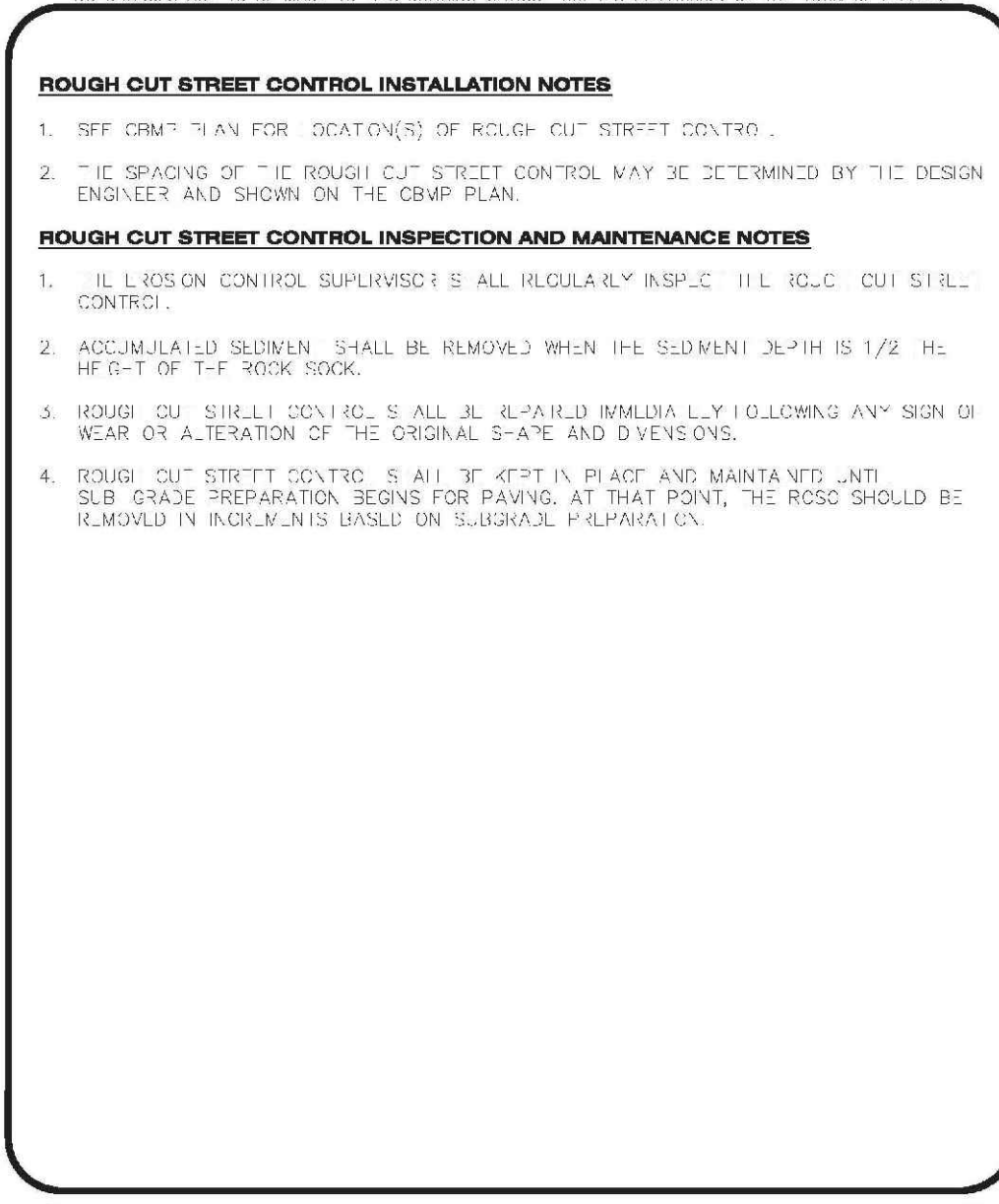
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE PORTABLE TOILET PROTECTION.
- PORTABLE TOILETS SHALL BE SECURED AT THE NEAREST IMPERVIOUS CURB OR WALL TO THE POSSIBILITY OF OVERTURN.
- WHEN THE PORTABLE TOILETS ARE BEYONDED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE TOILETS MAY NEED TO BE LANDSCAPED OR REVEGETATED, SEEDED, MULCHED, AND GRATED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL 5M).
- PORTABLE TOILETS THAT ARE NOT CONSISTENTLY MAINTAINED ACCORDANCE WITH THESE REQUIREMENTS MAY NEED TO BE CLOSED TO TRAFFIC, IN ONE OR MORE DIRECTIONS IN ORDER TO INCREASE COMPLIANCE AND REDUCE THE CHANCE OF A SPILL.

Parker COLORADO | **CBMP** | **PTP**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
REV. 2014



ROUGH CUT STREET CONTROL

Parker COLORADO | **CBMP** | **RCSC**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
REV. 2014



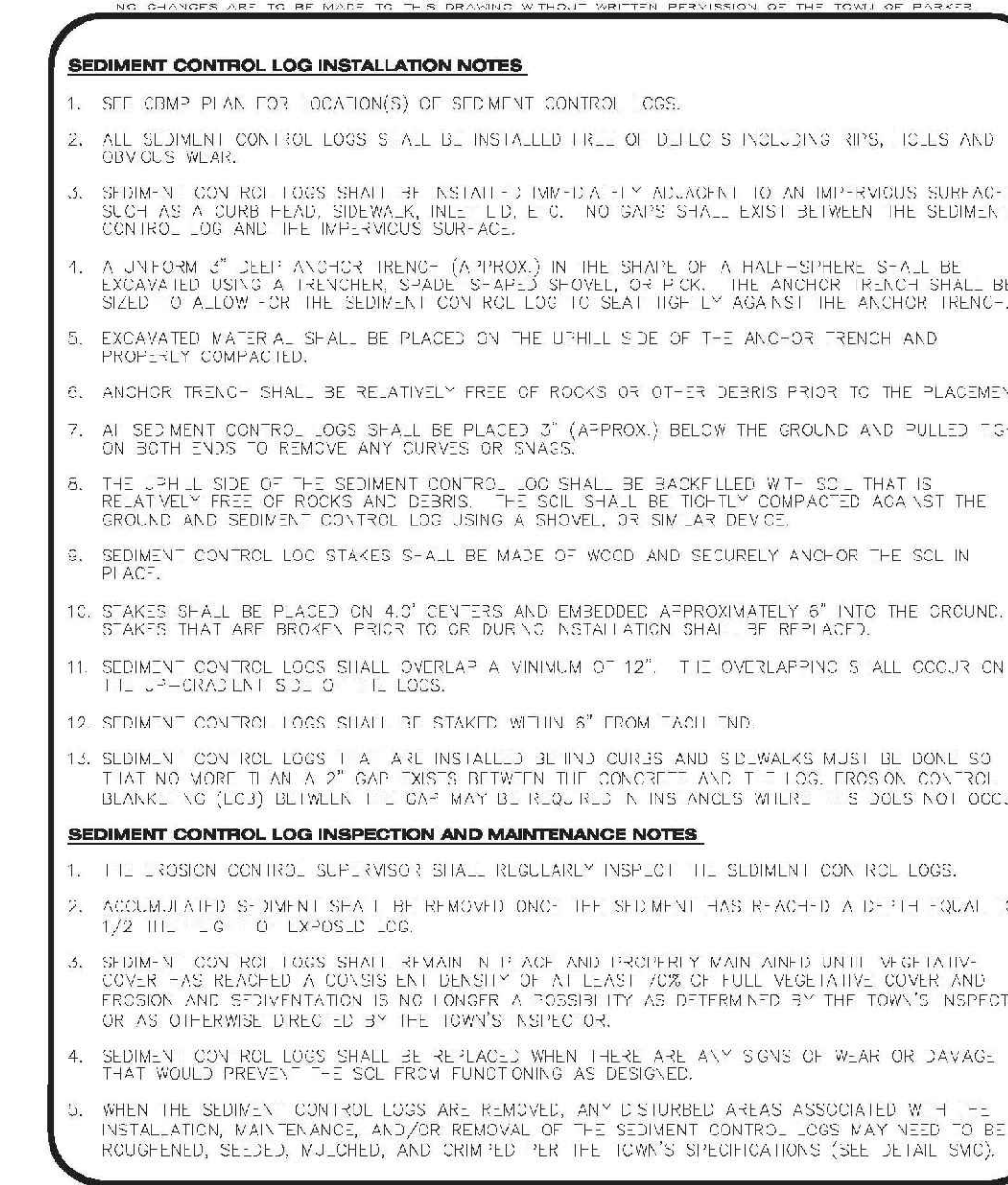
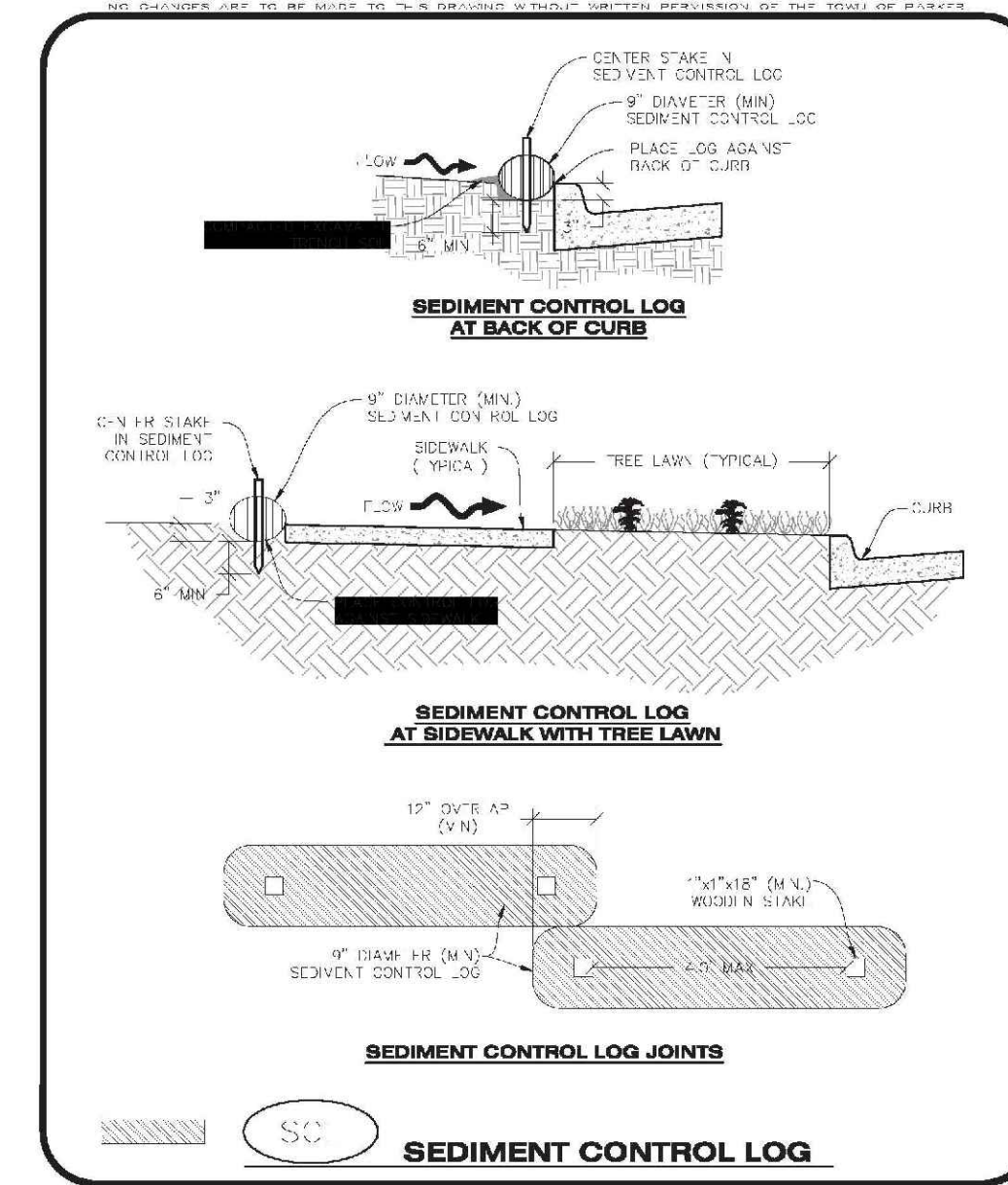
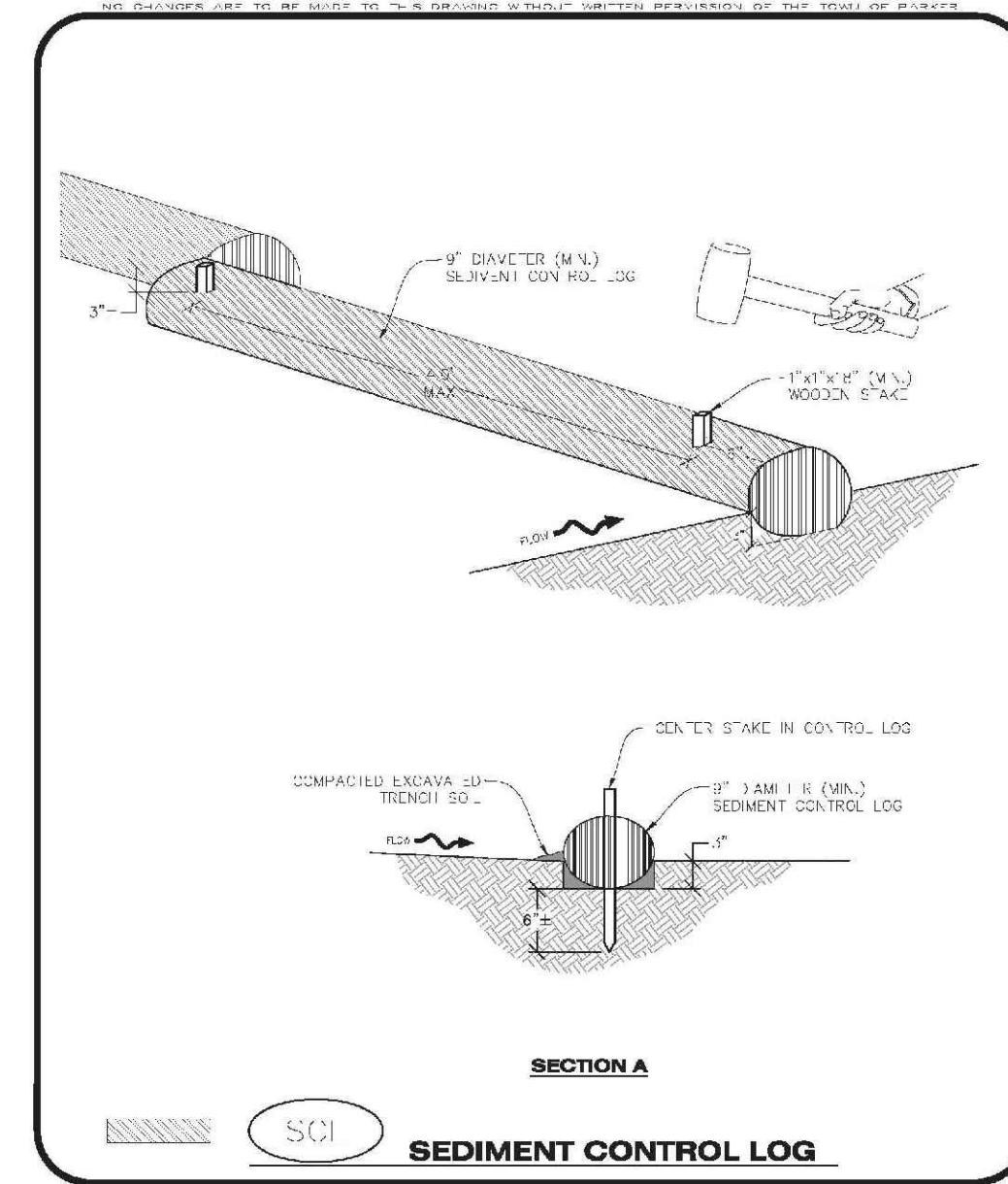
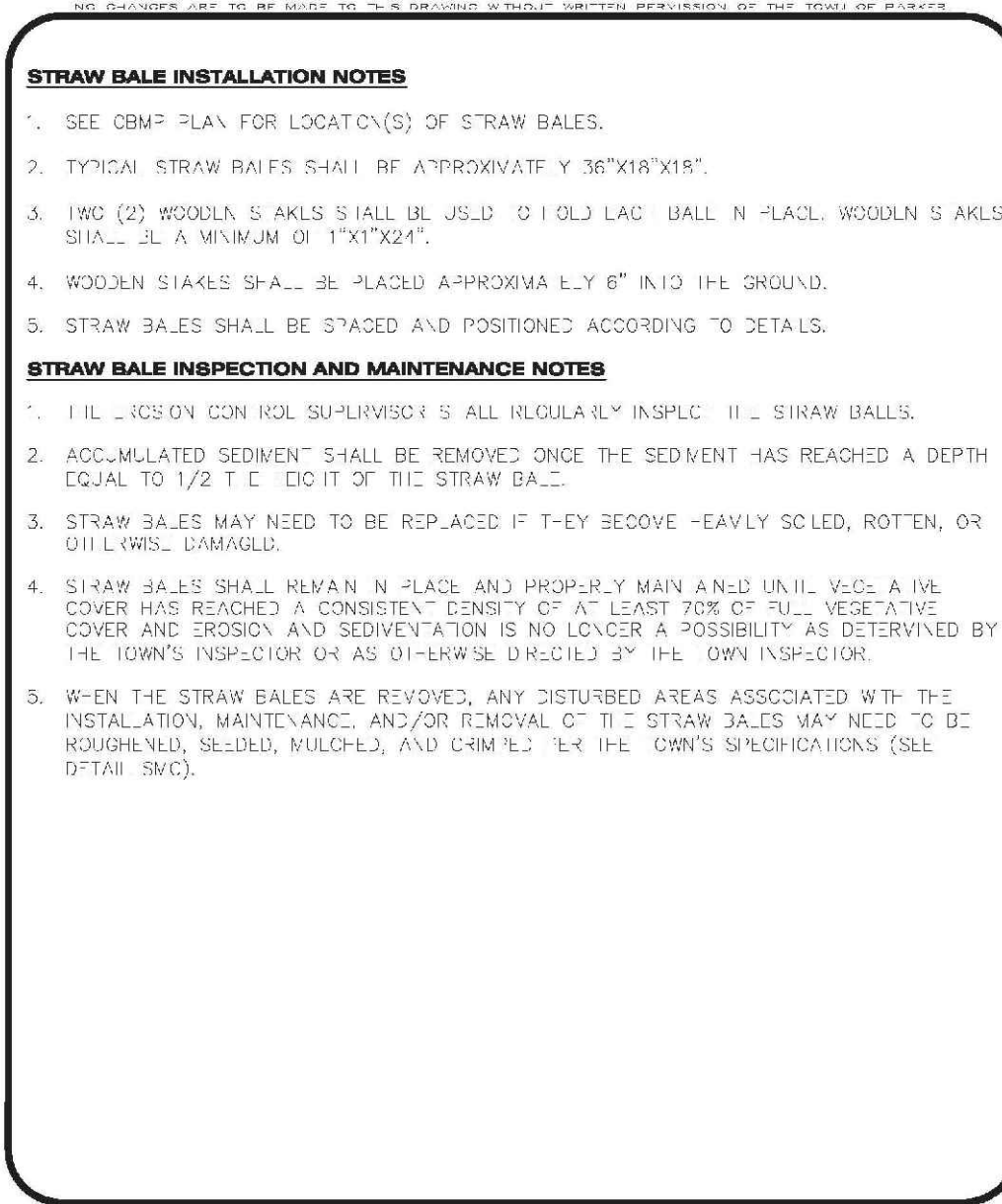
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CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
REV. 2014

Parker COLORADO | **CBMP** | **RS**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
REV. 2014

Parker COLORADO | **CBMP** | **RS**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
REV. 2014

Parker COLORADO | **CBMP** | **RSS**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 1
REV. 2014

Parker COLORADO | **CBMP** | **SB**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
REV. 2014



Parker COLORADO | **CBMP** | **SB**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
REV. 2014

Parker COLORADO | **CBMP** | **SCL**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 3
REV. 2014

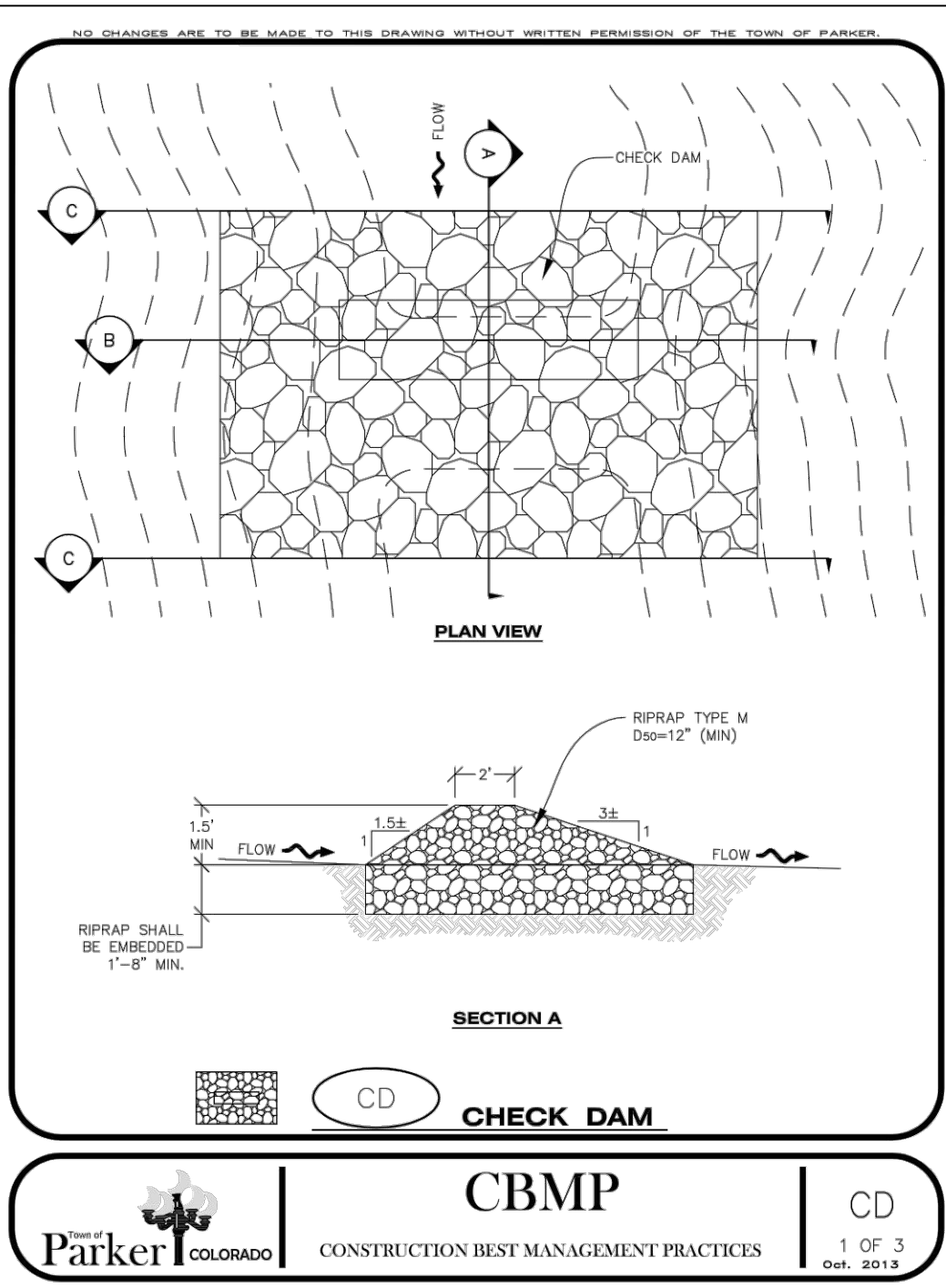
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CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 3
REV. 2014

Parker COLORADO | **CBMP** | **SCL**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 3 OF 3
REV. 2014

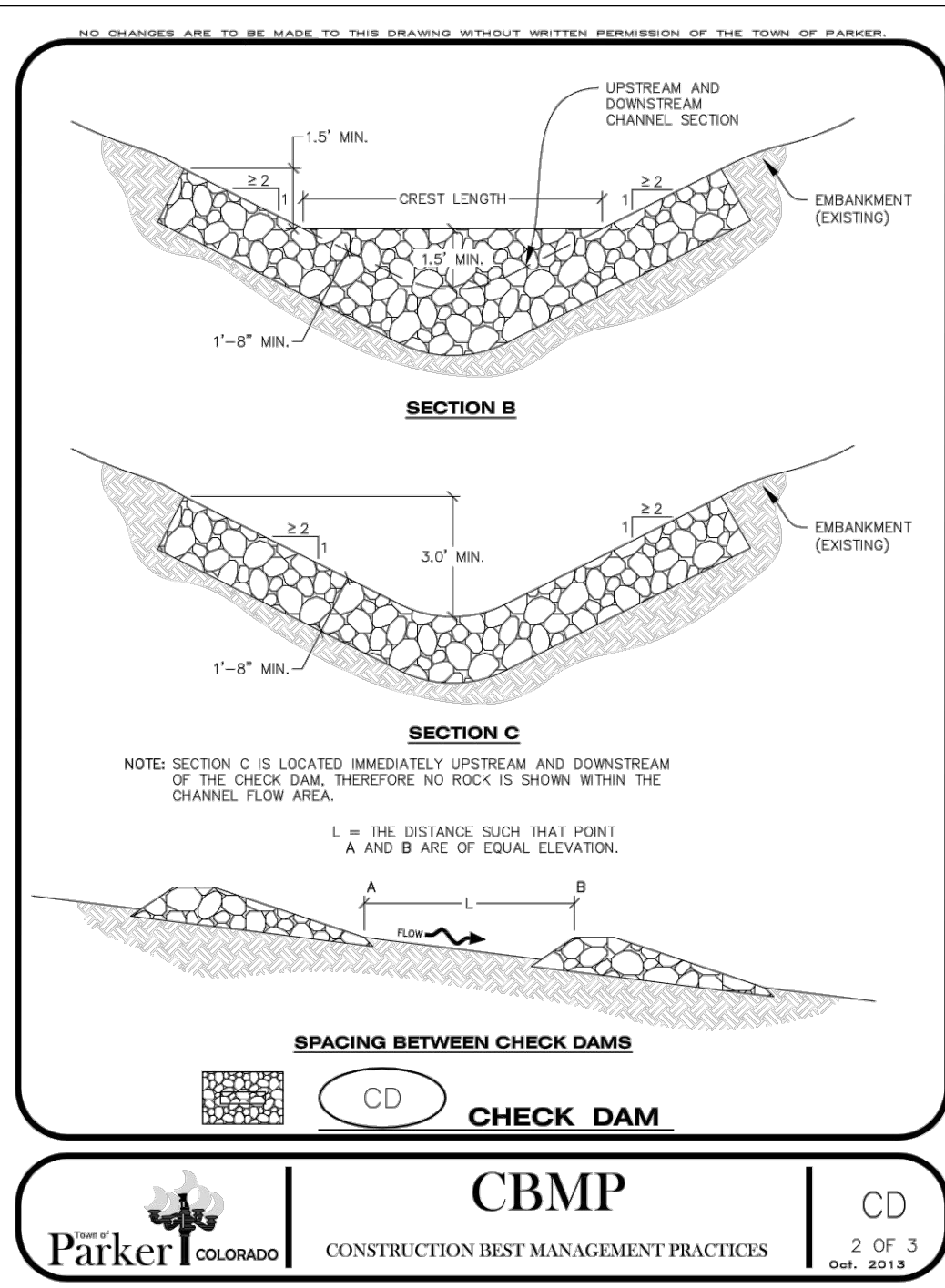
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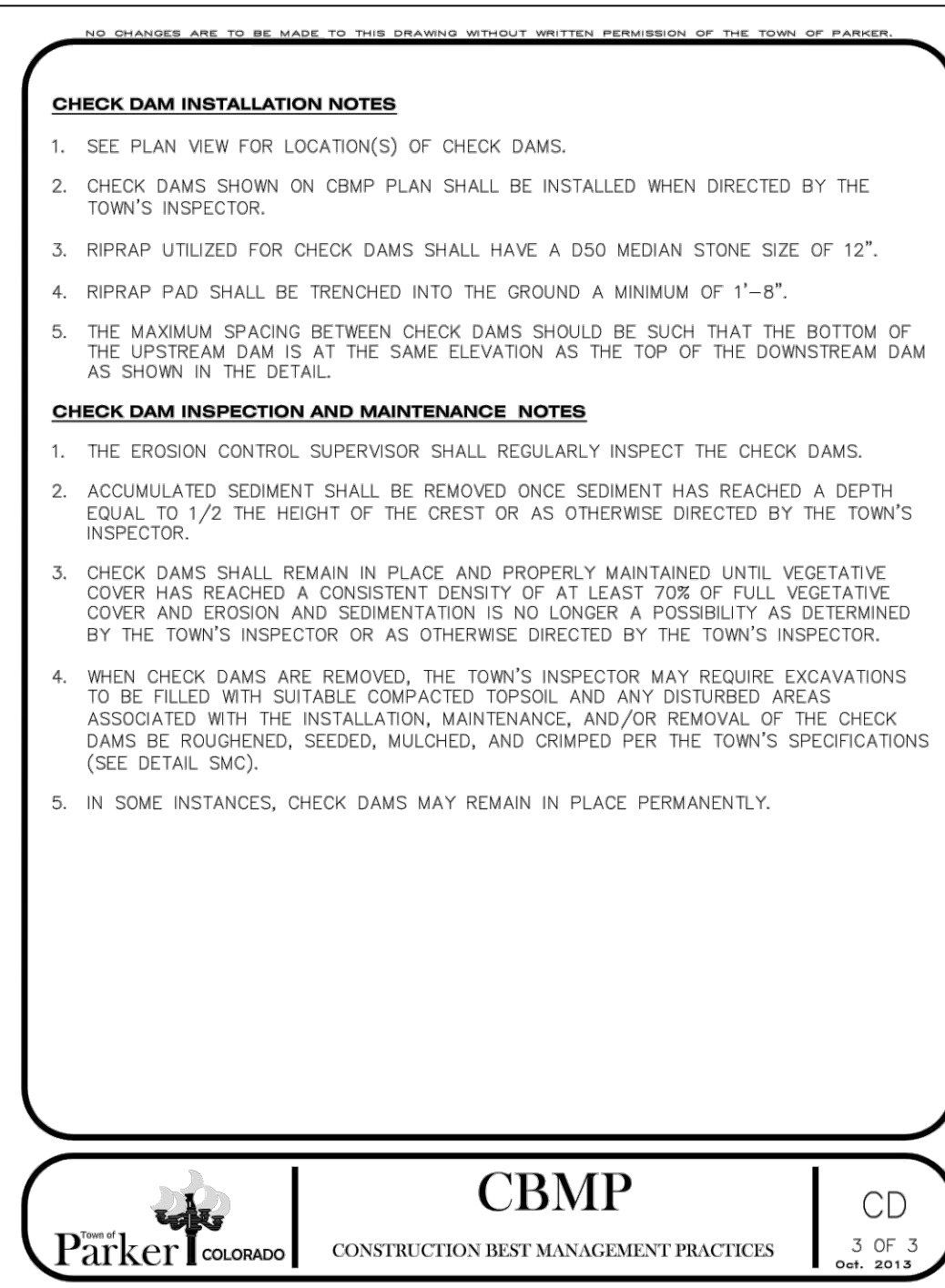
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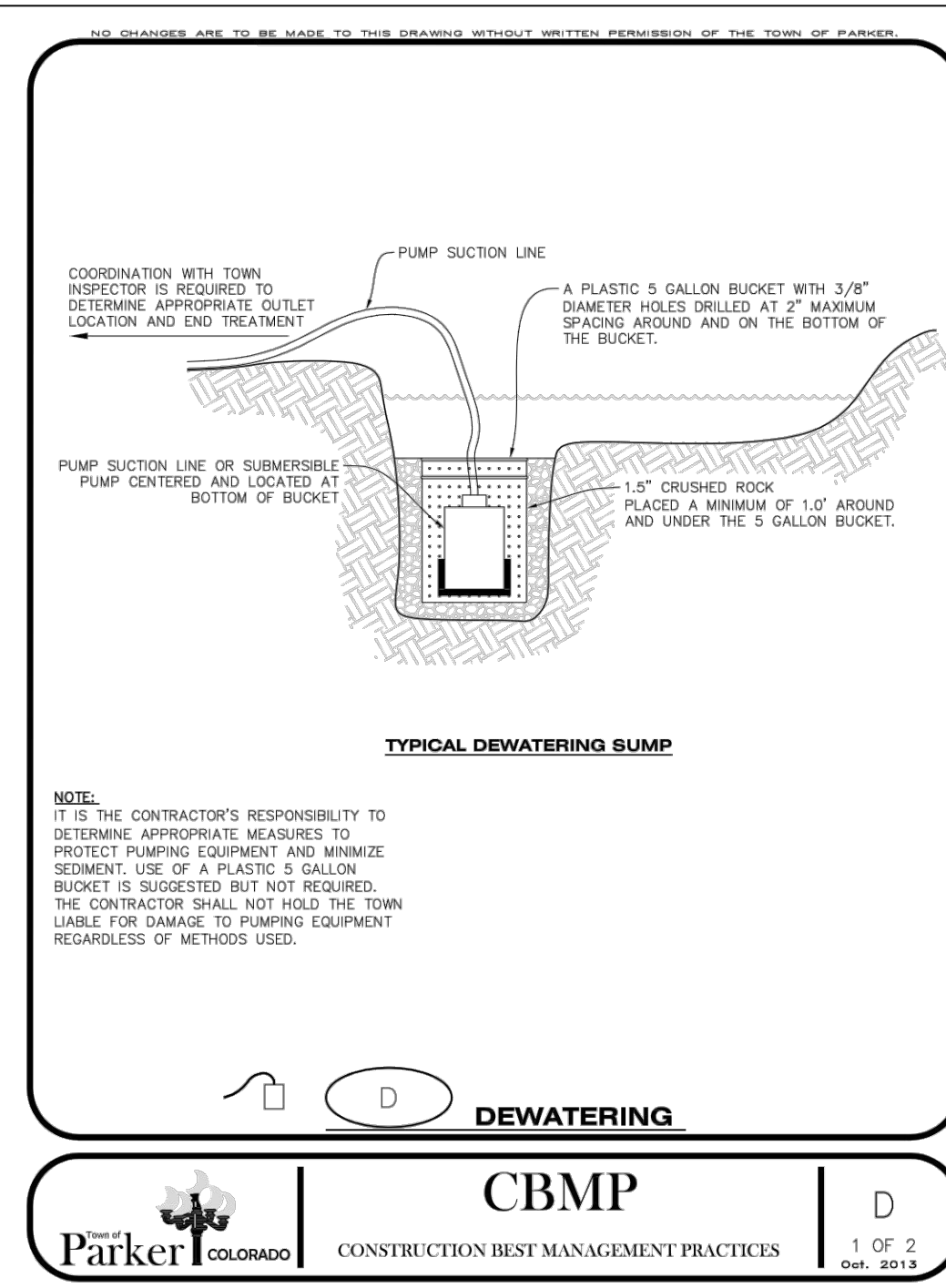
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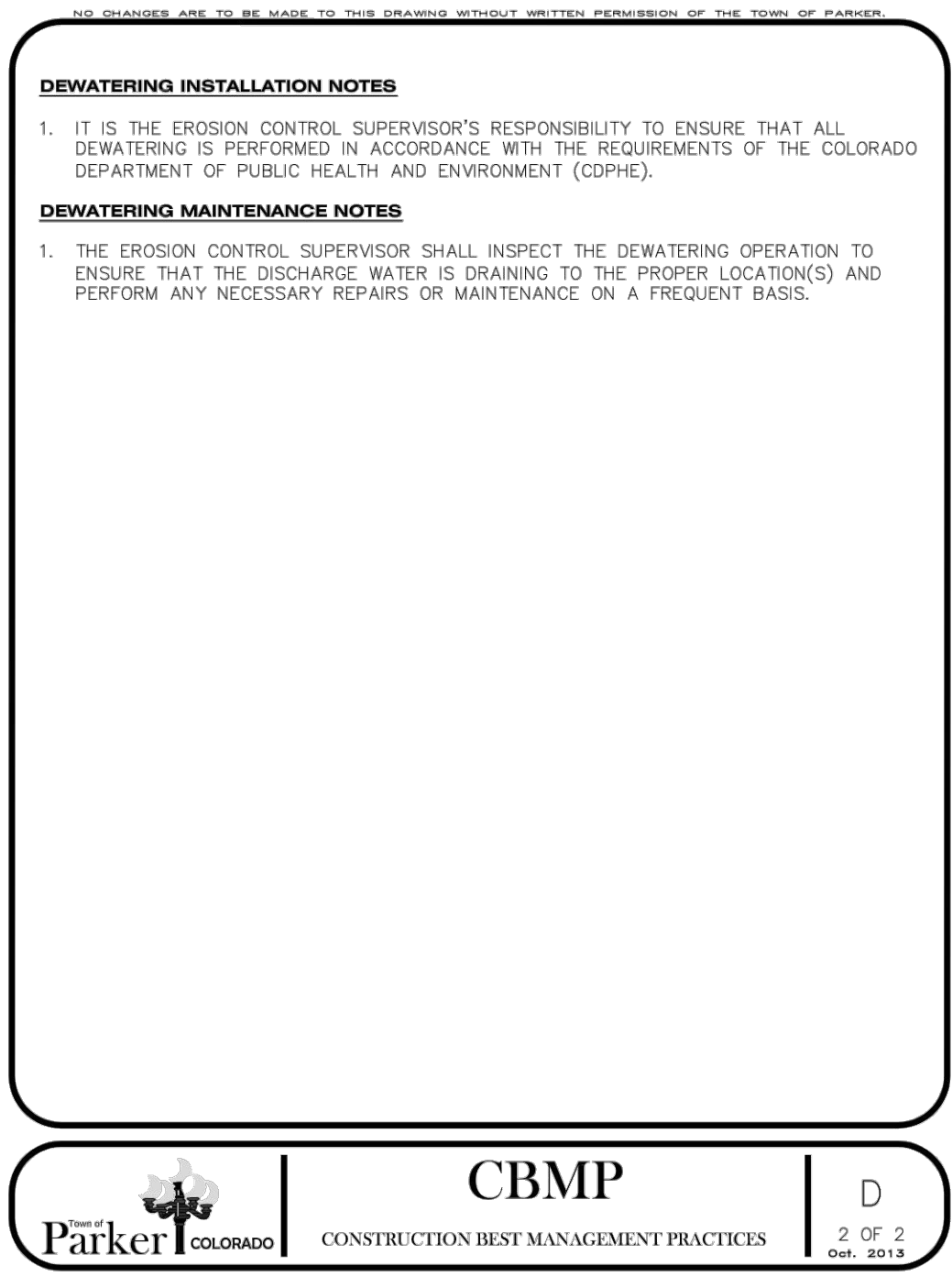
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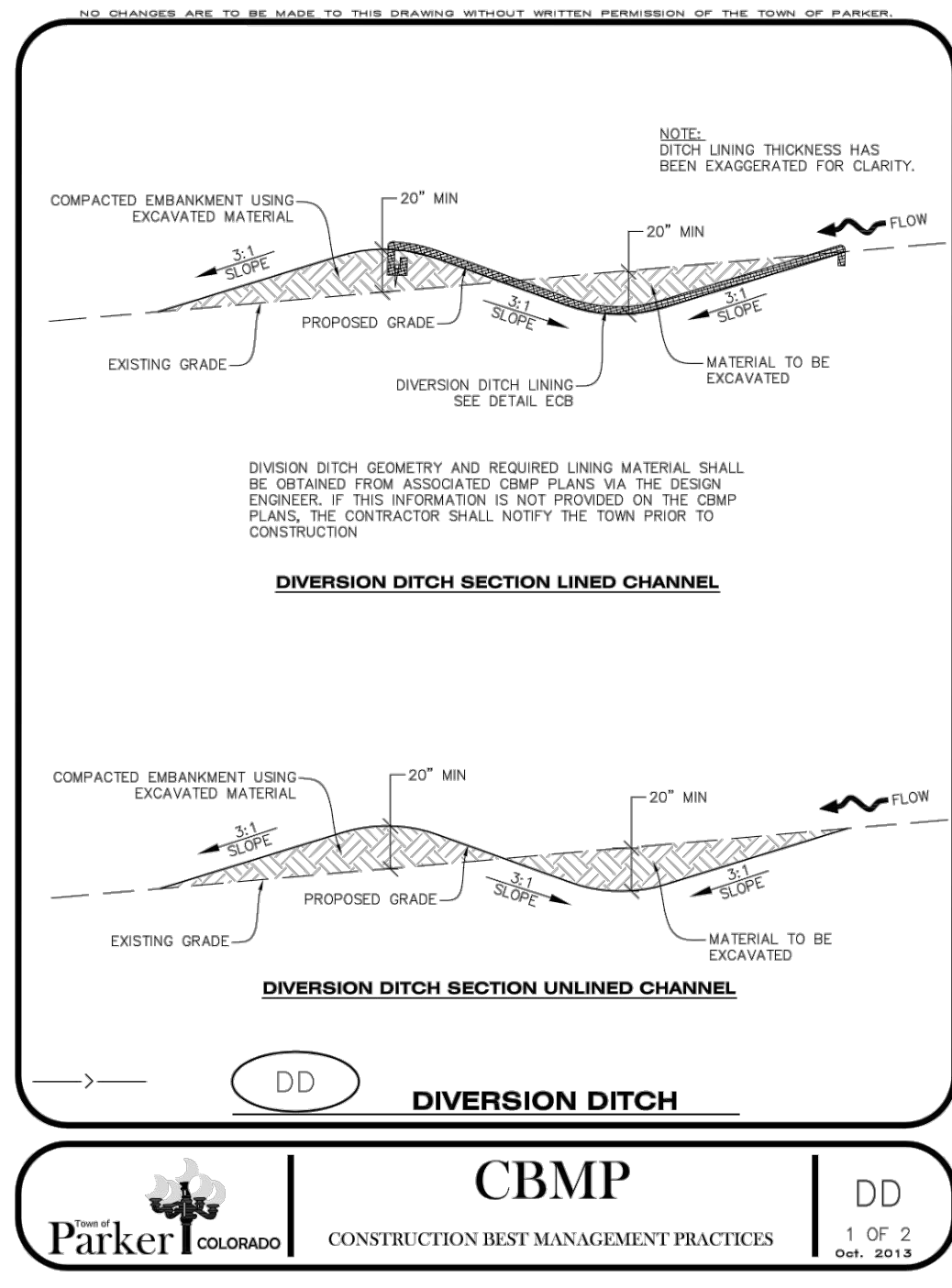
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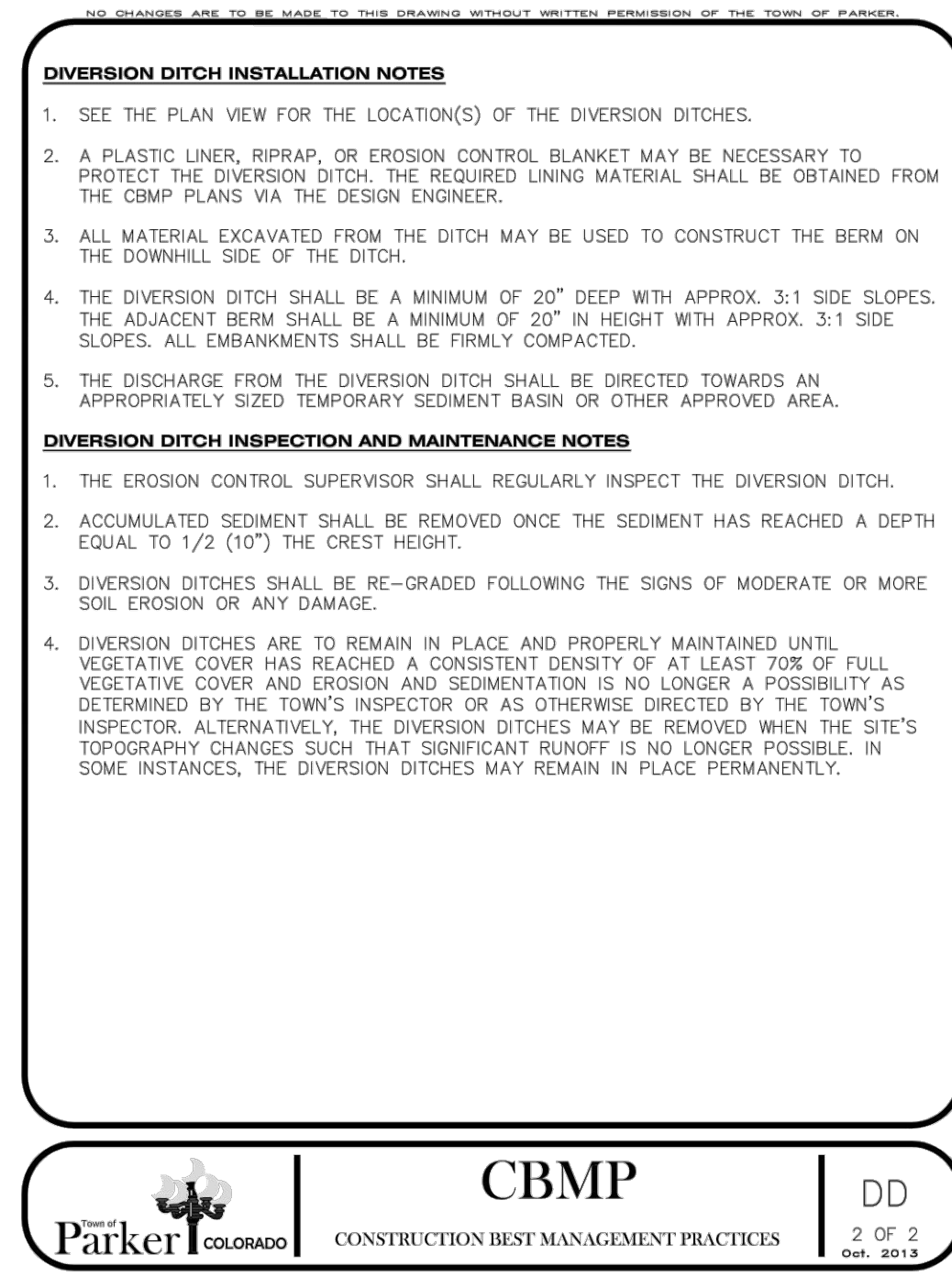
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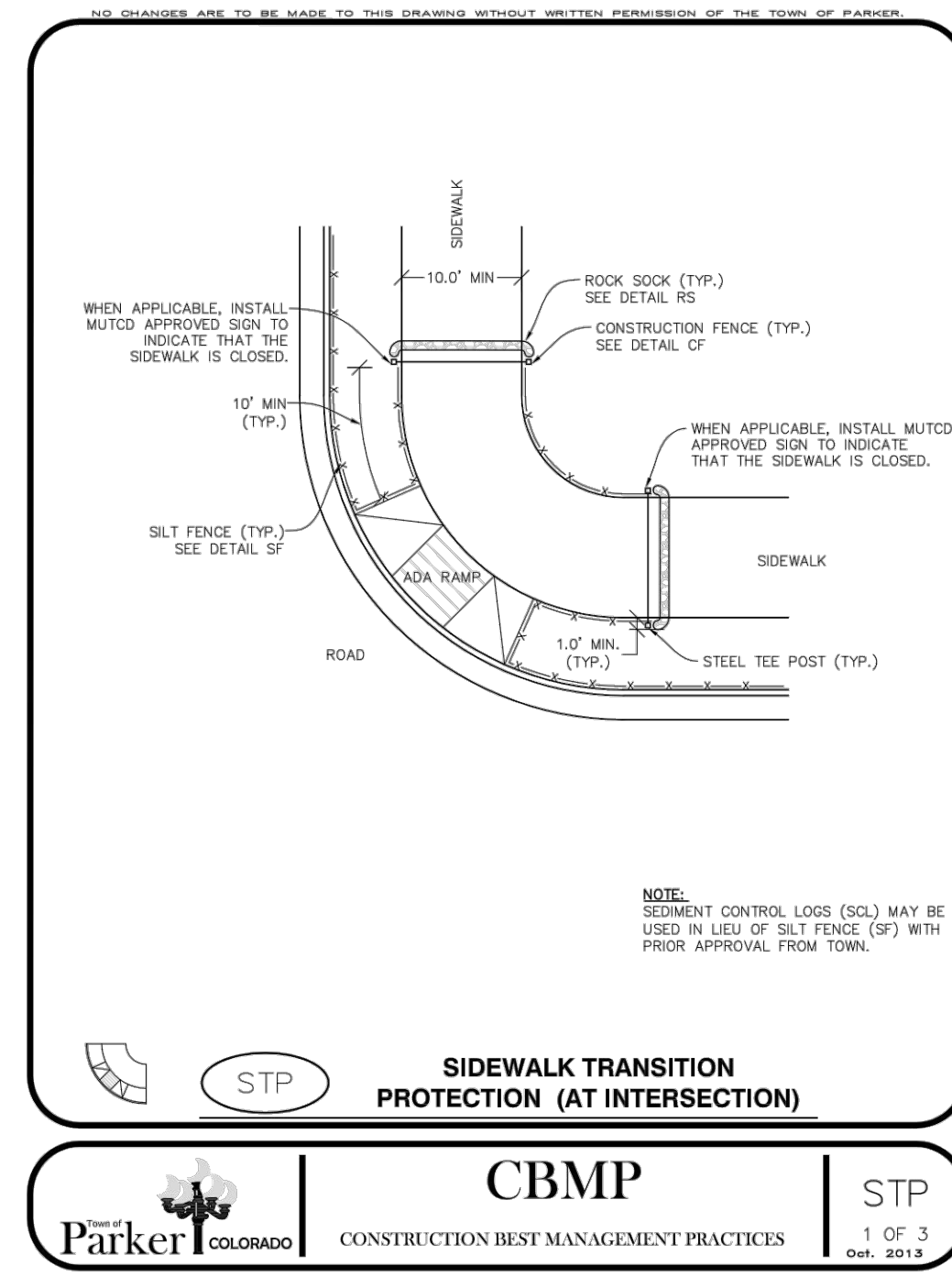
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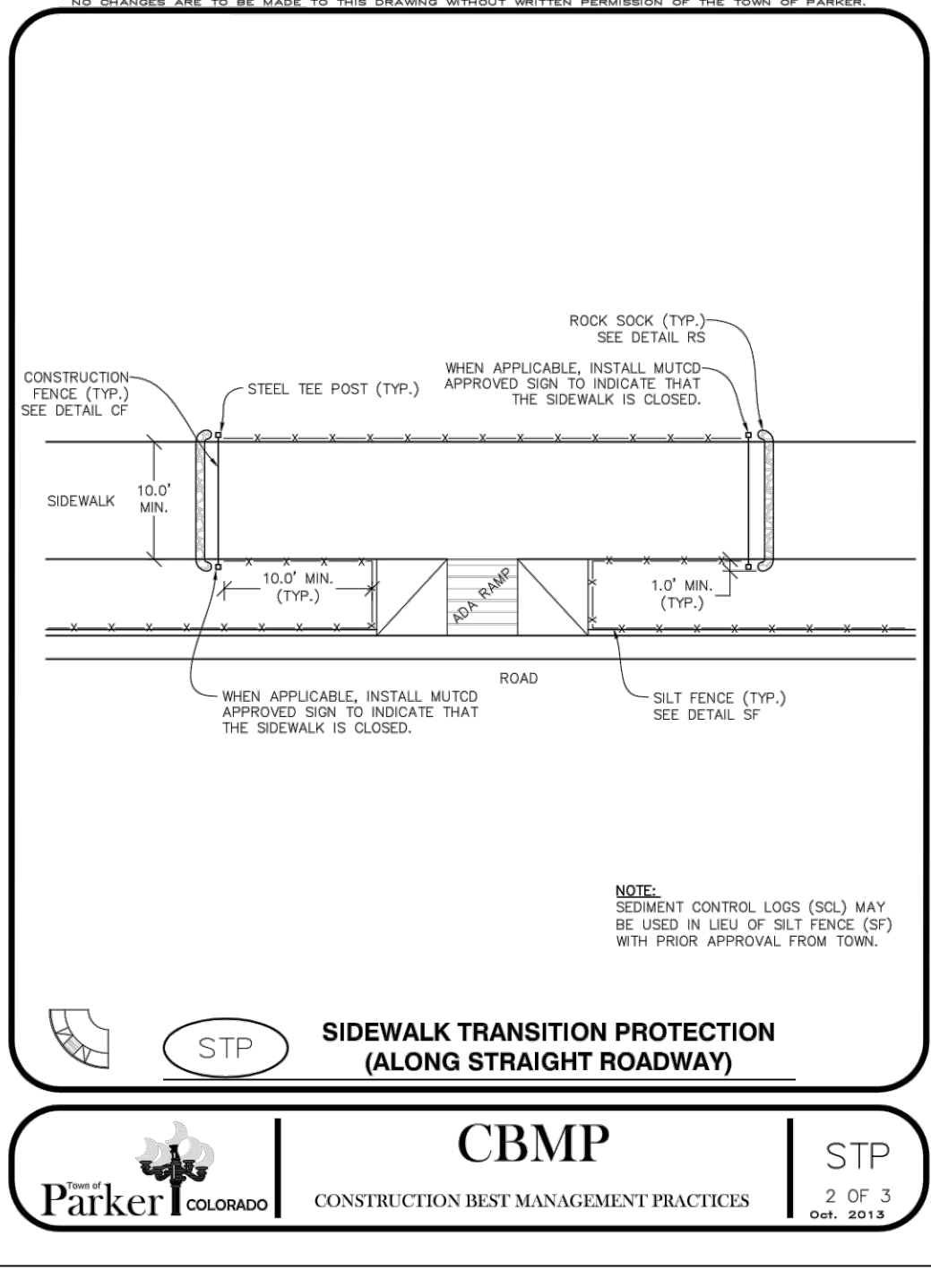
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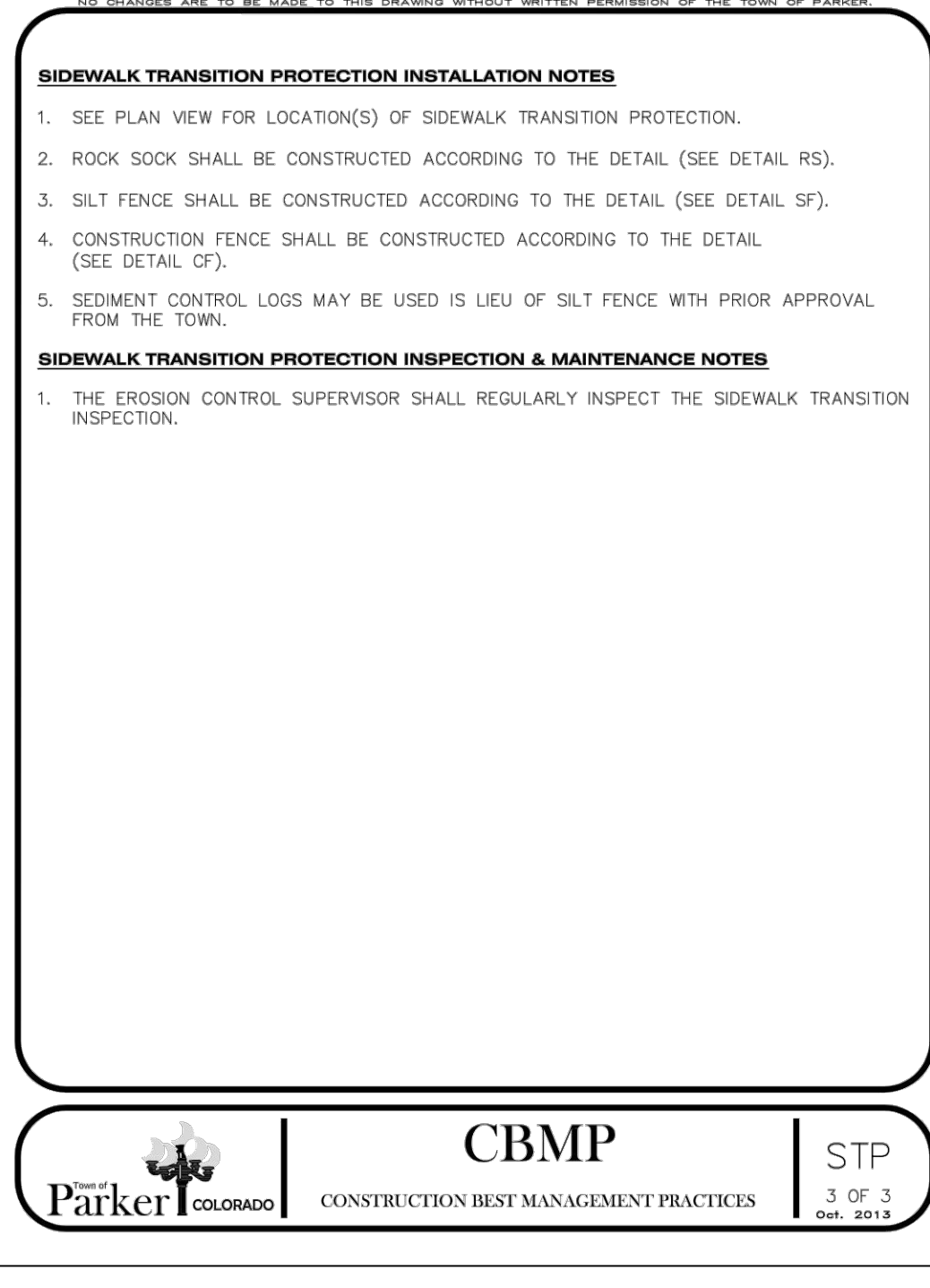
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Parker COLORADO CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES STP 1 OF 3 Oct. 2013

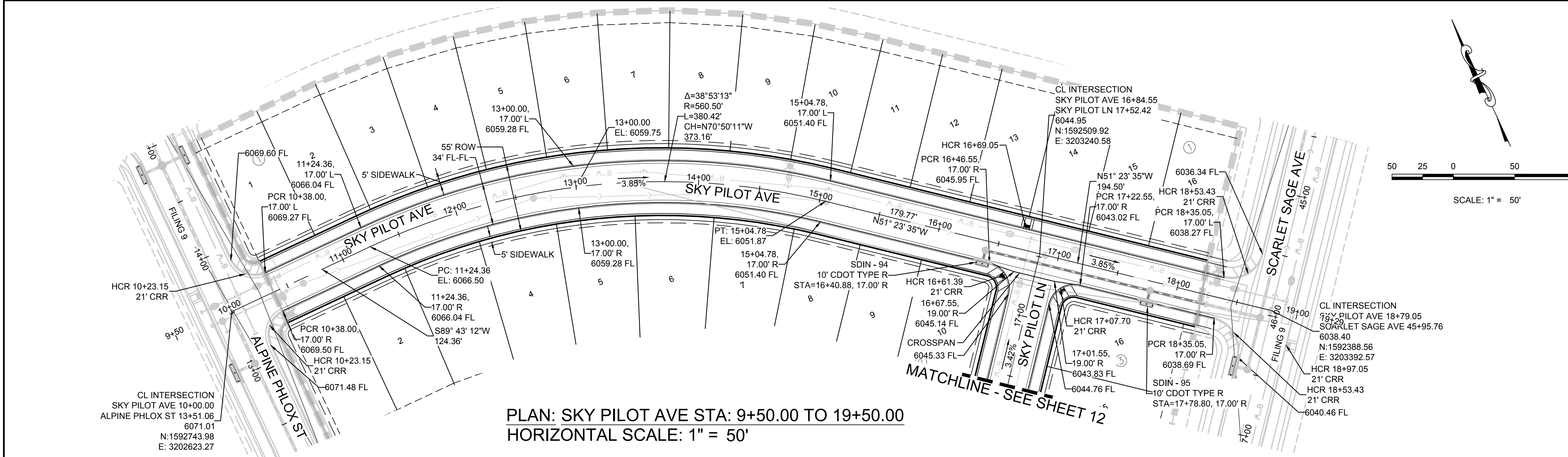


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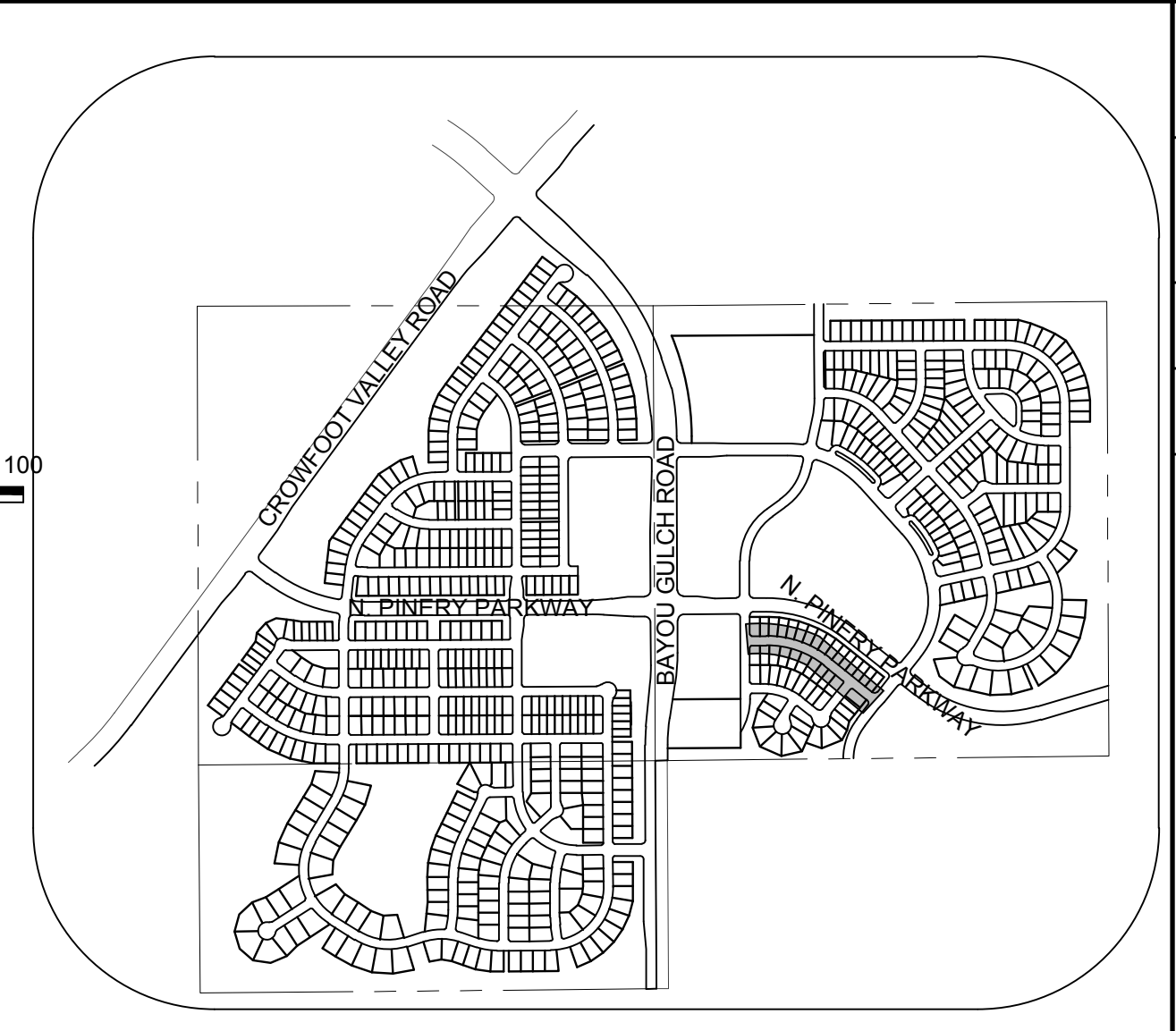


Parker COLORADO CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES STP 3 OF 3 Oct. 2013

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				CHECKED BY: JJ				
				TRAILS AT CROWFOOT FILING 13 CONSTRUCTION DRAWINGS BMP DETAILS				
10		HR 935 LLC 7353 South Alton Way CENTENNIAL, CO 80112		CVL CONSULTANTS		10333 E. Dry Creek Rd. Suite 110 Englewood, CO 80110 Tel: (720) 482-9526 Fax: (720) 482-9546		

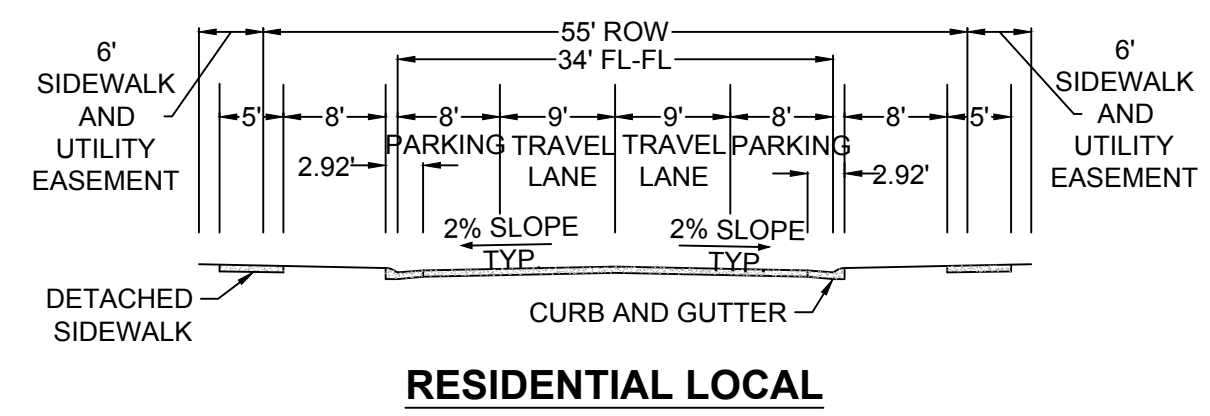


PLAN: SKY PILOT AVE STA: 9+50.00 TO 19+50.00
HORIZONTAL SCALE: 1" = 50'

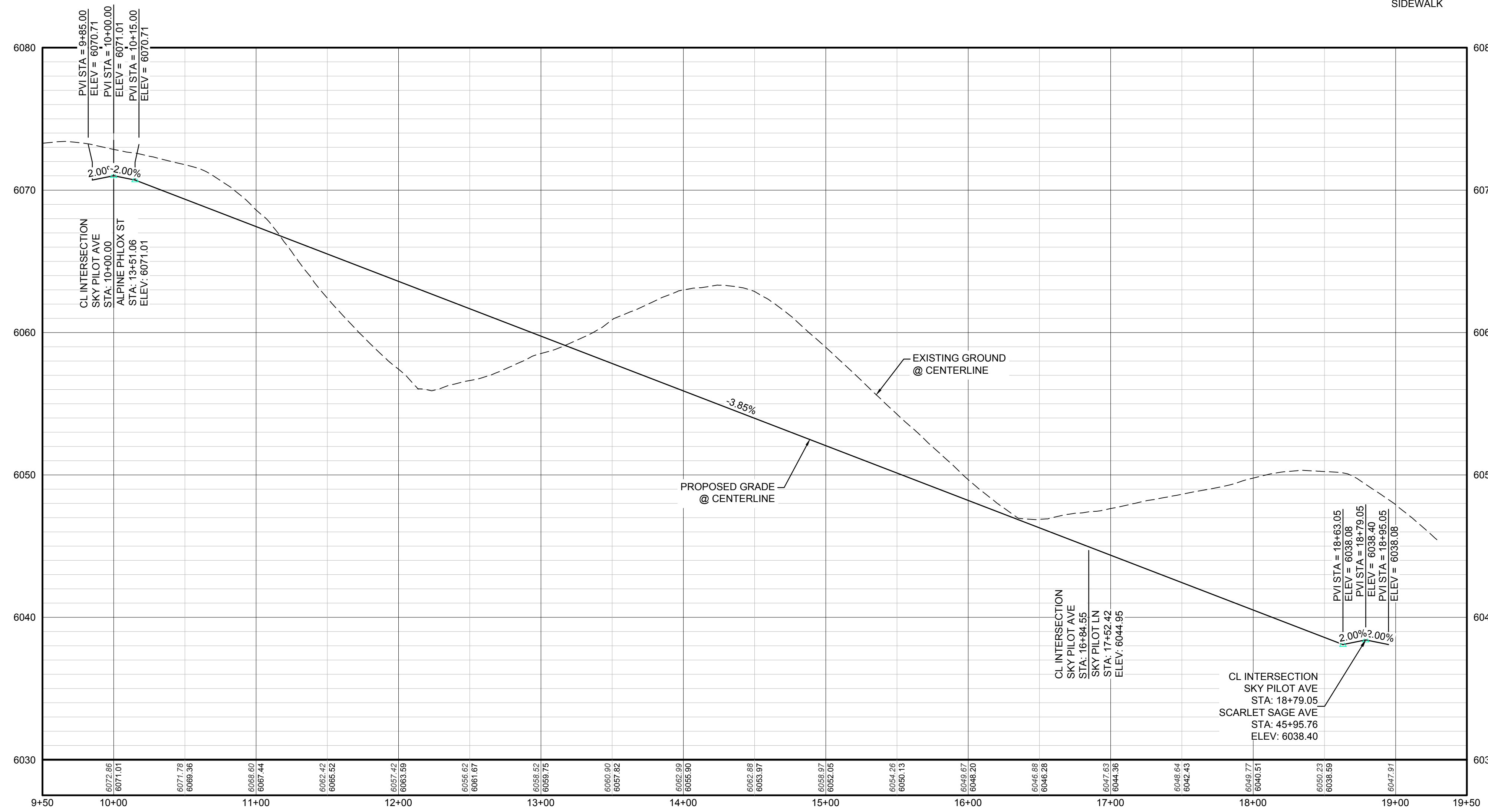


KEYMAP
N.T.S.
LEGEND

②	BLOCK NUMBER	△	PROPOSED RANGE POINT
Ⓐ	LOT TYPE	---	CENTERLINE
6	LOT NUMBER	---	RIGHT-OF-WAY
⊕	PROPOSED BUTTERFLY VALVE	---	PROPERTY LINE
⌋	PROPOSED CAP WITH END OF LINE BLOWOFF	---	EDGE OF PAVEMENT
⊘	PROPOSED REDUCER	→	PROPOSED DIRECTION OF FLOW
⊕	PROPOSED VALVE	1.0%	PROPOSED SLOPE & DIRECTION
⊕	PROPOSED FIRE HYDRANT	5615	EXISTING 5' CONTOUR
⊕	PROPOSED WL FITTING WITH THRUST BLOCK	5616	EXISTING 1' CONTOUR
⊕	PROPOSED FLARED END SECTION	5620	PROPOSED 5' CONTOUR
⊕	PROPOSED LOW POINT BLOW-OFF	5607	PROPOSED 1' CONTOUR
⊕	PROPOSED AIR VALVE	---	PROPOSED STORM DRAIN
⊕	FUTURE PHASE VALVE	---	PROPOSED SEWER LINE WITH MANHOLE
⊕	FUTURE FIRE HYDRANT	---	PROPOSED SEWER LATERAL
⊕	PROPOSED LIGHT POLE	---	PROPOSED WATER LINE
⊕	PROPOSED SIDEWALK	---	PROPOSED WATER LATERAL W/ METER
⊕	PROPOSED SIDEWALK RAMP	---	SECTION LINE
10.00	EXISTING ELEVATION	---	FILING BOUNDARY
10.00	PROPOSED DESIGN ELEVATION	---	EXISTING FIBER OPTIC LINE
⊕	PROPOSED STORM DRAIN INLET	---	EXISTING OVERHEAD POWER
⊕	PROPOSED STORM DRAIN MANHOLE	---	EXISTING TELEPHONE LINE



RESIDENTIAL LOCAL



PROFILE: SKY PILOT AVE STA: 9+50.00 TO 19+50.00
HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'

AD	ANGLE DIFFERENCE	MH	MANHOLE
AV	AIR VAC RELEASE VALVE	N.T.S.	NOT TO SCALE
BVC	BEGIN VERTICAL CURVE	PVC	POLYVINYL CHLORIDE
BVP	BEGIN VERTICAL PROFILE	PVI	PT. OF VERTICAL INTERSECTION
CBO	CAP WITH BLOW OFF	PVT	POINT OF VERTICAL TANGENT
CRR	CURB RETURN RADIUS	RCBC	REINFORCED CONCRETE BOX CULVERT
ELEV	ELEVATION	RCP	REINFORCED CONCRETE PIPE
EP	EDGE OF PAVEMENT	ROW	RIGHT OF WAY
EVC	END VERTICAL CURVE	SC	SANITARY CAP
EVP	END VERTICAL PROFILE	SD	STORM DRAIN
FG	FINISHED GROUND	SL	SECTION LINE
FH	FIRE HYDRANT	SS	SANITARY SEWER
FL	FLOW LINE	STA	STATION
GV	GATE VALVE	T.O.P.	TOP OF PIPE
HCR	HANDICAP CURB RAMP	UE	UTILITY EASEMENT
HP	HIGH POINT	VC	VERTICAL CURVE
INV	INVERT	WL	WATER LINE
K	CURVATURE COEFFICIENT	WLC	WATER LINE CONNECTION
LF	LINEAR FEET	WSE	WATER SURFACE ELEVATION

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES. SUBJECT TO THESE PLANS BEING STAMPED, SIGN, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

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PREPARED UNDER THE SUPERVISION OF

BRIAN P. WILSON
COLORADO P.E. 0050067

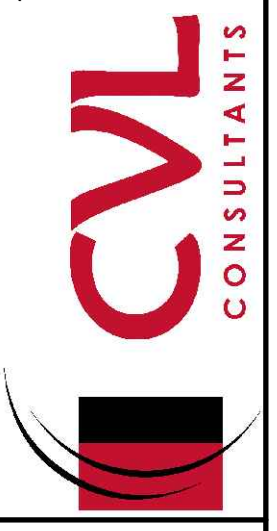
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BENCHMARK
THE DOUGLAS COUNTY CONTROL POINT KNOWN AS 1.069032, BEING A 3-1/4" ALUMINUM CAP, BEING LOCATED IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, HAVING A PUBLISHED ELEVATION OF 1799.2870 METERS (5903.13 FEET) NAVD '88 DATUM.

BASIS OF BEARINGS:
THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 9 BEING MONUMENTED AT THE NORTHEAST CORNER OF SAID SECTION 9 BY A 3-1/4" ALUMINUM CAP STAMPED LS 23053 AND AT THE EAST QUARTER CORNER OF SAID SECTION 9 BY A 2-1/2" ALUMINUM CAP STAMPED LS 6935 BEING CONSIDERED TO BEAR SOUTH 00°15'06" EAST, 2648.70 FEET.

SHEET NUMBER	11
	DATE: SEPTEMBER 2017
DRAWN BY: JF	AS SHOWN
CHECKED BY: JJ	FILE NO: 8130283701
SCALE:	SCALE: 1" = 50'
DATE:	DATE:
NO.	NO.
REVISIONS	REVISIONS
INIT.	INIT.
DATE	DATE
APPR.	APPR.
DATE	DATE

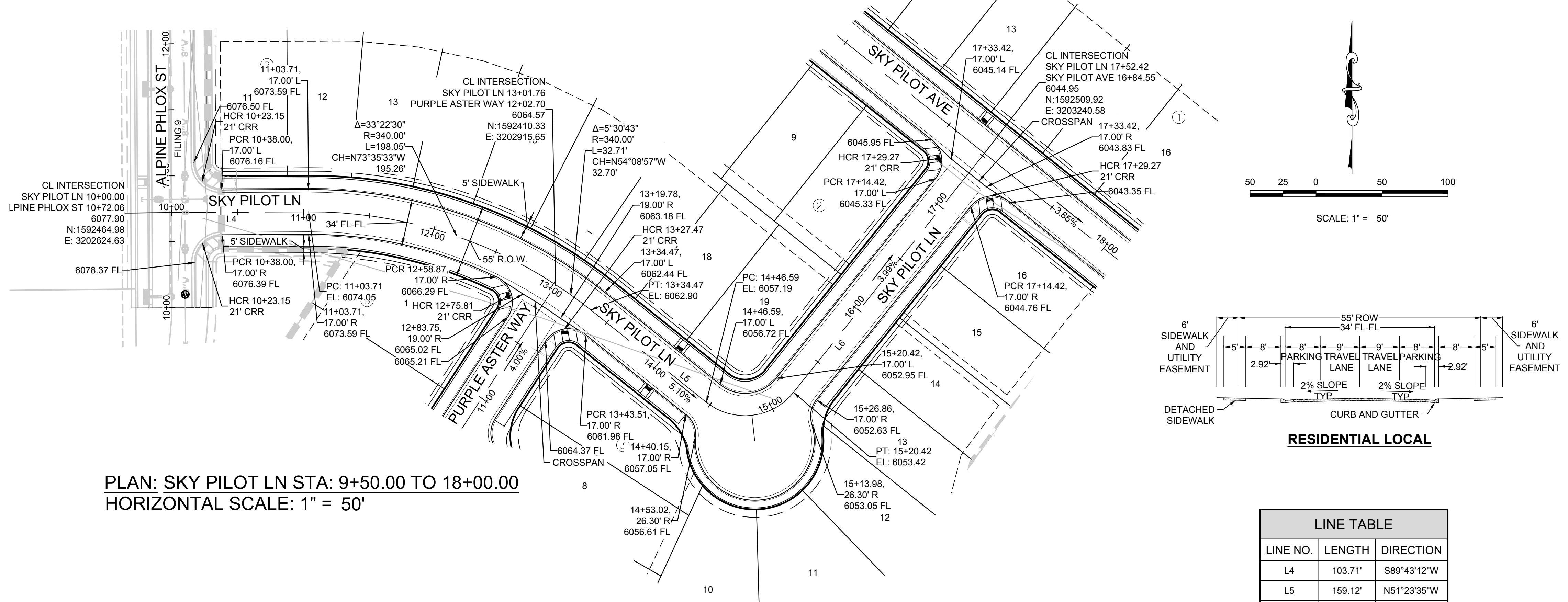
10338 E. Dry Creek Rd.
Suite 410
Englewood, CO 80150
Tel: (720) 482-9526
Fax: (720) 482-9548



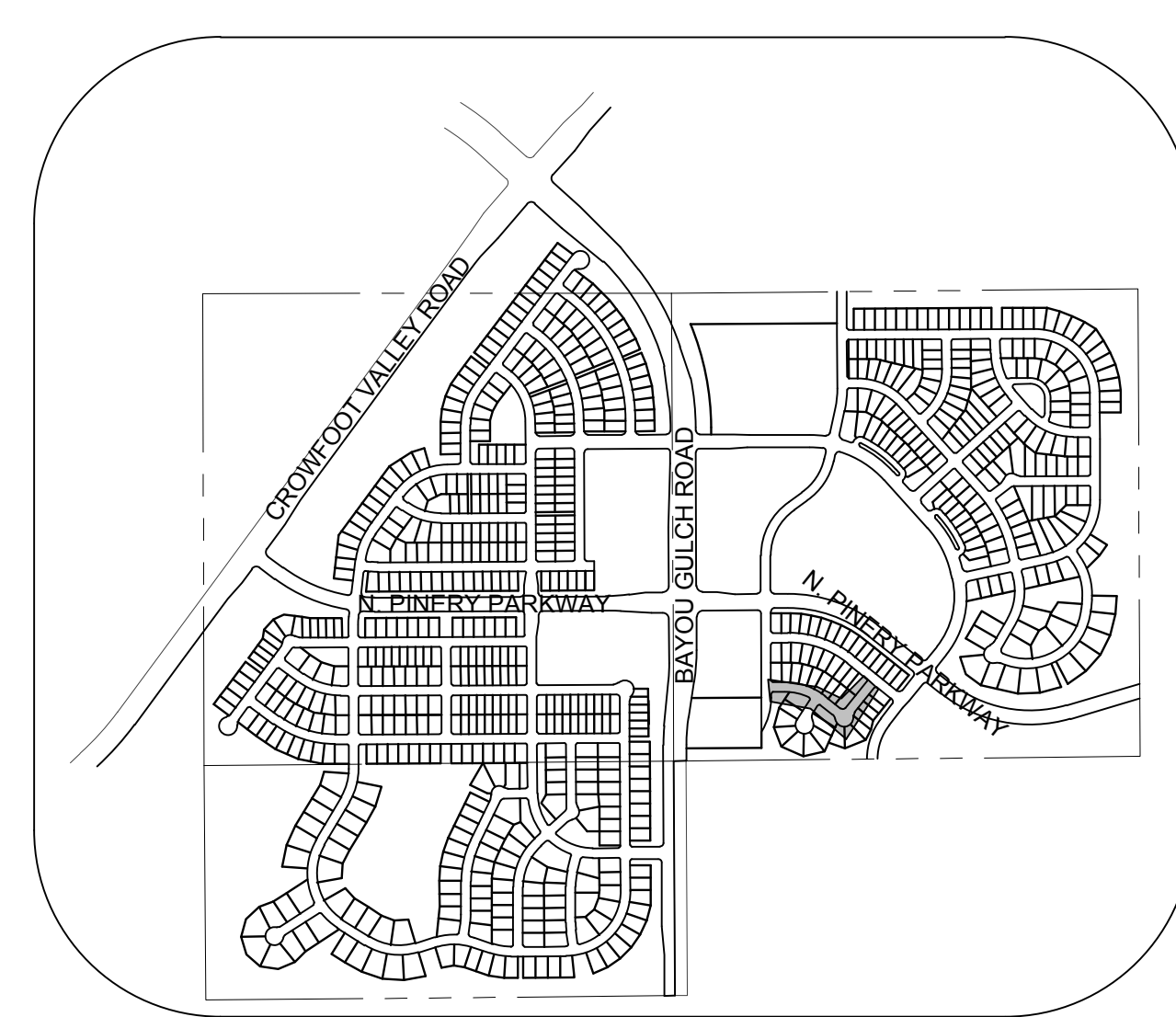
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7353 South Alton Way
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TRAILS AT CROWFOOT
FILING 13 CONSTRUCTION DRAWINGS
STREET PLAN & PROFILE
SKY PILOT AVENUE

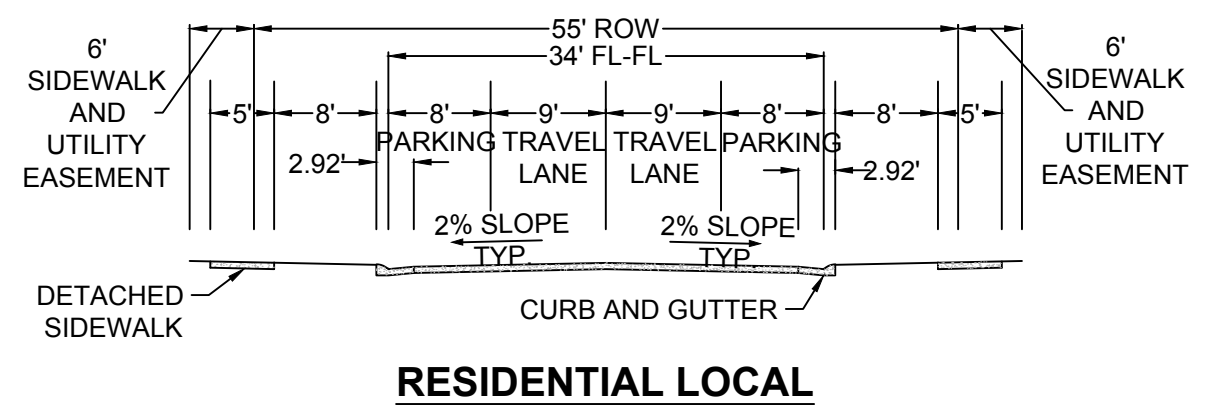
TOWN OF PARKER, DIRECTOR OF ENGINEERING
DATE



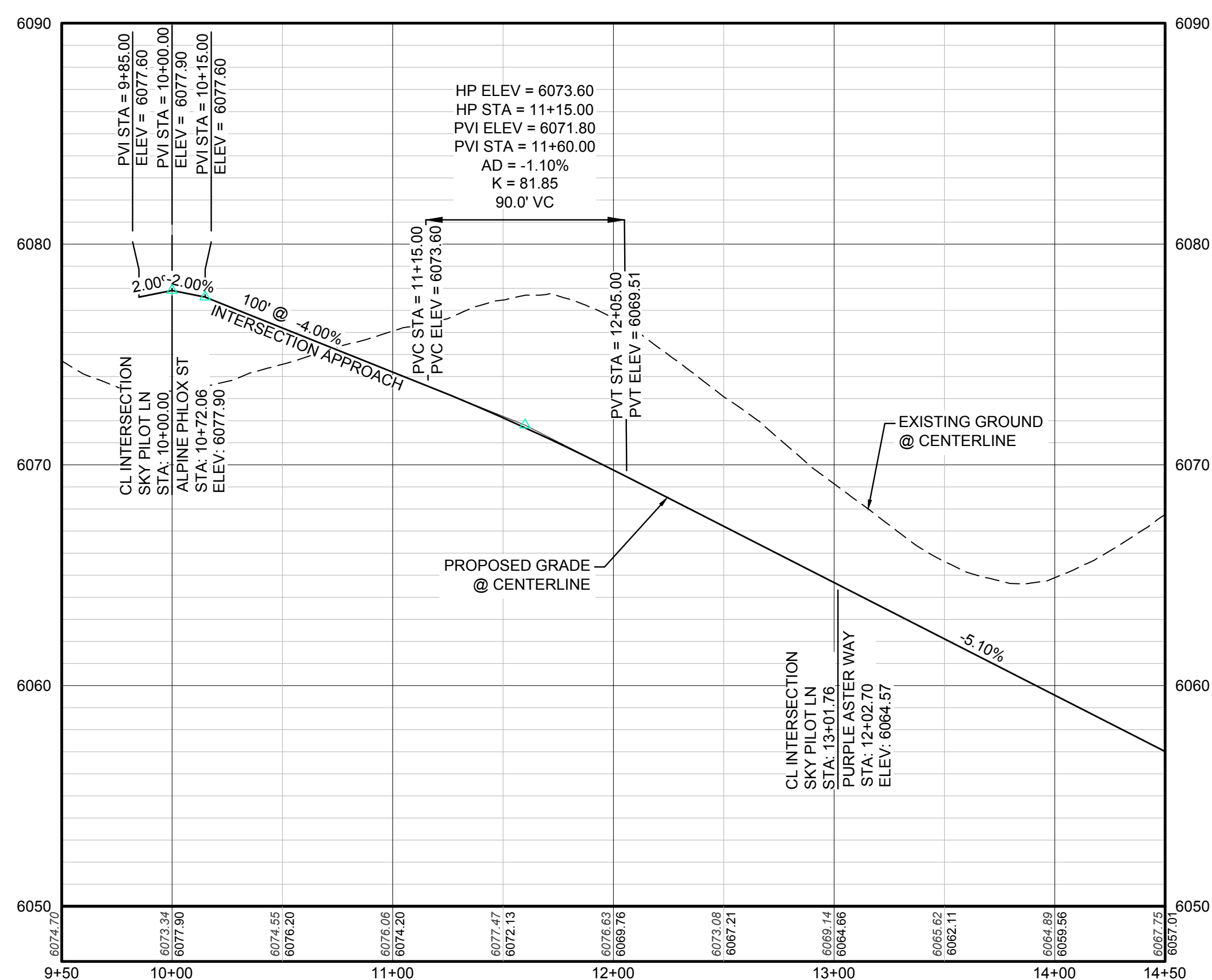
PLAN: SKY PILOT LN STA: 9+50.00 TO 18+00.00
HORIZONTAL SCALE: 1" = 50'



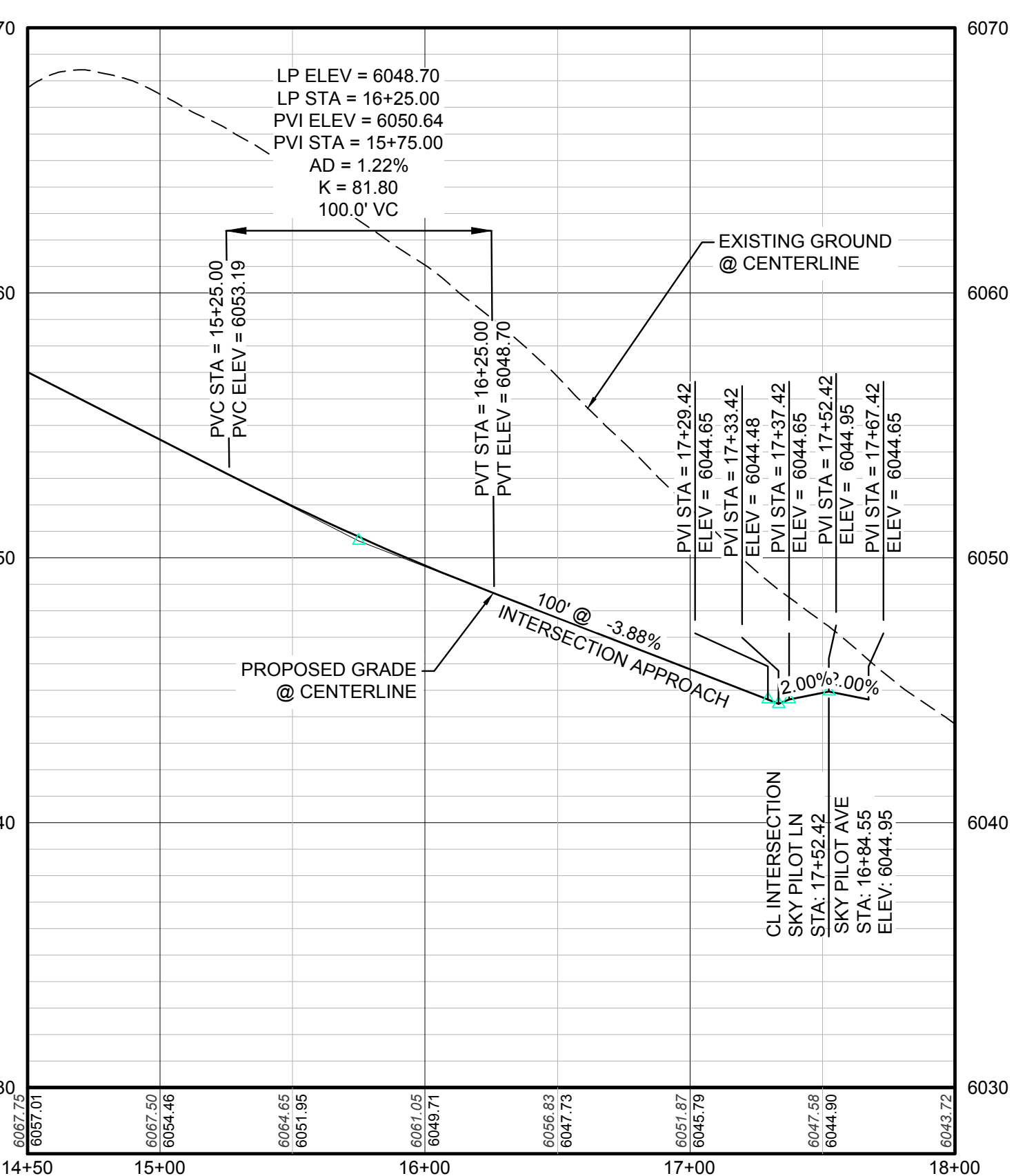
KEYMAP
N.T.S.
LEGEND



LINE TABLE		
LINE NO.	LENGTH	DIRECTION
L4	103.71'	S89°43'12"W
L5	159.12'	N51°23'35"W
L6	279.00'	S38°36'25"W



PROFILE: SKY PILOT LN STA: 9+50.00 TO 14+50.00
HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'



PROFILE: SKY PILOT LN STA: 14+50.00 TO 18+00.00
HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'

- ② BLOCK NUMBER
- Ⓐ LOT TYPE
- 6 LOT NUMBER
- ⊕ PROPOSED BUTTERFLY VALVE
- ⌋ PROPOSED CAP WITH END OF LINE BLOWOFF
- ⊘ PROPOSED REDUCER
- ⊕ PROPOSED VALVE
- Ⓜ PROPOSED FIRE HYDRANT
- Ⓜ PROPOSED WL FITTING WITH THRUST BLOCK
- Ⓜ PROPOSED FLARED END SECTION
- Ⓜ PROPOSED LOW POINT BLOW-OFF
- Ⓜ PROPOSED AIR VALVE
- Ⓜ FUTURE PHASE VALVE
- Ⓜ FUTURE FIRE HYDRANT
- Ⓜ PROPOSED LIGHT POLE
- Ⓜ PROPOSED SIDEWALK
- Ⓜ PROPOSED SIDEWALK RAMP
- 10.00 EXISTING ELEVATION
- 10.00 PROPOSED DESIGN ELEVATION
- Ⓜ PROPOSED STORM DRAIN INLET
- Ⓜ PROPOSED STORM DRAIN MANHOLE
- △ PROPOSED RANGE POINT
- CENTERLINE
- RIGHT-OF-WAY
- PROPERTY LINE
- EDGE OF PAVEMENT
- PROPOSED DIRECTION OF FLOW
- 1.0% PROPOSED SLOPE & DIRECTION
- 5615 EXISTING 5' CONTOUR
- 5616 EXISTING 1' CONTOUR
- 5620 PROPOSED 5' CONTOUR
- 5607 PROPOSED 1' CONTOUR
- PROPOSED STORM DRAIN
- PROPOSED SEWER LINE WITH MANHOLE
- PROPOSED SEWER LATERAL
- PROPOSED WATER LINE
- PROPOSED WATER LATERAL W/ METER
- SECTION LINE
- FO EXISTING FIBER OPTIC LINE
- OH EXISTING OVERHEAD POWER
- TEL EXISTING TELEPHONE LINE

- ABBREVIATIONS
- | | |
|----------------------------|--------------------------------------|
| AD ANGLE DIFFERENCE | MH MANHOLE |
| AV AIR VAC RELEASE VALVE | N.T.S. NOT TO SCALE |
| BVC BEGIN VERTICAL CURVE | PVC POLYVINYL CHLORIDE |
| BVP BEGIN VERTICAL PROFILE | PVI PT. OF VERTICAL INTERSECTION |
| CBO CAP WITH BLOW OFF | PVT POINT OF VERTICAL TANGENT |
| CRR CURB RETURN RADIUS | ROBC REINFORCED CONCRETE BOX CULVERT |
| ELEVATION | RCP REINFORCED CONCRETE PIPE |
| EP EDGE OF PAVEMENT | ROW RIGHT OF WAY |
| EVC END VERTICAL CURVE | SC SANITARY CAP |
| EVP END VERTICAL PROFILE | SD STORM DRAIN |
| FG FINISHED GROUND | SL SECTION LINE |
| FH FIRE HYDRANT | SS SANITARY SEWER |
| FL FLOW LINE | STA STATION |
| GV GATE VALVE | T.O.P. TOP OF PIPE |
| HCR HANDICAP CURB RAMP | UE UTILITY EASEMENT |
| HP HIGH POINT | VC VERTICAL CURVE |
| INV INVERT | WL WATER LINE |
| K CURVATURE COEFFICIENT | WLC WATER LINE CONNECTION |
| LF LINEAR FEET | WSE WATER SURFACE ELEVATION |

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BENCHMARK
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10338 E. Dry Creek Rd.
Suite 6410
Englewood, Colorado 80150
Tel: (720) 482-9526
Fax: (720) 482-9546

CVL CONSULTANTS

HR 935 LLC
7353 South Alton Way
CENTENNIAL, CO 80112

TRAILS AT CROWFOOT
FILING 13 CONSTRUCTION DRAWINGS
STREET PLAN & PROFILE
SKY PILOT LANE

SCALE: AS SHOWN
FILE NO: 8130283701

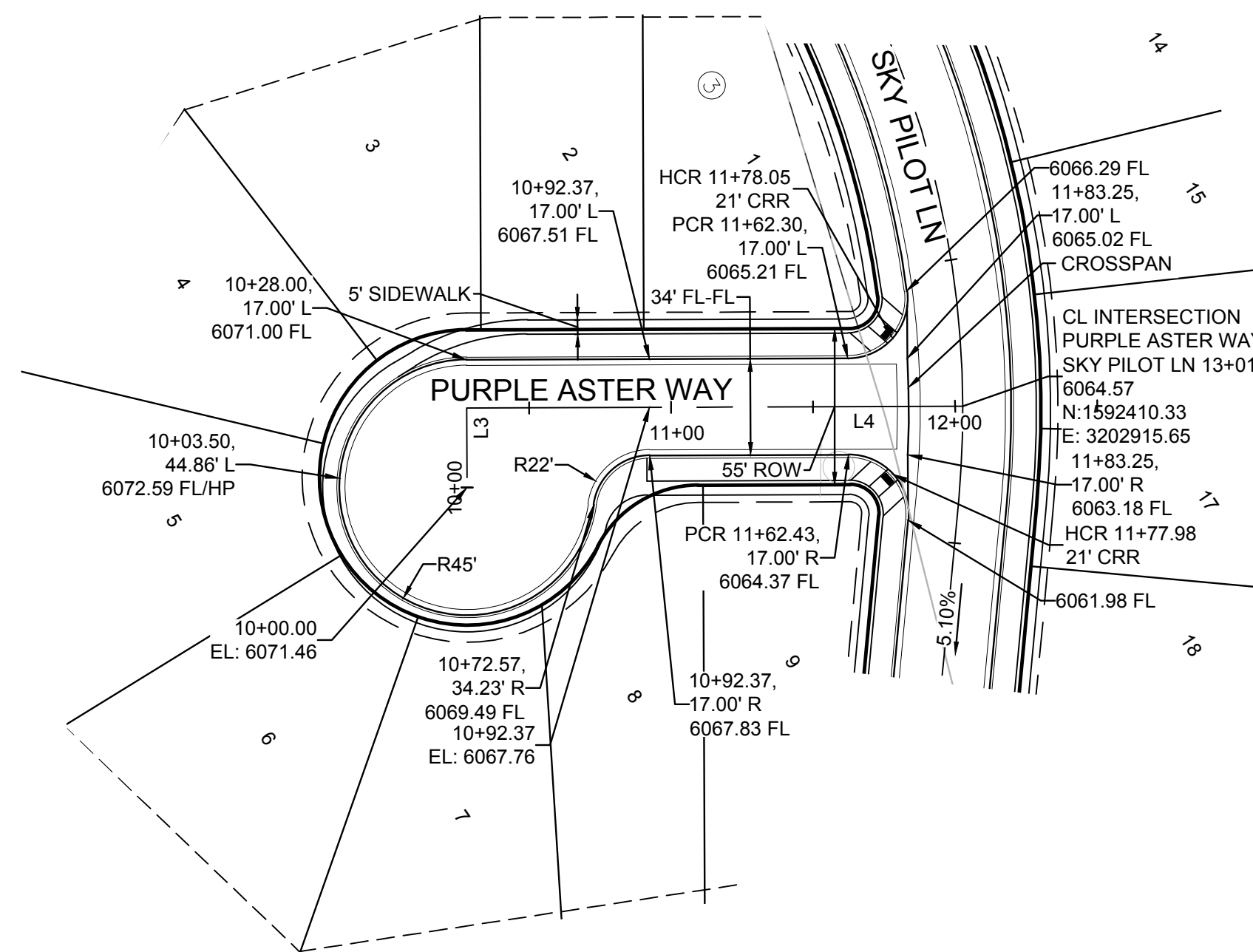
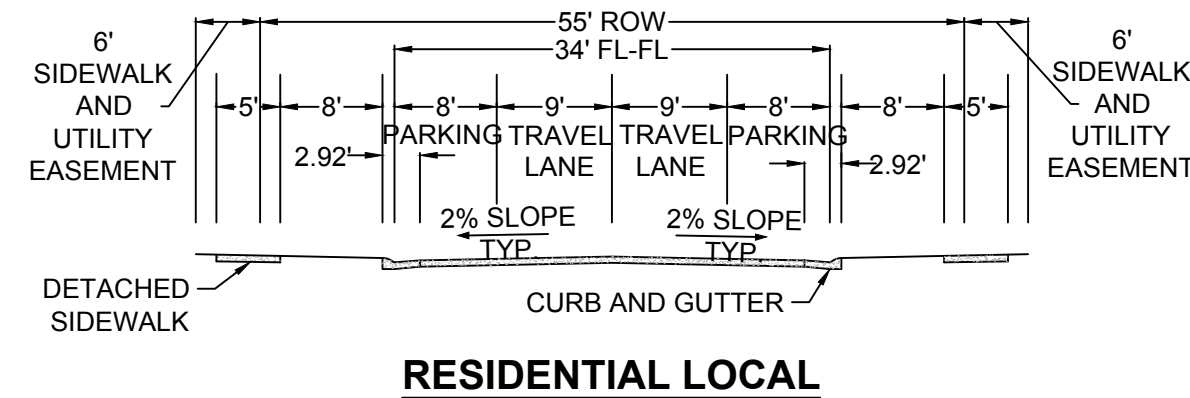
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CHECKED BY: JJ
DATE: SEPTEMBER 2017

SHEET NUMBER
12

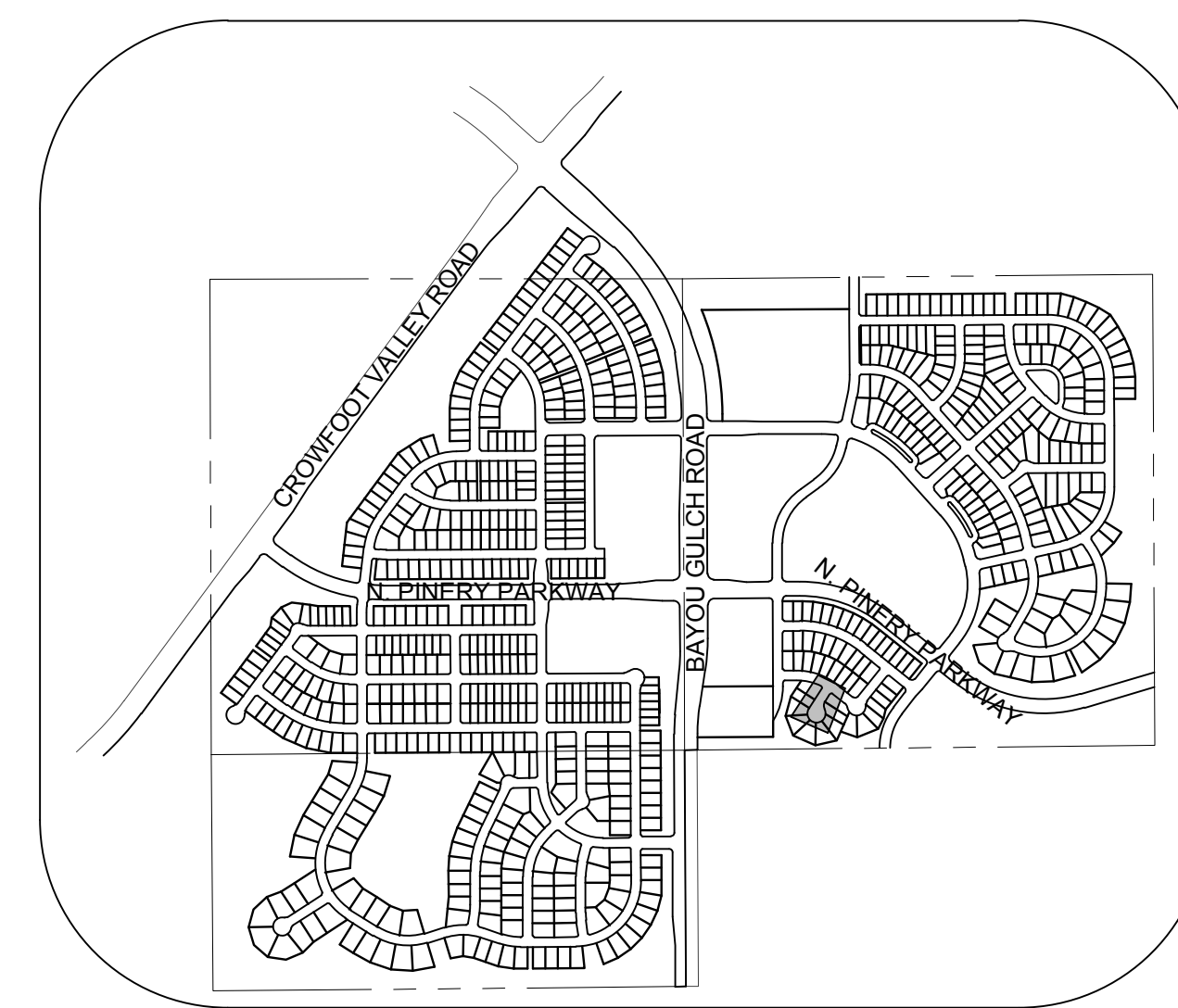
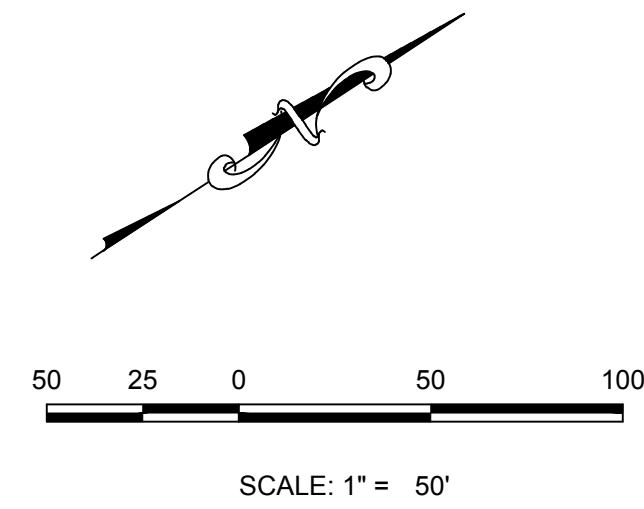
No.	Revisions	Date	Init.	Appr.	Date

N:\PROJECTS\SSR\BENCHM\ENGINEERING\SHEET SET\TRC\DS\F\13\TOWN OF PARKER\STREET PLAN AND PROFILE\13 PURPLE ASTER WAY DWG.CDDVA 3/12/2018 2:25 PM

LINE TABLE		
LINE NO.	LENGTH	DIRECTION
L3	24.50'	S56°54'18"E
L4	174.70'	S33°05'42"W



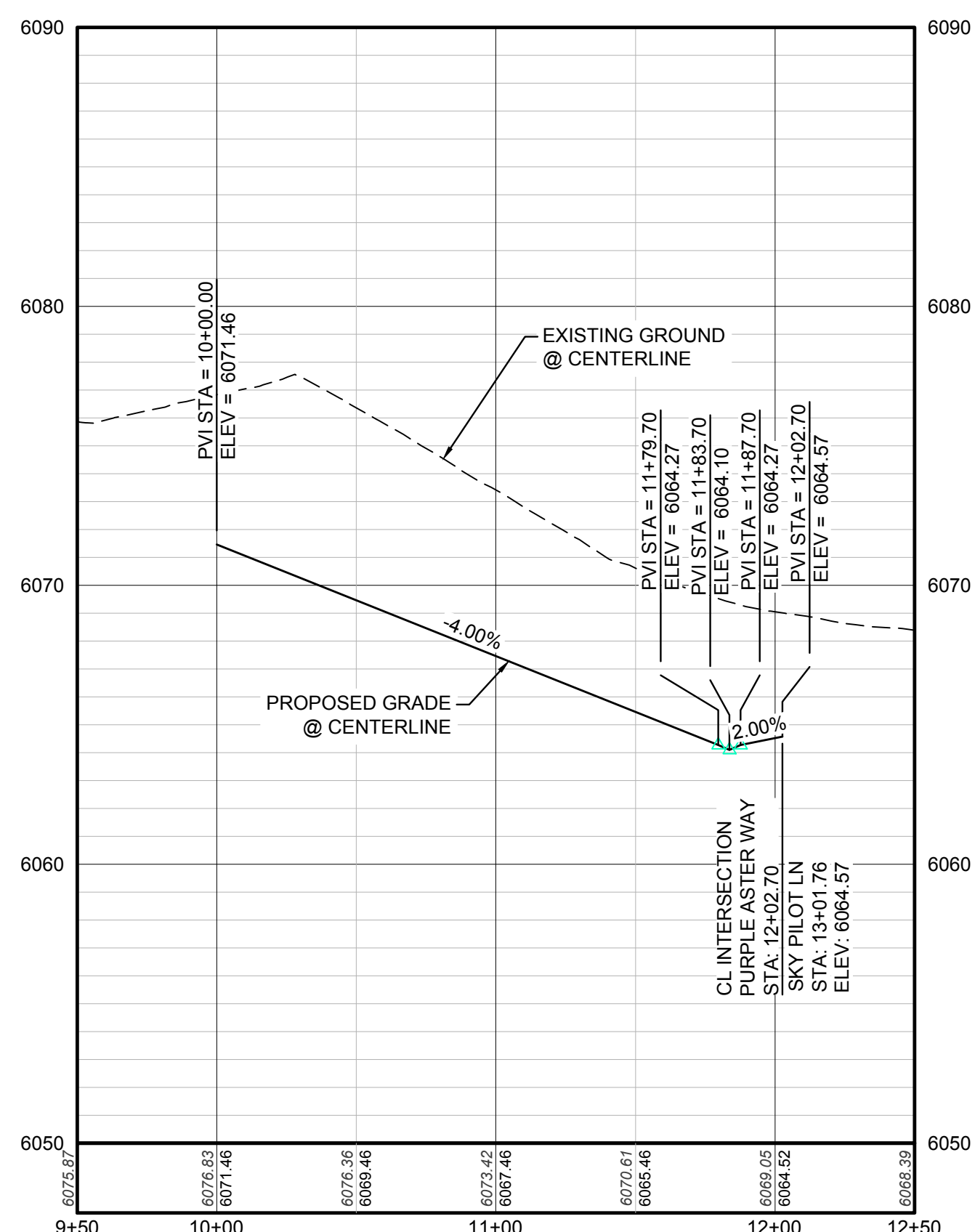
PLAN: PURPLE ASTER WAY STA: 9+50.00 TO 12+00.00
HORIZONTAL SCALE: 1" = 50'



KEYMAP
N.T.S.

LEGEND			
(2)	BLOCK NUMBER	△	PROPOSED RANGE POINT
(A)	LOT TYPE	---	CENTERLINE
6	LOT NUMBER	---	RIGHT-OF-WAY
⊗	PROPOSED BUTTERFLY VALVE	---	PROPERTY LINE
⌈	PROPOSED CAP WITH END OF LINE BLOWOFF	---	EDGE OF PAVEMENT
⌋	PROPOSED REDUCER	→	PROPOSED DIRECTION OF FLOW
⊗	PROPOSED VALVE	1.0%	PROPOSED SLOPE & DIRECTION
⊗	PROPOSED FIRE HYDRANT	5615	EXISTING 5' CONTOUR
⊗	PROPOSED WL FITTING WITH THRUST BLOCK	5616	EXISTING 1' CONTOUR
⊗	PROPOSED FLARED END SECTION	5620	PROPOSED 5' CONTOUR
⊗	PROPOSED LOW POINT BLOW-OFF	5607	PROPOSED 1' CONTOUR
⊗	PROPOSED AIR VALVE	---	PROPOSED STORM DRAIN
⊗	FUTURE PHASE VALVE	---	PROPOSED SEWER LINE WITH MANHOLE
⊗	FUTURE FIRE HYDRANT	---	PROPOSED SEWER LATERAL
⊗	PROPOSED LIGHT POLE	---	PROPOSED WATER LINE
⊗	PROPOSED SIDEWALK	---	PROPOSED WATER LATERAL W/ METER
⊗	PROPOSED SIDEWALK RAMP	---	SECTION LINE
10.00	EXISTING ELEVATION	---	FILING BOUNDARY
10.00	PROPOSED DESIGN ELEVATION	---	EXISTING FIBER OPTIC LINE
⊗	PROPOSED STORM DRAIN INLET	---	EXISTING OVERHEAD POWER
⊗	PROPOSED STORM DRAIN MANHOLE	---	EXISTING TELEPHONE LINE

ABBREVIATIONS			
AD	ANGLE DIFFERENCE	MH	MANHOLE
AV	AIR VAC RELEASE VALVE	N.T.S.	NOT TO SCALE
BVC	BEGIN VERTICAL CURVE	PVC	POLYVINYL CHLORIDE
BVP	BEGIN VERTICAL PROFILE	PVI	PT. OF VERTICAL INTERSECTION
CBO	CAP WITH BLOW OFF	PVT	POINT OF VERTICAL TANGENT
CRR	CURB RETURN RADIUS	RCBC	REINFORCED CONCRETE BOX CULVERT
EL	ELEVATION	RCF	REINFORCED CONCRETE PIPE
EP	EDGE OF PAVEMENT	ROW	RIGHT OF WAY
EVC	END VERTICAL CURVE	SC	SANITARY CAP
EVP	END VERTICAL PROFILE	SD	STORM DRAIN
FG	FINISHED GROUND	SL	SECTION LINE
FH	FIRE HYDRANT	SS	SANITARY SEWER
FL	FLOW LINE	STA	STATION
GV	GATE VALVE	T.O.P.	TOP OF PIPE
HCR	HANDICAP CURB RAMP	UE	UTILITY EASEMENT
HP	HIGH POINT	VC	VERTICAL CURVE
INV	INVERT	WL	WATER LINE
K	CURVATURE COEFFICIENT	WLC	WATER LINE CONNECTION
LF	LINEAR FEET	WSE	WATER SURFACE ELEVATION



PROFILE: PURPLE ASTER WAY STA: 9+50.00 TO 12+50.00
HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'

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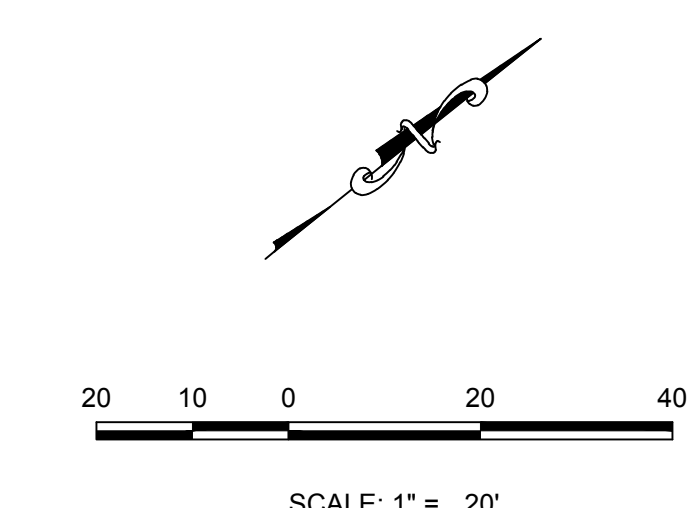
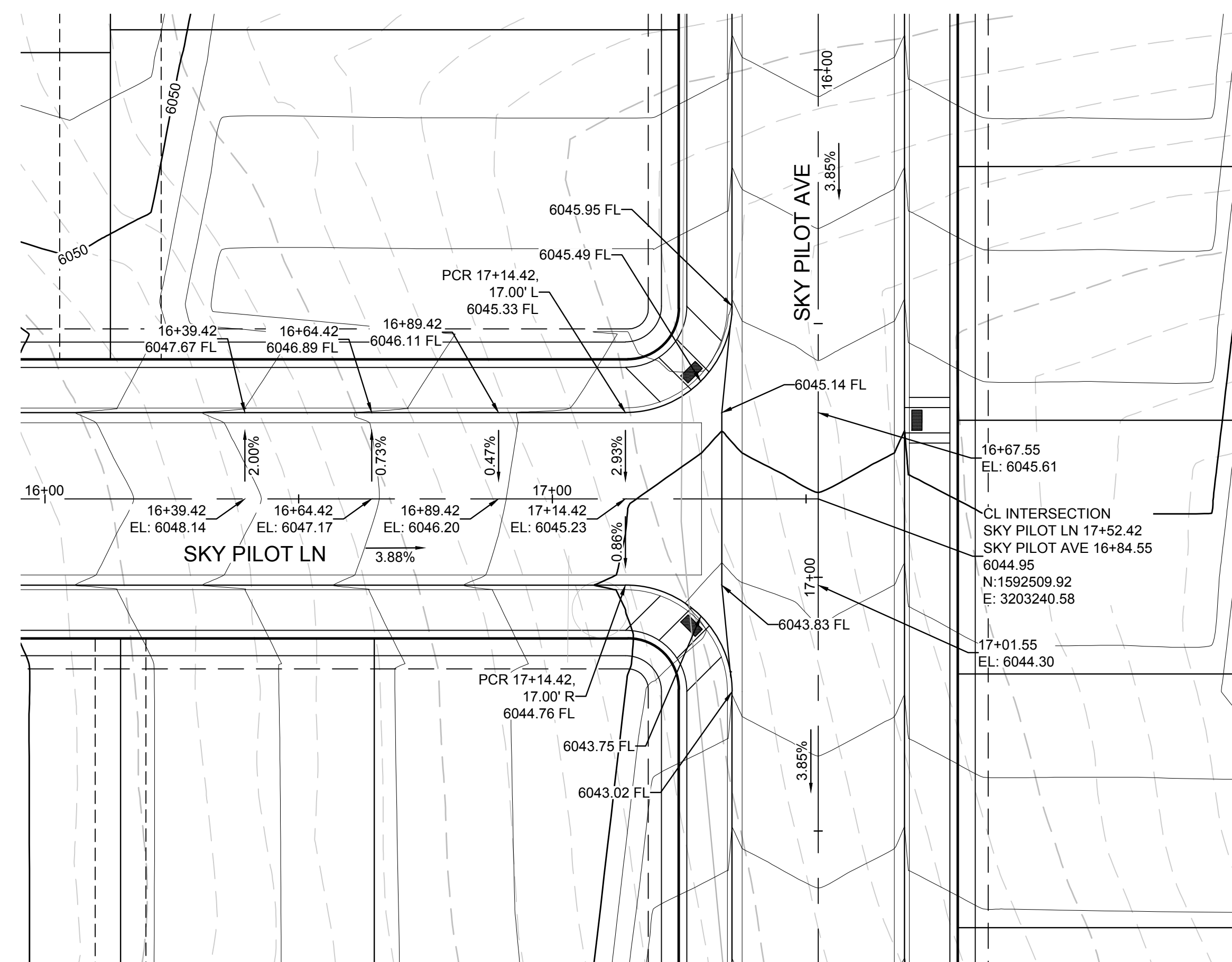
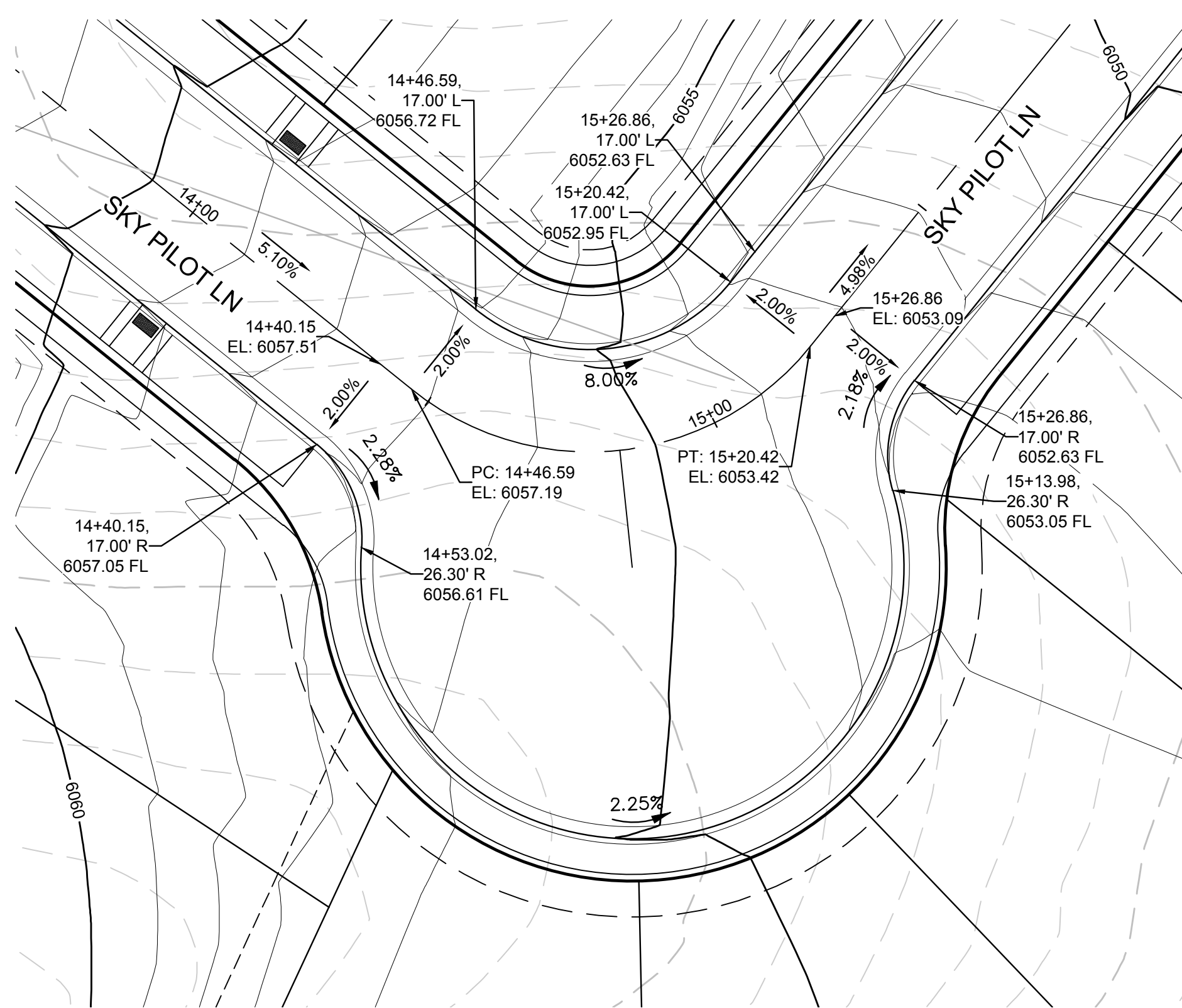
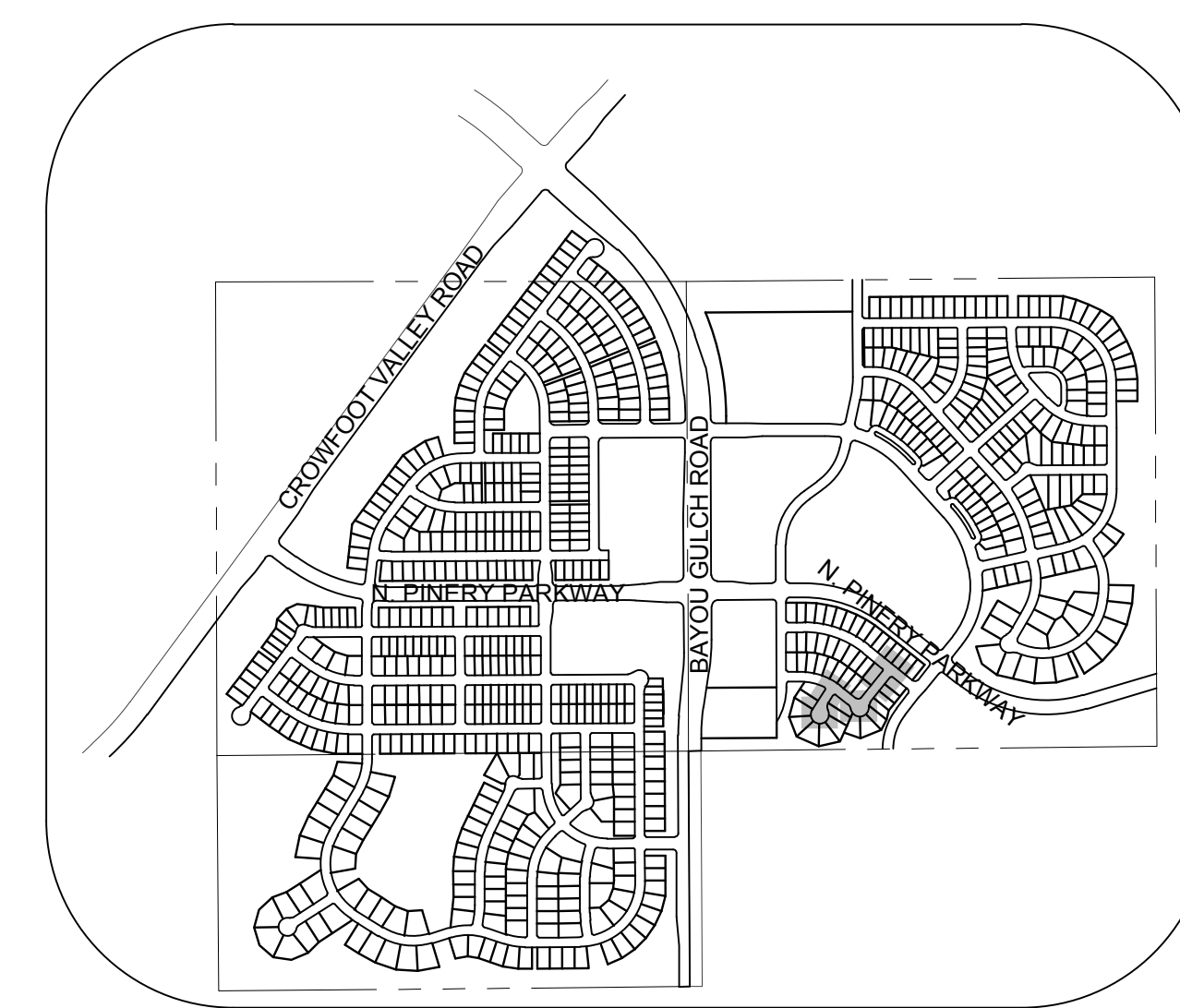
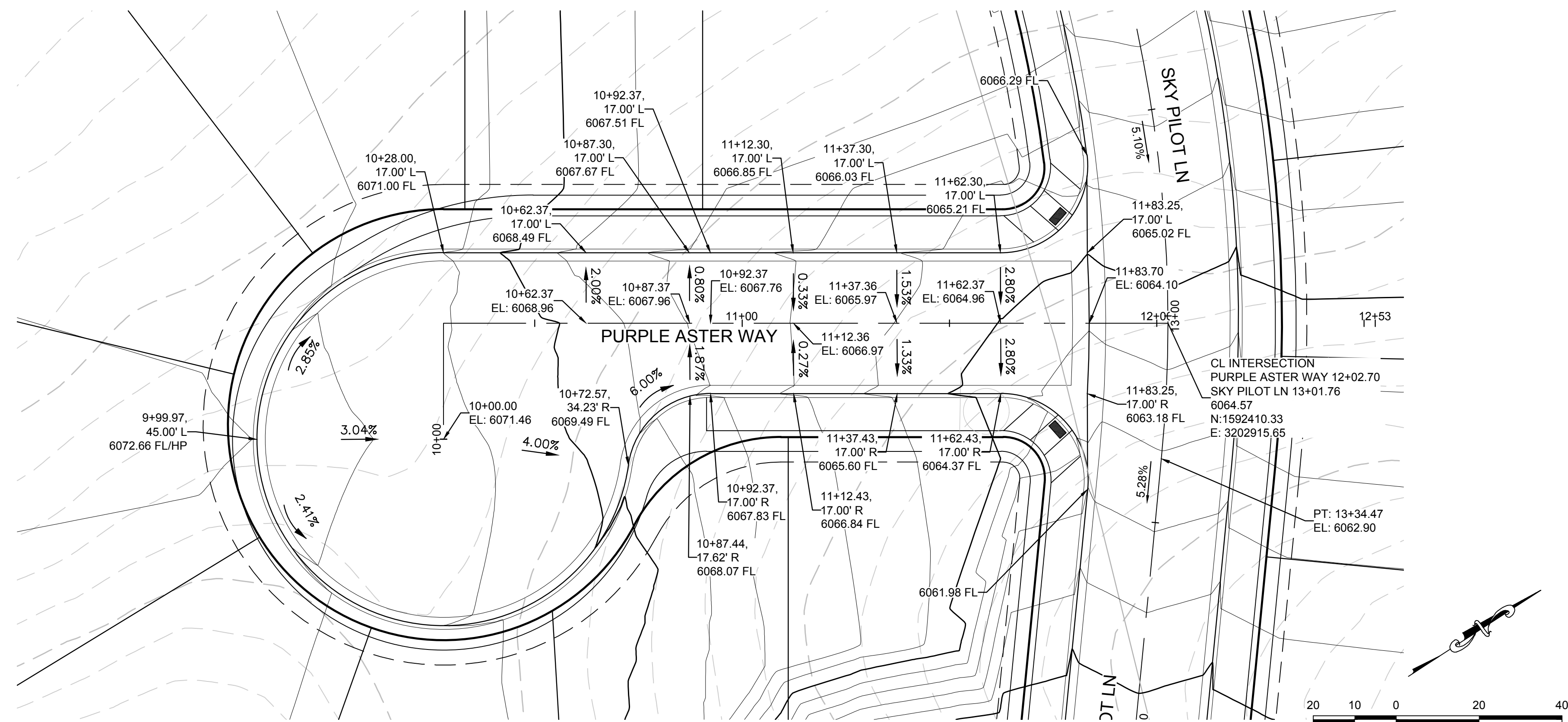
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SHEET NUMBER	DRAWN BY: JF	SCALE: AS SHOWN	FILE NO: 8130283701	DATE: SEPTEMBER 2017	NO.:	REVISIONS:	DATE:	INITIALS:	APPROVED:	DATE:
		<p style="text-align: center;">TRAILS AT CROWFOOT FILING 13 CONSTRUCTION DRAWINGS STREET PLAN & PROFILE PURPLE ASTER WAY</p> <p style="text-align: center;">HR 935 LLC 7353 South Alton Way CENTENNIAL, CO 80112</p> <p style="text-align: center;">CVL CONSULTANTS</p> <p>10338 E. Dry Creek Rd. Suite 410 Englewood, CO 80110 Tel: (720) 482-9526 Fax: (720) 482-9548</p>								



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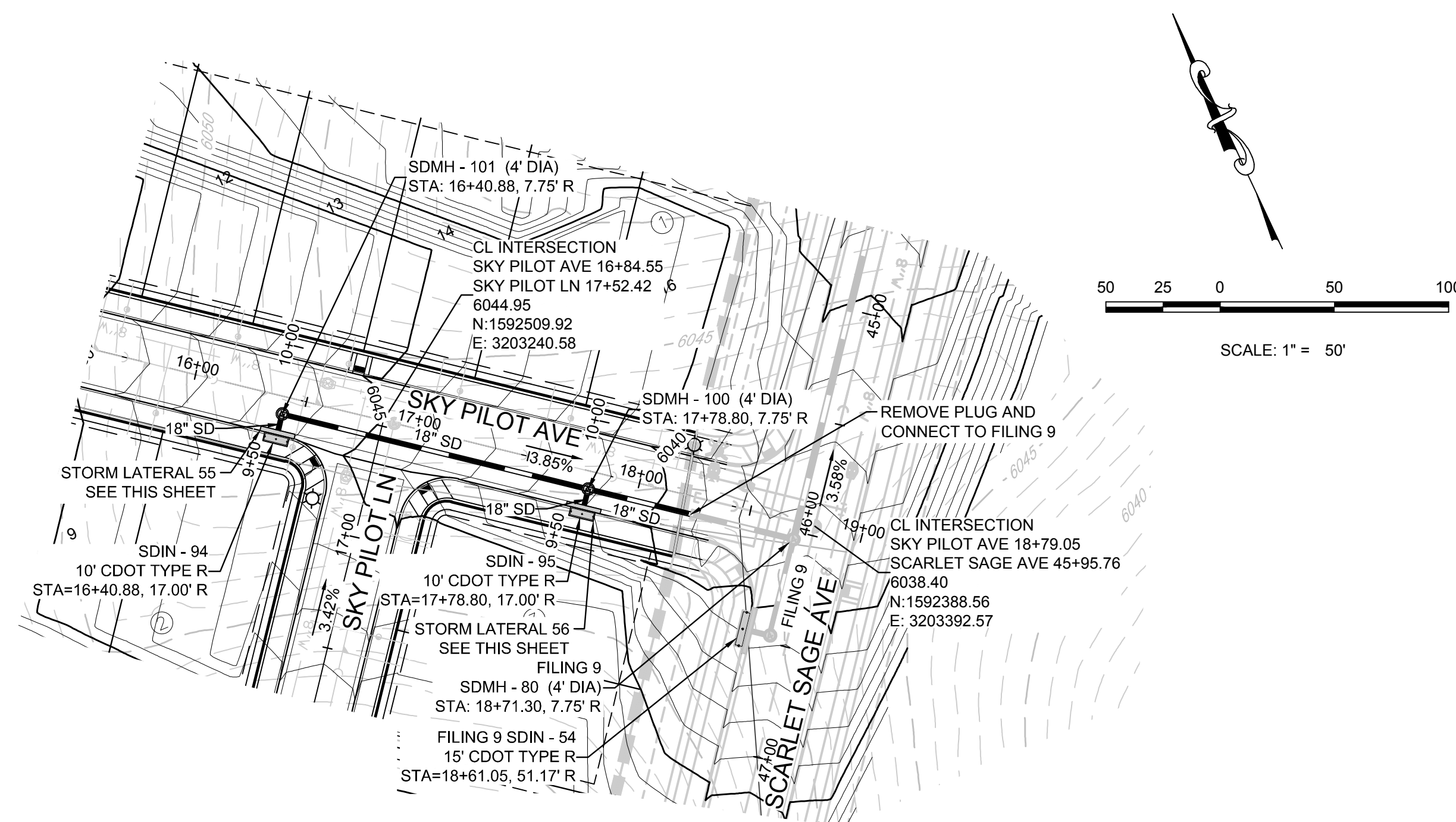
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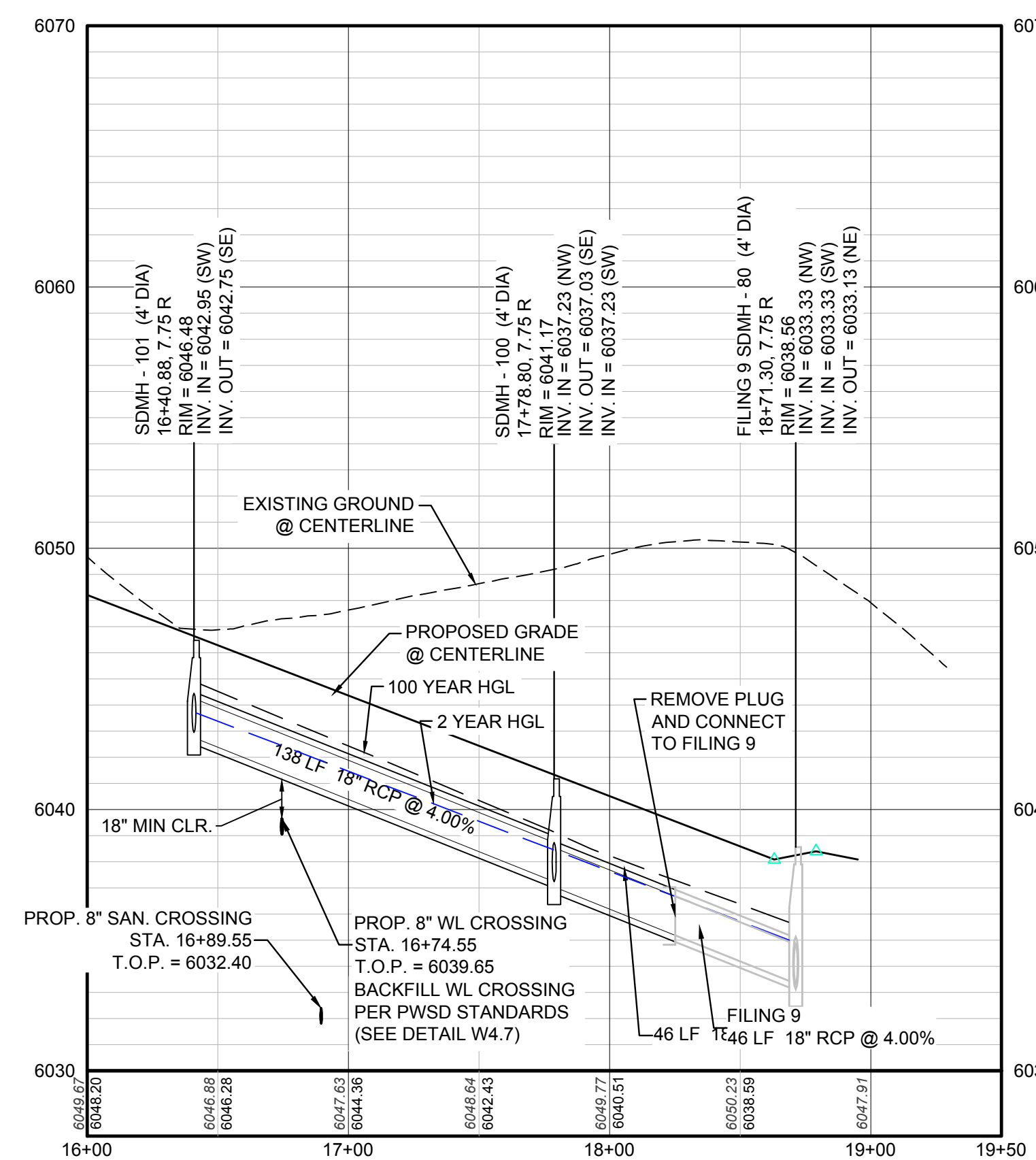
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			TRAILS AT CROWFOOT FILING 13 CONSTRUCTION DRAWINGS INTERSECTION PLANS				HR 935 LLC 7353 South Alton Way CENTENNIAL, CO 80112
SHEET NUMBER	14		Revisions				No.
			Date	Init.	Appr.	Date	

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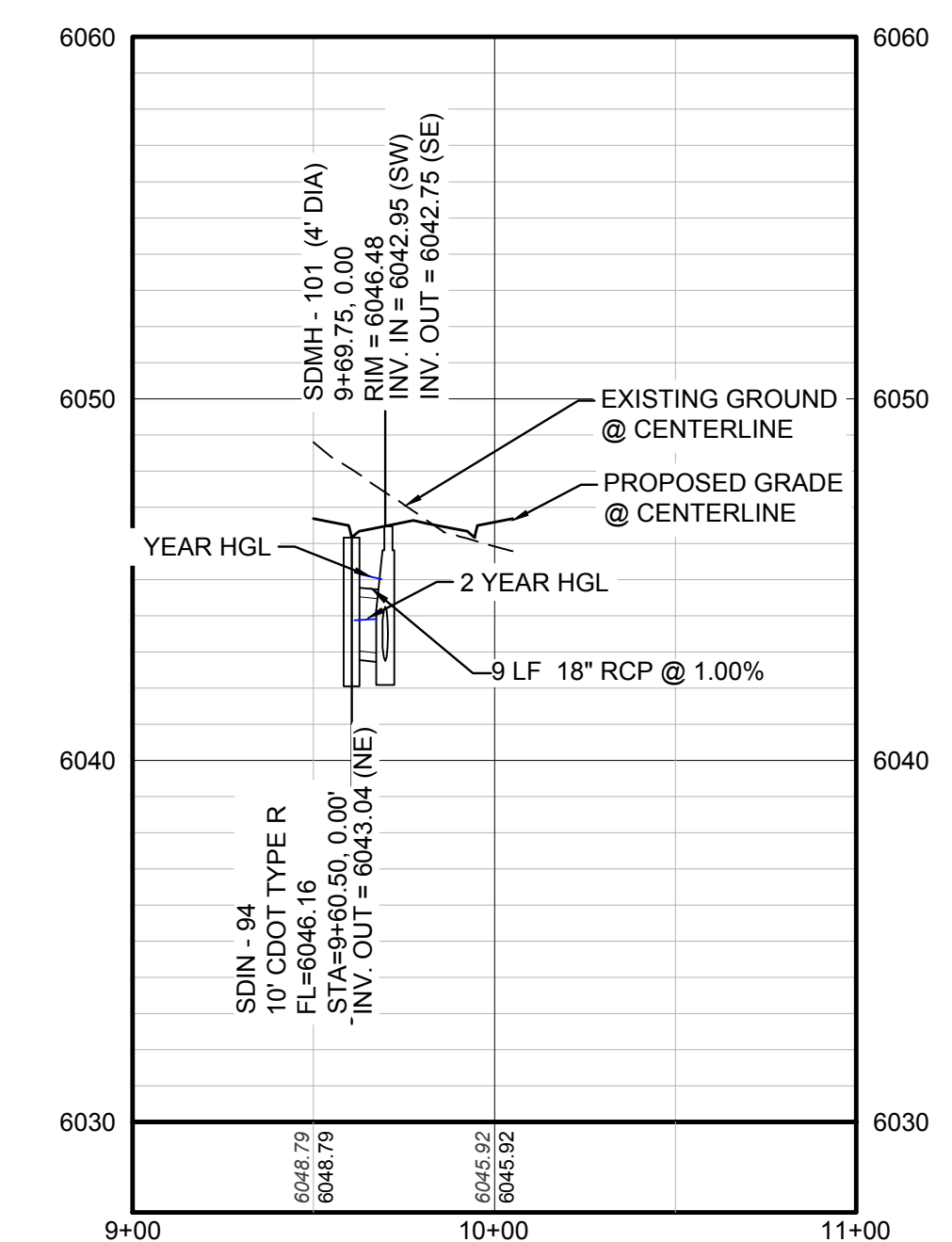


PLAN: SKY PILOT AVE STA: 16+00.00 TO 19+50.00
HORIZONTAL SCALE: 1" = 50'



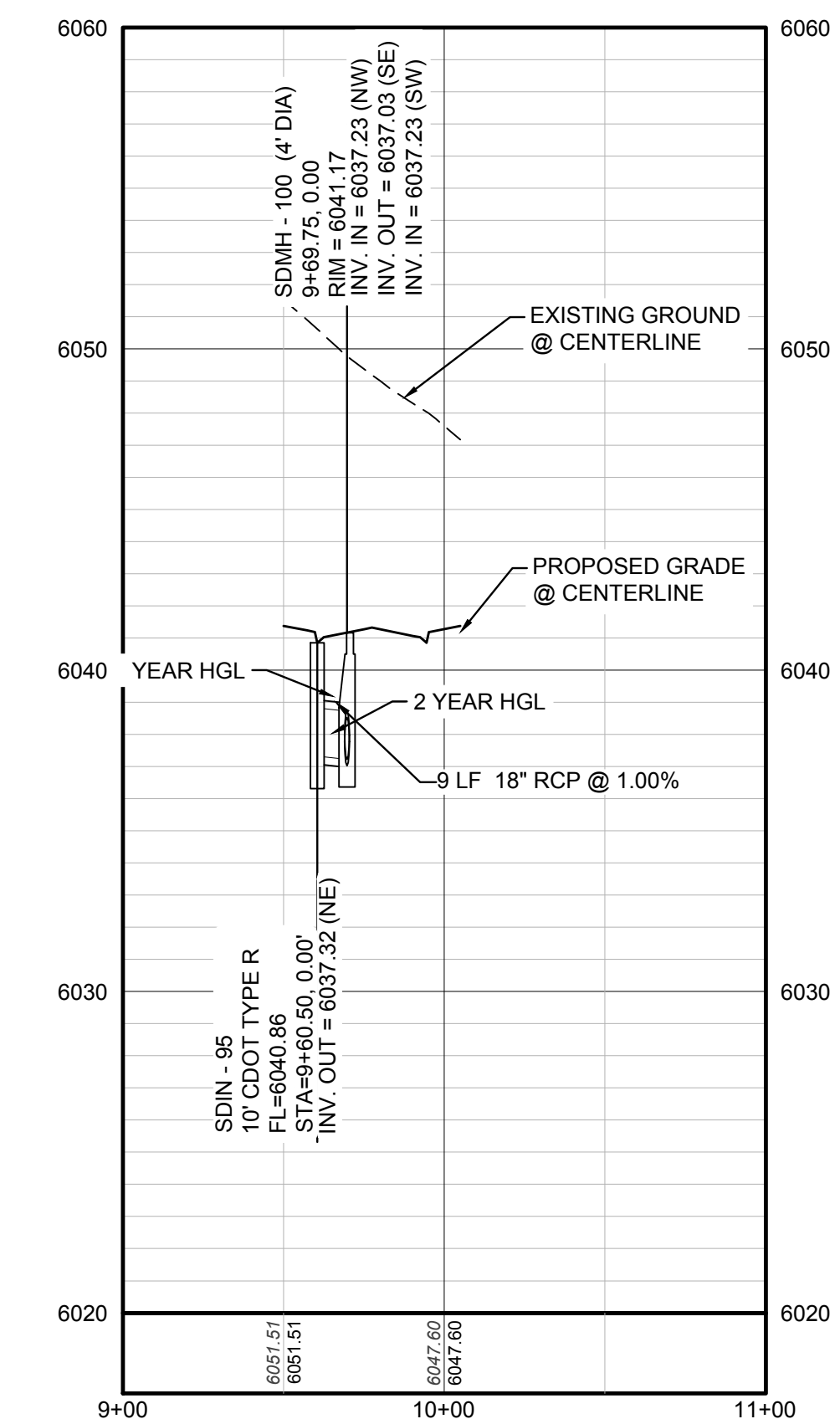
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HORIZONTAL: 1" = 50'

STORM LATERAL 55 - SEE THIS SHEET

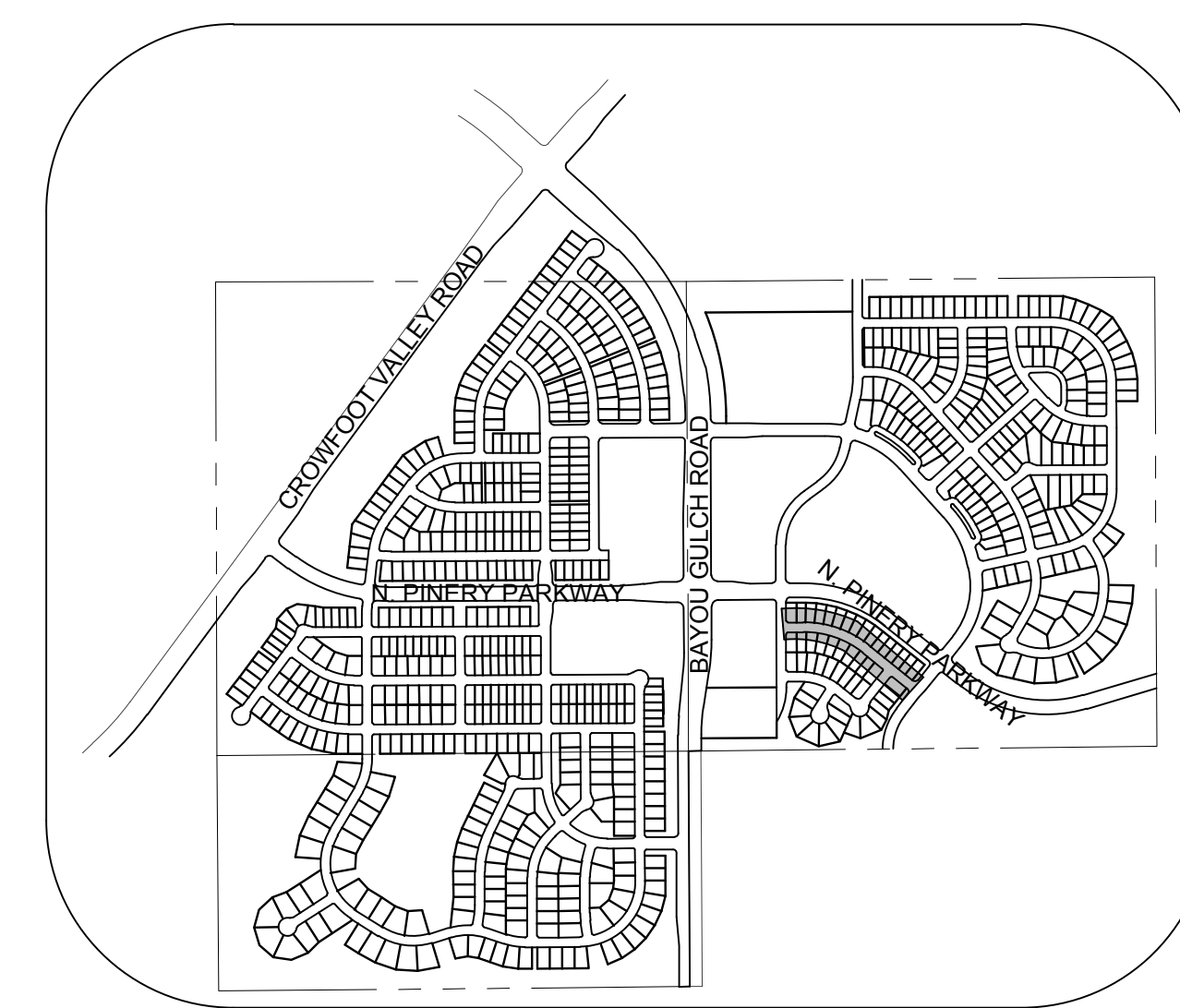


PROFILE: STORM LATERAL 55 STA: 9+00.00 TO 11+00.00
HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'

STORM LATERAL 56 - SEE THIS SHEET



PROFILE: STORM LATERAL 56 STA: 9+00.00 TO 11+00.00
HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'



KEYMAP
N.T.S.
LEGEND

②	BLOCK NUMBER	△	PROPOSED RANGE POINT
Ⓐ	LOT TYPE	---	CENTERLINE
6	LOT NUMBER	---	RIGHT-OF-WAY
⊕	PROPOSED BUTTERFLY VALVE	---	PROPERTY LINE
⌋	PROPOSED CAP WITH END OF LINE BLOWOFF	---	EDGE OF PAVEMENT
⌋	PROPOSED REDUCER	→	PROPOSED DIRECTION OF FLOW
⊕	PROPOSED VALVE	1.0%	PROPOSED SLOPE & DIRECTION
⊕	PROPOSED FIRE HYDRANT	---	EXISTING 5' CONTOUR
⊕	PROPOSED WL FITTING WITH THRUST BLOCK	---	EXISTING 1' CONTOUR
⊕	PROPOSED FLARED END SECTION	---	PROPOSED 5' CONTOUR
⊕	PROPOSED LOW POINT BLOW-OFF	---	PROPOSED 1' CONTOUR
⊕	PROPOSED AIR VALVE	---	PROPOSED STORM DRAIN
⊕	FUTURE PHASE VALVE	---	PROPOSED SEWER LINE WITH MANHOLE
⊕	FUTURE FIRE HYDRANT	---	PROPOSED SEWER LATERAL
⊕	PROPOSED LIGHT POLE	---	PROPOSED WATER LINE
⊕	PROPOSED SIDEWALK	---	PROPOSED WATER LATERAL W/ METER
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⊕	PROPOSED STORM DRAIN INLET	---	EXISTING OVERHEAD POWER
⊕	PROPOSED STORM DRAIN MANHOLE	---	EXISTING TELEPHONE LINE

ABBREVIATIONS

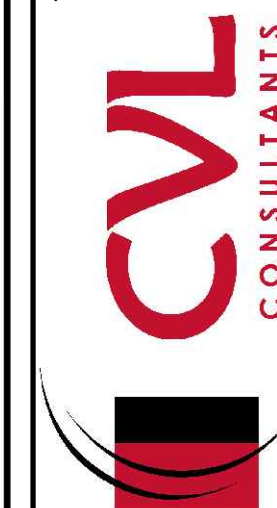
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BVP	BEGIN VERTICAL PROFILE	PVI	PT. OF VERTICAL INTERSECTION
CBO	CAP WITH BLOW OFF	PVT	POINT OF VERTICAL TANGENT
CRR	CURB RETURN RADIUS	RCBC	REINFORCED CONCRETE BOX CULVERT
ELEVATION	ELEVATION	RCP	REINFORCED CONCRETE PIPE
EP	EDGE OF PAVEMENT	ROW	RIGHT OF WAY
EVC	END VERTICAL CURVE	SC	SANITARY CAP
EVP	END VERTICAL PROFILE	SD	STORM DRAIN
FG	FINISHED GROUND	SL	SECTION LINE
FH	FIRE HYDRANT	SS	SANITARY SEWER
FL	FLOW LINE	STA	STATION
GV	GATE VALVE	T.O.P.	TOP OF PIPE
HR	HANDICAP CURB RAMP	UE	UTILITY EASEMENT
HP	HIGH POINT	VC	VERTICAL CURVE
INV	INVERT	WL	WATER LINE
K	CURVATURE COEFFICIENT	WLC	WATER LINE CONNECTION
LF	LINEAR FEET	WSE	WATER SURFACE ELEVATION

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TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

10338 E. Dry Creek Rd.
Suite 410
Englewood, CO 80110
Tel: (720) 482-9526
Fax: (720) 482-9548



HR 935 LLC
7353 South Alton Way
CENTENNIAL, CO 80112

TRAILS AT CROWFOOT
PRELIMINARY CONSTRUCTION DRAWINGS
STORM PLAN & PROFILE
SKY PILOT AVENUE

SCALE: AS SHOWN
DRAWN BY: JF
CHECKED BY: JU
DATE: OCTOBER 2017
FILE NO: 8130283701

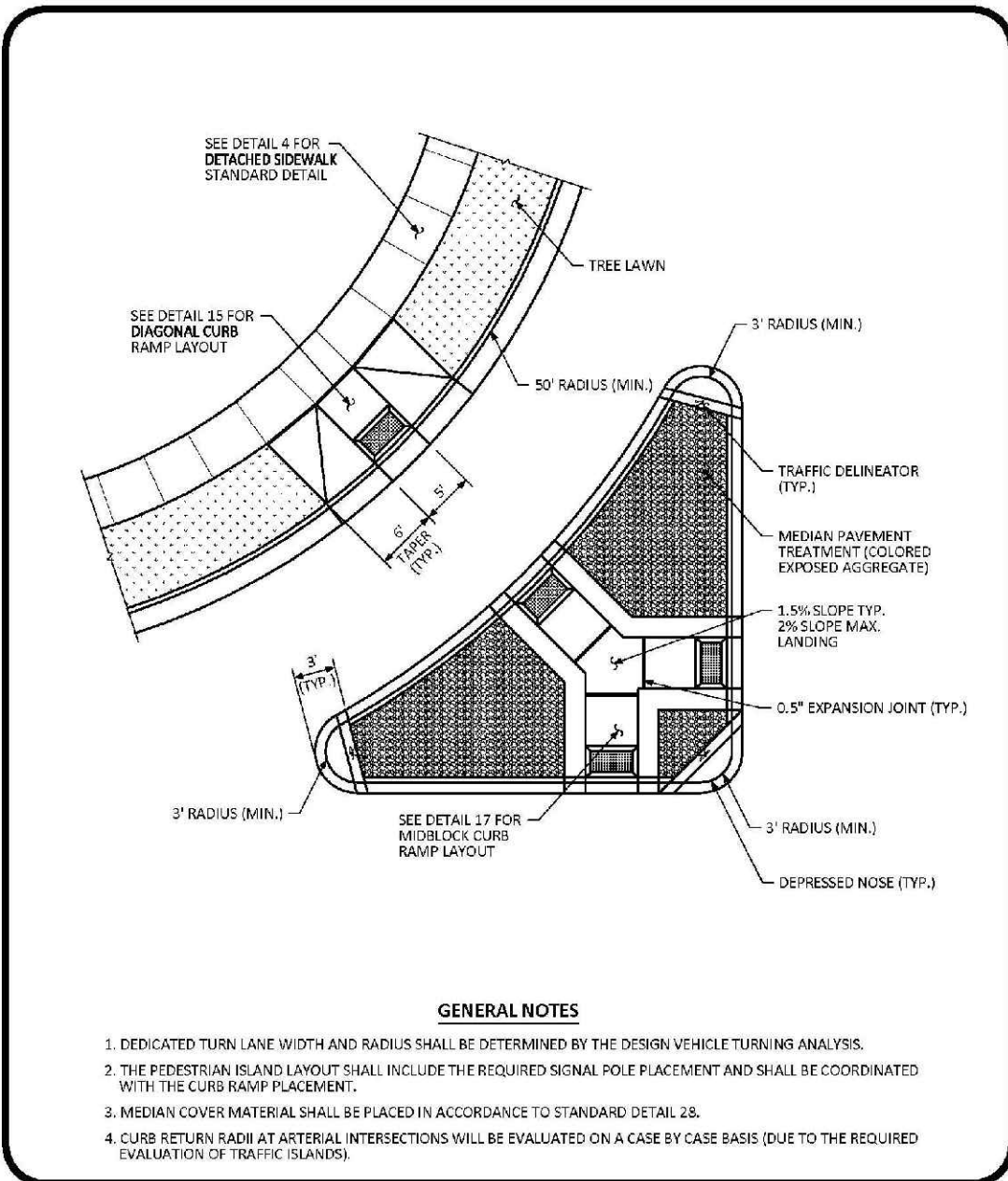
SHEET NUMBER 15

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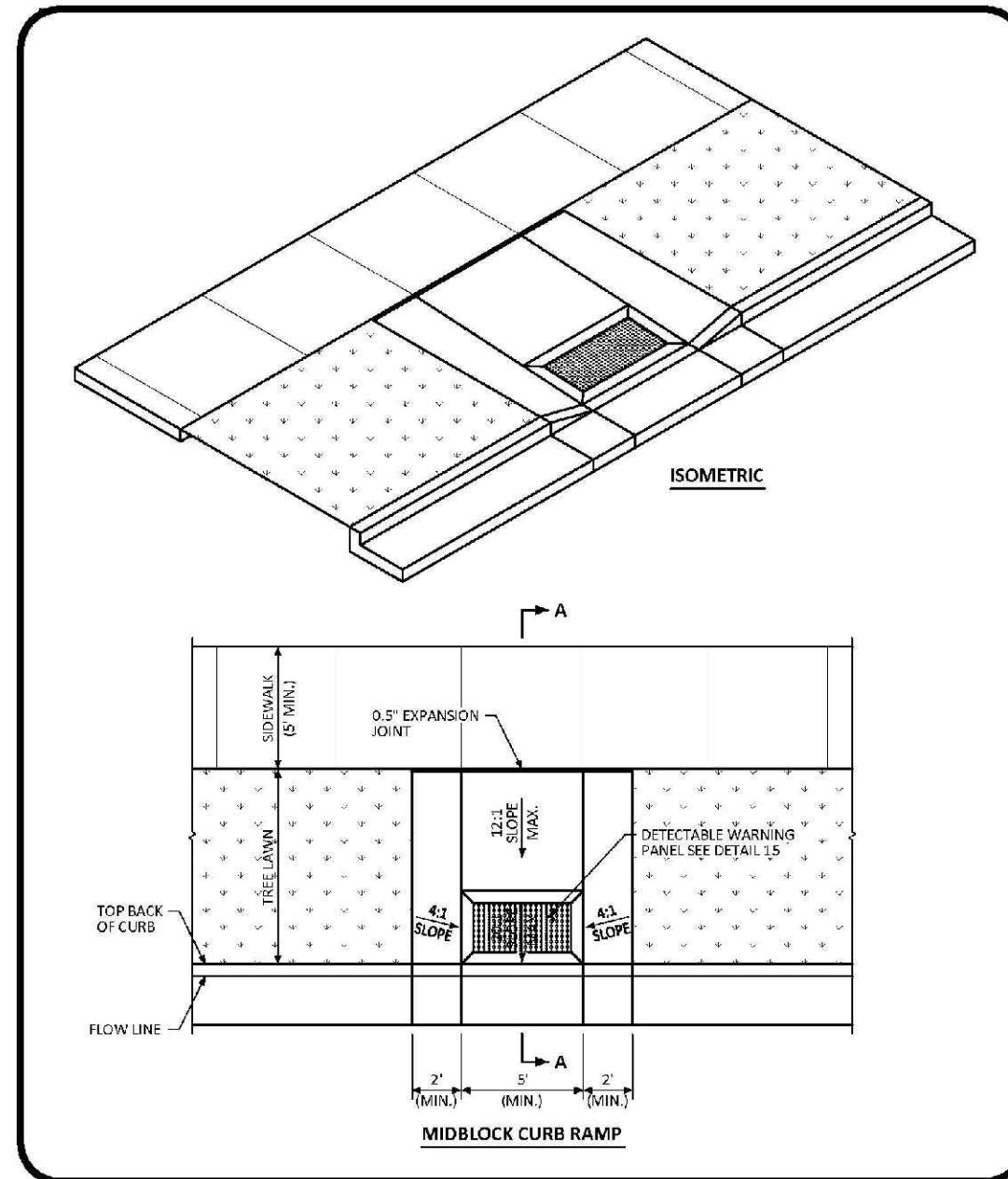
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THE DOUGLAS COUNTY CONTROL POINT KNOWN AS 1.069032, BEING A 3-1/4" ALUMINUM CAP, BEING LOCATED IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, HAVING A PUBLISHED ELEVATION OF 1799.2870 METERS (5903.13 FEET) NAVD '88 DATUM.

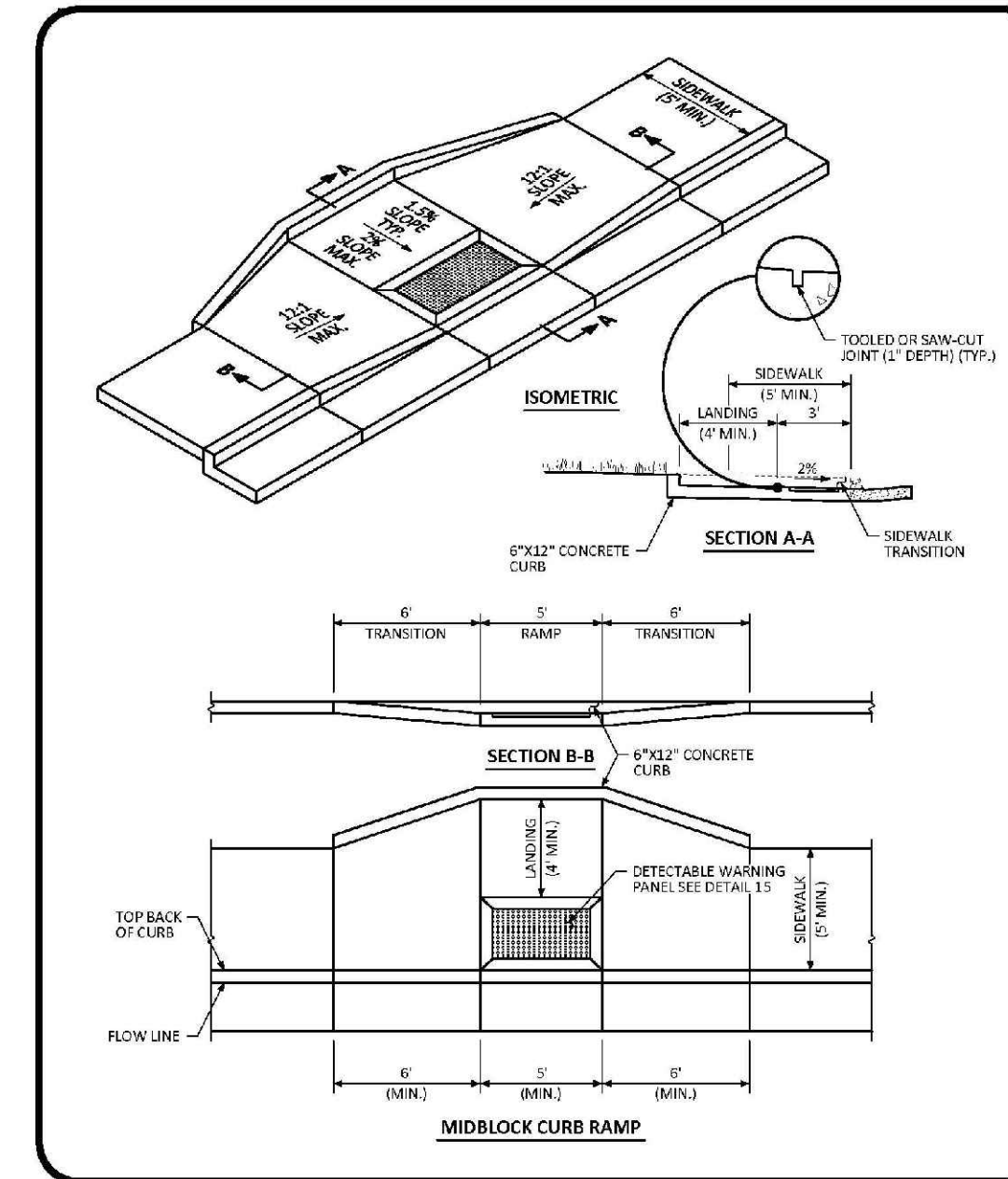
BASIS OF BEARINGS:
THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 9 BEING MONUMENTED AT THE NORTHEAST CORNER OF SAID SECTION 9 BY A 3-1/4" ALUMINUM CAP STAMPED LS 23053 AND AT THE EAST QUARTER CORNER OF SAID SECTION 9 BY A 2-1/2" ALUMINUM CAP STAMPED LS 6935 BEING CONSIDERED TO BEAR SOUTH 00°15'06" EAST, 2648.70 FEET.



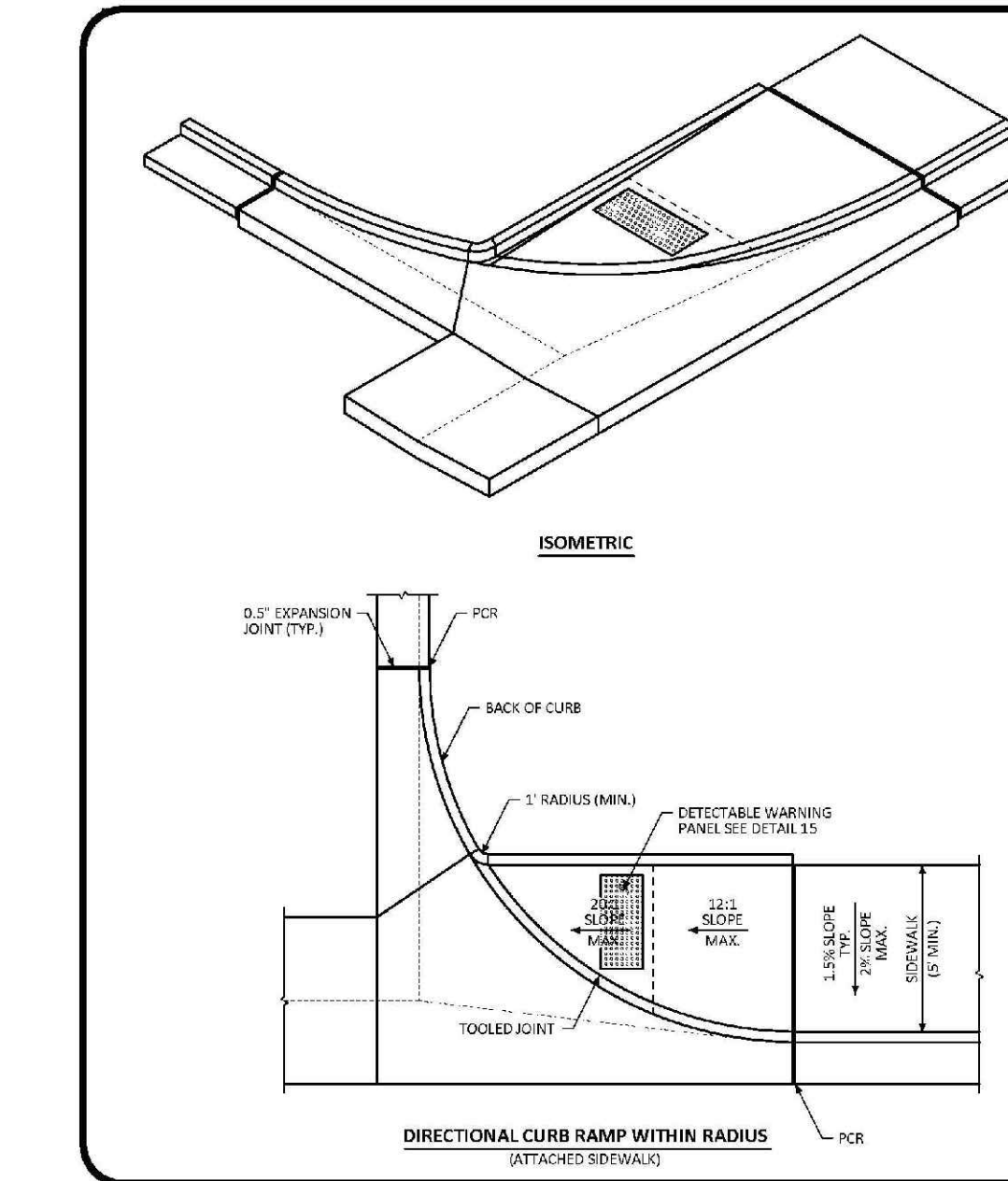
CURB RAMP ARTERIAL LAYOUT STANDARD DETAIL
 DATE: AUGUST 2014
 DETAIL: 16
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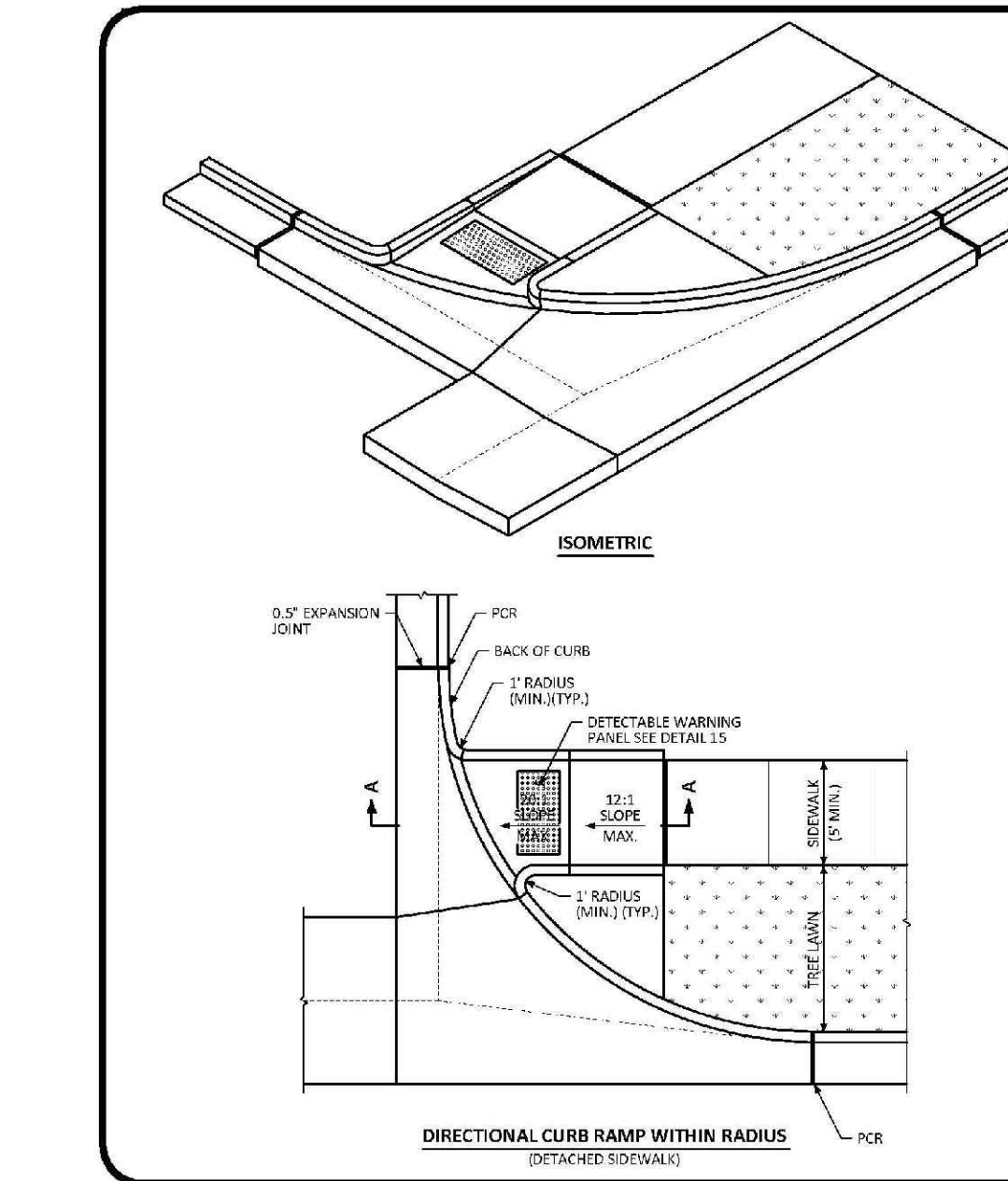
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 1 OF 2



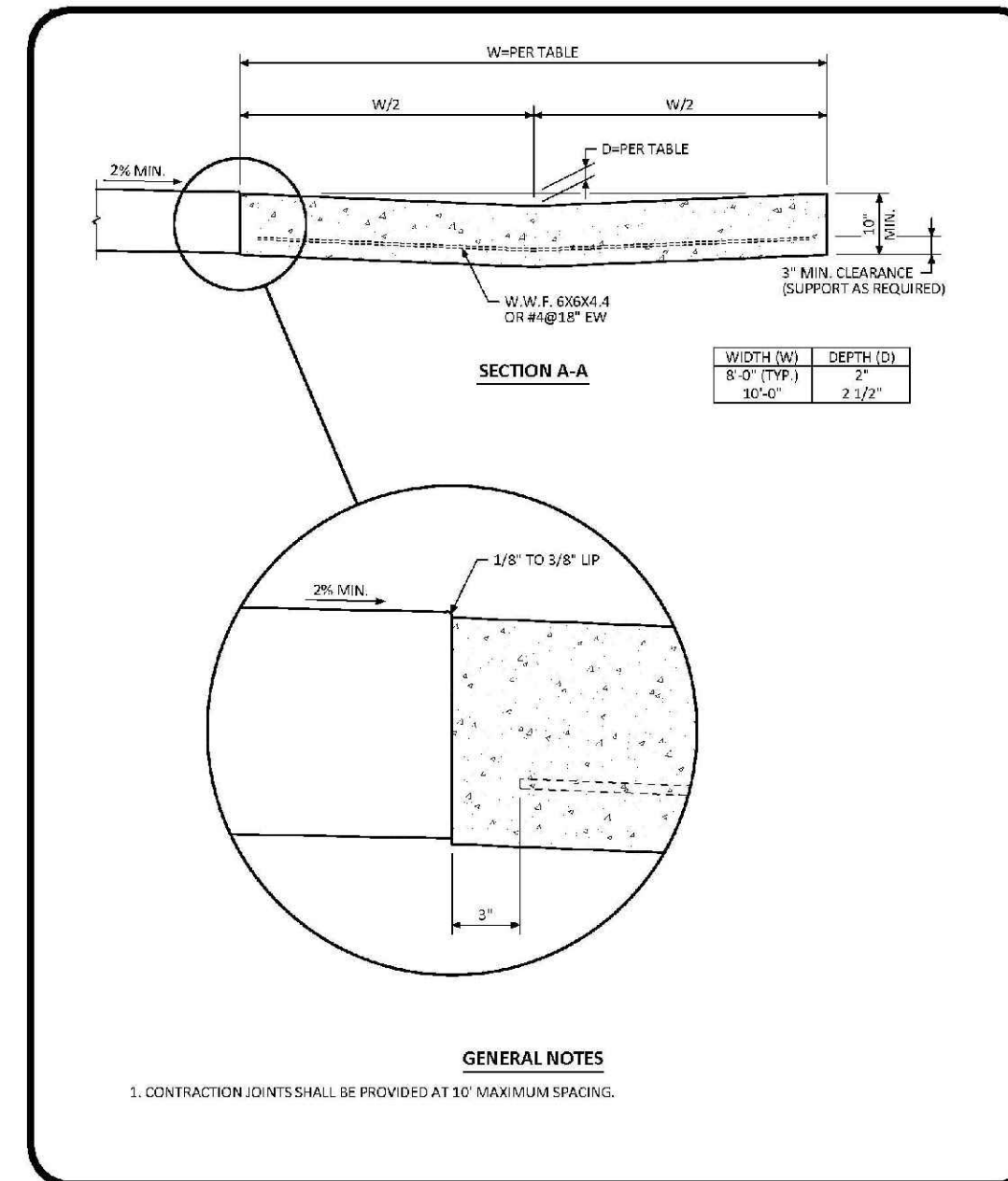
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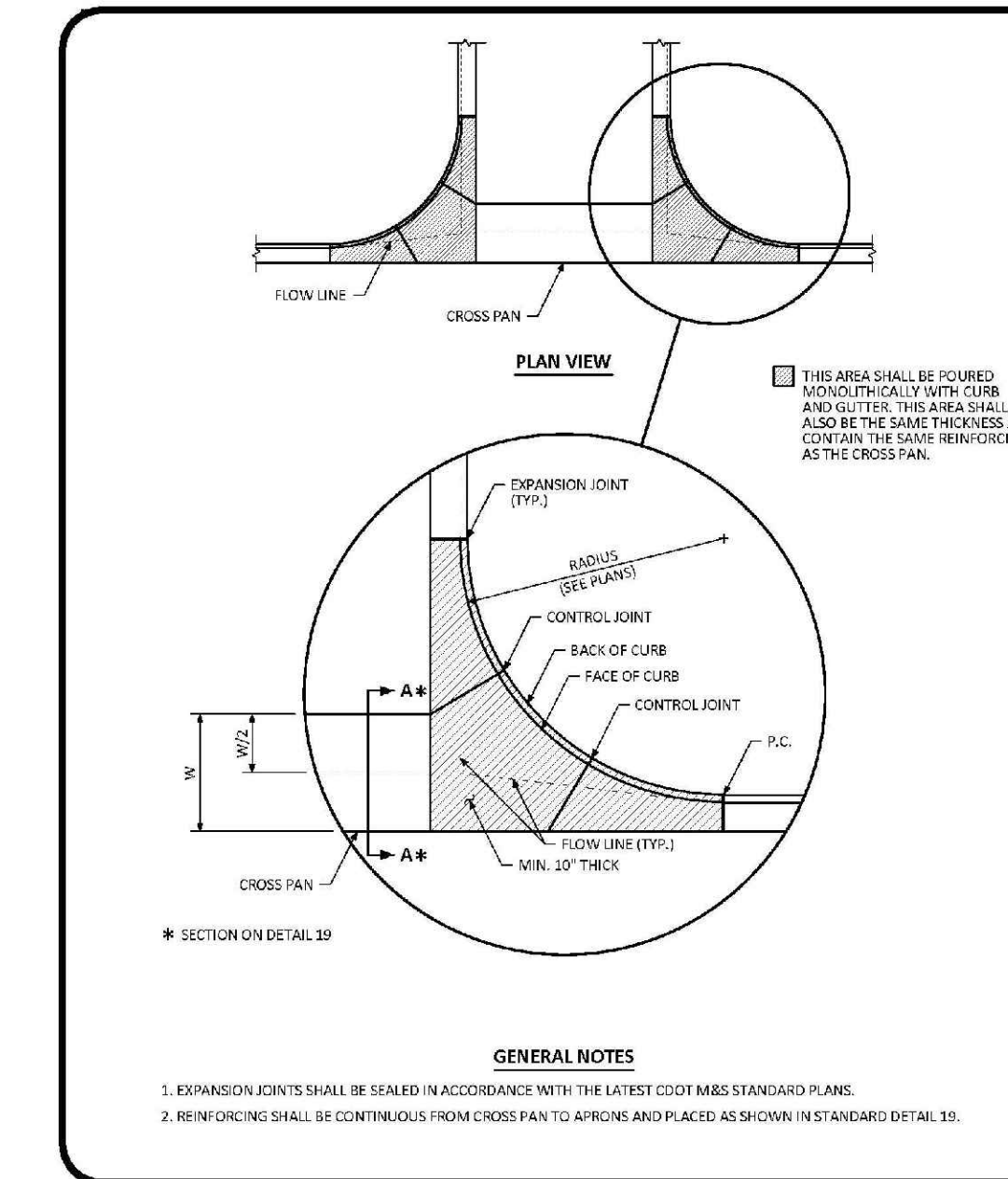
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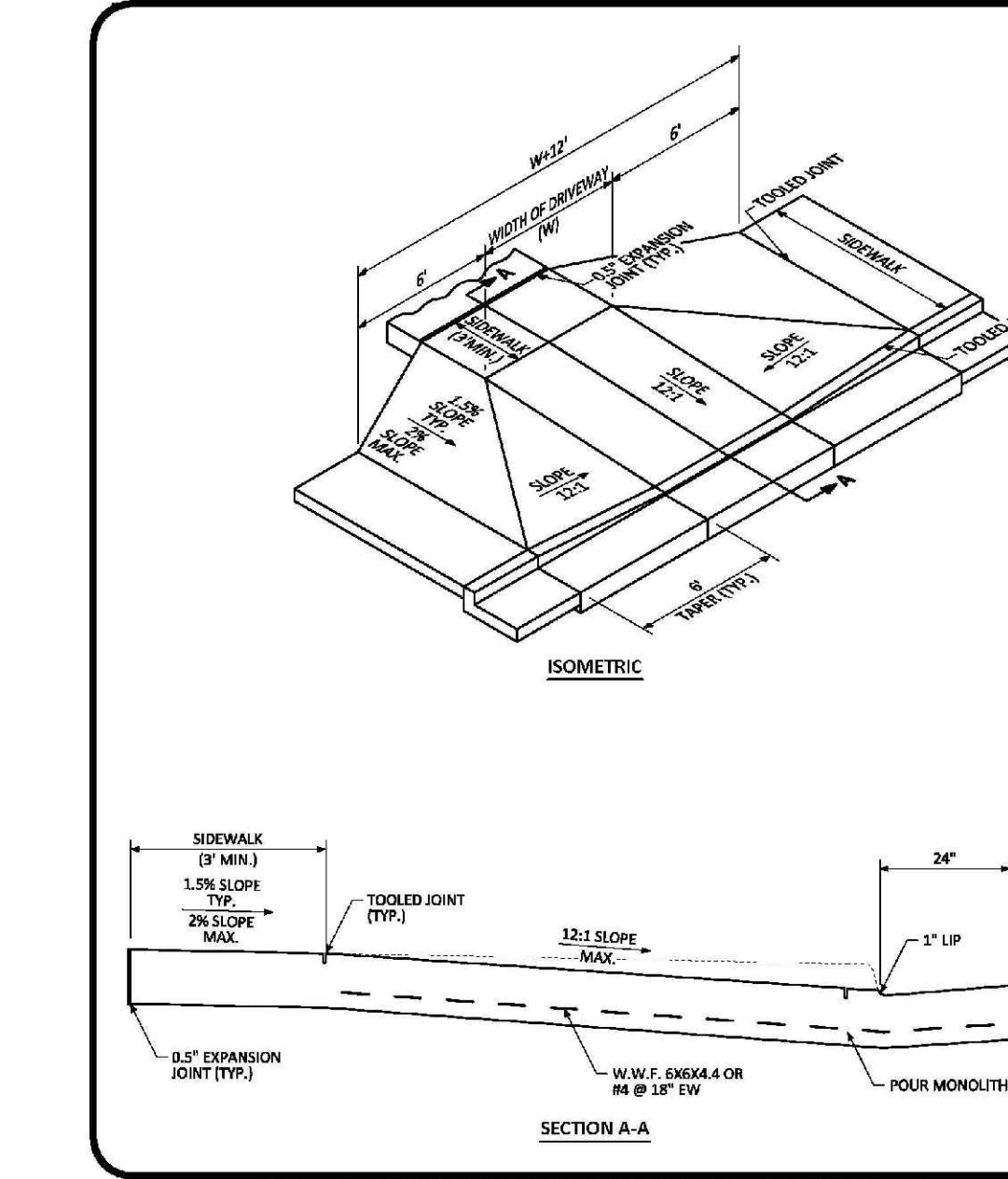
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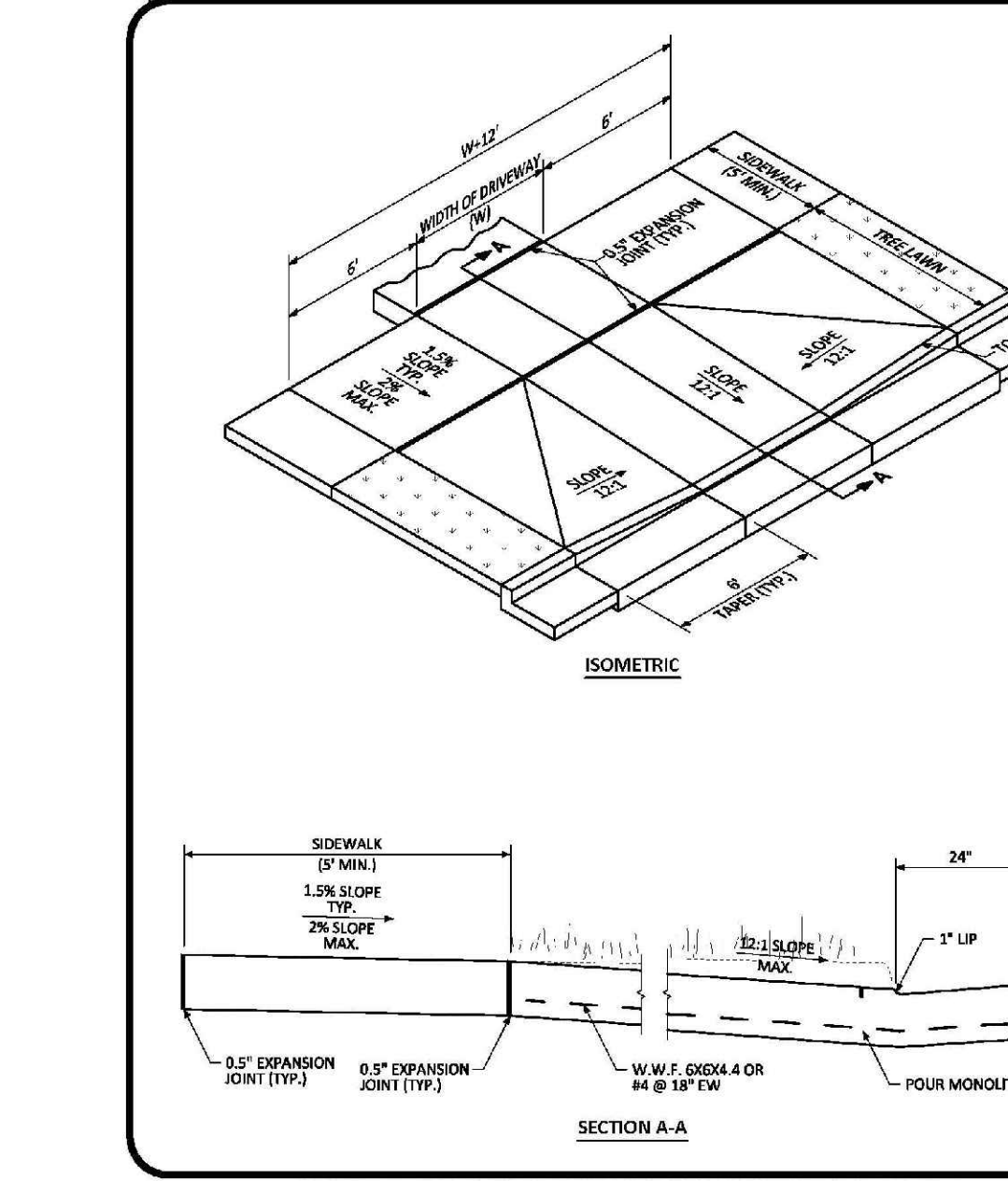
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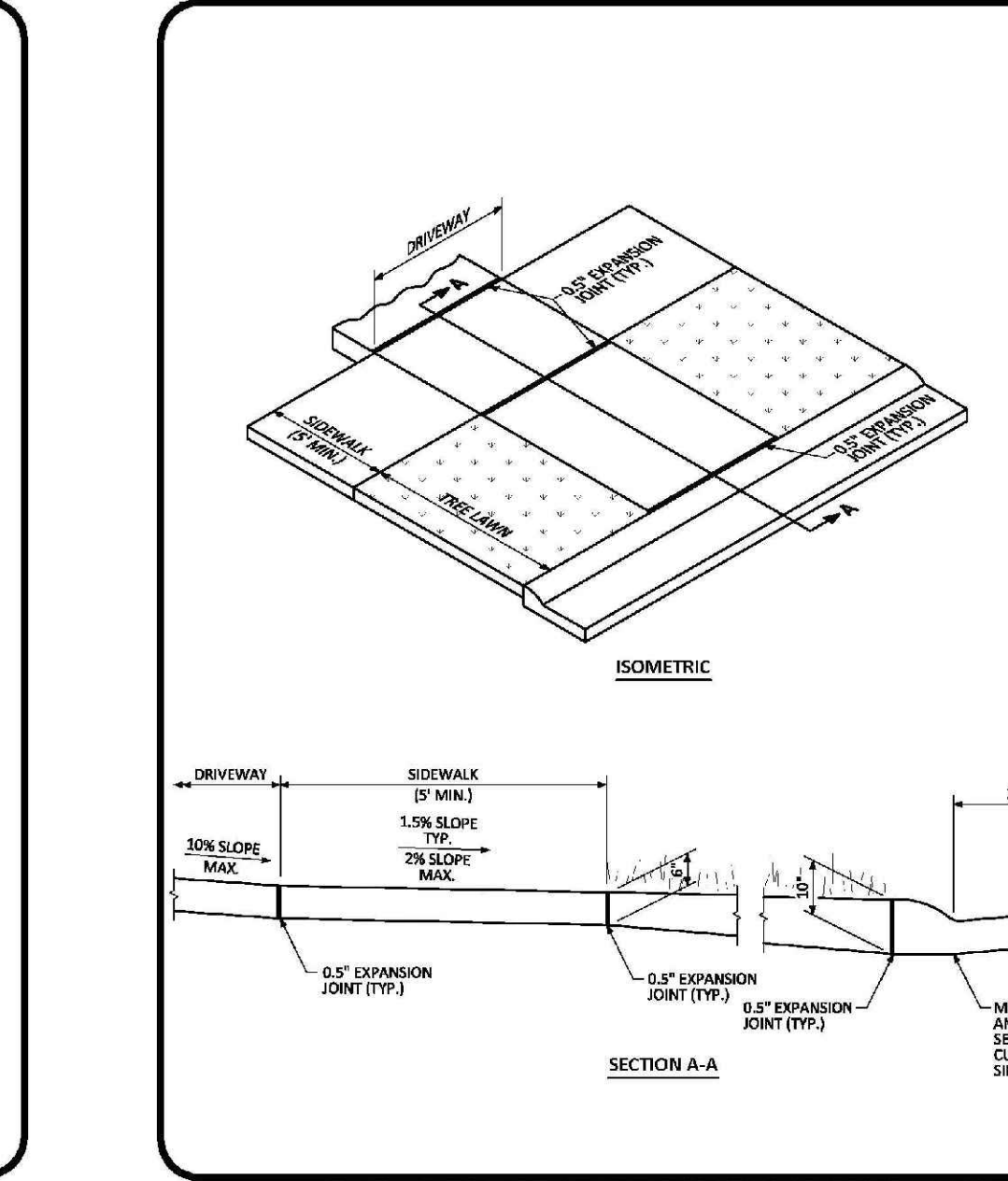
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 DETAIL: 20
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COMMERCIAL DRIVEWAY WITH ATTACHED SIDEWALK STANDARD DETAIL
 DATE: AUGUST 2014
 DETAIL: 21
 1 OF 2



COMMERCIAL DRIVEWAY WITH DETACHED SIDEWALK STANDARD DETAIL
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 DETAIL: 21
 2 OF 2

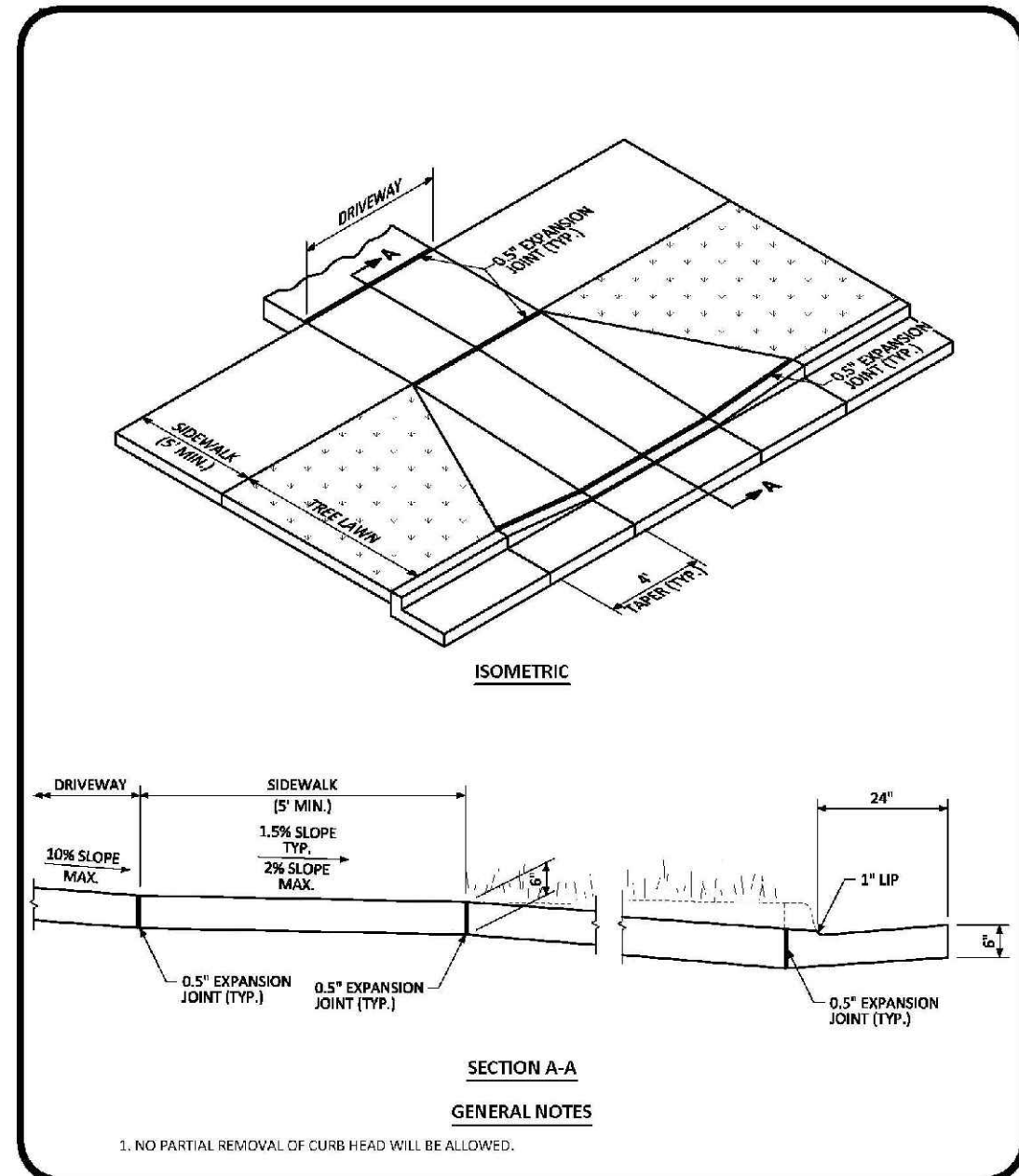


**RESIDENTIAL DRIVEWAY WITH 4\"/>
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 DETAIL: 22
 1 OF 1**

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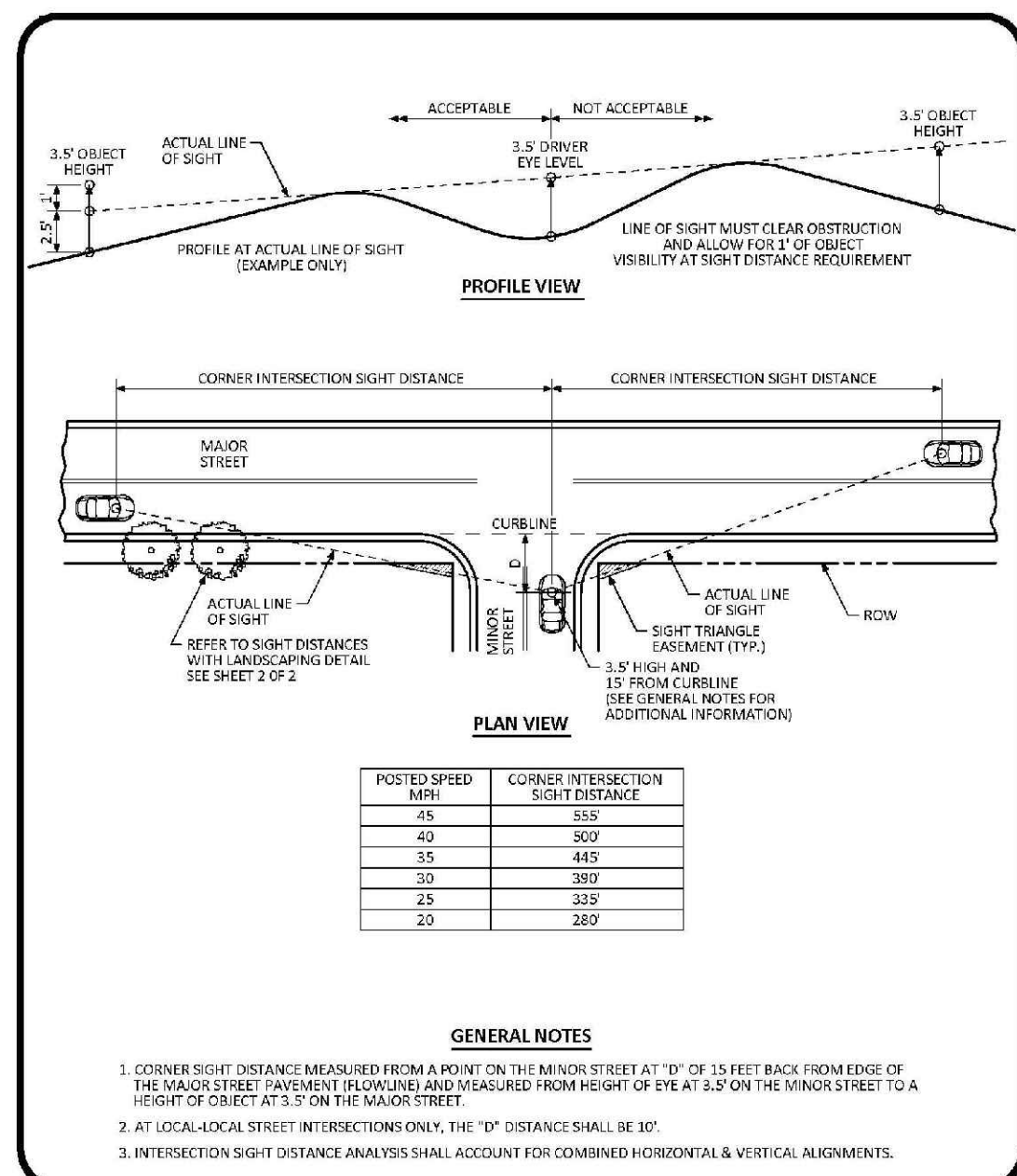
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	TRAILS AT CROWFOOT FILING 13 CONSTRUCTION DRAWINGS ROADWAY DETAILS															
HR 935 LLC 7353 South Alton Way CENTENNIAL, CO 80112																
10335 E. Dry Creek Rd. Suite 110 Englewood, CO 80110 Tel: (720) 482-9526 Fax: (720) 482-9546																
16																



Parker COLORADO

RESIDENTIAL DRIVEWAY WITH 6" VERTICAL CURB & GUTTER LAYOUT STANDARD DETAIL

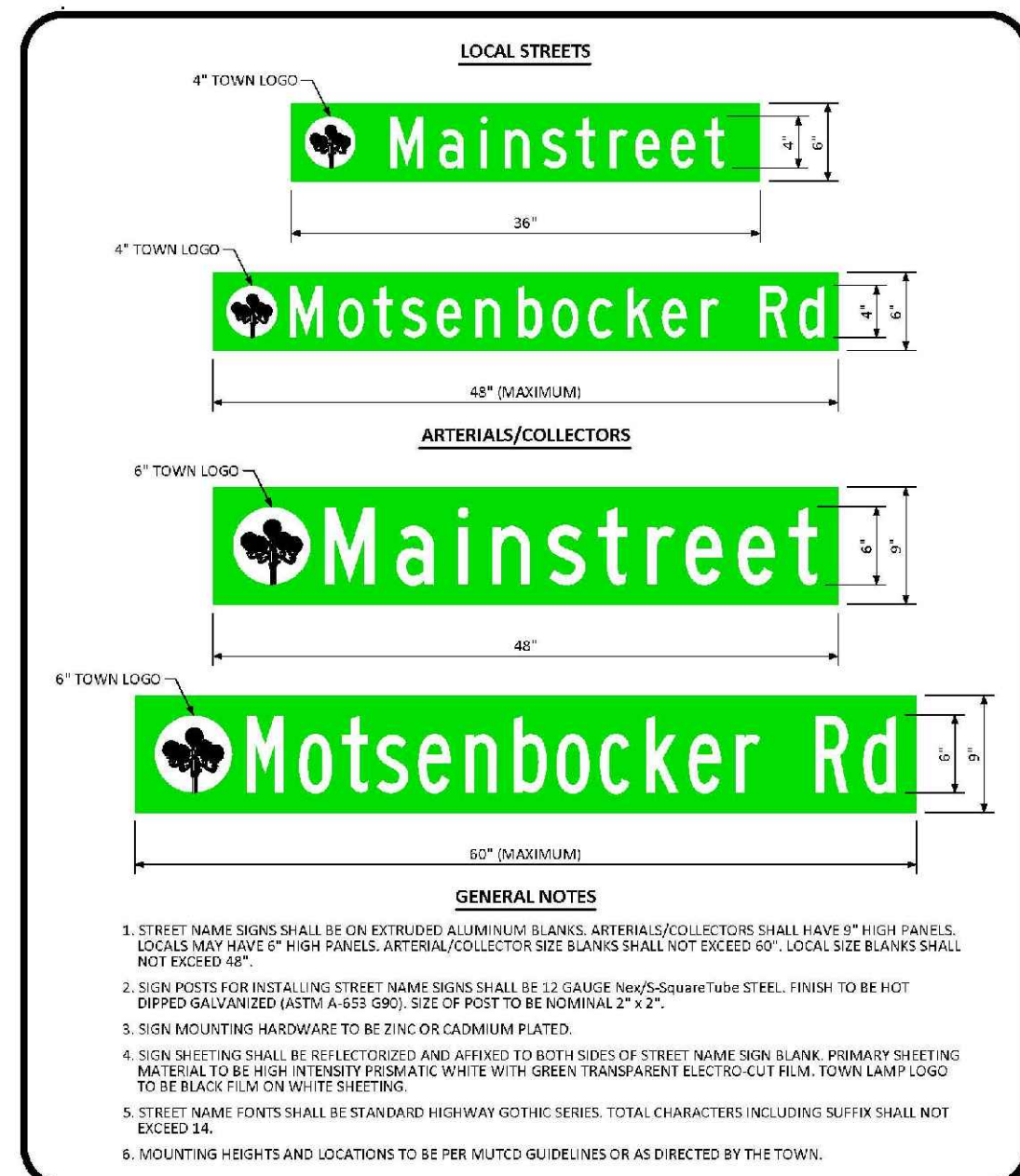
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Parker COLORADO

INTERSECTION SIGHT DISTANCE REQUIREMENTS STANDARD DETAIL

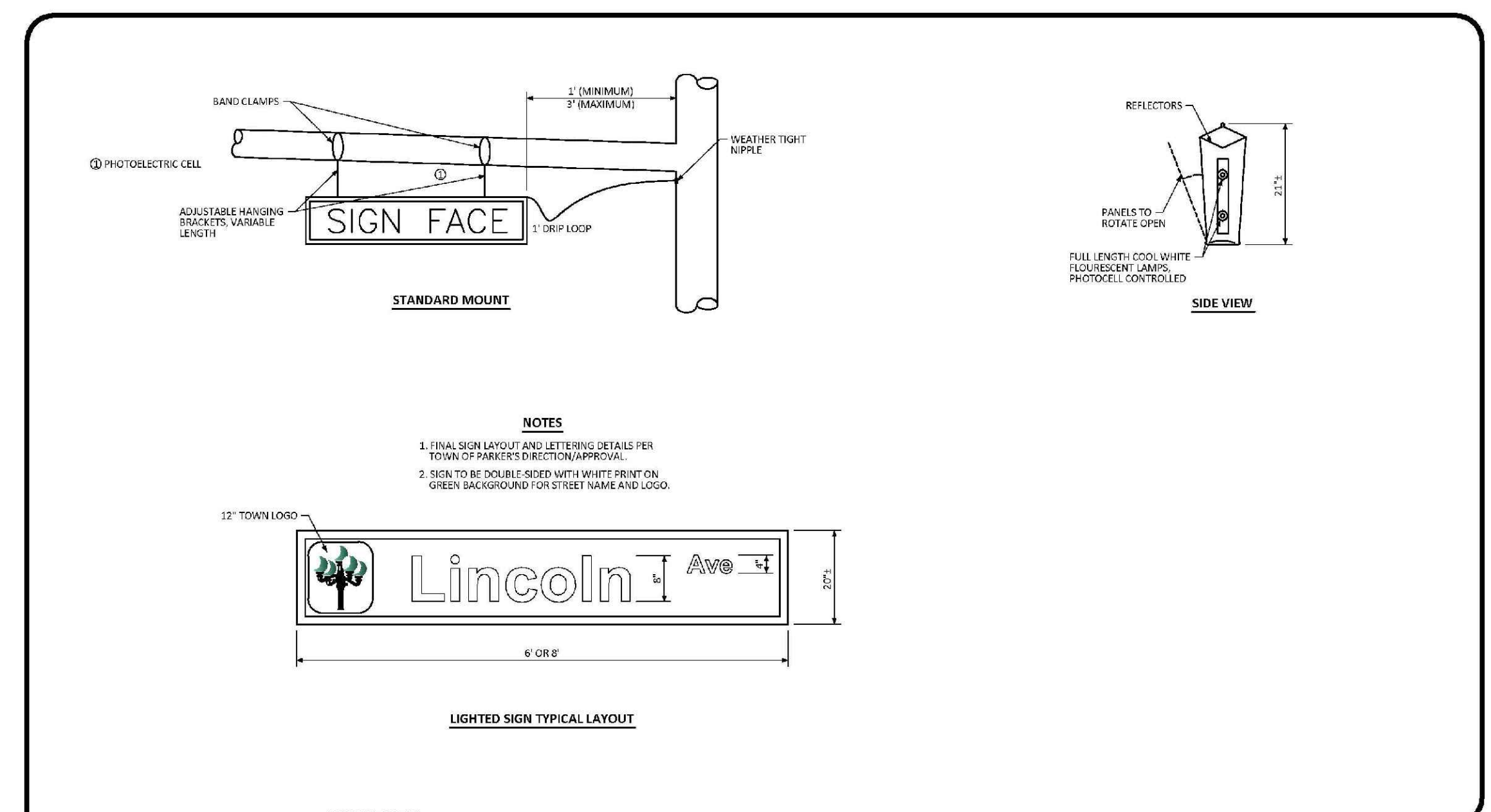
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Parker COLORADO

GROUND MOUNTED STREET NAME PANELS

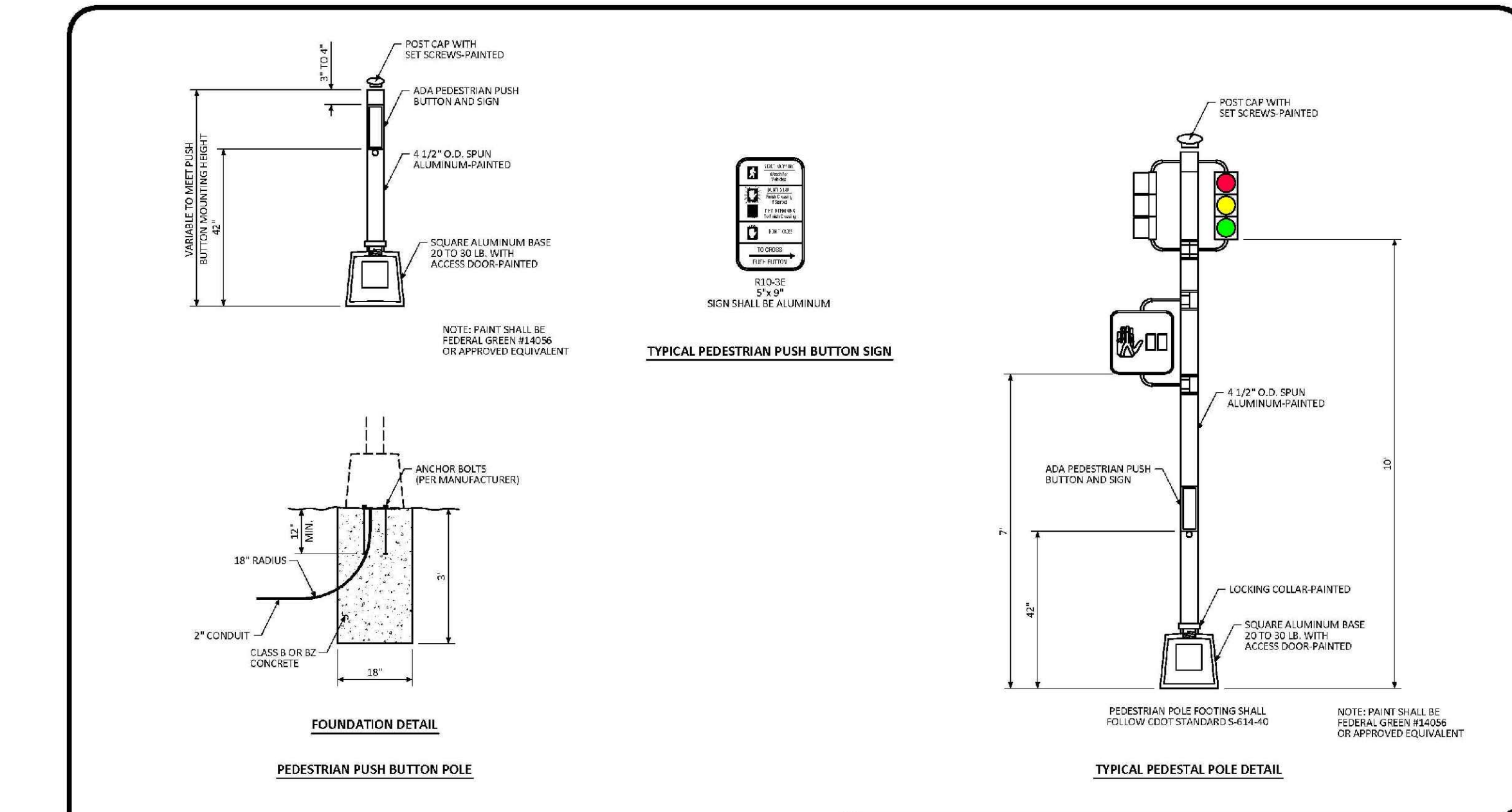
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Parker COLORADO

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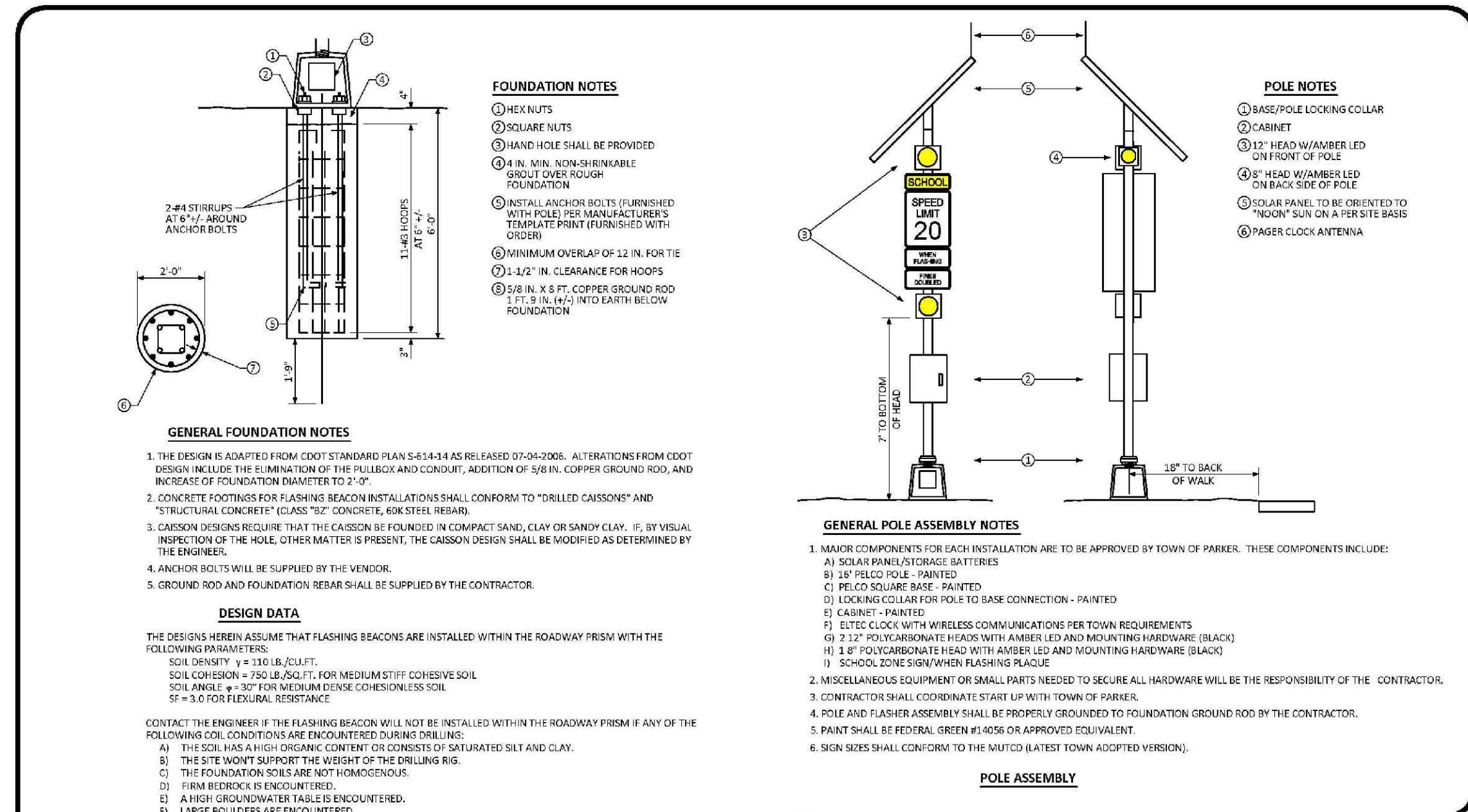
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DETAIL: 3
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Parker COLORADO

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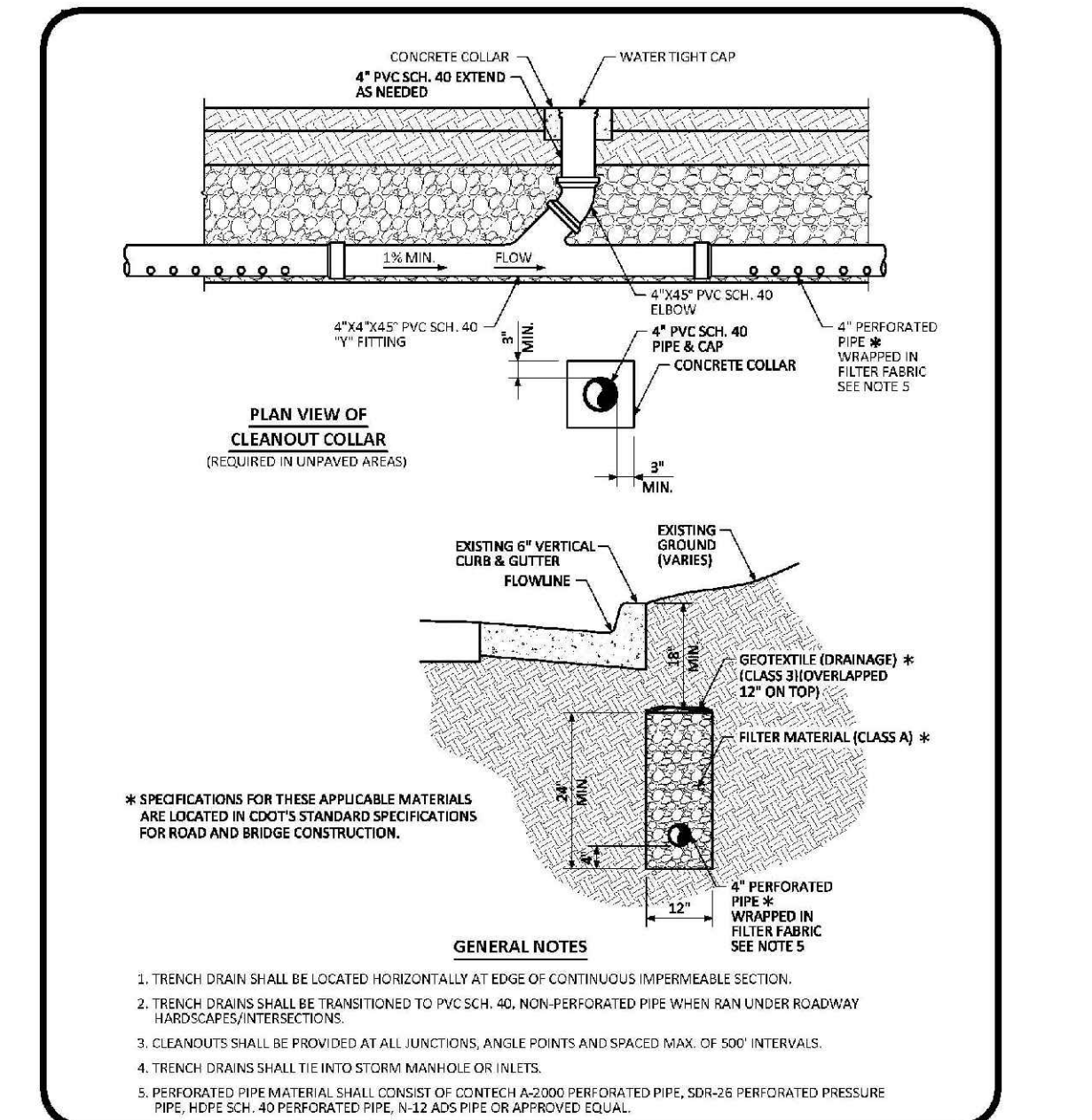
DATE: NOVEMBER 2012
DETAIL: 4
1 OF 1



Parker COLORADO

SCHOOL FLASHING BEACON STANDARD SIGNAL DETAIL

DATE: NOVEMBER 2012
DETAIL: 6
1 OF 1



Parker COLORADO

TRENCH DRAIN DETAIL SECTION STANDARD DETAIL

DATE: AUGUST 2014
DETAIL: 31
1 OF 1

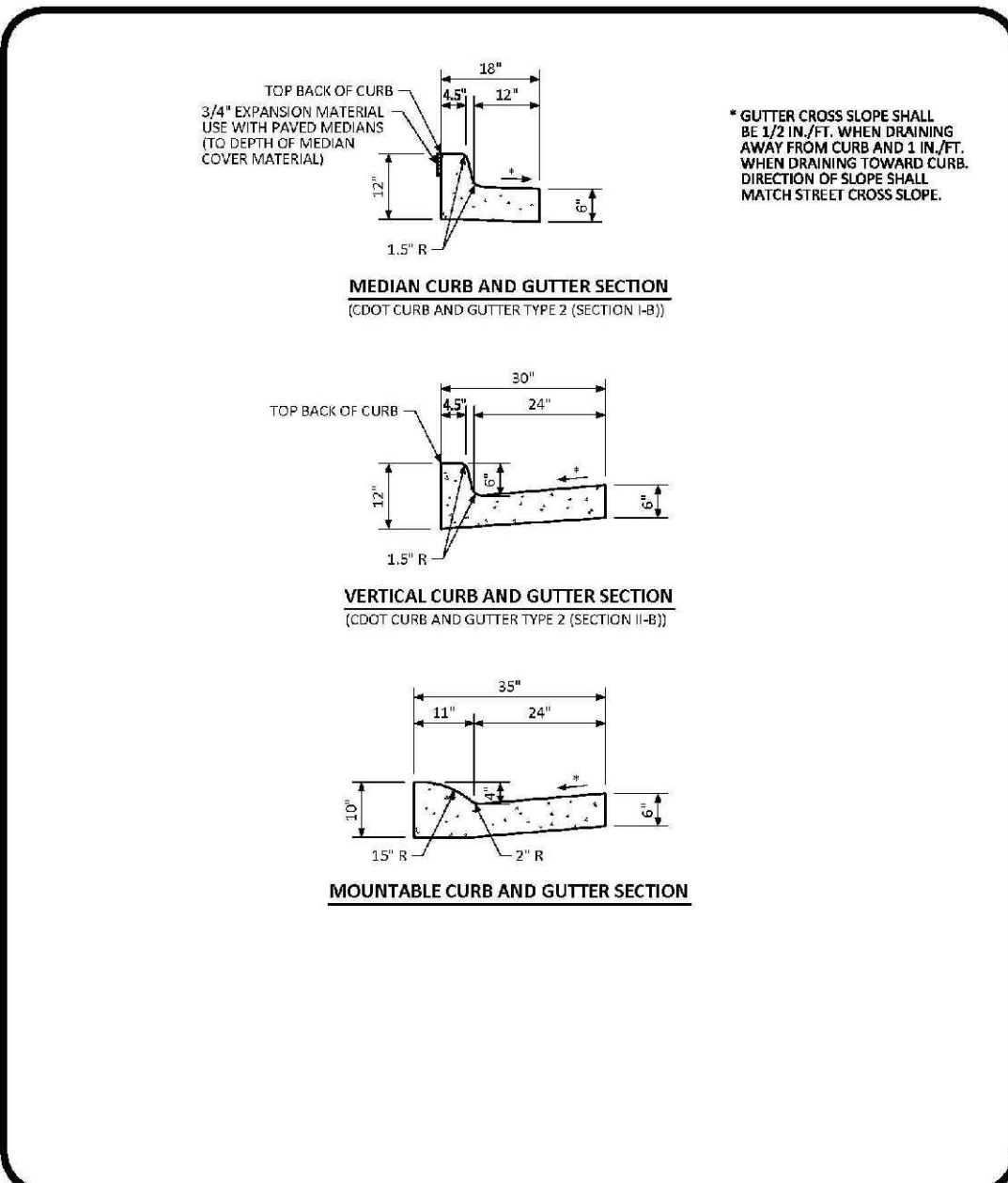
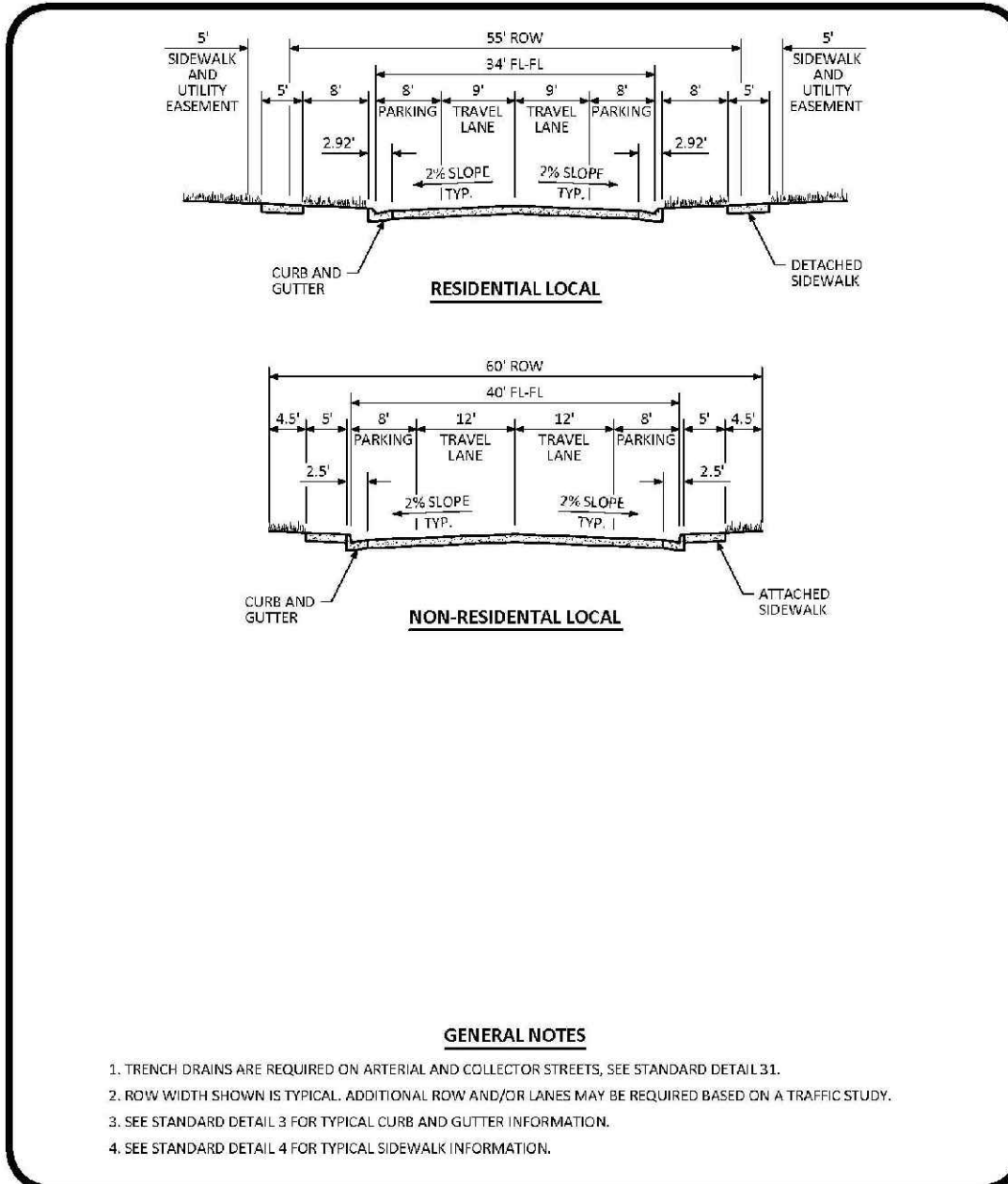
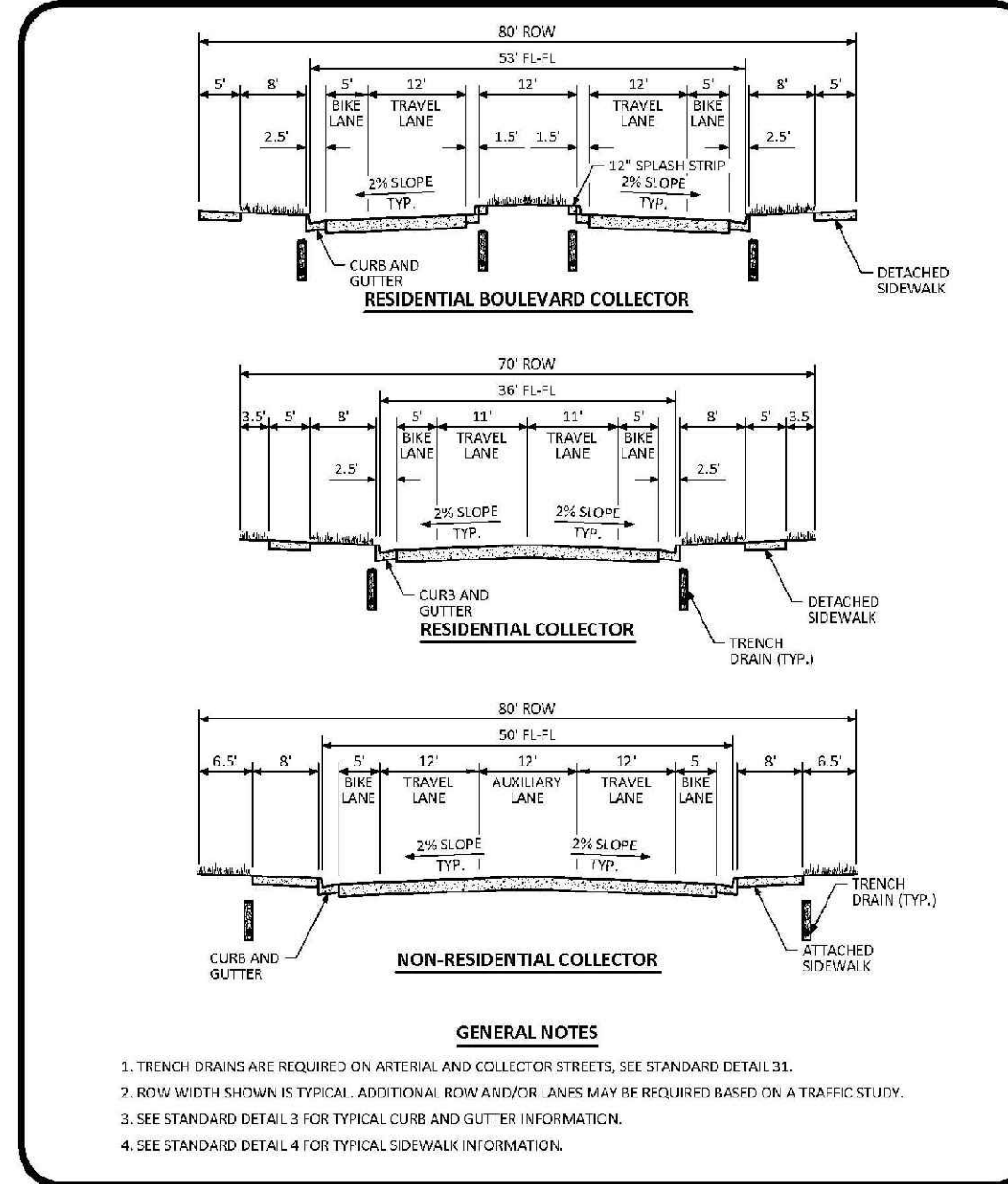
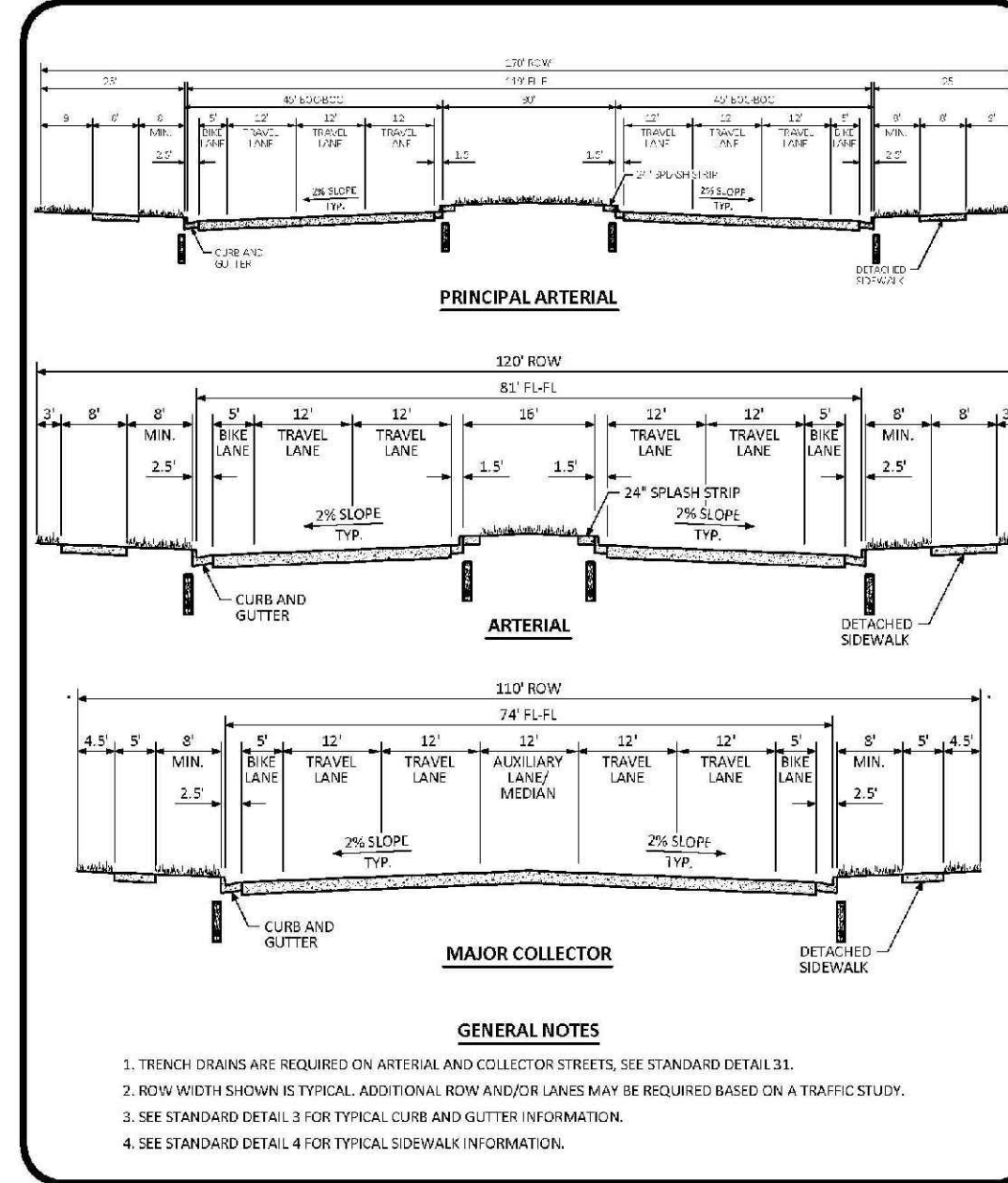
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SHEET NUMBER	DRAWN BY: JF	SCALE: AS SHOWN	CHECKED BY: JJ	DATE: SEPTEMBER 2017	FILE NO: 8130283701	TRAILS AT CROWFOOT FILING 13 CONSTRUCTION DRAWINGS ROADWAY DETAILS		HR 935 LLC 7353 South Alton Way CENTENNIAL, CO 80112		10333 E. Dry Creek Rd. Suite 410 Englewood, CO 80150 Tel: (720) 482-9526 Fax: (720) 482-9548	No.	Revisions	Appr.	Date
						17								

INDEX OF ROADWAY DESIGN STANDARD DETAILS

DETAIL CATEGORY	DETAIL NUMBER
STREET CROSS SECTIONS AND TYPICAL CURB SECTIONS	
TYPICAL STREET CROSS SECTIONS	1 OF 3
TYPICAL STREET CROSS SECTIONS	2 OF 3
TYPICAL STREET CROSS SECTIONS	3 OF 3
TYPICAL RESIDENTIAL UTILITY LOCATIONS	1 OF 2
CURB, GUTTER, AND SIDEWALK SECTIONS	2 OF 2
DETACHED SIDEWALK	1 OF 2
ATTACHED SIDEWALK	2 OF 2
LOCAL STREET CUL-DE-SAC LAYOUTS	
RESIDENTIAL LOCAL CUL-DE-SAC TYPICAL LAYOUT	5
RESIDENTIAL LOCAL KNUCKLE TYPICAL LAYOUT	6
RESIDENTIAL LOCAL CORNER KNUCKLE TYPICAL LAYOUT	7
STANDARD INTERSECTIONS	
RESIDENTIAL LOCAL INTERSECTION LAYOUT	8
RESIDENTIAL LOCAL/RESIDENTIAL COLLECTOR INTERSECTION LAYOUT	9
RESIDENTIAL LOCAL/ARTERIAL INTERSECTION LAYOUT	10
RESIDENTIAL LOCAL/MAJOR COLLECTOR INTERSECTION LAYOUT	11
NON-RESIDENTIAL LOCAL/ARTERIAL INTERSECTION LAYOUT	12
RESIDENTIAL COLLECTOR/ARTERIAL INTERSECTION LAYOUT	13
ARTERIAL/ARTERIAL INTERSECTION LAYOUT	14
CURB RAMPS	
DIAGONAL CURB RAMP LAYOUT	15 OF 2
DIAGONAL CURB RAMP LAYOUT	16 OF 2
RAVINE/ARTERIAL LAYOUT	17 OF 2
MIDBLOCK CURB RAMP LAYOUT	18 OF 2
MIDBLOCK CURB RAMP LAYOUT	19 OF 2
DIRECTIONAL CURB RAMP WITHIN RADIUS LAYOUT	20 OF 2
DIRECTIONAL CURB RAMP WITHIN RADIUS LAYOUT	21 OF 2
DRIVEWAY AND CROSS PAN DETAILS	
CROSS PAN DETAIL	22
INTERSECTION CROSS PAN LAYOUT	23
COMMERCIAL DRIVEWAY WITH ATTACHED SIDEWALK	24 OF 2
COMMERCIAL DRIVEWAY WITH DETACHED SIDEWALK	25 OF 2
RESIDENTIAL DRIVEWAY WITH 4" MOUNTABLE CURB LAYOUT	26 OF 2
RESIDENTIAL DRIVEWAY WITH 4" MOUNTABLE CURB LAYOUT	27 OF 2
MISCELLANEOUS DETAILS	
PARALLEL PARKING LAYOUT AT INTERSECTIONS	28
INTERSECTION SIGHT DISTANCE REQUIREMENTS	29 OF 2
INTERSECTION SIGHT DISTANCE REQUIREMENTS	30 OF 2
MINIMUM STREET FLOOR DETERMINATION	31
APPROVAL CONNECTION BETWEEN OLD AND NEW PAVEMENTS	32
MEDIAN BULL NOSE TYPICAL SECTIONS	33 OF 2
MEDIAN BULL NOSE TYPICAL SECTIONS	34 OF 2
CURB CHASE DRAIN (RESIDENTIAL LAYOUT)	35 OF 2
CURB CHASE DRAIN (NON-RESIDENTIAL LAYOUT)	36 OF 2
CURB CHASE DRAIN (NON-RESIDENTIAL LAYOUT)	37 OF 2
TRENCH DRAIN DETAIL SECTION	38
INTERSECTION GRADING DETAIL FOR CONSTRUCTION PLANS	39
ORGANIC MOUNTAIN STREET NAME PLATES	40



INDEX OF ROADWAY DESIGN STANDARD DETAILS

DATE: JULY 2015

DETAIL: 1 OF 1

TYPICAL STREET CROSS SECTIONS STANDARD DETAIL

DATE: JULY 2015

DETAIL: 1 OF 3

TYPICAL STREET CROSS SECTIONS STANDARD DETAIL

DATE: JULY 2015

DETAIL: 2 OF 3

TYPICAL STREET CROSS SECTIONS STANDARD DETAIL

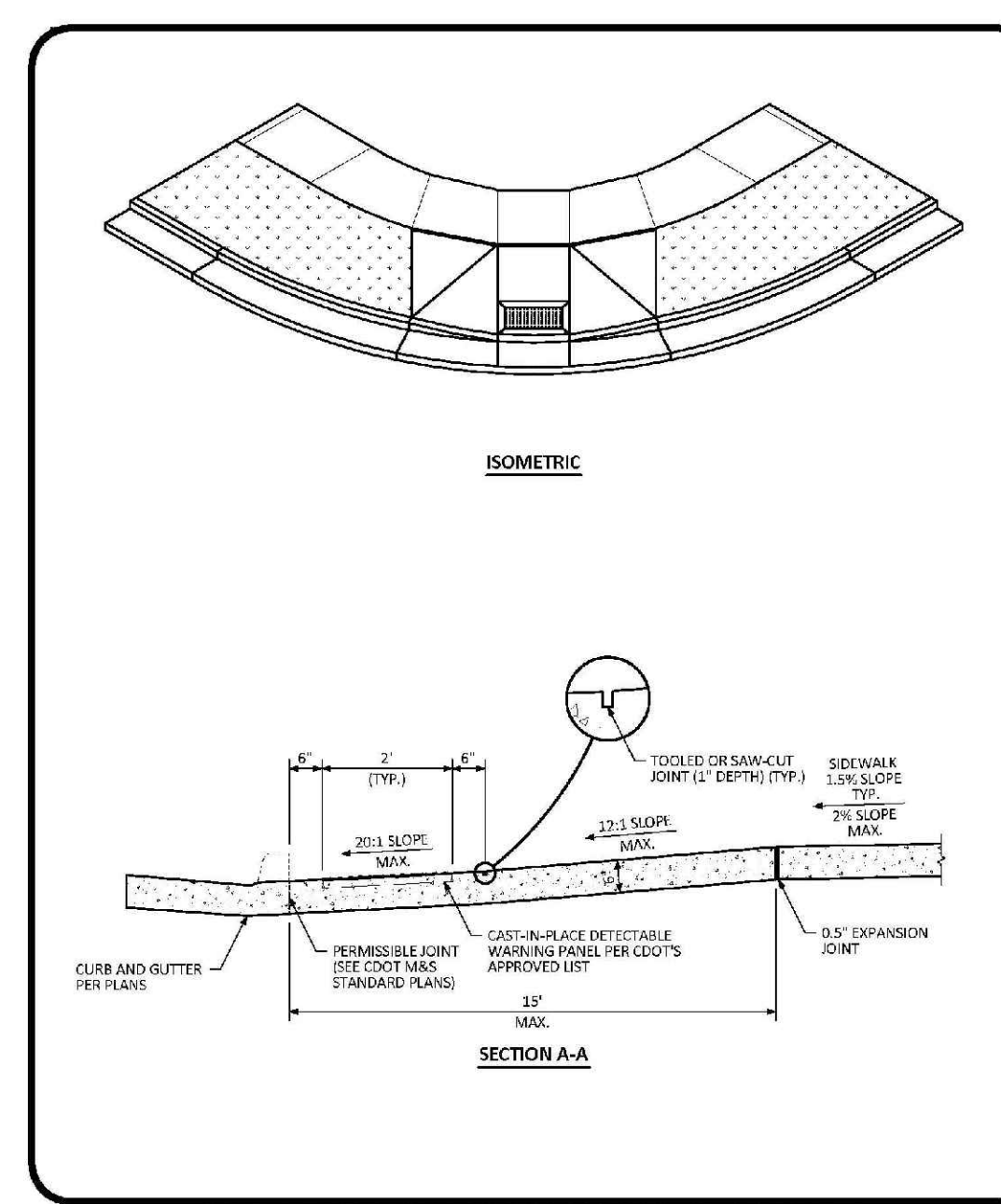
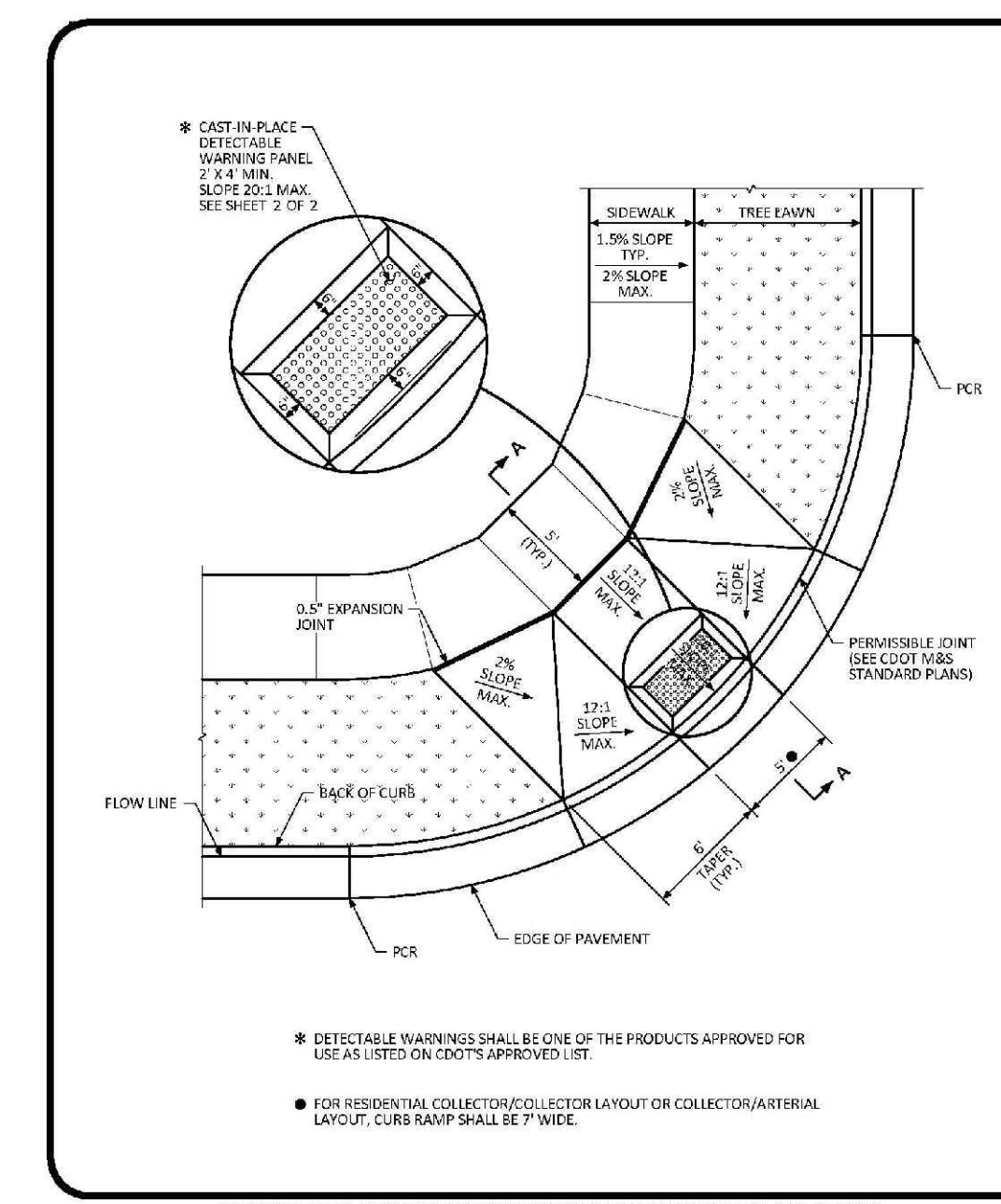
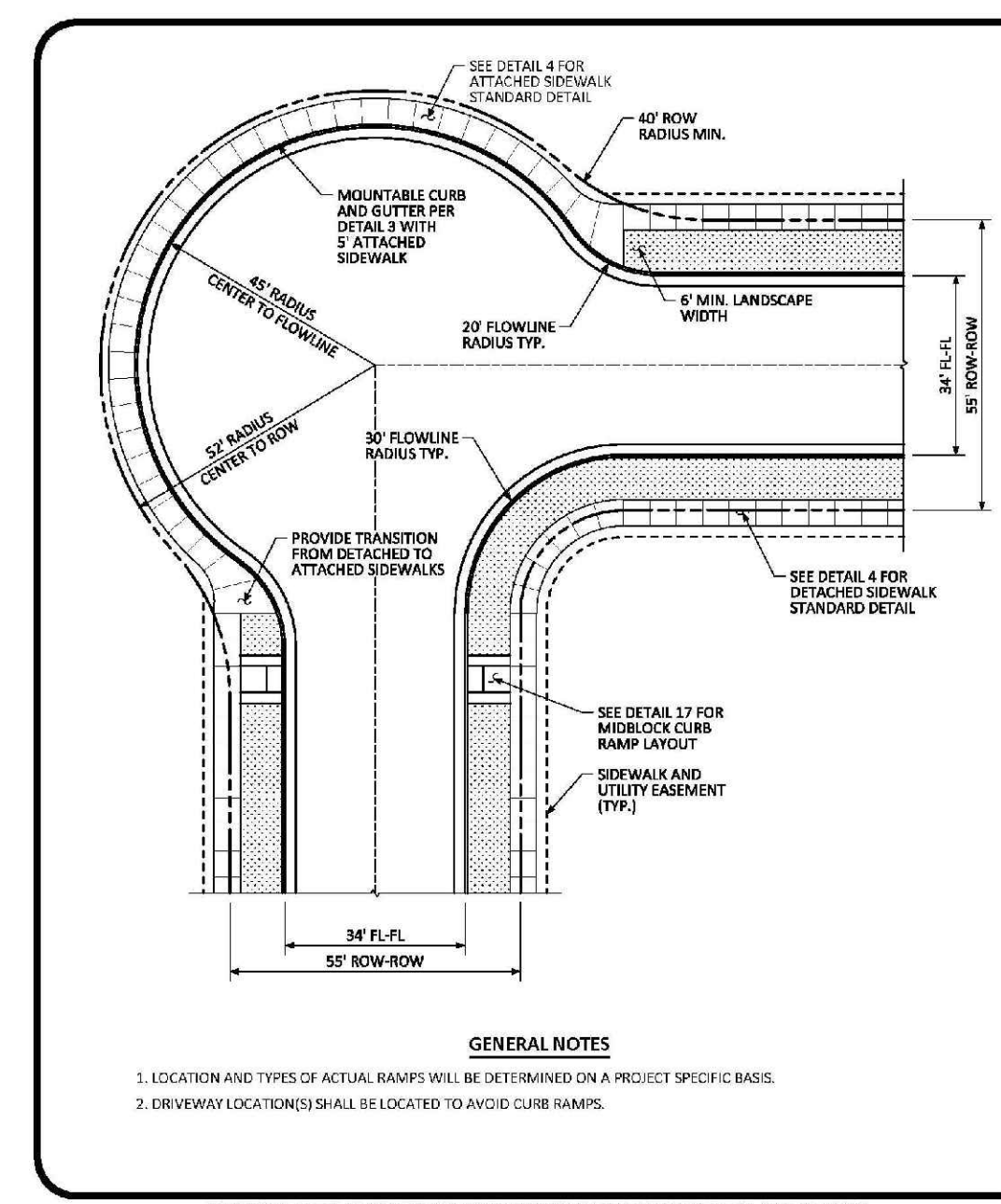
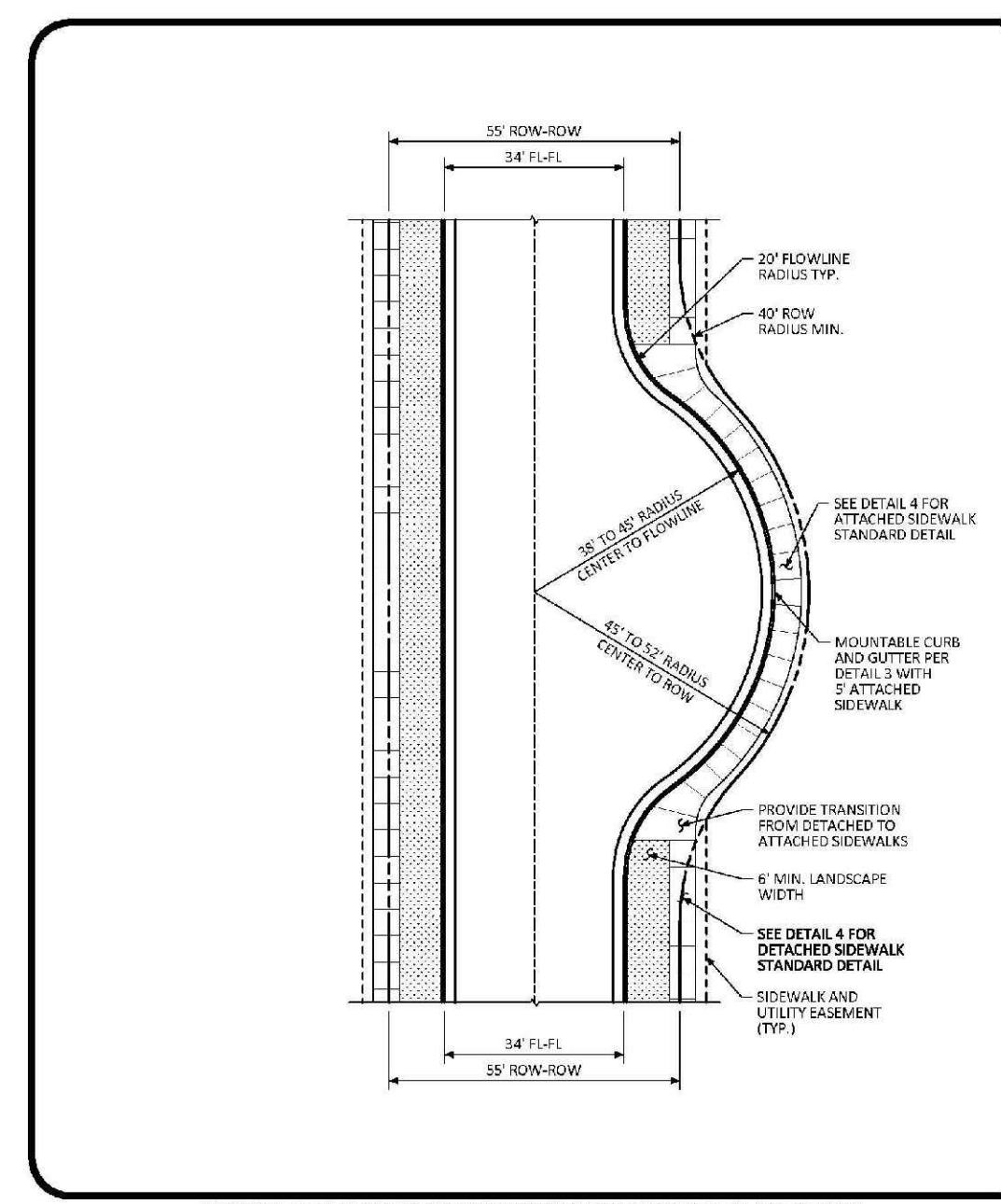
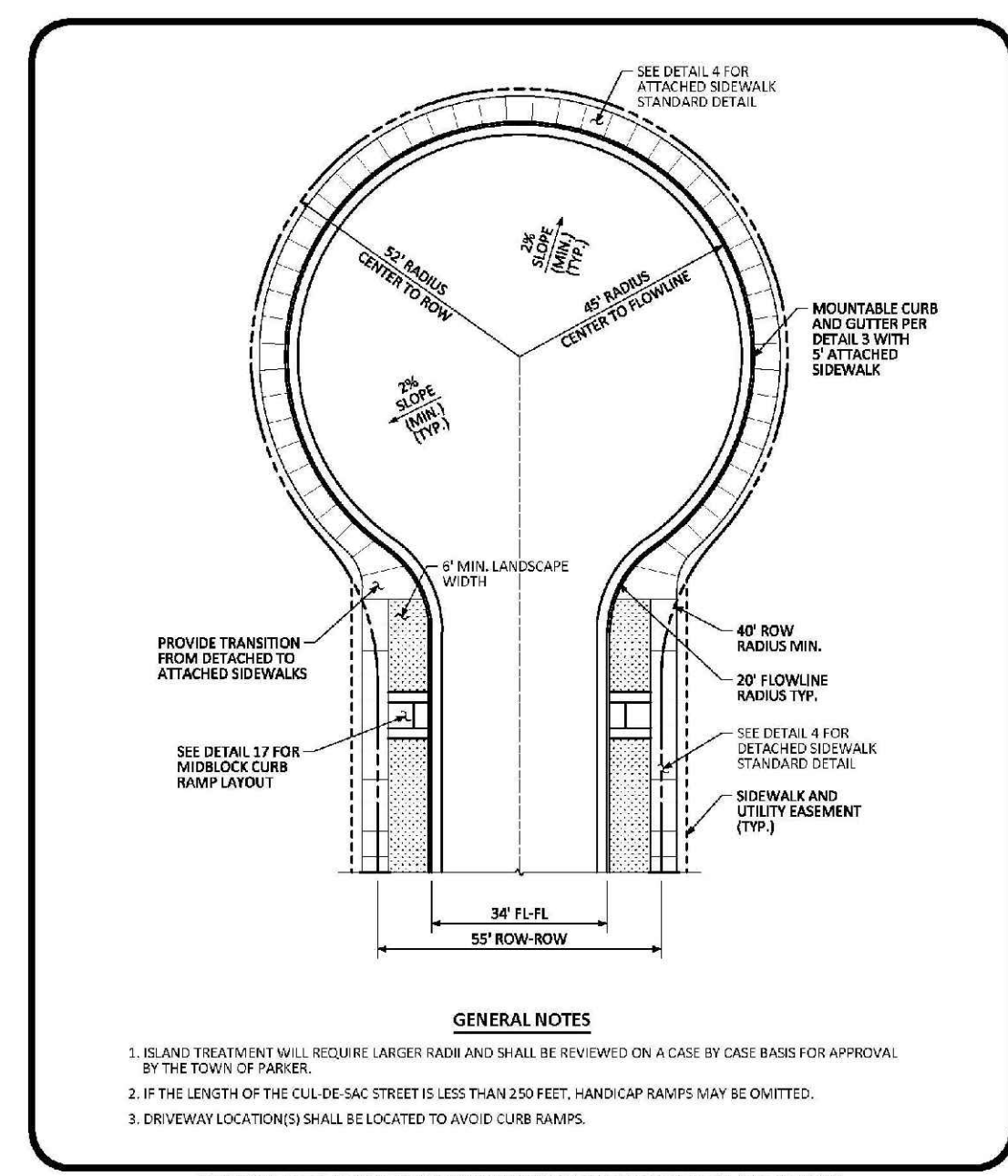
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DETAIL: 3 OF 3

CURB, GUTTER, AND SIDEWALK SECTIONS STANDARD DETAIL

DATE: AUGUST 2014

DETAIL: 1 OF 1



RESIDENTIAL LOCAL CUL-DE-SAC TYPICAL LAYOUT STANDARD DETAIL

DATE: AUGUST 2014

DETAIL: 5 OF 1

RESIDENTIAL LOCAL KNUCKLE TYPICAL LAYOUT STANDARD DETAIL

DATE: AUGUST 2014

DETAIL: 6 OF 1

RESIDENTIAL LOCAL CORNER KNUCKLE TYPICAL LAYOUT STANDARD DETAIL

DATE: AUGUST 2014

DETAIL: 7 OF 1

DIAGONAL CURB RAMP LAYOUT (DETACHED SIDEWALK) LAYOUT STANDARD DETAIL

DATE: AUGUST 2014

DETAIL: 15 OF 2

DIAGONAL CURB RAMP LAYOUT (DETACHED SIDEWALK) LAYOUT STANDARD DETAIL

DATE: AUGUST 2014

DETAIL: 2 OF 2

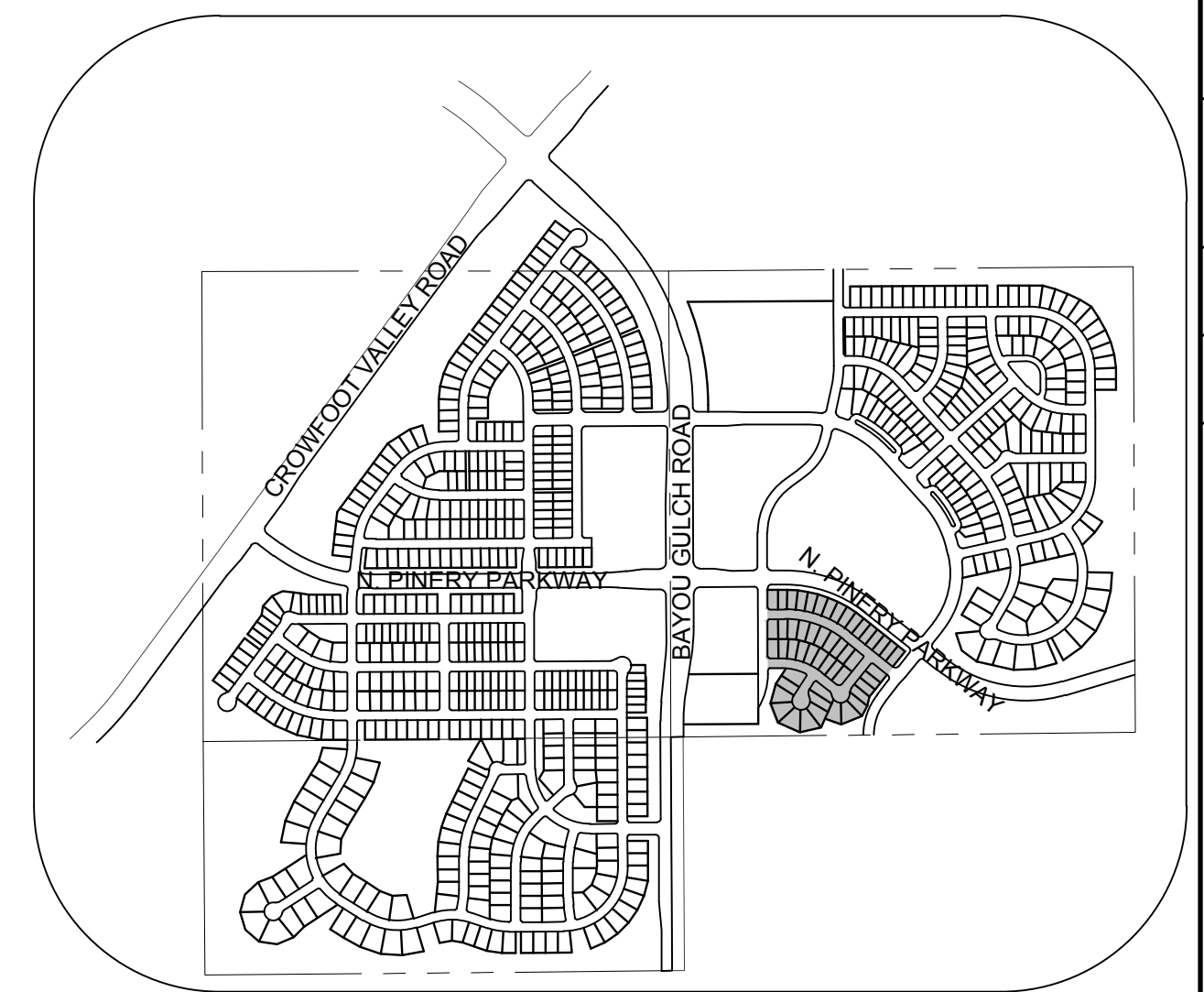
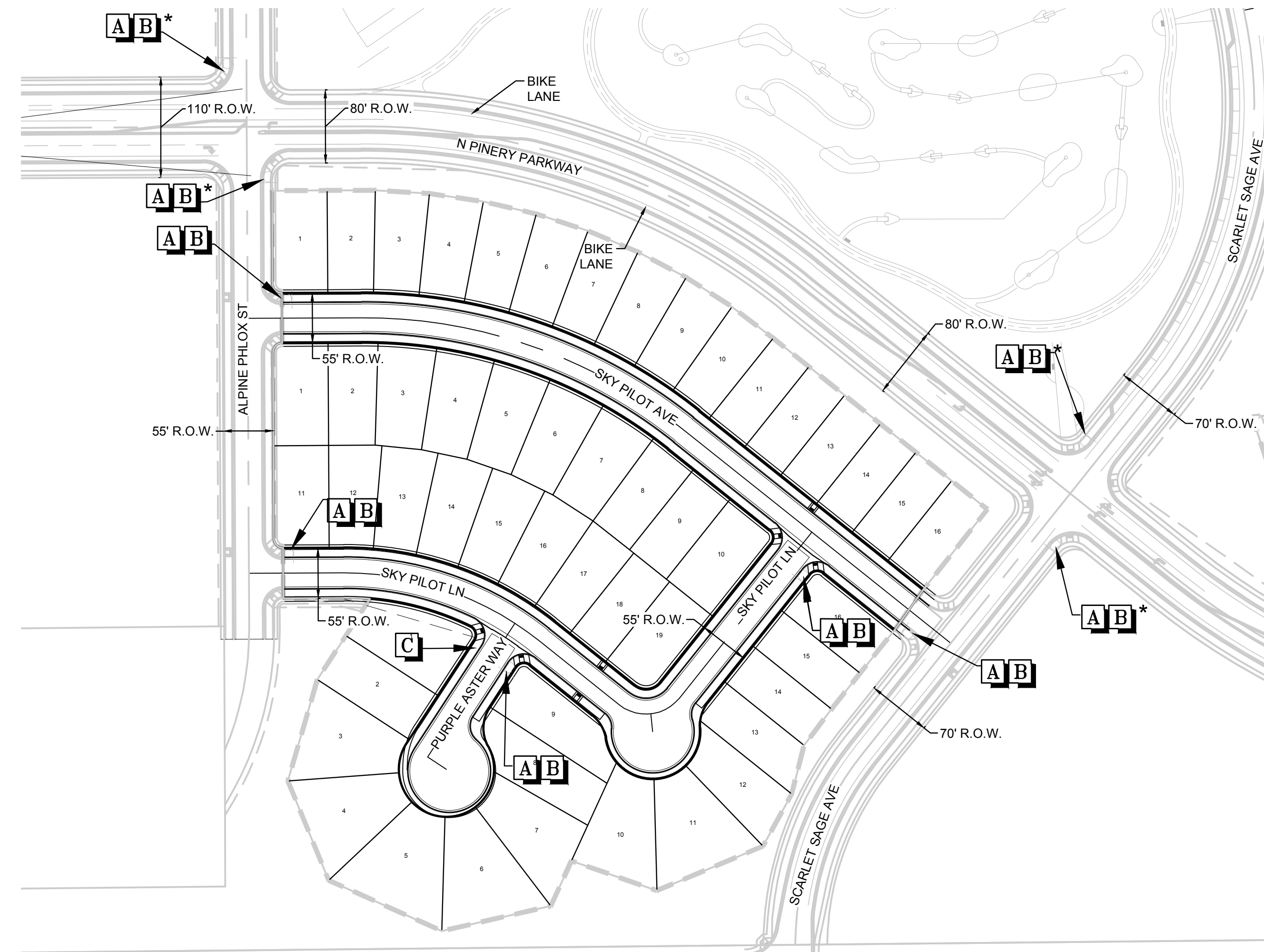
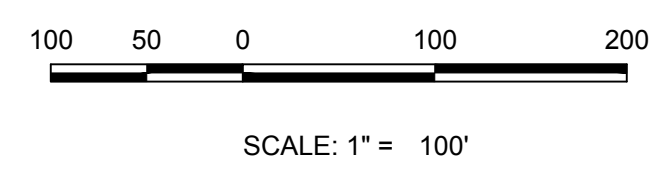
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DATE:	SEPTEMBER 2017
FILE NO.:	8130283701
PROJECT:	TRAILS AT CROWFOOT
CONTRACT:	FILING 13 CONSTRUCTION DRAWINGS
LOCATION:	ROADWAY DETAILS
ENGINEER:	HR 935 LLC
ADDRESS:	7353 South Alton Way CENTENNIAL, CO 80112
CONTACT:	10333 E. Dry Creek Rd. Suite 410 Englewood, CO 80110 Tel: (720) 482-9526 Fax: (720) 482-9546
CONSULTANTS:	CVL CONSULTANTS
NO.	Revisions
DATE	INIT.
APPR.	DATE

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LEGEND	
A	STOP SIGN R1-1
B	STREET NAME SIGN D3
C	DEAD END SIGN W14-1
D	SPEED LIMIT SIGN R2-1
E	BIKE LANE SIGN R3-17
F	AHEAD SIGN R3-17A
G	ENDS SIGN R3-17B
H	YIELD SIGN R1-2
I	PEDESTRIAN TRAFFIC SIGN W11-2
J	SCHOOL CROSSING SIGN S1-1
*	TO BE INSTALLED WITH OTHER FILINGS

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PREPARED UNDER THE SUPERVISION OF

BRIAN P. WILSON
COLORADO P.E. 0050067

BENCHMARK
DOUGLAS COUNTY CONTROL POINT KNOWN AS 1.069032, BEING A 3-1/4" ALUMINUM CAP, BEING LOCATED IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, HAVING A PUBLISHED ELEVATION OF 1799.2870 METERS (5903.13 FEET) NAVD '88 DATUM.

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SHEET NUMBER	SCALE:		DRAWN BY:	CHECKED BY:	DATE:	FILE NO:	AS SHOWN	TRAILS AT CROWFOOT FILING 13 CONSTRUCTION DRAWINGS SIGNAGE AND STRIPING	HR 935 LLC 7353 South Alton Way CENTENNIAL, CO 80112	10333 E. Dry Creek Rd. Suite 410 Englewood, CO 80150 Tel: (720) 482-9526 Fax: (720) 482-9546	Engineer	Date	Appr.	Date
	19	JLR												