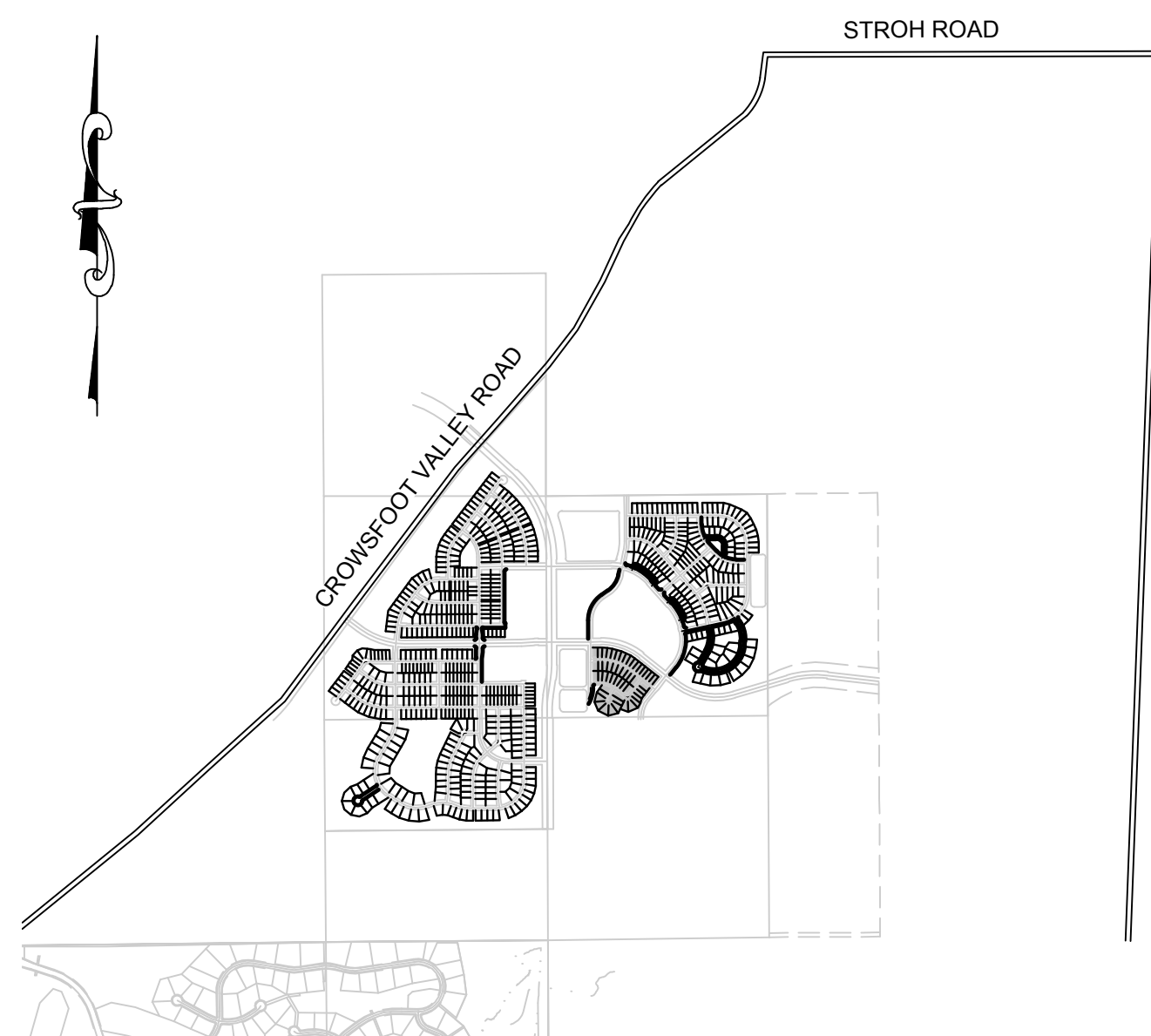


TRAILS AT CROWFOOT

FILING 13 CONSTRUCTION PLANS

SECTIONS 4, 8, AND 9 TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO

SHEET INDEX	
SHEET #	SHEET TITLE
1	COVER SHEET
2	TOWN OF PARKER NOTES
3	HORIZONTAL CONTROL PLAN
4	INITIAL CBMP PLAN
5	INTERIM & FINAL CBMP PLAN
6	CBMP DETAILS
7	CBMP DETAILS
8	CBMP DETAILS
9	CBMP DETAILS
10	CBMP DETAILS
11	SKY PILOT AVENUE
12	SKY PILOT LANE
13	PURPLE ASTER WAY
14	INTERSECTION PLANS
15	STORM P&P SKY PILOT AVENUE
16	ROADWAY DETAILS
17	ROADWAY DETAILS
18	ROADWAY DETAILS
19	SIGNAGE AND STRIPING



VICINITY MAP
SCALE: 1" = 2000'

DEVELOPER

HR 935 LLC
7353 SOUTH ALTON WAY
CENTENNIAL, CO 80112
TEL: (303) 770-9111
CONTACT: MATT JANKE

WATER & SANITATION DISTRICT

PARKER WATER AND SANITATION DISTRICT
18100 E. WOODMAN DR.
PARKER, CO 80134
TEL: (303) 841-4627
CONTACT: DRAYTON SANDERSON

PLANNER/ LANDSCAPE DESIGNER:

PCS GROUP, INC.
200 KALAMATH STREET
DENVER, CO 80233
TEL: (303) 531-4905
CONTACT: JOHN PRESTWICH

FIRE DISTRICT

SOUTH METRO FIRE DISTRICT
9195 E. MINERAL AVE.
CENTENNIAL, CO 80112
TEL: (720) 989-2000
CONTACT:

SURVEYOR/ ENGINEER:

CVL CONSULTANTS OF COLORADO, INC.
10333 E. DRY CREEK RD. STE 240
ENGLEWOOD, CO 80112
TEL: (720) 482-9526
CONTACT: JIM JANNICKE

ELECTRIC COMPANY

IREA
5496 N. U.S. HWY. 85
SEDALIA, CO 80135
TEL: (303) 688-3100

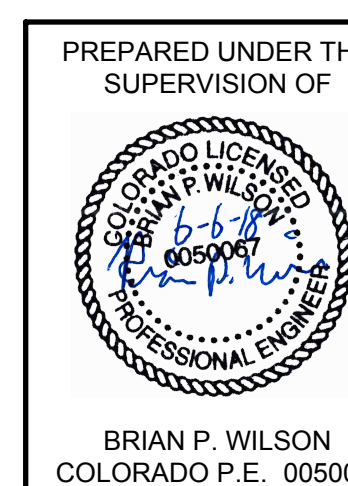
TOWN OF PARKER
20120 E. MAIN STREET
PARKER, CO 80138
TEL: (303) 841-0353

GAS COMPANY

XCEL ENERGY
1518 CHESTNUT AVE
MINNEAPOLIS, MN 55403
TEL: 1 800 628-2121

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED SUBDIVISION, TRAILS AT CROWFOOT, IS DESIGNED IN ACCORDANCE WITH THE TOWN OF PARKER SIGHT DISTANCE CRITERIA AND WITH AASHTO POLICY ON GEOMETRIC DESIGN OF HIGHWAY & STREETS.

Brian P. Wilson 6-13-18
BRIAN P. WILSON, CO. P.E. 0050067 DATE



BENCHMARK
DOUGLAS COUNTY CONTROL POINT KNOWN AS 1.069032, BEING A 3-1/4" ALUMINUM CAP, BEING LOCATED IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, HAVING A PUBLISHED ELEVATION OF 1799.2870 METERS (5903.13 FEET) NAVD '88 DATUM.

BASIS OF BEARINGS:
THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 9 BEING MONUMENTED AT THE NORTHEAST CORNER OF SAID SECTION 9 BY A 3-1/4" ALUMINUM CAP STAMPED LS 23053 AND AT THE EAST QUARTER CORNER OF SAID SECTION 9 BY A 2-1/2" ALUMINUM CAP STAMPED LS 6935 BEING CONSIDERED TO BEAR SOUTH 00°15'06" EAST, 2648.70 FEET.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES. SUBJECT TO THESE PLANS BEING STAMPED, SIGN, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

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N:\PROJECTS\HR 935\ENGINEERING\SHEET SET\TRAILS AT CROWFOOT\TRAILS AT CROWFOOT 13 COVER.DWG, ANDREW.WP, 3/12/2018 2:24 PM

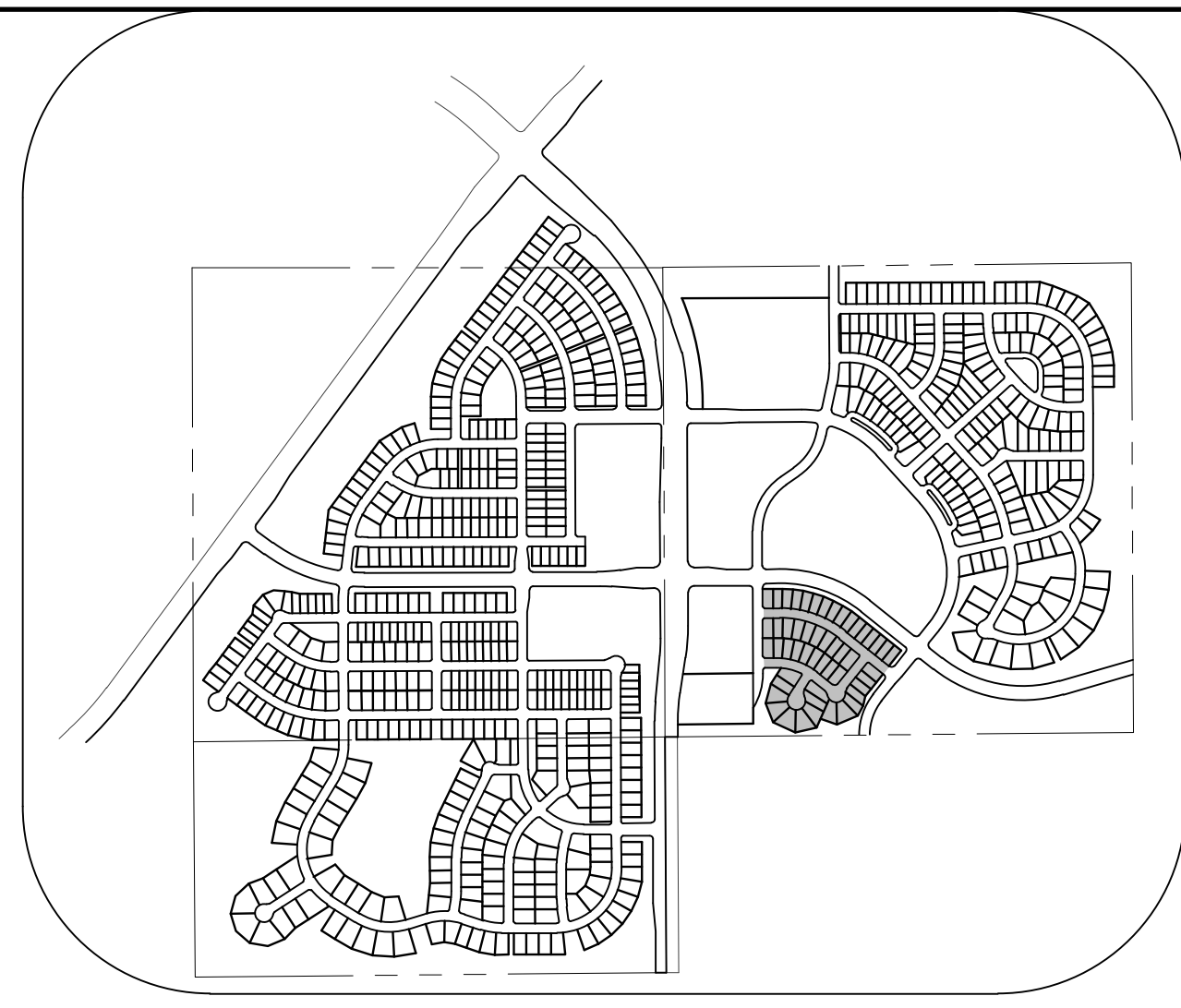
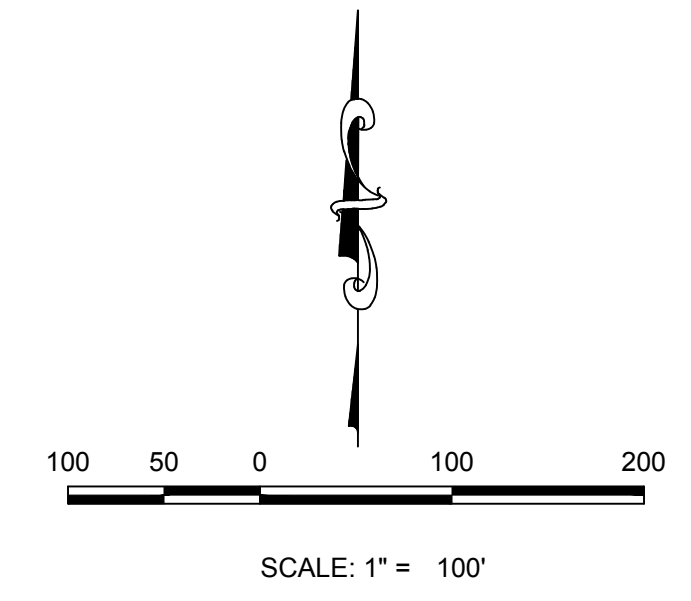
UNCC **1-800-922-1987**
LITELITY NOTIFICATION CENTER OF COLORADO

1	SCALE: AS SHOWN	FILE NO: 8130283701	TRAILS AT CROWFOOT FILING 13 CONSTRUCTION DRAWINGS COVER SHEET	HR 935 LLC 7353 South Alton Way CENTENNIAL, CO 80112		10333 E. Dry Creek Rd. Englewood, Colorado 80112 Tel: (720) 482-9526 Fax: (720) 482-9546	Date
	DRAWN BY: JF	CHECKED BY: JJ					DATE: SEPTEMBER 2017

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KEYMAP
N.T.S.

LEGEND

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- NO WORK AREA
- EXISTING SURFACE FLOW DIRECTION
- PROPOSED SURFACE FLOW DIRECTION

<ul style="list-style-type: none"> □ CHECK DAM □ CONSTRUCTION FENCE □ DRAINAGE PROTECTION □ CONCRETE WASHOUT AREA □ DOWNSPOUTS □ DIMENSION DITCH □ DETENTION POND PROTECTION □ DEBRIS TRASH CONTROL □ EROSION CONTROL BLANKET □ INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT □ INLET PROTECTION FOR AREA INLETS IN PAVEMENT □ INLET PROTECTION CURB ON GRADE, TYPE II INLET □ INLET PROTECTION CURB ON GRADE, TYPE III INLET 	<ul style="list-style-type: none"> □ LOT PROTECTION □ MAJOR WORK PROTECTION □ PORTABLE TOILET PROTECTION □ ROUGH CUT STREET CONTROL □ ROCK BOOK □ ROCK BOOK IN SWALE □ STRAW SALE □ SEDIMENT CONTROL LOGS □ SILT FENCE □ SELECTED MULCHING AND COMPOST □ SURFACE ROUGHEN □ STABILIZED STAGING AREA □ TEMPORARY TRANSITION PROTECTION 	<ul style="list-style-type: none"> □ TEMPORARY FERTIGATION □ TEMPORARY SEGMENT BARRI □ VEHICLE TRACKING CONTROL
<p>CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES</p>	<p>CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES</p>	<p>CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES</p>

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 2. TO REDUCE THE POTENTIAL FOR CLOGGING OF DEBRIS GATES, NO STRAW MULCH SHALL BE USED WITHIN THE EXCESS URBAN RUNOFF VOLUME OF A DETENTION BASIN. INSTEAD, EROSION CONTROL BLANKET SHALL BE INSTALLED FOR A WIDTH OF AT LEAST 6 FEET ON BOTH SIDES OF THE CONCRETE LOW FLOW CHANNELS OR UP TO A DEPTH OF 1 FOOT IN SOIL, RIPRAP OR BENCHED, LOW FLOW CHANNELS. ADDITIONALLY, HYDRAULICALLY APPLIED WOOD FIBER MULCH, STABILIZED FIBER MATRIX, BONDED FIBER MATRIX, OR FLEXIBLE GROWTH MEDIUM SHALL BE USED IN ALL OTHER AREAS WITHIN THE EXCESS URBAN RUNOFF VOLUME OF THE DETENTION BASIN. THE BLANKET AND HYDRAULICALLY APPLIED MULCH SHALL COMPLY WITH THE MATERIALS AND INSTALLATION REQUIREMENTS FOR EROSION CONTROL BLANKETS AS REQUIRED BY THE TOWN'S CBMP PROGRAM, AND WHERE APPLICABLE, THE PRODUCT MANUFACTURER.
 3. IT MAY BE NECESSARY TO PROVIDE BACK OF WALK PROTECTION AND BACK OF CURB PROTECTION ONCE VERTICAL CONSTRUCTION HAS BEGUN.
 4. INSTALL ECB IN TREE LAWN AFTER INSTALLATION OF CURB AND GUTTER AND SIDEWALK. TYPICAL THROUGHOUT SUBDIVISION.
 5. LOT PROTECTION REQUIRED ON ALL RESIDENTIAL LOTS IN ALL UNLANDSCAPED AREAS PRIOR TO CO.
 6. SEDIMENT CONTROL BMPs MAY BE NECESSARY ALONG LOT LINES DURING HOME CONSTRUCTION.

BENCHMARK
DOUGLAS COUNTY CONTROL POINT KNOWN AS 1.060032, BEING A 3-1/4" ALUMINUM CAP, BEING LOCATED IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, HAVING A PUBLISHED ELEVATION OF 1799.2870 METERS (5903.13 FEET) NAVD '88 DATUM.

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PREPARED UNDER THE SUPERVISION OF

BRIAN P. WILSON
COLORADO P.E. 0050067

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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

10333 E. Dry Creek Rd., Suite 240
Englewood, CO 80112
Tel: (720) 482-9526
Fax: (720) 482-9546

CVL
CONSULTANTS

HR 935 LLC
7363 South Alton Way
CENTENNIAL, CO 80112

TRAILS AT CROWFOOT
FILING 13 CONSTRUCTION DRAWINGS
INITIAL CBMP PLAN

SCALE: ASP
AS SHOWN
FILE NO: 8130283701

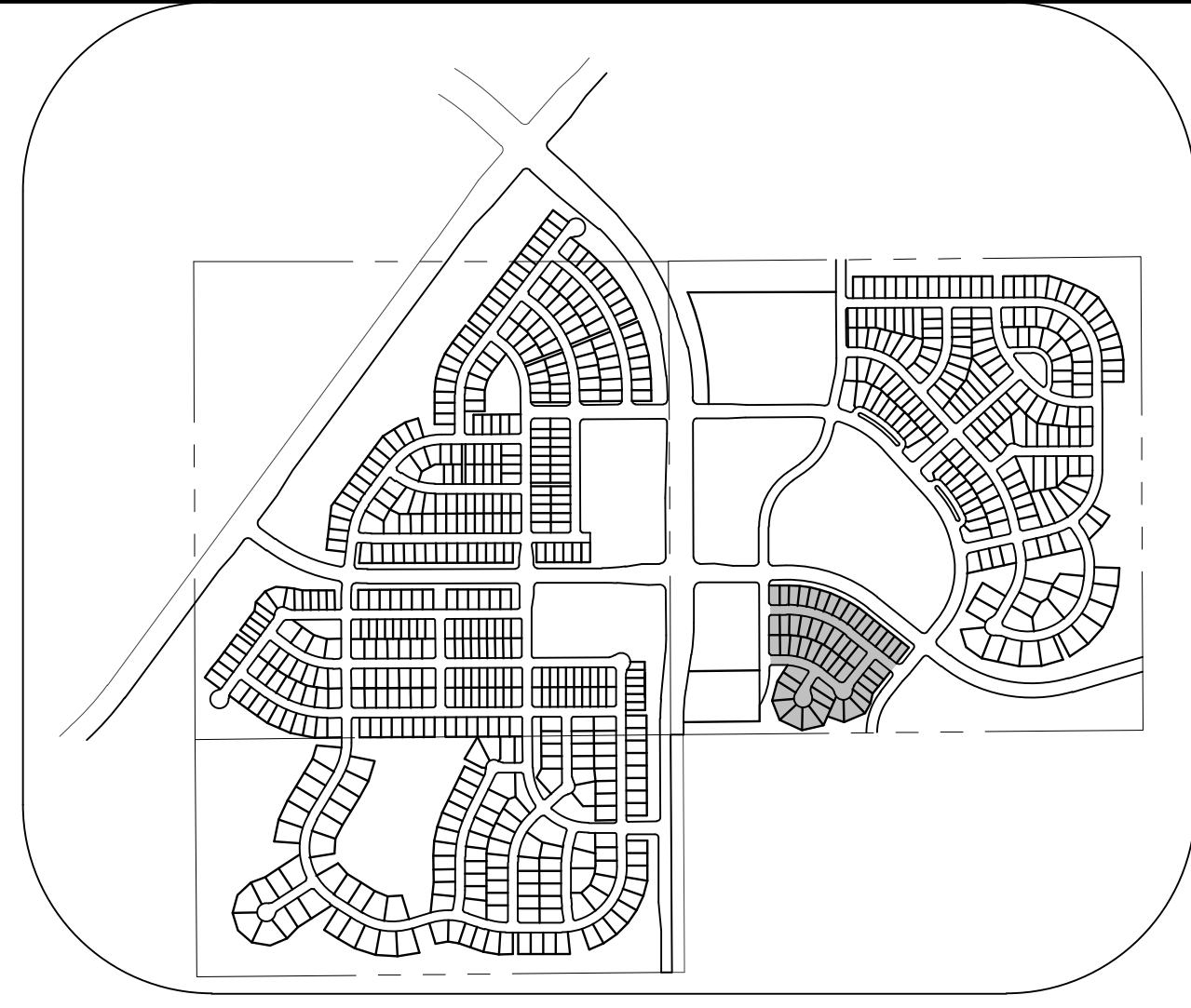
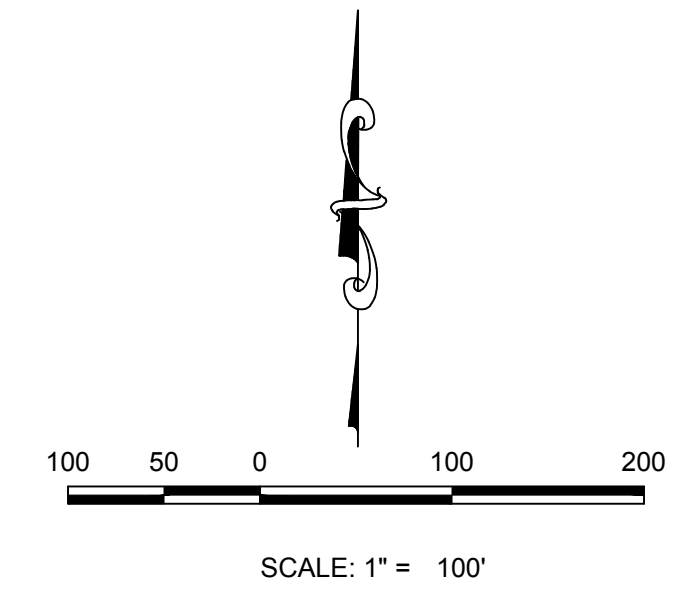
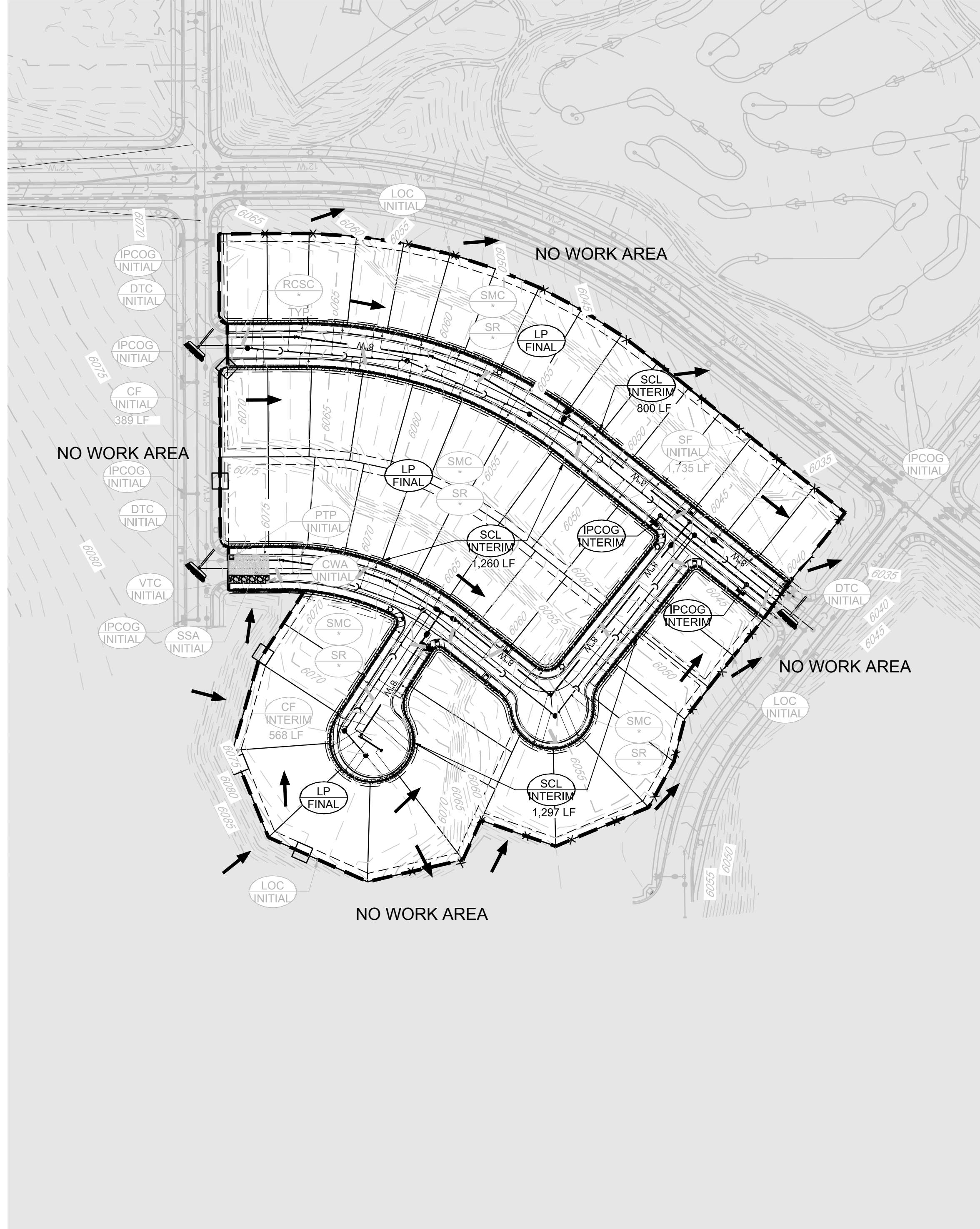
DRAWN BY: ASP
CHECKED BY: JU
DATE: SEPTEMBER 2017

SHEET NUMBER **4**

No.	Revisions	Date	Int.	Appr.	Date

PROJECT SHESS RANCH/CAD/ENGINEERING SHEET SETS/CD/SF/DTOWN OF PARKER/F13 BMP PLANS DWG. CDDVA. 3/12/2018 2:24 PM

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1-800-922-1987



KEYMAP
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LEGEND

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- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
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<ul style="list-style-type: none"> CHECK DAM CONSTRUCTION FENCE DRAINAGE PROTECTION CONCRETE WASHOUT AREA DEWATERING DRAINAGE DITCH DETENTION POND PROTECTION DEBRIS TRAP CONTROL EROSION CONTROL BLANKET INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT INLET PROTECTION FOR AREA INLETS IN PAVEMENT INLET PROTECTION OVERSIZING TYPE II INLET INLET PROTECTION OVERSIZING TYPE III INLET 	<ul style="list-style-type: none"> LOT PROTECTION MANDATORY WORK PROTECTION PORTABLE TOILET PROTECTION ROUGH CUT STREET CONTROL ROCK BOOK ROCK SOCK IN SWALE STRAW SALE SEDIMENT CONTROL LOGS SILT FENCE SEEDING MULCHING AND COVERING SURFACE ROUGHEN STABILIZED STAGING AREA SEMIWALK TRANSITION PROTECTION 	<ul style="list-style-type: none"> TEMPORARY FERTIGATION TEMPORARY SEGMENT BARRI VEHICLE TRACKING CONTROL
<p>Parker LEGEND CONSTRUCTION BEST MANAGEMENT PRACTICES L.O. 1</p>	<p>Parker LEGEND CONSTRUCTION BEST MANAGEMENT PRACTICES L.O. 2</p>	<p>Parker LEGEND CONSTRUCTION BEST MANAGEMENT PRACTICES L.O. 3</p>

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PREPARED UNDER THE SUPERVISION OF

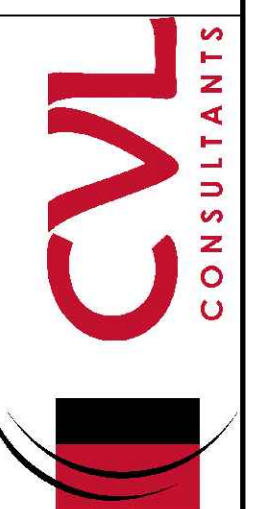
BRIAN P. WILSON
COLORADO P.E. 0050067

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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

SHEET NUMBER 5	SCALE: AS SHOWN	FILE NO: 8130283701	DATE: SEPTEMBER 2017
	DRAWN BY: ASP	CHECKED BY: JU	
TRAILS AT CROWFOOT FILING 13 CONSTRUCTION DRAWINGS INTERIM & FINAL CBMP PLAN			
HR 935 LLC 7363 South Alton Way CENTENNIAL, CO 80112			
10333 E. Dry Creek Rd. Suite 240 Englewood, CO 80112 Tel: (720) 462-9526 Fax: (720) 462-9546			
No.	Revisions	Date	Appr.



BEST MANAGEMENT DETAILS

- GRADING, DRILLING, CLEARING, EXCAVATING, BACK-FILLING, SOIL STRIPPING, SOIL IMPORTING EXPORTING OR ANY OTHER FORM OF SOIL DISTURBANCE SHALL NOT COMMENCE UNTIL A TOWN OF PARKER GRADING/EXCAVATION PERMIT HAS BEEN ISSUED.
- THE TOWN OF PARKER GRADING/EXCAVATION PERMIT IS VALID FOR A PERIOD OF 2 YEARS FROM THE DATE OF ISSUANCE. ANY LAPSE IN PERMIT COVERAGE MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER AND/OR FINES.
- ALL EROSION AND SEDIMENT CONTROL BMPs SHALL BE INSTALLED ACCORDING TO THE CBMP PLAN INSTALLATION NOTES AND DETAILS AND/OR PERMITTED VARIANCES. ALL MATERIALS, WORKMANSHIP AND INSTALLATION METHODS ARE SUBJECT TO INSPECTION BY THE TOWN'S INSPECTOR. THE TOWN OF PARKER RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS, WORKMANSHIP AND/OR INSTALLATION METHODS THAT DO NOT CONFORM TO THE CBMP PLAN AND/OR PERMITTED VARIANCES.
- THE EROSION CONTROL SUPERVISOR SHALL REVISE OR MODIFY THE EROSION AND SEDIMENT CONTROL MEASURES IF IT BECOMES APPARENT THAT THE ORIGINAL PLAN IS INADEQUATE, OR AS A RESULT OF DEFICIENCIES IDENTIFIED DURING INSPECTIONS PERFORMED BY THE TOWN'S INSPECTOR.
- THE EROSION CONTROL SUPERVISOR SHALL BE READILY AVAILABLE TO DISCUSS AND CORRECT ANY PROBLEMS THAT MAY ARISE RELATING TO GRADING, EROSION AND SEDIMENT CONTROL.
- IF IT IS ANTICIPATED THAT ALL OR A PORTION OF THE PROJECT WILL OCCUR DURING SEASONS SUSCEPTIBLE TO SNOWFALL, THE USE OF CERTAIN EROSION AND SEDIMENT CONTROL BMPs ADJACENT TO PUBLIC ROADWAYS MAY NEED TO BE CONSIDERED DUE TO THE NATURE OF SNOW REMOVAL OPERATIONS. AN APPROVED ALTERNATIVE MAY BE NECESSARY TO MINIMIZE DAMAGES FROM THESE OPERATIONS. THE TOWN OF PARKER ASSUMES NO RESPONSIBILITY FOR DAMAGE TO ANY BMPs AS A RESULT OF SNOW PLOWING AND SNOW REMOVAL.
- AREAS OF LAND DISTURBANCE EQUAL TO 40 ACRES OR GREATER SHALL NOT BE EXPOSED FOR MORE THAN 30 CONSECUTIVE DAYS WITHOUT TEMPORARY OR PERMANENT STABILIZATION.
- AUTHORIZED EXEMPTIONS MAY BE ALLOWED TO THE 40-ACRE LIMIT FOR REMOVAL AND STORAGE OF CUT MATERIAL WHERE (A) GEOTECHNICAL LIMITATIONS RESTRICT THE USE OF TEMPORARY OR PERMANENT STABILIZATION OF THE STORED MATERIAL (E.G., SWELLING SOILS, ROCK) AND (B) WHEN THE OWNER CAN DEMONSTRATE THAT THE 40-ACRE LIMIT IS PHYSICALLY AND/OR FINANCIALLY IMPRACTICABLE. FOR SUCH EXEMPTIONS, A PHASING AND EARTHWORK QUANTITIES PLAN SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT AND APPROVED PRIOR TO THE COMMENCEMENT OF LAND DISTURBANCE ACTIVITIES. SUBMITTAL REQUIREMENTS INCLUDE:
 - (I) PHASING PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
 - (II) EARTHWORK QUANTITY PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
 - (III) BMP PLAN SHOWING SPECIFIC EROSION AND SEDIMENT CONTROLS FOR EACH PHASE.
- ANY EROSION AND SEDIMENT CONTROL BMPs THAT ARE DAMAGED OR IN NEED OF MAINTENANCE OR REPLACEMENT SHALL BE CORRECTED AS SOON AS POSSIBLE. IMMEDIATELY IN MOST CASES.
- ALL DEFICIENCIES LISTED ON THE NOTICE OF NUISANCE FORM SHALL BE COMPLETED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES. ALL REQUIRED ACTIONS MUST BE IN THE CORRECTED FORM DURING THE FOLLOW-UP INSPECTION.
- THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TROUBLE CHANNELS, AND/OR OTHER IMPERVIOUS SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEAN BEFORE THE END OF THE WORK DAY.
- BULK STORAGE OF LIQUID AND PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS.
- ALL TRASH RECEPTACLES ON SITE SHALL BE FREE OF HOLES, CRACKS, GAPS, AND/OR OTHER PERMEABLE AREAS THAT MAY ALLOW FOR THE DISCHARGE OF POLLUTANTS.
- ALL TRASH RECEPTACLES ON SITE SHALL BE EMPTIED AT A FREQUENCY AS TO ENSURE THAT THE TRASH REMAINS CONFINED TO THE RECEPTACLE.
- ALL LOOSE TRASH AND LITTER ASSOCIATED WITH THE PROJECT MUST BE REMOVED AND PROPERLY DISCARDED ON A DAILY BASIS.
- ALL PORTABLE TOILETS SHALL BE STAKED DOWN AT ALL TIMES USING U-SHAPED REBAR STAKES. THE PORTABLE TOILETS SHALL ALSO BE PLACED A MINIMUM DISTANCE OF 10 FEET FROM ALL IMPERVIOUS SURFACES, INCLUDING, BUT NOT LIMITED TO STREETS, CURBS, GUTTERS, SIDEWALKS AND PARKING LOTS.
- THE EROSION CONTROL SUPERVISOR SHALL MAINTAIN STRICT ADHERENCE TO THE LIMITS OF CONSTRUCTION AND PROPERTY LIMITS FOR ALL MATERIALS, VEHICLES AND EQUIPMENT. FAILURE TO ABIDE BY THIS REQUIREMENT MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.
- ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE THROUGH THE APPROVED ACCESS POINT(S). A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL APPROVED ACCESS POINTS TO THE SITE. EXCEPTIONS MAY BE CONSIDERED FOR CONSTRUCTION ACTIVITY OCCURRING IMMEDIATELY ADJACENT TO PAVED AREAS AND WHERE ALTERNATIVE BMPs ARE IMPLEMENTED. SUCH ACTIVITY MAY INCLUDE, BUT NOT BE LIMITED TO: RESIDENTIAL CONSTRUCTION, UTILITY CONSTRUCTION, ETC.
- NO PERMANENT SLOPES GREATER THAN 3:1 ARE ALLOWED.
- ALL PERMANENT SLOPES STEEPER THAN 4:1 (HORIZONTAL TO VERTICAL) SHALL REQUIRE EROSION CONTROL BLANKETS/ TEMPORARY SLOPES IN TEMPORARY SEDIMENT BASINS THAT ARE STEEPER THAN 4:1. MAY REQUIRE EROSION CONTROL BLANKETS.
- THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ADVERSE IMPACTS THAT OCCUR TO NEIGHBORING PROPERTIES. THE EROSION CONTROL SUPERVISOR MUST OBTAIN PERMISSION FROM LAND OWNERS PRIOR TO ENTERING SUCH PROPERTY.
- A WATER SOURCE SHALL BE AVAILABLE ON-SITE DURING CONSTRUCTION ACTIVITIES, AND UTILIZED TO MINIMIZE FUGITIVE DUST. ALTERNATIVE BMPs MAY BE REQUIRED IF INITIAL ATTEMPTS TO SUPPRESS DUST ARE UNSUCCESSFUL.
- ALL CHEMICAL OR HAZARDOUS MATERIAL SPILLS, INCLUDING CONCRETE WASHOUT WATER, WHICH MAY ENTER WATERS OF THE STATE OF COLORADO, WHICH INCLUDES BUT ARE NOT LIMITED TO, SURFACE WATER, GROUND WATER, DIRT GULLIES OR STORM SEWERS LEADING TO SURFACE WATER, SHALL BE IMMEDIATELY REPORTED TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT PER 25-B-601, AND THE TOWN OF PARKER. RELEASES OF PETROLEUM PRODUCTS AND CERTAIN HAZARDOUS SUBSTANCES LISTED UNDER THE FEDERAL CLEAN WATER ACT (40 CFR PART 117) MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER AND THE CORNER THAT POSES AN IMMEDIATE SAFETY HAZARD SHALL BE REPORTED TO 911.
- THE CLEANING OF CONCRETE TRUCKS AND EQUIPMENT IS RESTRICTED TO THE APPROVED CONCRETE WASHOUT LOCATION ON THE JOB SITE. CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO STATE WATERS OR STORM SEWER SYSTEMS.
- VEHICLE AND EQUIPMENT DECONTAMINATION IS PROHIBITED ON THE JOB SITE.
- ALL DEWATERING ON SITE SHALL BE COORDINATED WITH THE TOWN'S INSPECTOR. A STATE PERM IT MAY BE REQUIRED FOR DEWATERING. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR OBTAINING AND ADHERING TO ALL APPLICABLE PERMITS.
- HYDRAULIC SEEDING AND/OR HYDRAULIC MULCHING ARE ONLY ALLOWED IN AREAS UNDER TEMPORARY OR PERMANENT IRRIGATION OR FOR THE PURPOSE OF TEMPORARY SOIL STABILIZATION.
- APPLICABLE CONSTRUCTION BMPs SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL ALL LANDSCAPING HAS BEEN INSTALLED AND THE DESIRABLE VEGETATION HAS REACHED A POINT IN WHICH EROSION AND SEDIMENTATION IS NO LONGER A CONCERN AS DETERMINED BY THE TOWN'S INSPECTOR.

- DEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H OR ITEM I (BELOW).
 - ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERM IT HAVE PERMANENTLY CEASED.
 - UNIFORM PERENNIAL VEGETATION COVER HAS BEEN ESTABLISHED WITH AN INDIVIDUAL PLANT DENSITY OF AT LEAST SEVENTY PERCENT (70%) OF PRE-DISTURBANCE LEVELS.
 - ALL BMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
 - IF ANY EROSION IS PRESENT, IT IS INSIGNIFICANT AND IS NOT LEADING THE SITE AND/OR LEADING INTO ANY ON-SITE DRAINAGE INFRASTRUCTURE THAT MAY CONVEY SURFACE WATER OFF SITE.
 - WEEDS REPRESENT NO MORE THAN FIFTY PERCENT (50%) OF THE TOTAL VEGETATION ON THE SITE.
 - NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
 - A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR ASSIGNMENT AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION AT THE TIME OF CLOSING TO ENSURE THAT THE NEW SITE OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.
 - NONDEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H AND J, OR ITEMS I AND J (BELOW).
 - ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
 - ALL BMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
 - EROSION IS NEGLIGIBLE, IF EVEN PRESENT.
 - THE VEGETATION REPRESENTS A PERENNIAL STAND OF A DENSE, UNIFORM SURFACE OF GRASS WITH NO AREA GREATER THAN ONE (1) SQUARE FOOT THAT IS BARREN OF DESIRABLE VEGETATION, INFREQUENT, WIDELY SCATTERED AREAS WHERE NATIVE VEGETATION HAS NOT YET TAKEN HOLD MAY QUALIFY FOR ACCEPTANCE AT THE DISCRETION OF THE TOWN.
 - WEEDS REPRESENT NO MORE THAN TEN PERCENT (10%) OF THE TOTAL VEGETATION ON SITE.
 - NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
 - A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR THE GRADING PERMIT HAS BEEN ASSIGNED AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION, AT THE TIME OF CLOSING ON THE SALE OF A SITE THAT IS SUBJECT TO A GRADING PERMIT, TO ENSURE THAT THE NEW PROPERTY OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.
 - ALL KNOWN DRAINAGE ISSUES ASSOCIATED WITH THE PROJECT HAVE BEEN MITIGATED AND A SUFFICIENT AMOUNT OF TIME HAS PASSED TO ENSURE THAT SUCH ISSUES HAVE BEEN CORRECTED. THIS REQUIREMENT DOES NOT INCLUDE THOSE DRAINAGE ISSUES ORIGINATING ON RESIDENTIAL LOTS.
 - NOXIOUS WEEDS MUST BE CONTROLLED AS PROVIDED UNDER STATE LAW AND SECTION 6.01.260 OF THE TOWN OF PARKER MUNICIPAL CODE. FAILURE TO CONTROL NOXIOUS WEEDS ON THE SITE MAY CONSTITUTE A NUISANCE, SUBJECT TO THE PENAL TIES CONTAINED IN THE CODE.

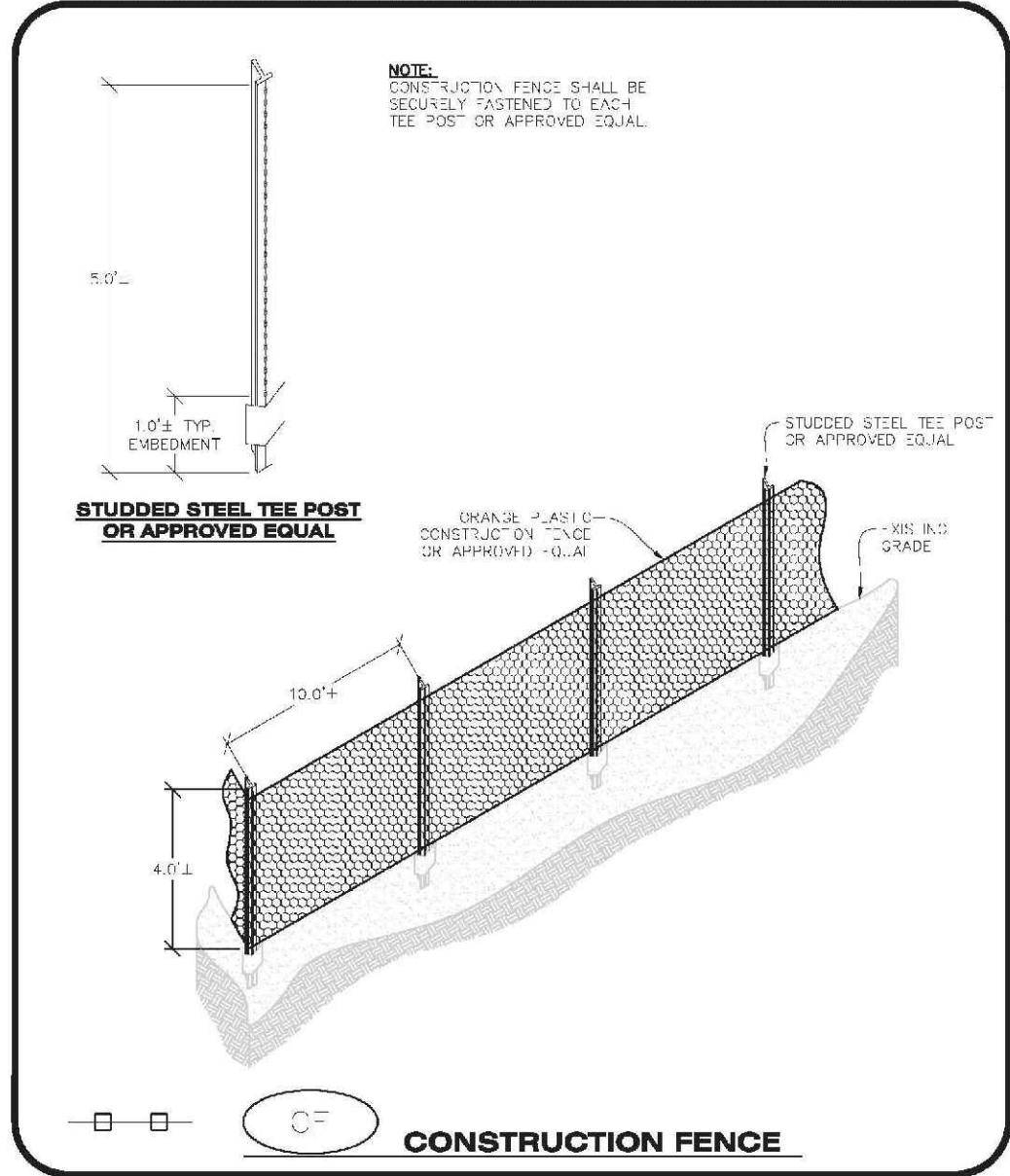
- DEVELOPABLE PROPERTY: MEANS ANY LAND THAT HAS BEEN GRADED AND IS PART OF A PLATTED LOT OR PLATTED TRACT OF RECORD, THAT WAS PLATTED FOR FUTURE DEVELOPMENT, INCLUDING RESIDENTIAL HOME CONSTRUCTION OR PUBLIC IMPROVEMENTS.

- NONDEVELOPABLE PROPERTY: MEANS LAND THAT HAS BEEN GRADED AND WILL NOT BE FURTHER DISTURBED AS PART OF ANY FUTURE DEVELOPMENT. EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO, PARKS, OPEN SPACE, HOMEOWNER ASSOCIATION OR BUSINESS ASSOCIATION PLATTED TRACTS, DETENTION PONDS AND DRAINAGEWAYS.

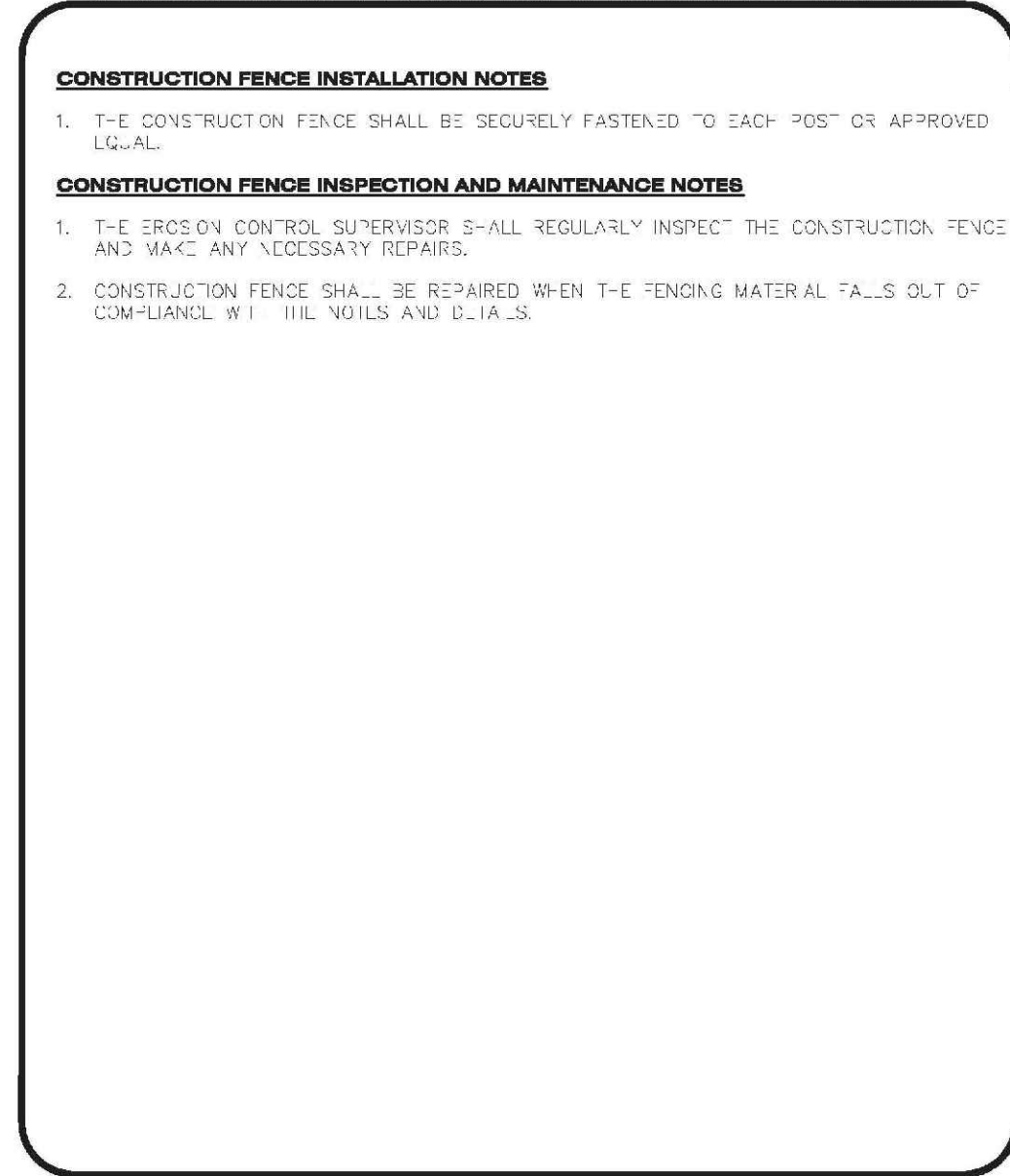
- FAILURE TO COMPLY WITH ANY OF THE REQUIREMENTS DESCRIBED IN THIS SECTION MAY RESULT IN THE ISSUANCE OF A NOTICE OF INTENT TO ISSUE A STOP WORK ORDER, A STOP WORK ORDER AND/OR THE REMEDIES/PENALTIES DESCRIBED IN CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE.

- ANY PERSON CONVICTED OF VIOLATING ANY PROVISION OF THE TOWN OF PARKER, GRADING & EARTH MOVEMENT SECTION OF THE MUNICIPAL CODE SHALL BE GUILTY OF A MISDEMEANOR AND, UPON CONVICTION, BE PUNISHED BY A FINE OF NOT MORE THAN FOUR HUNDRED NINETY NINE DOLLARS (\$499.91) FOR EACH SEPARATE OFFENSE. EACH DAY A VIOLATION CONTINUES SHALL CONSTITUTE A SEPARATE OFFENSE. THE TOWN ALSO MAY SEEK IN MUNICIPAL COURT AN INJUNCTION, ABATEMENT, RESTITUTION OR ANY OTHER REMEDY TO PREVENT, ENJOIN, ABATE OR REMOVE THE VIOLATION. A PERSON CONVICTED OF VIOLATING CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE SHALL BE LIABLE FOR THE ACTUAL COST OF REHABILITATING THE PROPERTY. THE COSTS MAY BE RECOVERED AS RESTITUTION IN MUNICIPAL COURT PROCEEDINGS OR IN A SEPARATE CIVIL ACTION.

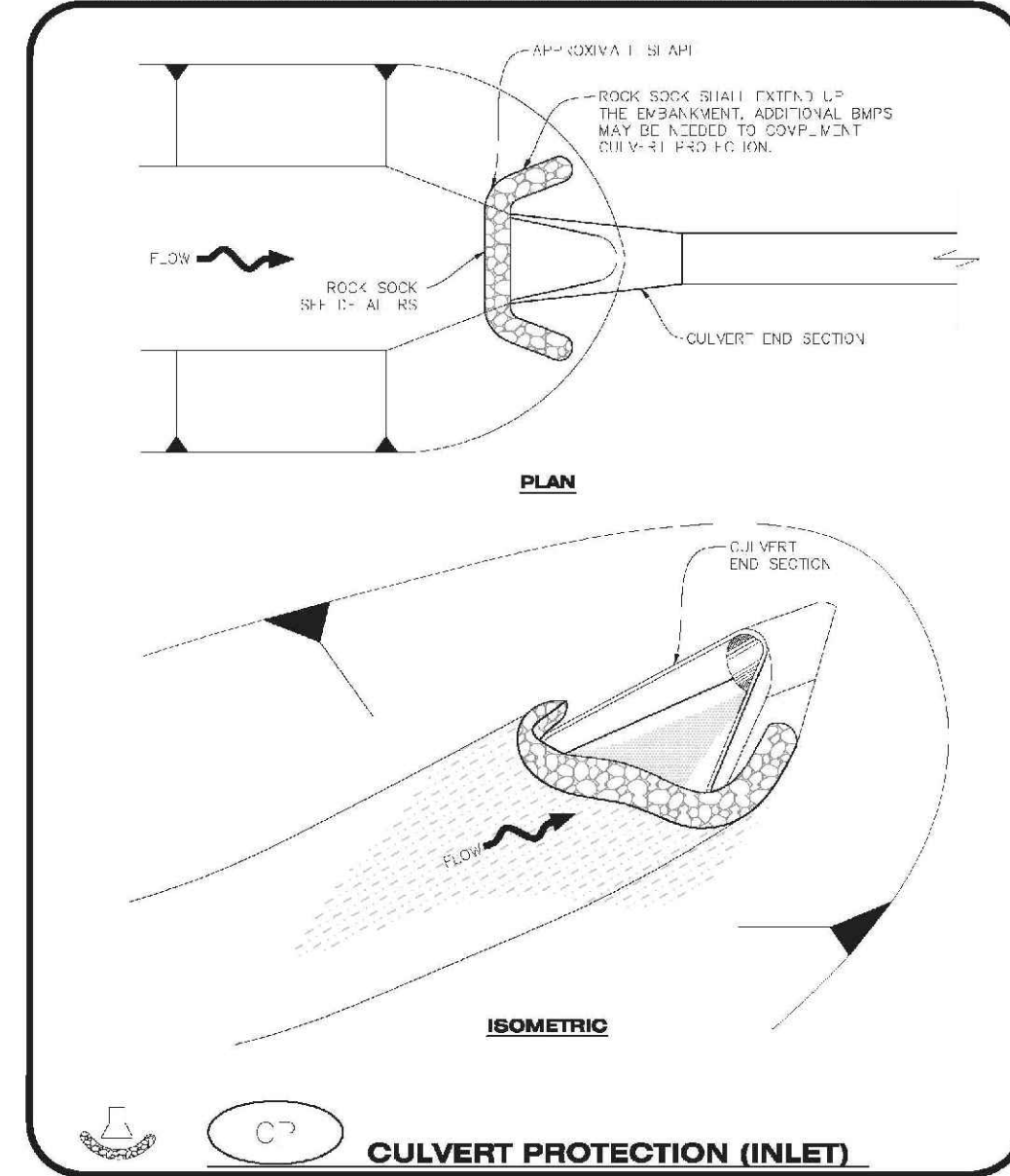
- THE TOWN OF PARKER RESERVES THE RIGHT TO ALLOW MODIFICATIONS AND SUBSTITUTIONS TO THE CBMP NOTES AND DETAILS WHEN SUCH MODIFICATIONS AND SUBSTITUTIONS OFFER THE SAME LEVEL OF PROTECTION AS THE STANDARD REQUIREMENTS BASED UPON THE SPECIFIC SITUATION, AS DETERMINED BY TOWN STAFF. DUE TO THE INSIGNIFICANCE AND REGULARITY OF SUCH MODIFICATIONS AND SUBSTITUTIONS, THE APPROVAL OF SUCH VARIATIONS MAY NOT BE DOCUMENTED BY TOWN STAFF.



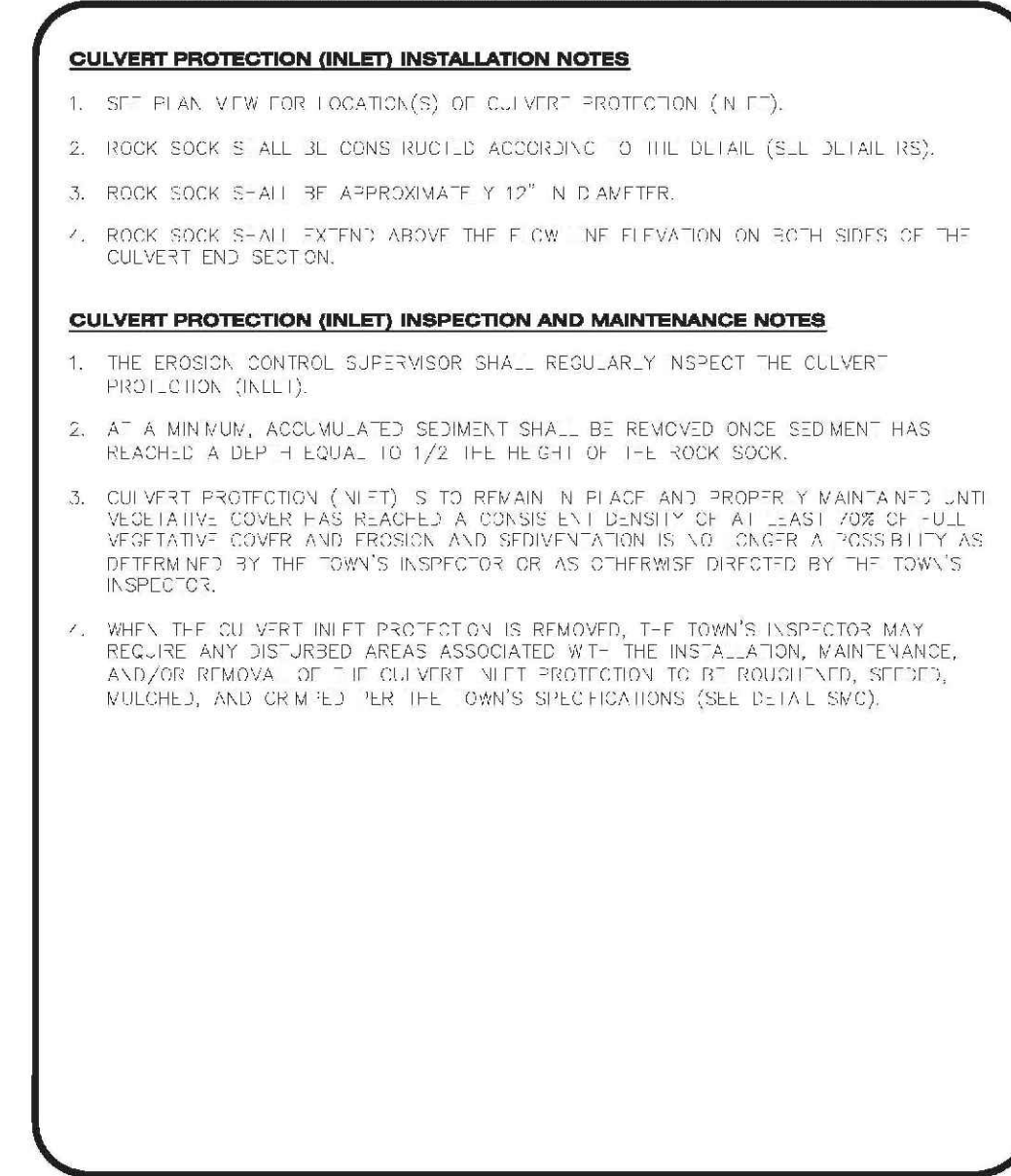
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CF 2 OF 2
REV. 2017



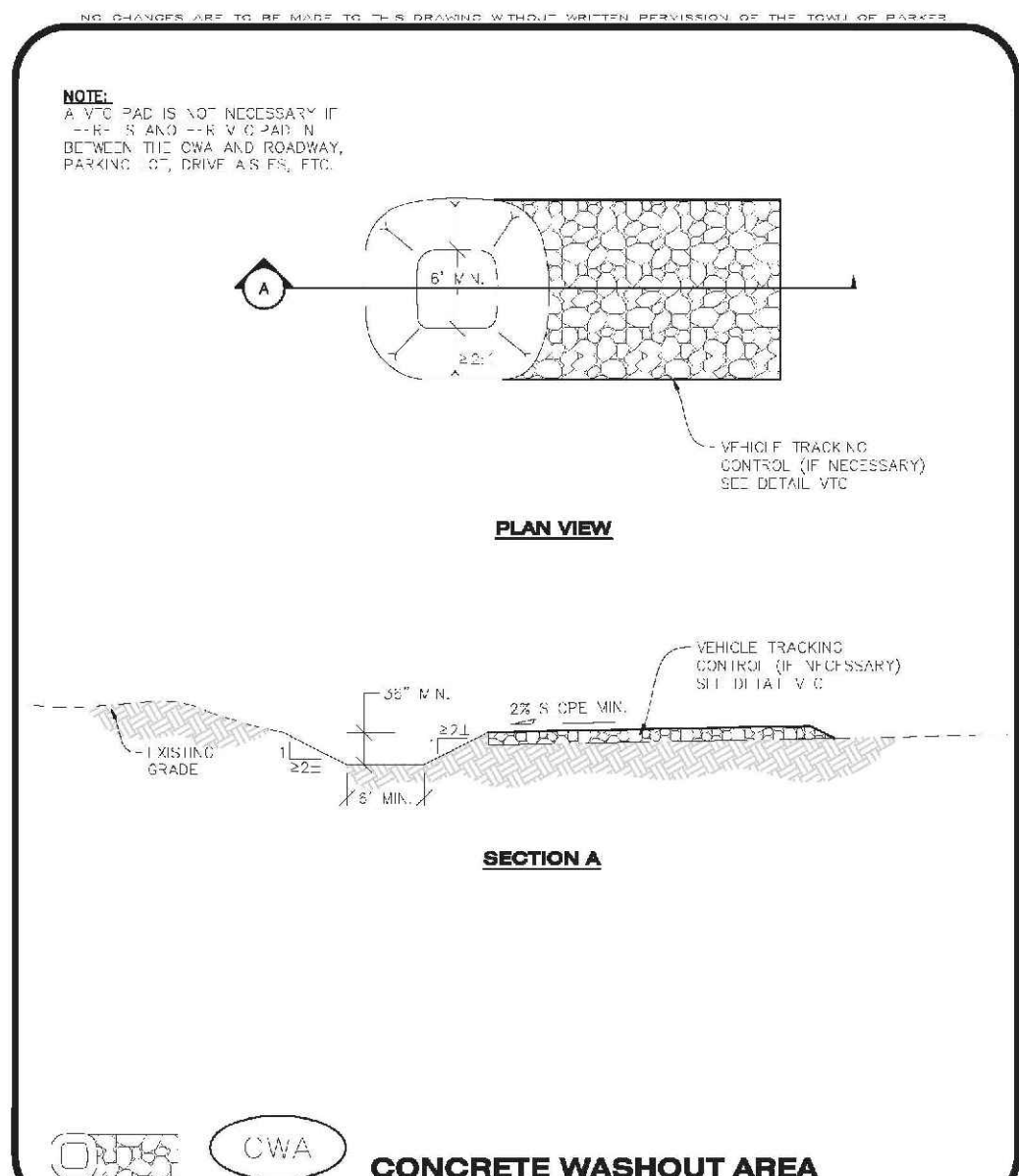
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CF 2 OF 2
REV. 2017



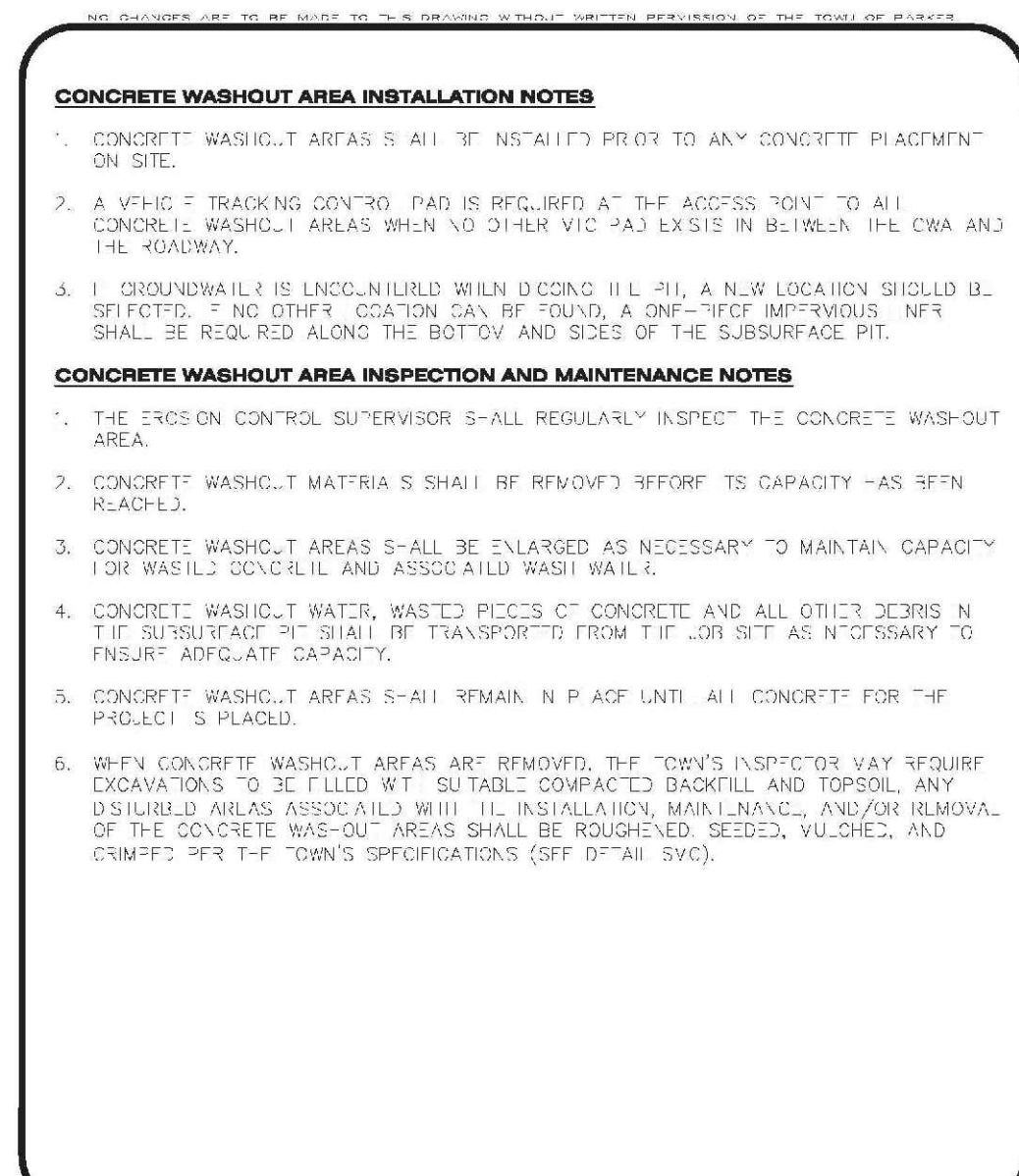
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CP 1 OF 2
REV. 2017



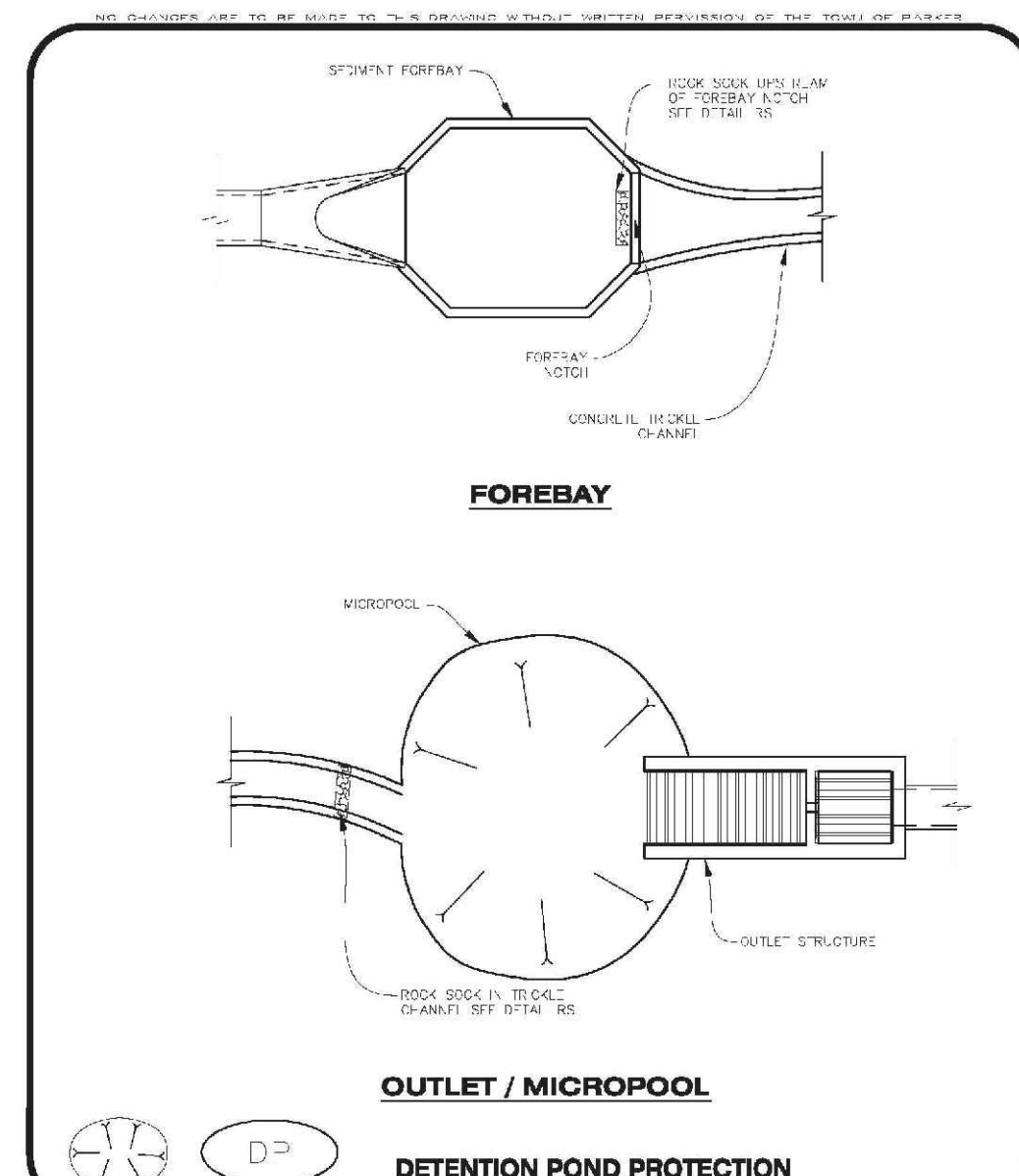
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CP 2 OF 2
REV. 2017



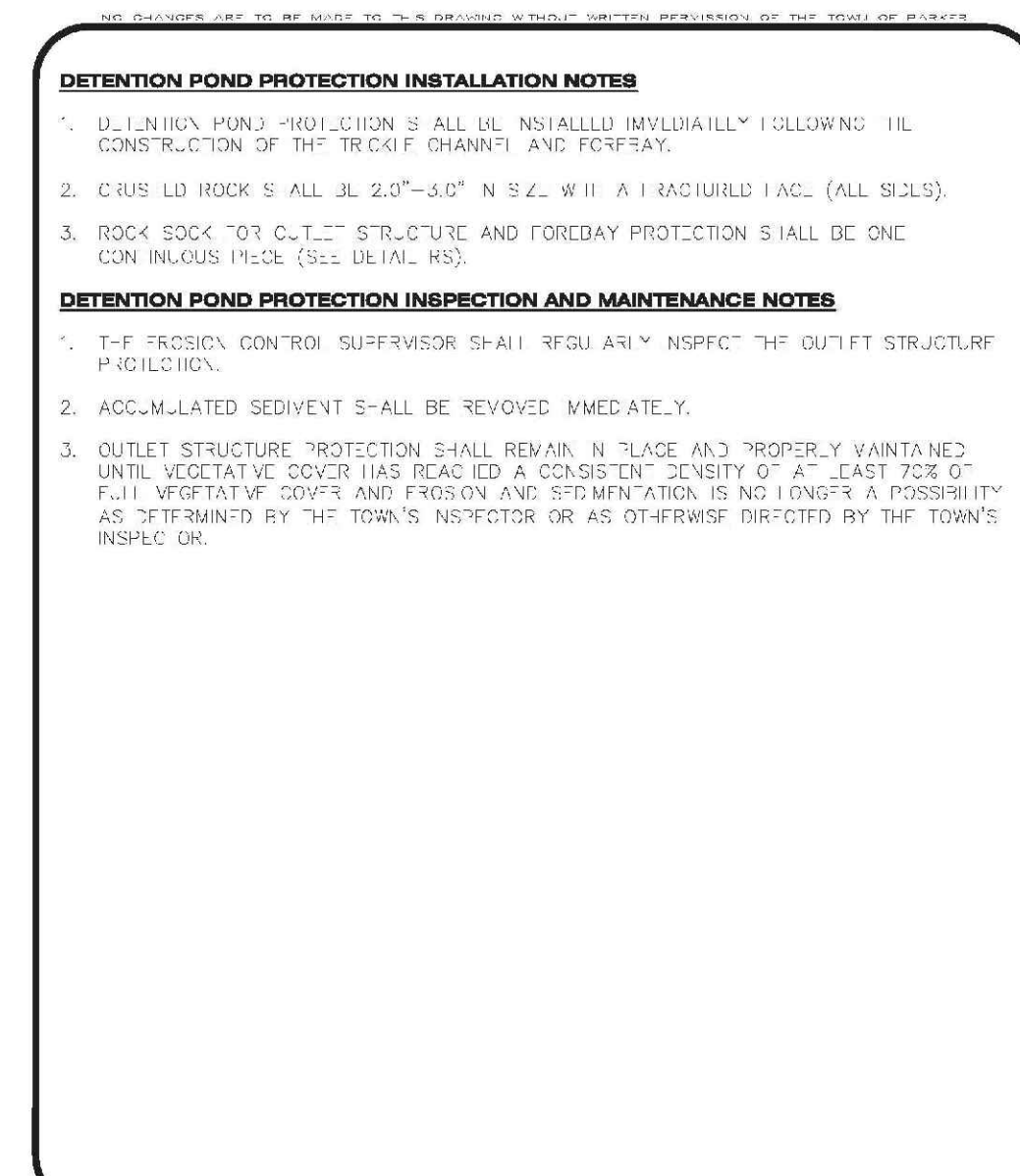
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CWA 1 OF 2
REV. 2017



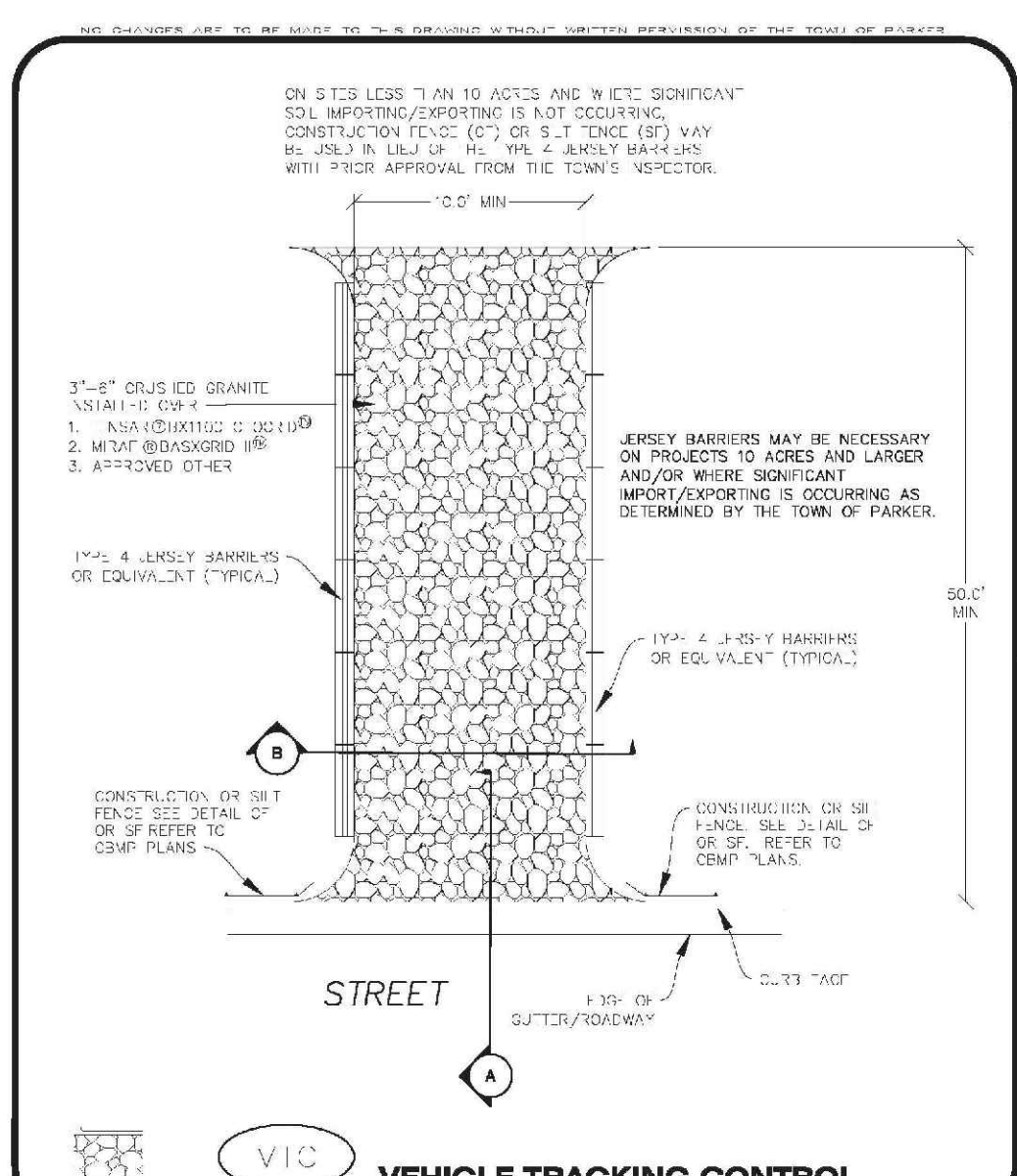
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CWA 2 OF 2
REV. 2017



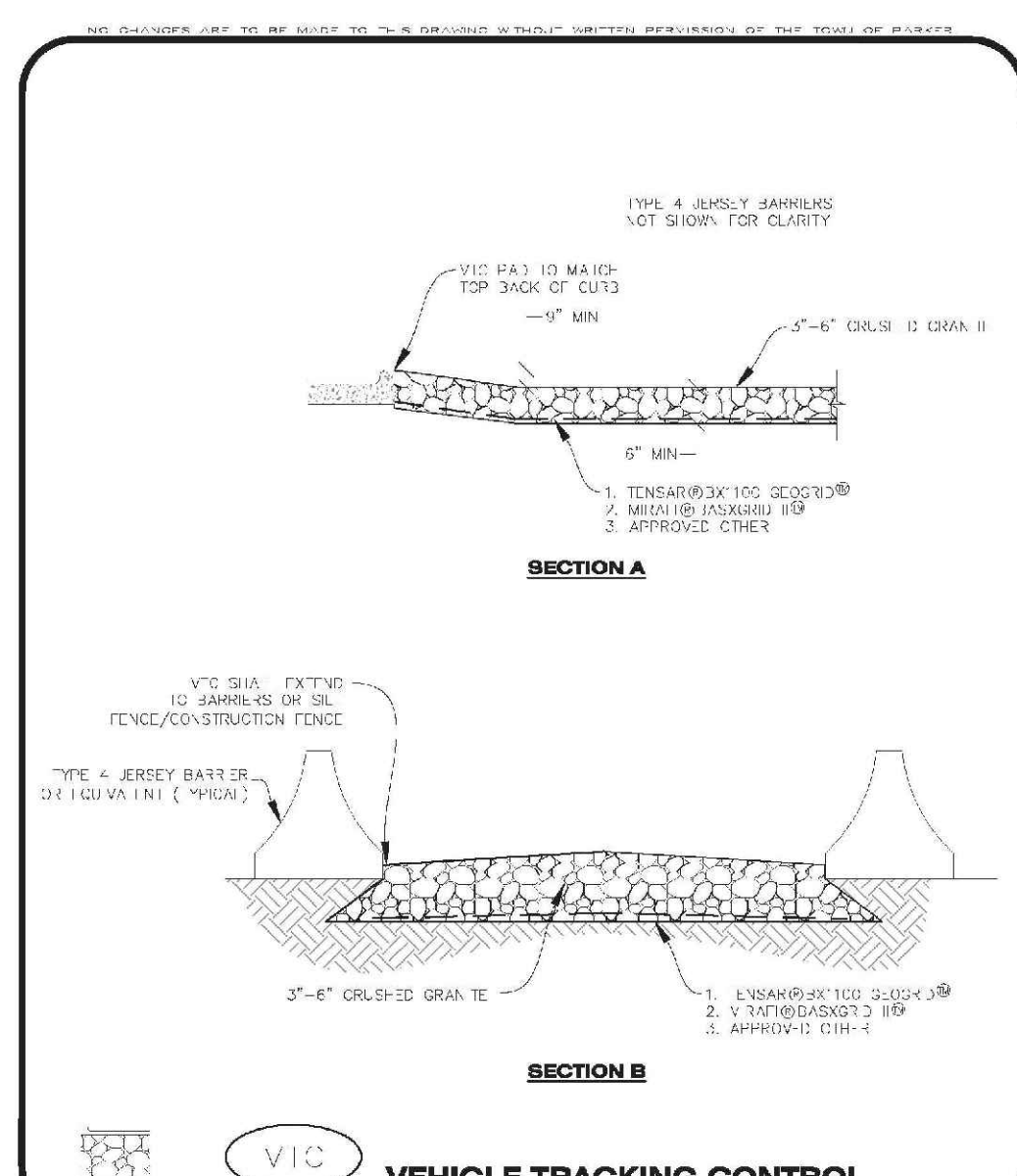
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DP 1 OF 2
REV. 2017



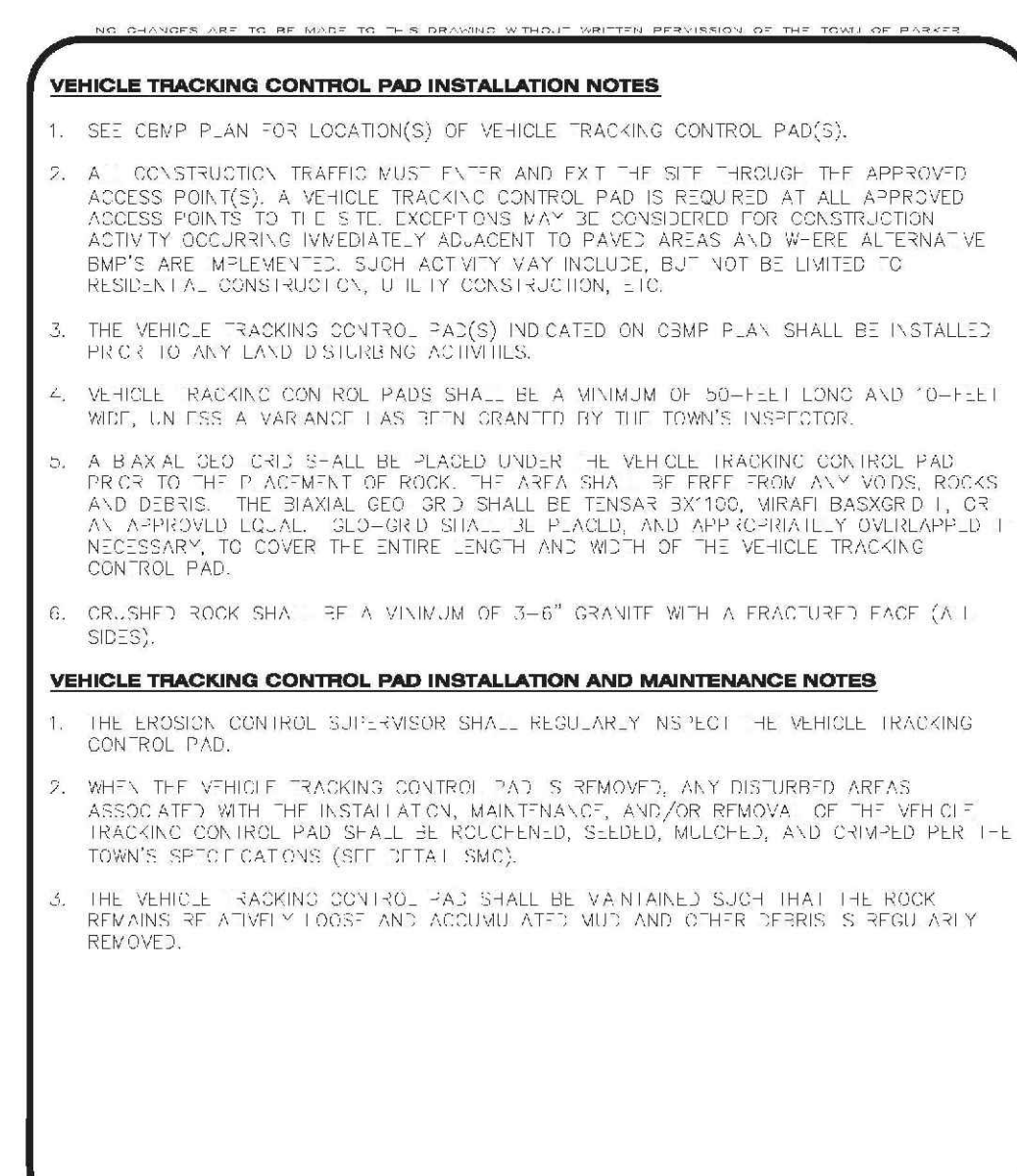
CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
DP 2 OF 2
REV. 2017



CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
VTC 1 OF 3
REV. 2017



CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
VTC 2 OF 3
REV. 2017



CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
VTC 3 OF 3
REV. 2017

SHEET NUMBER	DRAWN BY:	SCALE:	AS SHOWN	CHECKED BY:	DATE:	TRAILS AT CROWFOOT FILING 13 CONSTRUCTION DRAWINGS BMP DETAILS			No.	Revisions	Date	Appr.	Date
						FILE NO:	DATE:	DATE:					
6	JF	AS SHOWN	JU	JU	SEPTEMBER 2017	8130283701							

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CONSULTANTS

DEBRIS AND TRASH CONTROL

NOTE:

1. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TRUCK CHANNELS, AND OTHER IMPROVED SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEANED AT THE END OF THE WORK DAY TO INCLUDE ALL CURB, TRASH AND LITTER ASSOCIATED WITH THE PROJECT MUST BE REMOVED AND PROPERLY DISPOSED ON A DAILY BASIS.

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REV. 02/14

DEBRIS CONTROL NOTES:

1. A COMBINATION OF SURFACE SCANNING AND SWEEPING MAY BE NECESSARY TO PROPERLY CLEAN THE AREAS.
2. ALL CHYMEI OILS AND STAINS ON THE SITE SHALL BE CLEANED TO THE MAXIMUM EXISTING PRACTICES IN SOIL BASINS. IT MAY BE NECESSARY TO USE PRESSURIZED WATER AND A VACUUM TRUCK.
3. ON-SITE PERSONNEL, SERVICE DRIVERS, ETC., SHOULD BE EDUCATED ON THE NEED FOR CONTINUAL EFFORTS AND TRANS-CONTOUR.

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REV. 02/14

EROSION CONTROL BLANKET (SLOPE)

NOTE:

IF NECESSARY, ALL STAPLES SHALL BE COMPLETED PRIOR TO THE PLACEMENT OF EROSION CONTROL BLANKET. PLEASE SEE DETAIL SDC FOR STAPLING, NAILING, AND CURVING REQUIREMENTS.

1 OF 2
REV. 02/14

EROSION CONTROL BLANKET (CHANNEL)

NOTE:

WOOD STAKES SHALL BE INSTALLED SUCH THAT ONLY 1" IS EXPOSED ABOVE THE GROUND. IF A WOOD STAKE IS USED, IT SHALL BE COMPLETED PRIOR TO THE PLACEMENT OF EROSION CONTROL BLANKET. PLEASE SEE DETAIL SDC FOR STAPLING, NAILING, AND CURVING REQUIREMENTS.

1 OF 2
REV. 02/14

EROSION CONTROL BLANKET INSTALLATION NOTES

1. SET THE PLAN VIEW FOR THE LOCATION(S) OF THE EROSION CONTROL BLANKETS.
2. EROSION CONTROL BLANKETS USED FOR CHANNEL PROTECTION SHALL BE THOROUGHLY SELECTED BY THE DESIGN ENGINEER BASED ON CURRENT AND FUTURE FLOW RATES WITHIN THE CHANNEL. BASED ON THIS CALCULATION, THE EROSION CONTROL BLANKET OR RIFRACTION MAY BE NECESSARY IN THE EROSION CONTROL BLANKETS.
3. INSTALLATION PRIOR TO BLANKET INSTALLATION, EROSION CONTROL BLANKETS SHALL BE THOROUGHLY CLEANED AND FREE OF ANY GAPS, HOLES, WEBS, ROCKS, STAKES OR OTHER UNDESIRABLE DEBRIS.
4. EROSION CONTROL BLANKET SHALL BE INSTALLED ACCORDING TO THE DETAIL DRAWINGS.
5. ANY DAMAGED OR WEAVING STAPLES OR STAKES SHALL BE REMOVED FROM THE SITE.
6. ALL EROSION CONTROL BLANKETS FOR SLOPE PROTECTION INSTALLED IN THE TOWN SHALL BE DOUBLE NAIL, STRAW OR EXCELSDOR.

MANUFACTURER	PRODUCT NAME
ASPHALT MANUFACTURER	STAPLE
APPROVED EQUAL	APPROVED EQUAL

EROSION CONTROL BLANKET MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE EROSION CONTROL BLANKETS AND MAKE ANY NECESSARY REPAIRS.

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REV. 02/14

AREA INLET PROTECTION WITH CONCRETE APRON

NOTE:

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE AREA INLET PROTECTION.
2. THE AREA INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLET. IN CASE OF ANY LAND DISTURBING ACTIVITIES ON IMMEDIATELY AFTER THE INSTALLATION OF NEW INLET, AN INTERIM SITE OF INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.

1 OF 1
REV. 02/14

AREA INLET PROTECTION INSTALLATION NOTES

1. SEE PLAN VIEW FOR LOCATION(S) OF AREA INLET PROTECTION.
2. THE AREA INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLET. IN CASE OF ANY LAND DISTURBING ACTIVITIES ON IMMEDIATELY AFTER THE INSTALLATION OF NEW INLET, AN INTERIM SITE OF INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.

AREA INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE AREA INLET PROTECTION.
2. THE AREA INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
3. WHEN THE AREA INLET PROTECTION IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE AREA INLET PROTECTION SHALL BE REVEGETATED, SEEDED, MULCHED, AND COMPOSTED PER THE TOWN'S INSPECTOR GUIDANCE (SEE DETAIL SDC).
4. ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.

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REV. 02/14

AREA INLET PROTECTION IN PAVEMENT

NOTE:

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CURB INLET PROTECTION.
2. THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLET. IN CASE OF ANY LAND DISTURBING ACTIVITIES ON IMMEDIATELY AFTER THE INSTALLATION OF NEW INLET, AN INTERIM SITE OF INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.

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REV. 02/14

CURB INLET PROTECTION ON-GRADE, TYPE R INLET

NOTE:

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CURB INLET PROTECTION.
2. THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLET. IN CASE OF ANY LAND DISTURBING ACTIVITIES ON IMMEDIATELY AFTER THE INSTALLATION OF NEW INLET, AN INTERIM SITE OF INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.

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REV. 02/14

TUBULAR TRAFFIC MARKER DETAIL

1 OF 3
REV. 02/14

INLET PROTECTION, CURB ON-GRADE INSTALLATION NOTES

1. SET CBMP PLAN FOR LOCATION(S) OF ON-GRADE INLET PROTECTION.
2. CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
3. ROCK SOCK FOR ON-GRADE INLET PROTECTION SHALL BE ONE CONTINUOUS PIECE.
4. ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL, WELD TO KILL. ROCK SOCK SHALL BE WELDED TO THE END OF THE SOCK.
5. ROCK SOCK SHALL BE PLACED 5.0' UPHILL OF THE INLET OPENING.
6. TUBULAR MARKER SHALL BE A MINIMUM OF 3.0' HIGH WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
7. THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLET. IN CASE OF ANY LAND DISTURBING ACTIVITIES ON IMMEDIATELY AFTER THE INSTALLATION OF NEW INLET, AN INTERIM SITE OF INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.

ON-GRADE INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE ON-GRADE INLET PROTECTION.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
3. ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
4. ON-GRADE INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

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REV. 02/14

INLET PROTECTION, CURB ON SUMP, TYPE R INLET

NOTE:

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CURB INLET PROTECTION.
2. THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLET. IN CASE OF ANY LAND DISTURBING ACTIVITIES ON IMMEDIATELY AFTER THE INSTALLATION OF NEW INLET, AN INTERIM SITE OF INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.

1 OF 2
REV. 02/14

CURB INLET PROTECTION INSTALLATION NOTES

1. SET CBMP PLAN FOR LOCATION(S) OF CURB INLET PROTECTION.
2. CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
3. ROCK SOCK SHALL BE ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAPPED JOINTS (SEE DETAIL SDC).
4. ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL, WELD TO KILL. ROCK SOCK SHALL BE WELDED TO THE END OF THE SOCK.
5. ROCK SOCK SHALL BE PLACED 5.0' UPHILL OF THE INLET OPENING.
6. TUBULAR MARKERS SHALL BE A MINIMUM OF 36" IN HEIGHT WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
7. THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLET. IN CASE OF ANY LAND DISTURBING ACTIVITIES ON IMMEDIATELY AFTER THE INSTALLATION OF NEW INLET, AN INTERIM SITE OF INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.

CURB INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CURB INLET PROTECTION.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
3. ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
4. CURB INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

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REV. 02/14

LOT PROTECTION

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REV. 02/14

EROSION CONTROL BLANKET FOR LOT PROTECTION INSTALLATION NOTES

1. ALL EROSION CONTROL BLANKETS FOR LOT PROTECTION INSTALLED IN THE TOWN SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:
2. ALL EROSION CONTROL BLANKETS FOR LOT PROTECTION SHALL BE INSTALLED ACCORDING TO THE DETAIL DRAWINGS, WITH THE FOLLOWING ALLOWANCES AND ADDITIONS:
 - THE TOWN WILL ALLOW THE USE OF BIODEGRADABLE EROSION CONTROL BLANKETS, PROVIDED THEY ARE MADE OF HIGH QUALITY MATERIALS.
 - ALL EROSION CONTROL BLANKET JOINTS (SEAMS AND ENDS) MUST OVERLAP THE ADJACENT BLANKETS BY A MINIMUM OF 6" WITH THE DOWN-SLOPE EDGE OF THE ADJACENT BLANKET BEING PLACED ON TOP OF THE DOWN-SLOPE EDGE OF THE ADJACENT BLANKET.
 - ALL JOINTS (SEAMS AND ENDS) OF THE EROSION CONTROL BLANKETS SHALL BE NEEDED TO BE REVEGETATED INTO THE GROUND ASSURING THE SITE CONDITIONS MEET THE EROSION CONTROL SUPERVISOR'S REQUIREMENTS. THESE ASSUMPTIONS WILL BE THE RESPONSIBILITY OF THE EROSION CONTROL SUPERVISOR. ON OCCASION, THE TOWN'S INSPECTOR MAY REQUEST REVEGETATION BASED UPON SITE CONDITIONS.
 - TOPSOIL PLACEMENT, SEEDING, AND MULCHING WILL NOT BE REQUIRED ON THE LOTS PRIOR TO THE INSTALLATION OF THE EROSION CONTROL BLANKET.
3. ANY DAMAGED OR EXCESS STAPLES SHALL BE REMOVED FROM THE SITE UPON CONSTRUCTION INSTALLATION.
4. THE EROSION CONTROL BLANKETS REQUIRED AS PART OF THE LOT PROTECTION (LP) REQUIREMENT MUST BE INSTALLED UPON ALL LANDSCAPING AREAS WITHIN EACH RESIDENTIAL, COMMERCIAL, AND COMMUNITY LOT PRIOR TO THE OCCUPANCY OF A CERTIFICATE OF OCCUPANCY / TEMPORARY CERTIFICATE OF OCCUPANCY.

EROSION CONTROL BLANKET FOR LOT PROTECTION MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE EROSION CONTROL BLANKET FOR LOT PROTECTION.
2. EROSION CONTROL BLANKETS FOR LOT PROTECTION ARE INTENDED TO REMAIN IN PLACE AND MAINTAINED UNTIL LANDSCAPING IS INSTALLED.

1 OF 2
REV. 02/14

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CVL CONSULTANTS

TRAILS AT CROWFOOT
FILING 13 CONSTRUCTION DRAWINGS
BMP DETAILS

DRAWN BY: JF
CHECKED BY: JJ
DATE: SEPTEMBER 2017

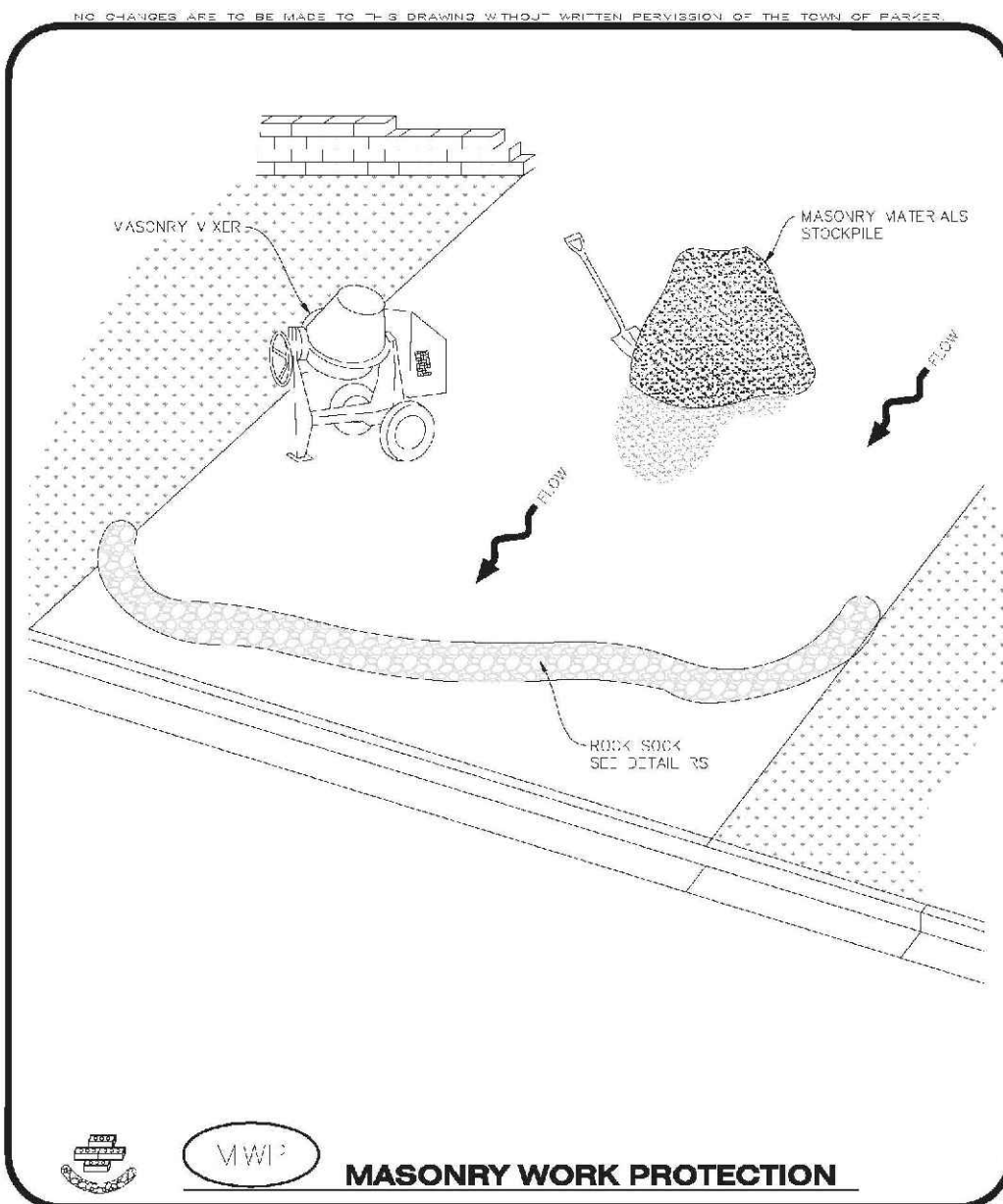
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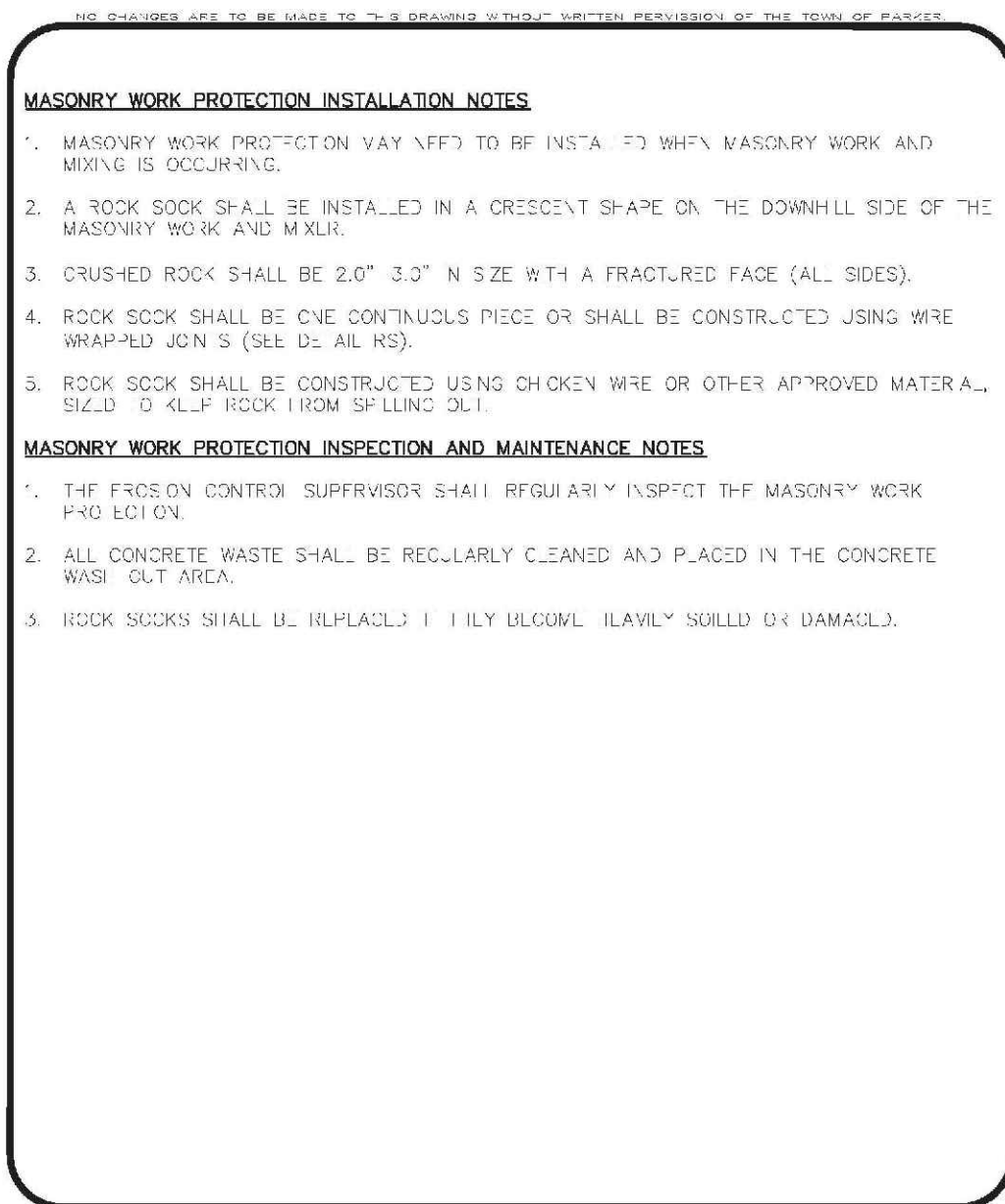
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Date: 09/11/17

Appr. Date: 09/11/17

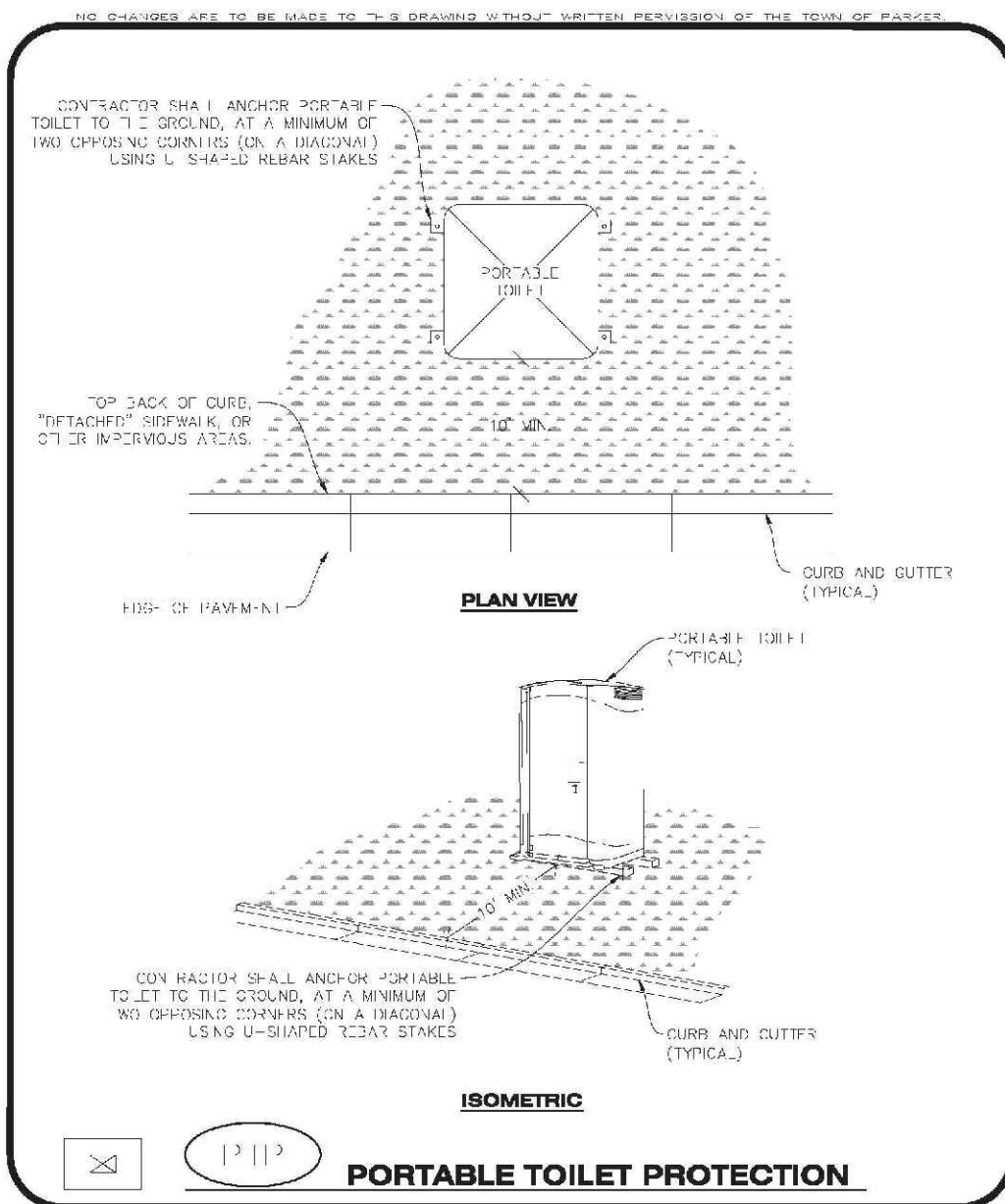


MASONRY WORK PROTECTION



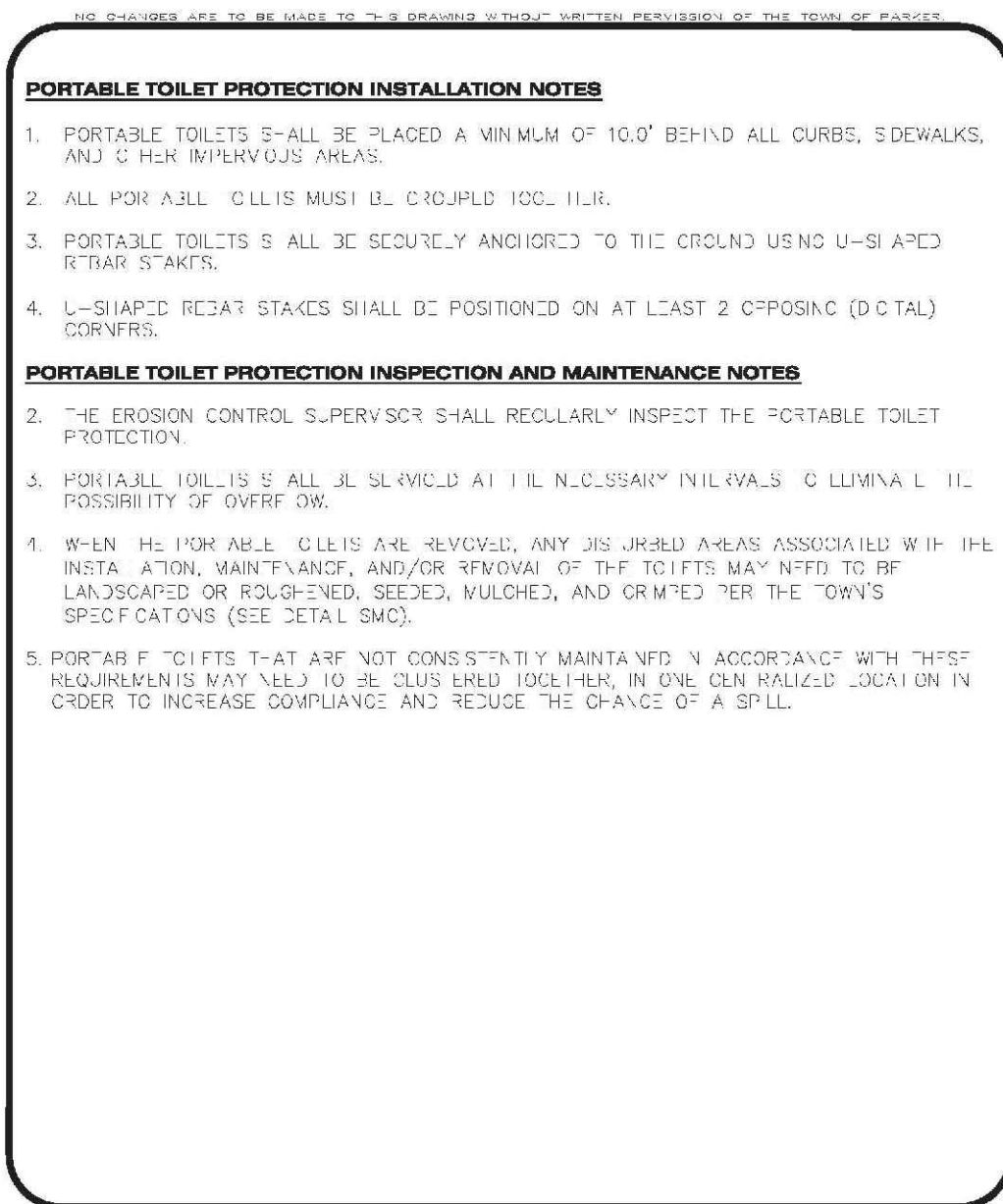
MASONRY WORK PROTECTION INSTALLATION NOTES

CBMP **MWP**
CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 2
REV. 2014



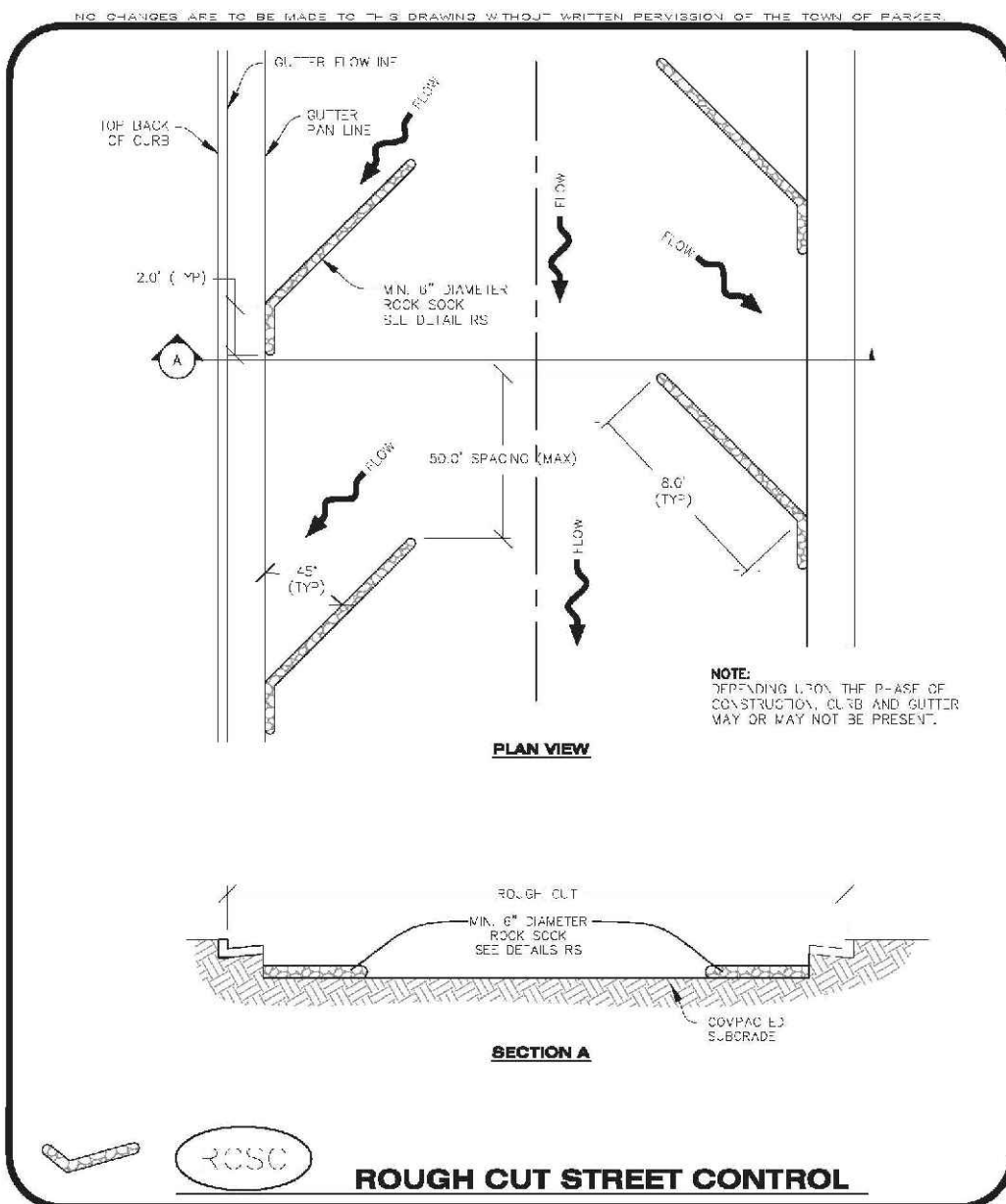
PORTABLE TOILET PROTECTION

CBMP **PTP**
CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 2
REV. 2014



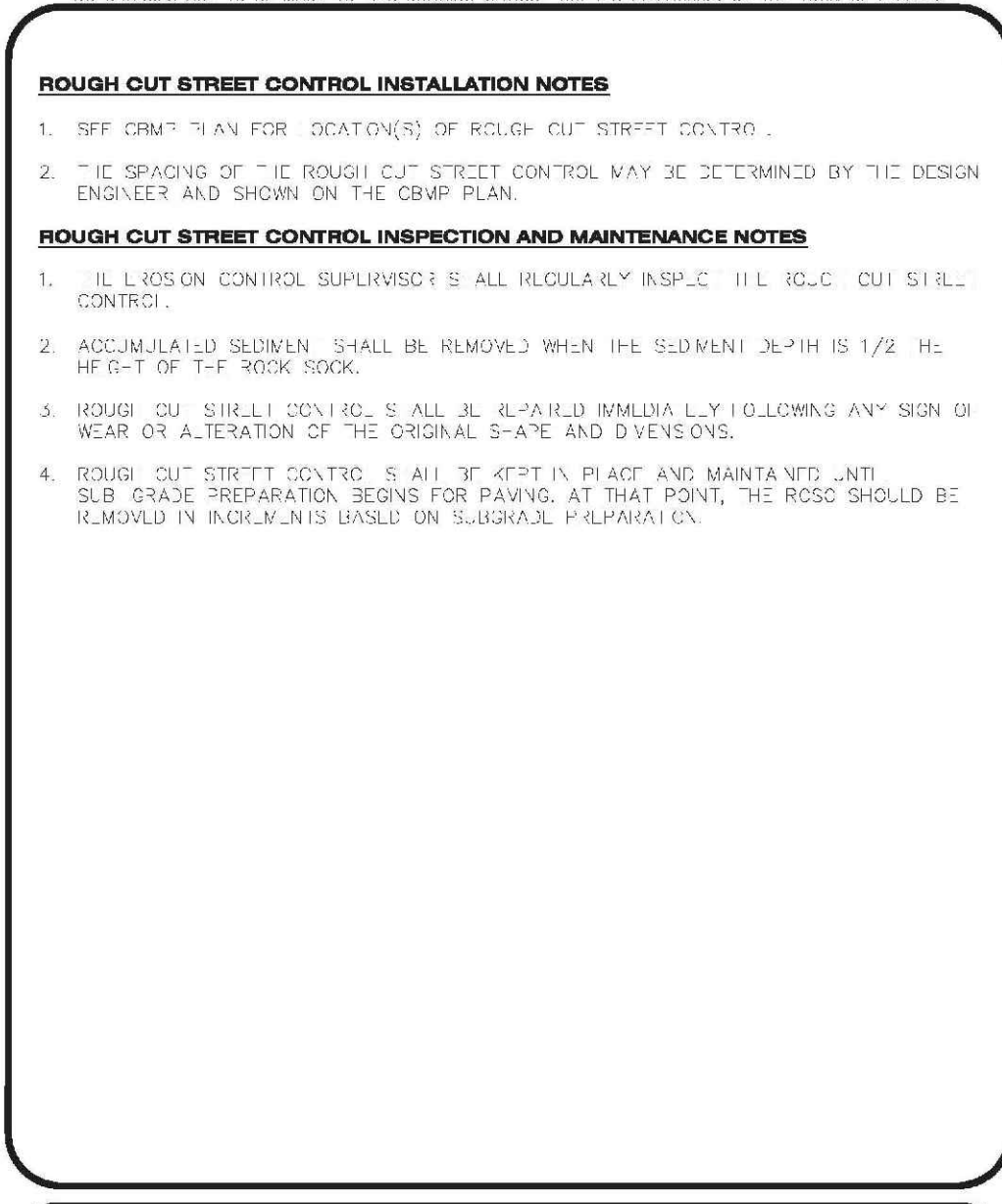
PORTABLE TOILET PROTECTION INSTALLATION NOTES

CBMP **PTP**
CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 2
REV. 2014

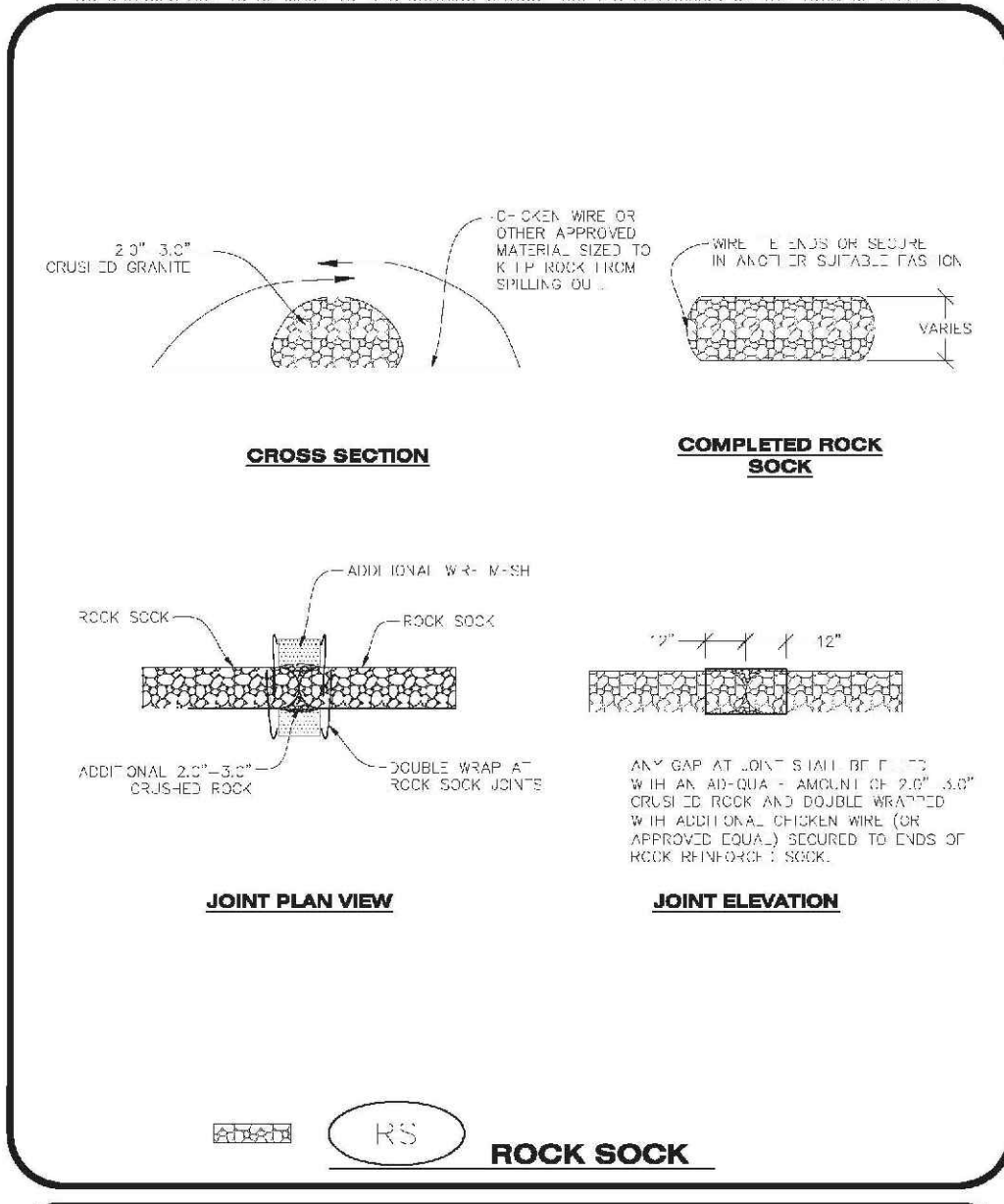


ROUGH CUT STREET CONTROL

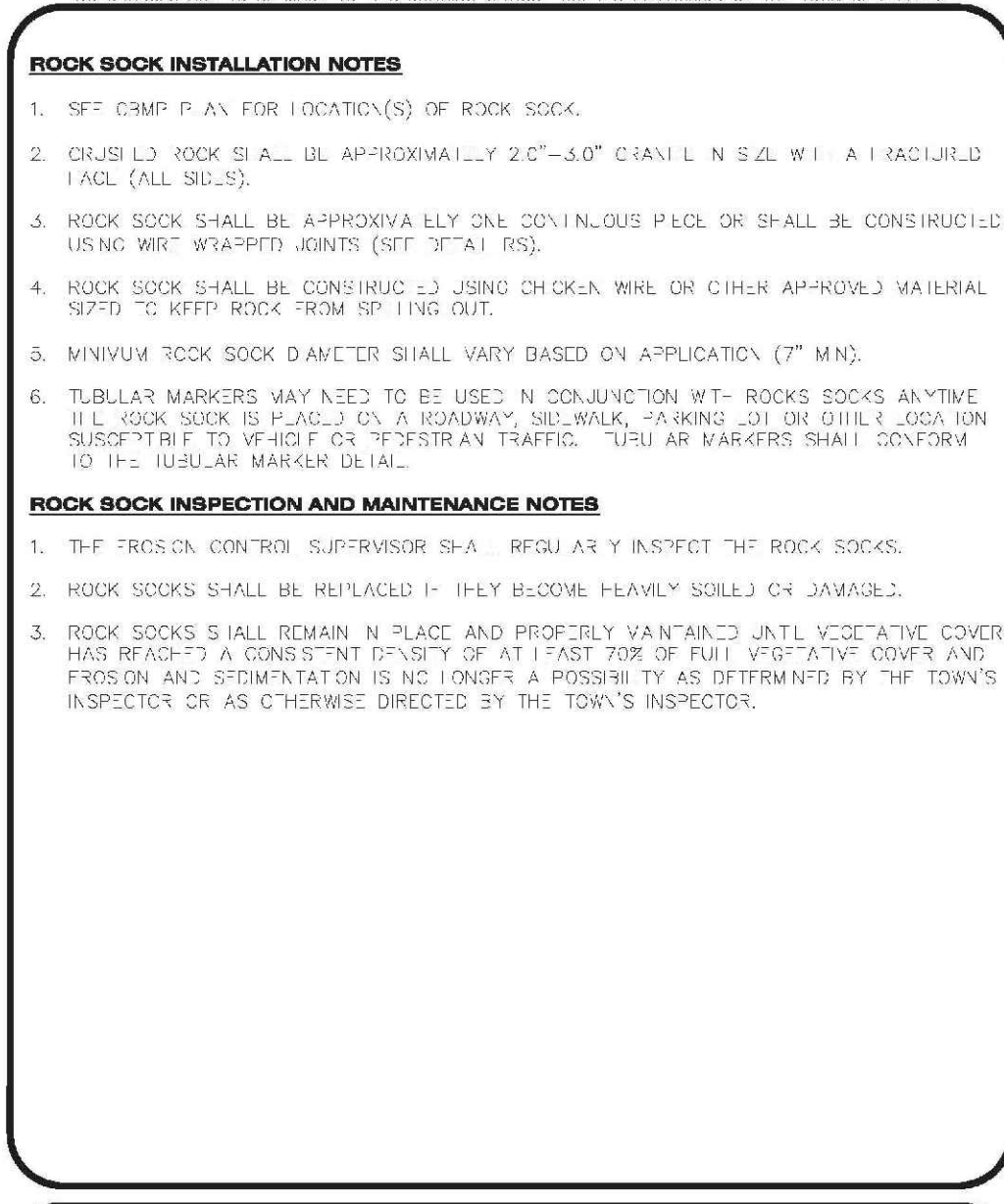
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CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 2
REV. 2014



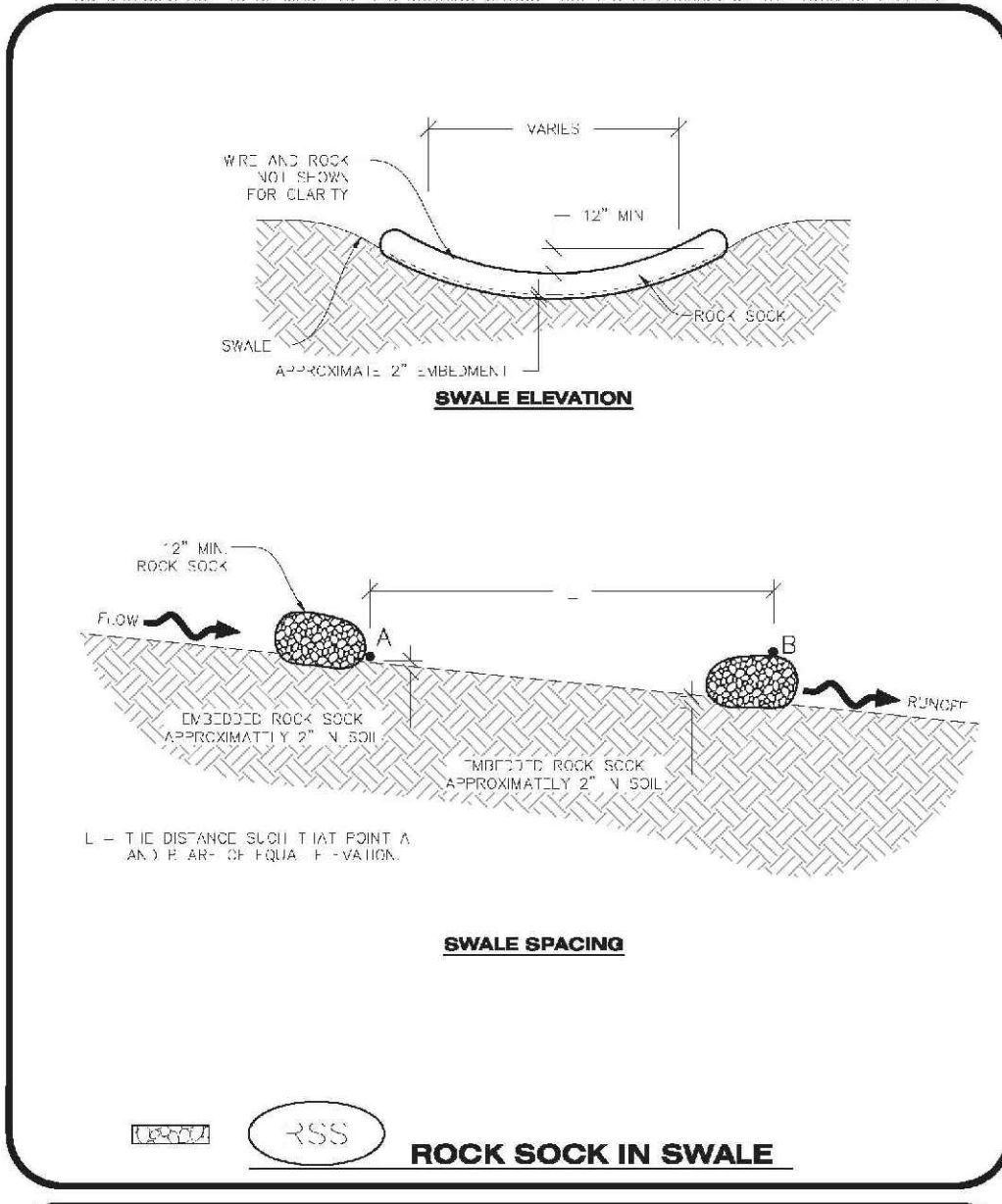
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CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 2
REV. 2014



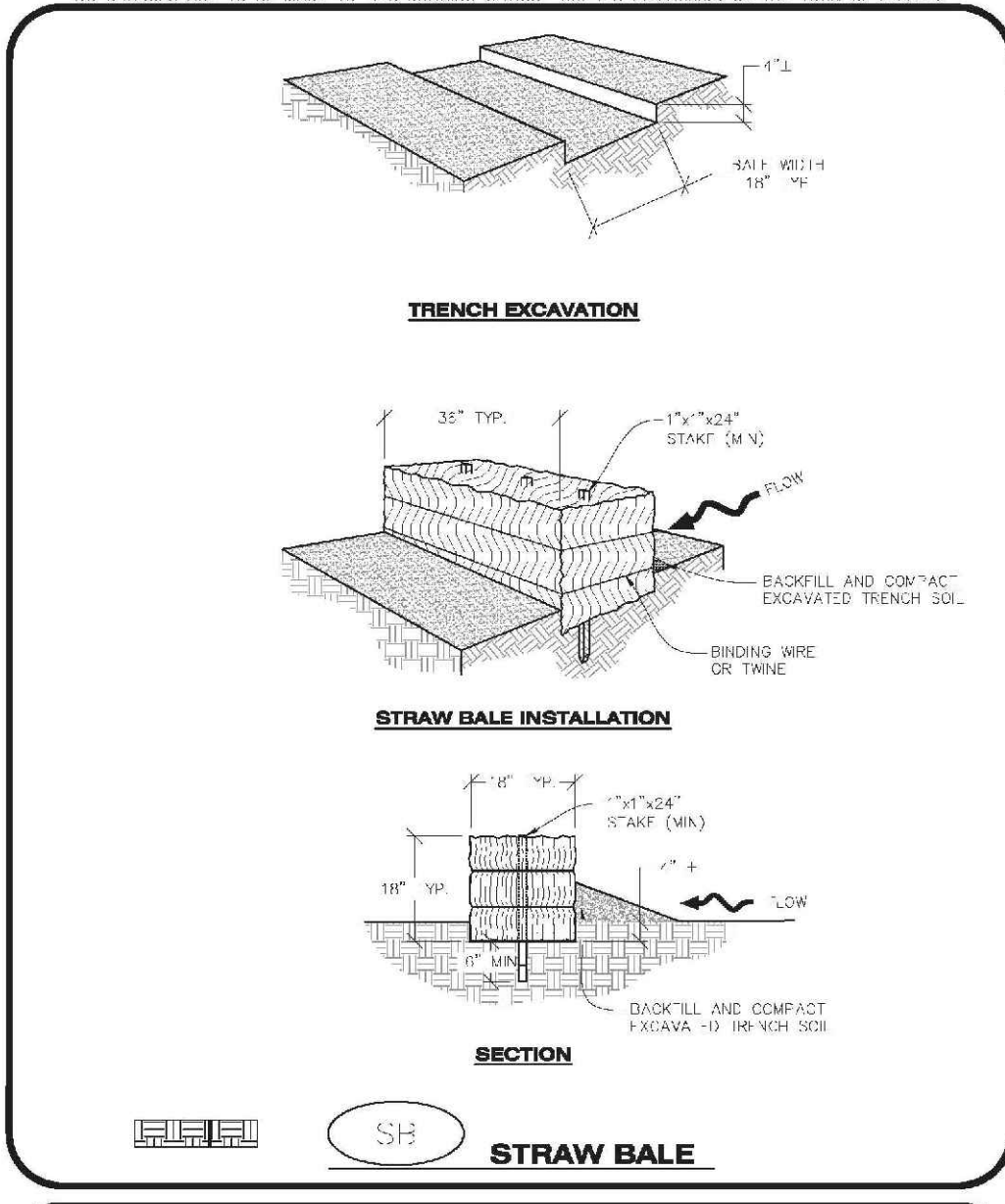
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CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 2
REV. 2014



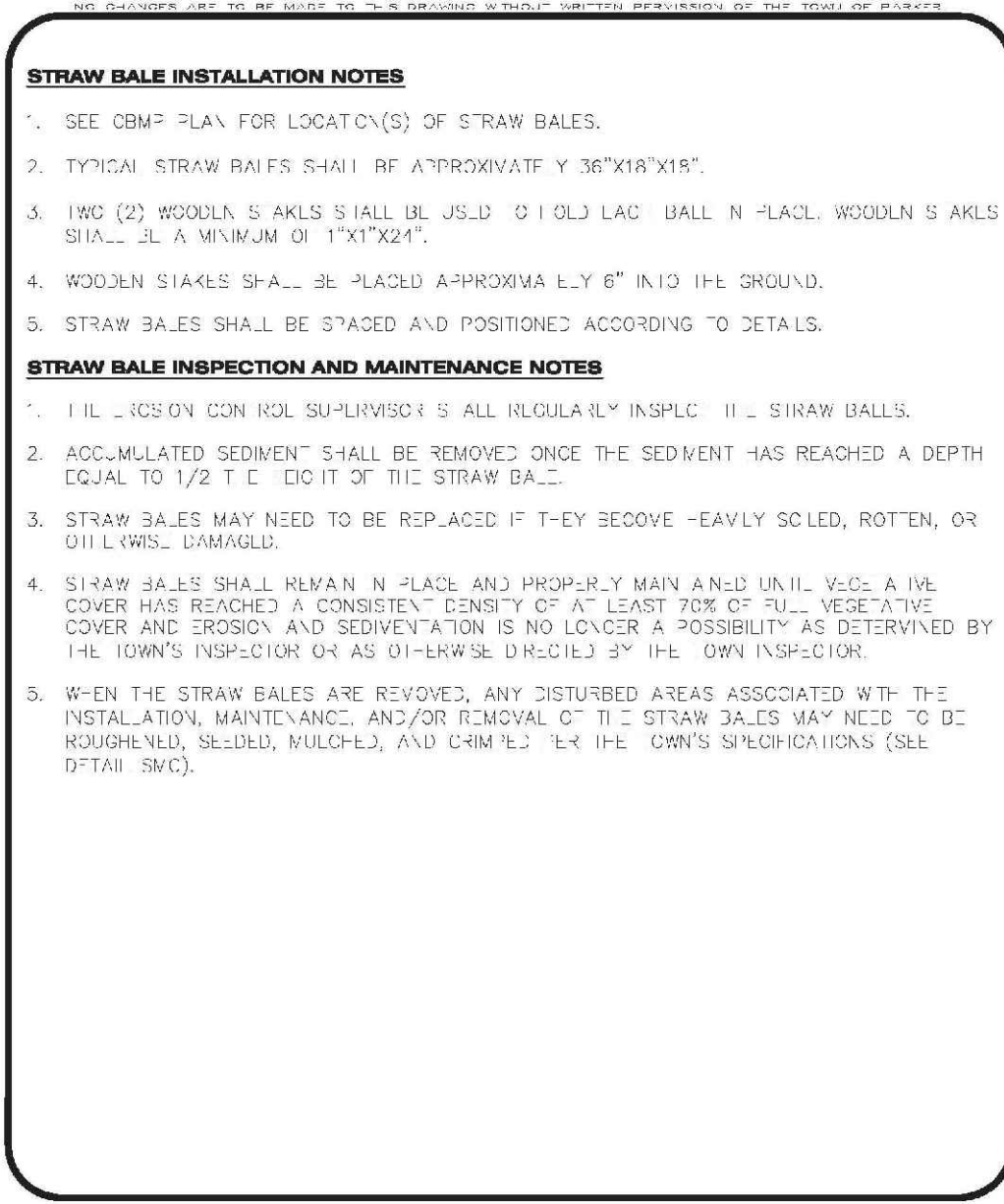
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CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 2
REV. 2014



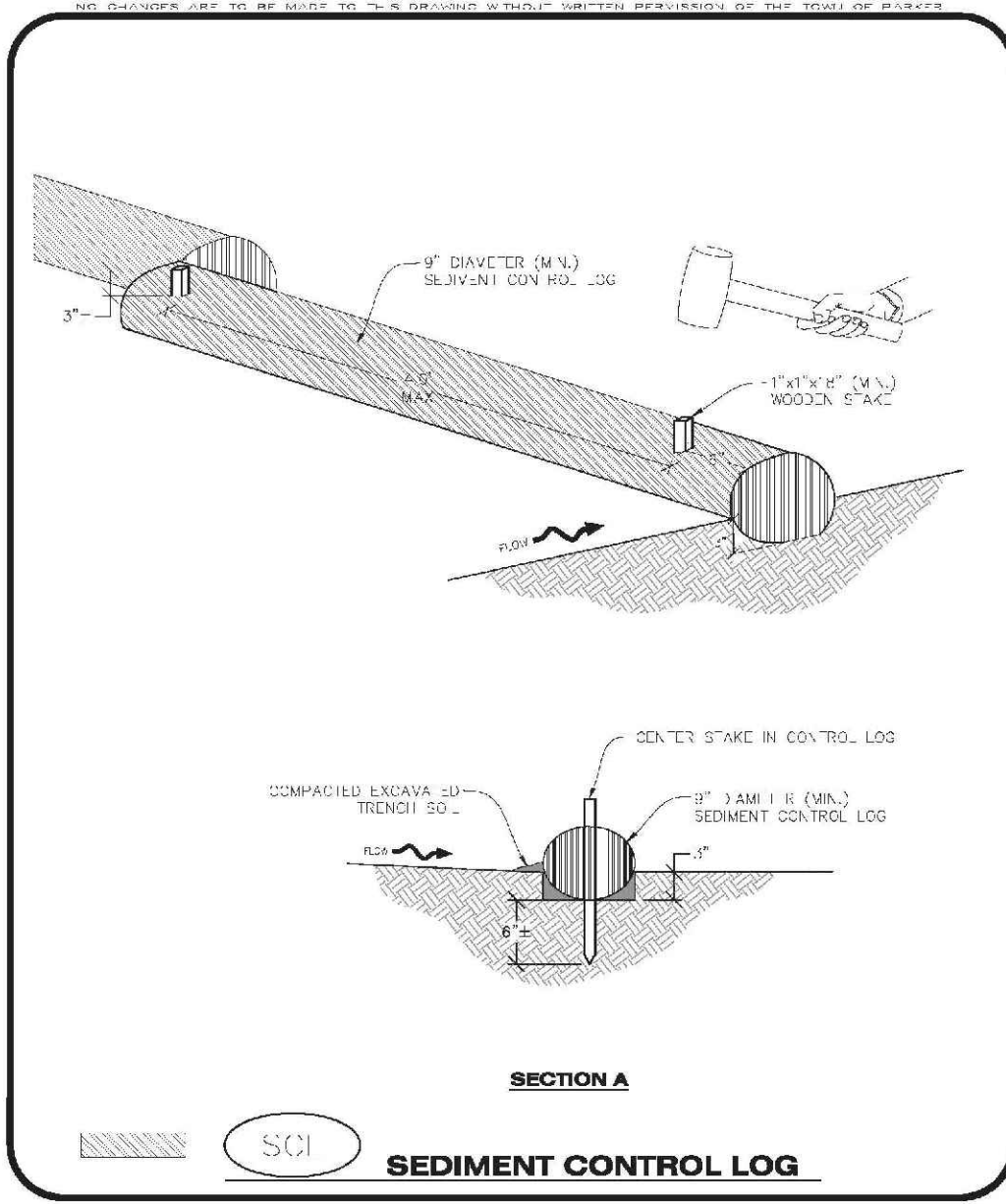
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CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 1
REV. 2014



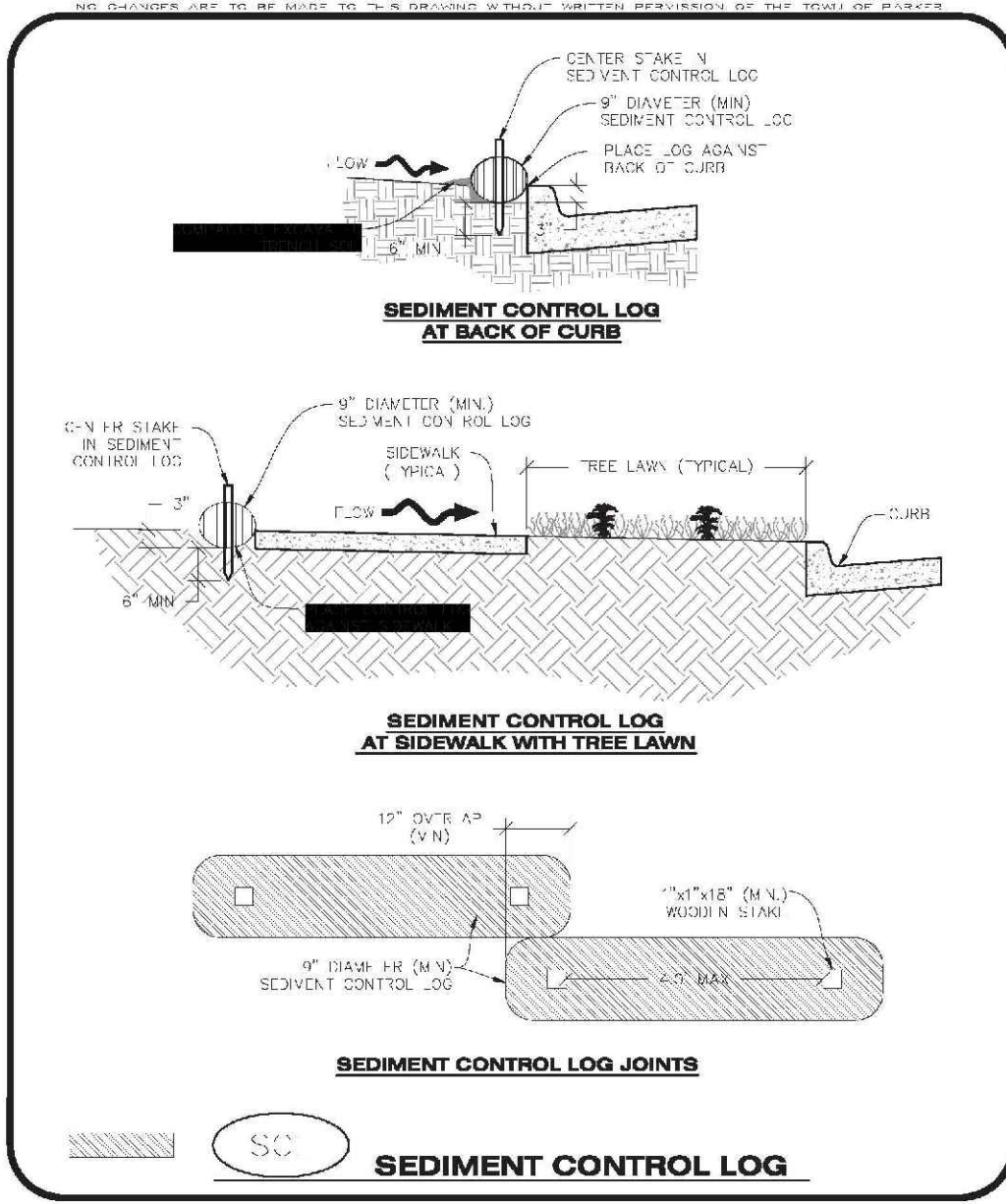
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CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 2
REV. 2014



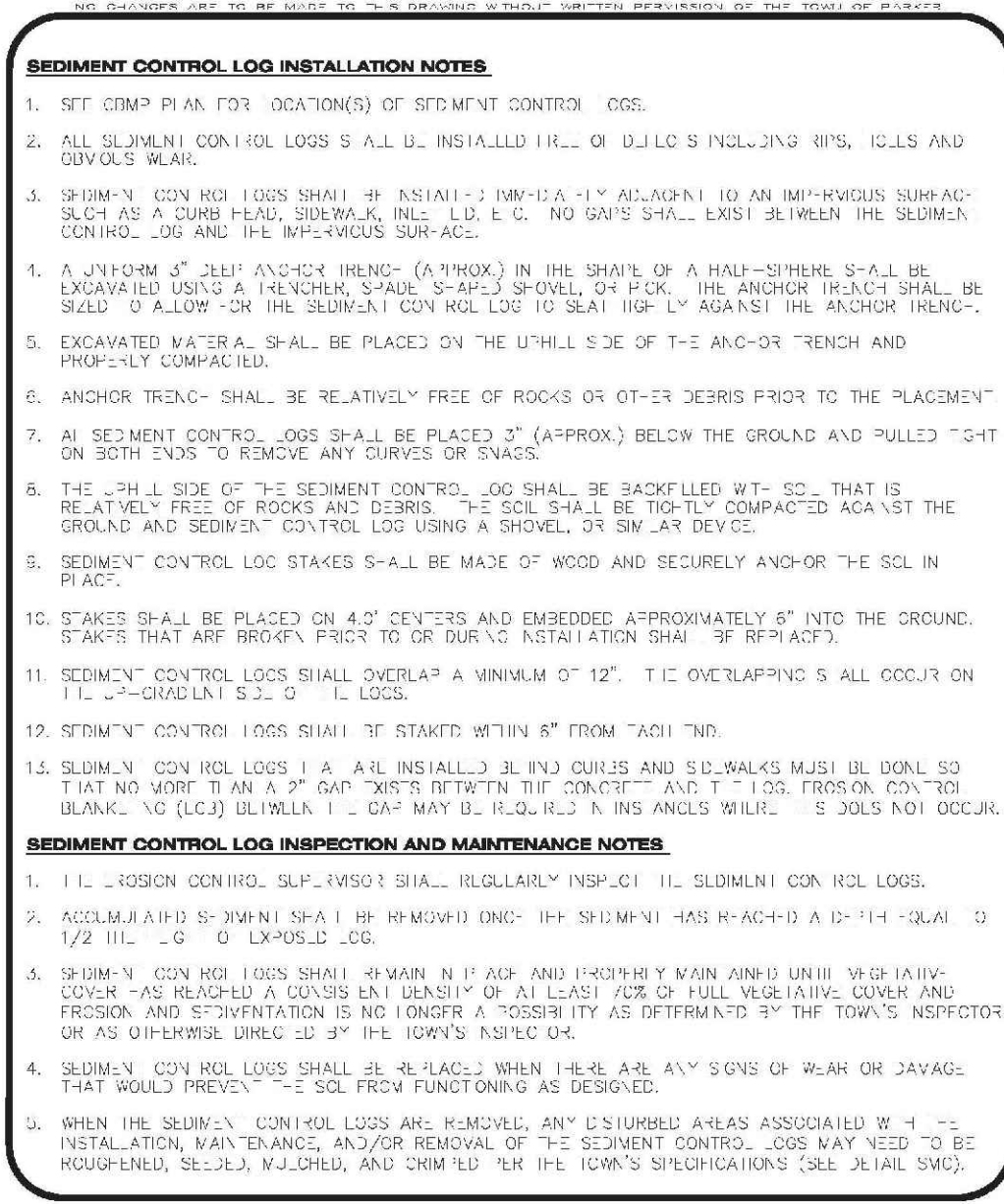
CBMP **SB**
CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 2
REV. 2014



CBMP **SCL**
CONSTRUCTION BEST MANAGEMENT PRACTICES 3 OF 3
REV. 2014



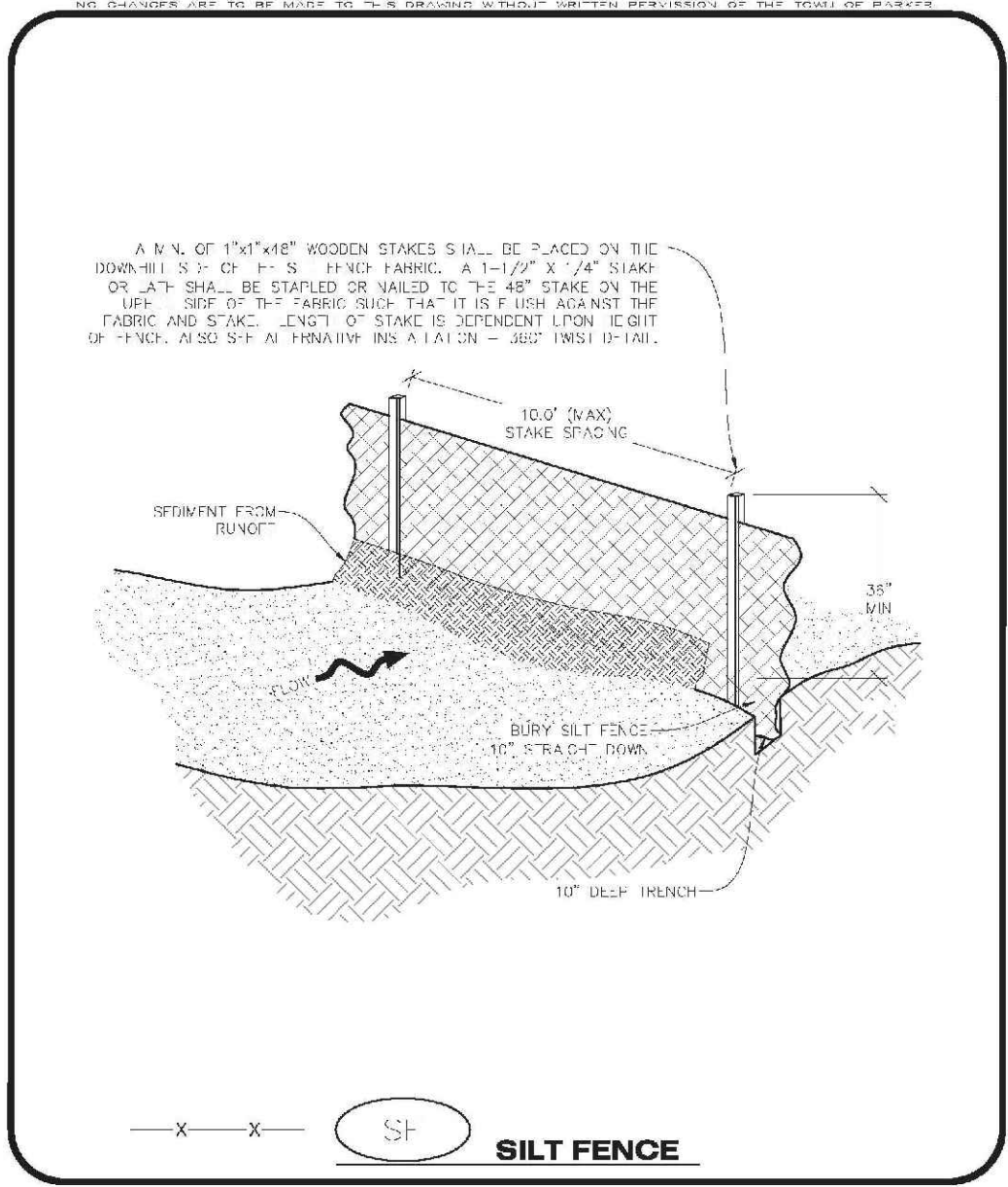
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CONSTRUCTION BEST MANAGEMENT PRACTICES 3 OF 3
REV. 2014



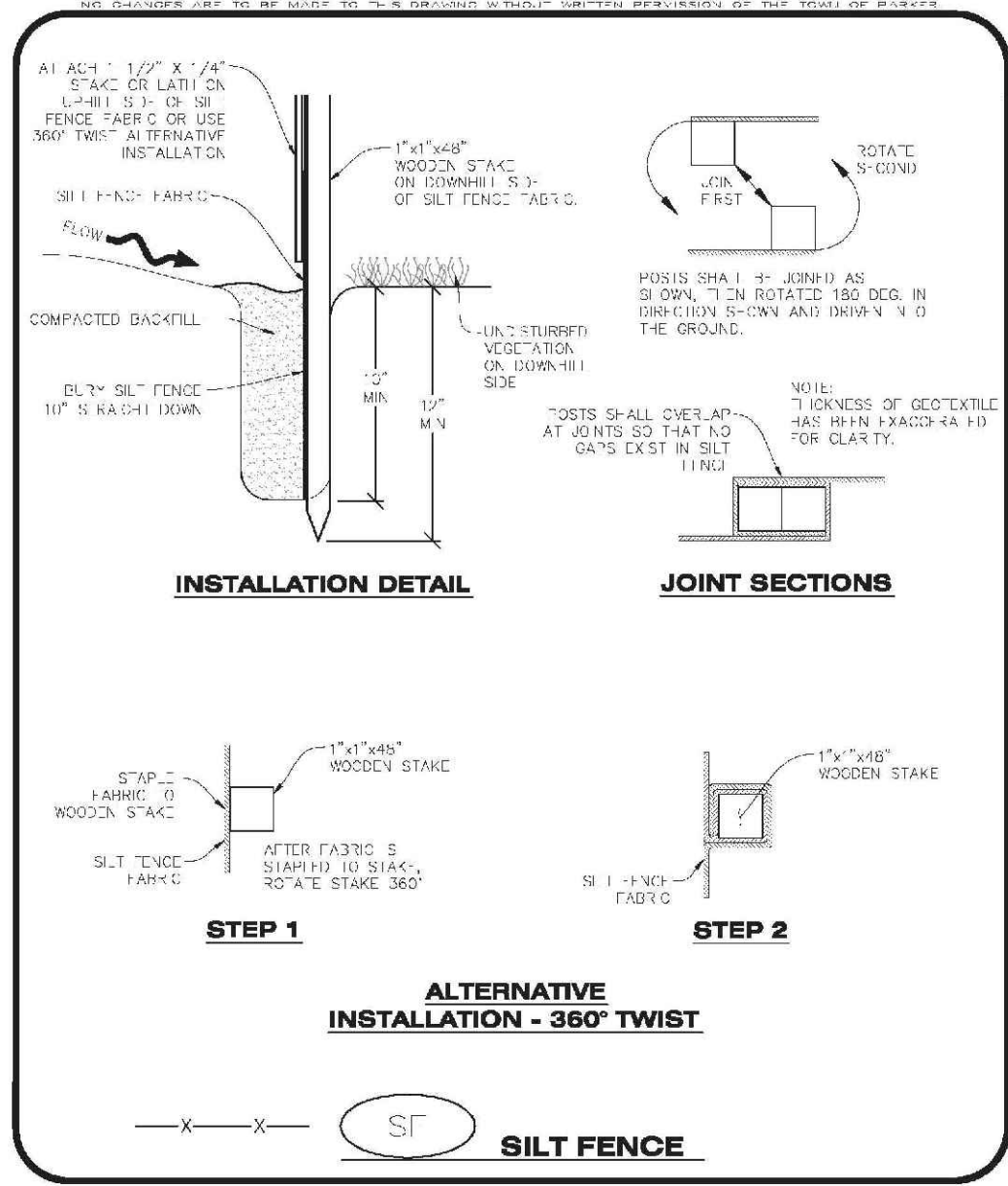
CBMP **SCL**
CONSTRUCTION BEST MANAGEMENT PRACTICES 3 OF 3
REV. 2014

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SHEET NUMBER	DRAWN BY: JF	SCALE: AS SHOWN	CHECKED BY: JJ	DATE: SEPTEMBER 2017	FILE NO: 8130283701	TRAILS AT CROWFOOT FILING 13 CONSTRUCTION DRAWINGS BMP DETAILS	HR 935 LLC 7353 South Alton Way CENTENNIAL, CO 80112		10339 E. Dry Creek Rd. Suite 110 Englewood, CO 80110 Tel: (720) 482-9526 Fax: (720) 482-9546	No.	Revisions	Date	Appr.	Date
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CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES SF 4 OF 4



CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES SF 2 OF 4

SILT FENCE INSTALLATION NOTES

- SEE CBMP PLAN FOR LOCATION(S) OF SILT FENCE.
- ALL SILT FENCE SHALL BE INSTALLED IN GOOD CONDITION AND FREE OF ANY DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR.
- A UNIFORM 10" DEEP ANCHOR TRENCH SHALL BE EXCAVATED USING A TRENCHER.
- A 10" DEEP ANCHOR SILL SHALL BE INSTALLED USING A 5" DIA. SILENT WEDGE.
- EXCAVATED MATERIAL SHALL BE PLACED ON THE UP-SLOPE SIDE OF THE ANCHOR TRENCH.
- ANCHOR TRENCH SHALL BE GENERALLY FREE OF ROCKS OR OTHER DEBRIS PRIOR TO THE PLACEMENT OF THE SILT FENCE.
- ALL ANCHOR TRENCH SHALL BE THOROUGHLY BACKFILLED WITH SILT THAT IS GENERALLY FREE OF ROCKS AND DEBRIS.
- ALL EXCAVATED MATERIAL SHALL BE PLACED ON THE UP-SLOPE SIDE OF THE SILT FENCE.
- STAKES SHALL BE DRIVEN INTO THE DOWN-HILL SIDE OF THE SILT FENCE FABRIC AND PLACED ON TOP OF STAKES OR LESS. STAKES SHALL BE EMBEDDED A MINIMUM OF 12" INTO THE GROUND. A WOODEN LATH SHALL BE ATTACHED TO THE DOWN-HILL SIDE OF THE STAKE FOR ADDED STABILITY AND SECURITY. THE LATH SHALL HAVE THE FOLLOWING DIMENSIONS: 1" X 4" X 1/2".
- SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD NOT BE SIGNIFICANT SAGGING ALONG ANY PORTION OF THE SILT FENCE AFTER IT HAS BEEN ANCHORED TO THE STAKES.
- SILT FENCE FABRIC SHALL BE EMBEDDED IN THE STAKES AND LATHS USING STAPLES OR NAILS OF AN APPROPRIATE LENGTH. STAPLES AND NAILS SHOULD BE PLACED ALONG THE LATH TO ENSURE PROPER ATTACHMENT.
- SILT FENCE FABRIC SHALL MEET THE FOLLOWING MANDATORY REQUIREMENTS:

PROPERTIES	TEST METHOD	MANDATORY REQUIREMENTS
CHAR. TENSILE STRENGTH	ASTM D 4242	> 124 LBS
MULTI-TENSILE STRENGTH	ASTM D 3786	> 300 LBS
TENSILE STRENGTH	ASTM D 4832	> 60 LBS
TEAR RESISTANCE	ASTM D 2553	> 80% AT 500 HOURS OF UV EXPOSURE
UV RESISTANCE	ASTM D 2555	> 100 HOURS
LOW RATE	ASTM D 4461	> 100 HOURS

- AN ORIGINAL PHYSICAL SPECIFICATION SHALL BE ON FILE. LINKS, MANUFACTURER'S ALL GC MAND. AVAILABLE AT THE REQUEST OF THE TOWN'S INSPECTOR. THE PRODUCT IDENTIFICATION SHALL BE PRINTED OR STAMPED ON THE FABRIC AS SHOWN ABOVE.
- SILT FENCE JOINTS SHALL BE CONNECTED ACCORDING TO THE ATTACHED DRAWING.
- SILT FENCE THAT IS INSTALLED BEHIND CURBS AND SIDEWALKS MUST BE DONE SO THAT NO MORE THAN A 2" GAP EXISTS BETWEEN CONCRETE AND THE SILT FENCE. EROSION CONTROL MEASURING DEVICES BETWEEN THE SILT FENCE SHALL BE REQUIRED IN SITUATIONS WHERE THIS GAP IS OCCURRING.

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES SF 3 OF 4

SILT FENCE INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SILT FENCE.
- ACCUMULATED SEDIMENT SHALL BE REMOVED REGULARLY.
- SILT FENCE SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND PROPOSED SOIL REMAINS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- SILT FENCE SHALL BE REPLACED WHEN THERE ARE ANY SIGNS OF WEAR AND/OR DAMAGE.
- WHEN THE SILT FENCE IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE SILT FENCE MAY NEED TO BE RELOTTED, SEEDING, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE JULIAN SMC).

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES SF 4 OF 4

SEEDING AND MULCHING SHALL BE PERFORMED ACCORDING TO THE ACCOMPANYING DETAIL(S) AND TEXT. NO EXCEPTIONS SHALL BE MADE.

- SILT PLAN V.V. OR:
 - LOCATION(S) OF SEEDING AND MULCHING
 - TYP. OF SOIL MIX
- SEED MIXES MAY CONFORM TO THE TABLE PROVIDED WITH THE SMC NOTES OR ALTERNATIVES MAY BE ALLOWED WITH PRIOR PERMISSION OF THE TOWN'S INSPECTOR.
- SEEDING MAY BE PERFORMED YEAR-ROUND ASSUMING THE SOIL IS NOT FROZEN AND DURING TIMES OF EXTREME TEMPERATURES SHOULD BE AVOIDED.
- IF THE SEEDING OF THE TANK DISBURSERS IS NOT POSSIBLE, THE SEEDING SHALL BE PERFORMED BY HAND OR BY A SEEDING MACHINE. THE SEEDING SHALL BE PERFORMED AT A RATE OF 2 TONS/ACRE (2000 LBS/ACRE). MULCH SHALL BE UNIFORMLY APPLIED TO A DEPTH OF 2 INCHES USING A CRUMPER. MULCH SHALL BE HAND CRUMPED AND COVERED WITH A TACKLER IN AREAS WHERE MECHANICAL CRUMPING IS NOT POSSIBLE. WHEN SOILS PERMIT, ALL MULCH SHALL BE CRUMPED SO THAT THE INDIVIDUAL PIECES OF STAWK OR PAST FORM SHAPES PROTRUDING OUT OF THE GROUND SEVERAL INCHES.
- IN CERTAIN INSTANCES, IT MAY BE NECESSARY TO APPLY A TACKLER IN ORDER TO HELP WITH STRAW CRUMPING. TACKLER SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES SMC 1 OF 3

SEEDING AND MULCHING MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SEEDING AND MULCHING.
- ANY SEEDING AND MULCHING AREAS THAT BECOME DAMAGED SHALL BE REPAIRED WITHIN THE TIME FRAME SPECIFIED BY THE TOWN'S INSPECTOR.

WEED MANAGEMENT

- ALL WEEDS SHALL BE REMOVED BY COMMERCIAL SERVICES. APPLICATIONS CONDUCTED BY THE COLORADO DEPARTMENT OF AGRICULTURE AS QUALIFIED APPLICATORS. THE CONTRACTOR SHALL FURNISH DOCUMENTATION OF SUCH TREATMENTS PRIOR TO HERBICIDE APPLICATION.
- HERBICIDE APPLICATIONS SHALL BE SUCH THAT PLANT GROWTH OUTSIDE THE DESIGNATED TREATMENT AREAS WILL NOT BE DAMAGED. ALL DAMAGE CAUSED BY IMPROPER HERBICIDE APPLICATION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- HERBICIDES SHALL BE APPLIED DURING THE APPROPRIATE SEASONS, WHEN TARGET PLANTS ARE ACTIVELY GROWING.
- IF THE WEEDS ARE NOT CONTROLLED BY HERBICIDES, MECHANICAL WEEDING SHALL BE USED TO CONTROL WEEDS.
- HERBICIDE TREATMENTS SHALL CONTINUE AT AN APPROPRIATE RATE UNTIL IT IS EVIDENT THAT WEED GROWTH PRESENCE AND GROWTH IS MINIMAL AND MAY BE CONTROLLED THROUGH MOWING AND ANNUAL HERBICIDE APPLICATION.

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES SMC 2 OF 3

TOWN OF PARKER, SEED MIX 1

20% ARIZONA BLUEGRASS
10% EASTWIND WHEATGRASS
10% SILENT WHEATGRASS
10% ANNUAL KYRGRASS
10% BLUE FESCUE
10% BLUE GRASS
10% CANADIAN BLUEGRASS
10% BLUE GRASS

SEEDING RATE:
DRILL: 25 LBS/ACRE
BROADCAST: 50 LBS/ACRE

TOWN OF PARKER, SEED MIX 2

20% ARIZONA BLUEGRASS
10% SODAR STREAMBANK WHEATGRASS
10% SILENT WHEATGRASS
10% BLUE GRASS
10% BLUE FESCUE
10% BARLEY OR OATS
10% CANADIAN BLUEGRASS
10% BLUE GRASS

SEEDING RATE:
DRILL: 25 LBS/ACRE
BROADCAST: 50 LBS/ACRE

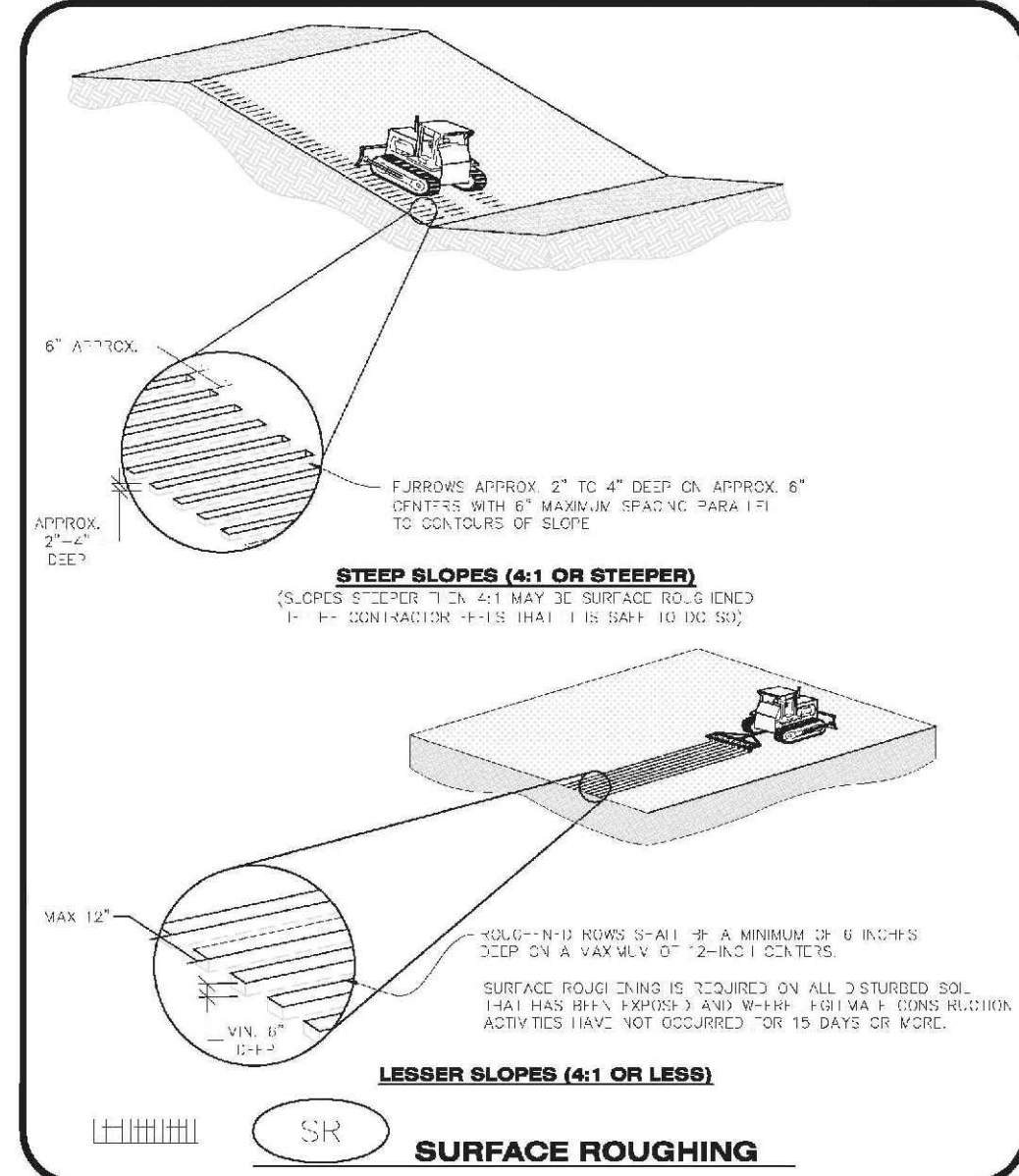
TOWN OF PARKER, SEED MIX 3 (LOW-GROWTH MIX)

20% CRITAM CRISTED WHEATGRASS
20% SILENT WHEATGRASS
10% CANADIAN BLUEGRASS
10% BARLEY OR OATS
10% BLUE FESCUE

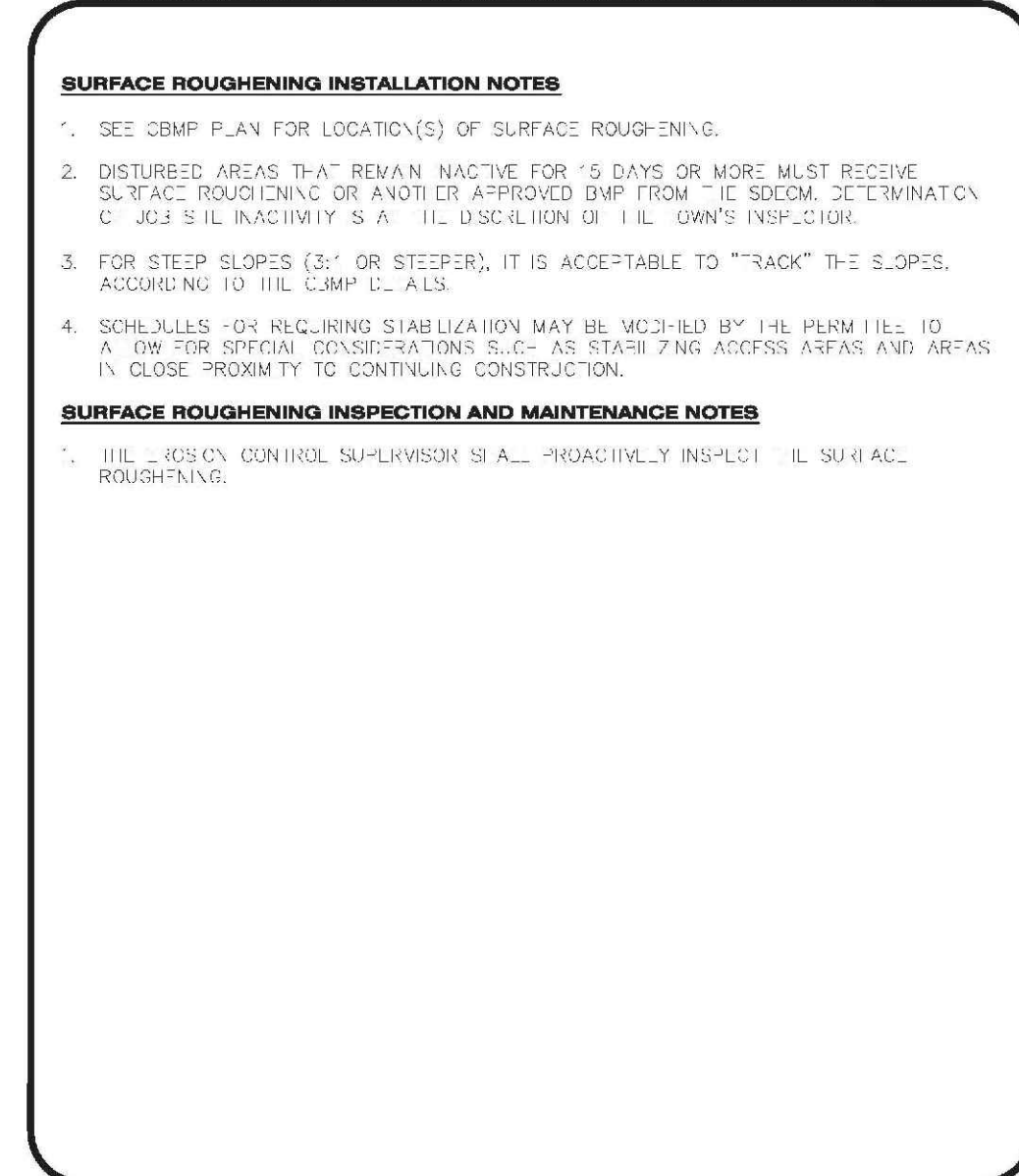
SEEDING RATE:
DRILL: 25 LBS/ACRE
BROADCAST: 50 LBS/ACRE

SEED MIX 4:
OTHER SEED MIXES APPROVED BY THE TOWN OF PARKER

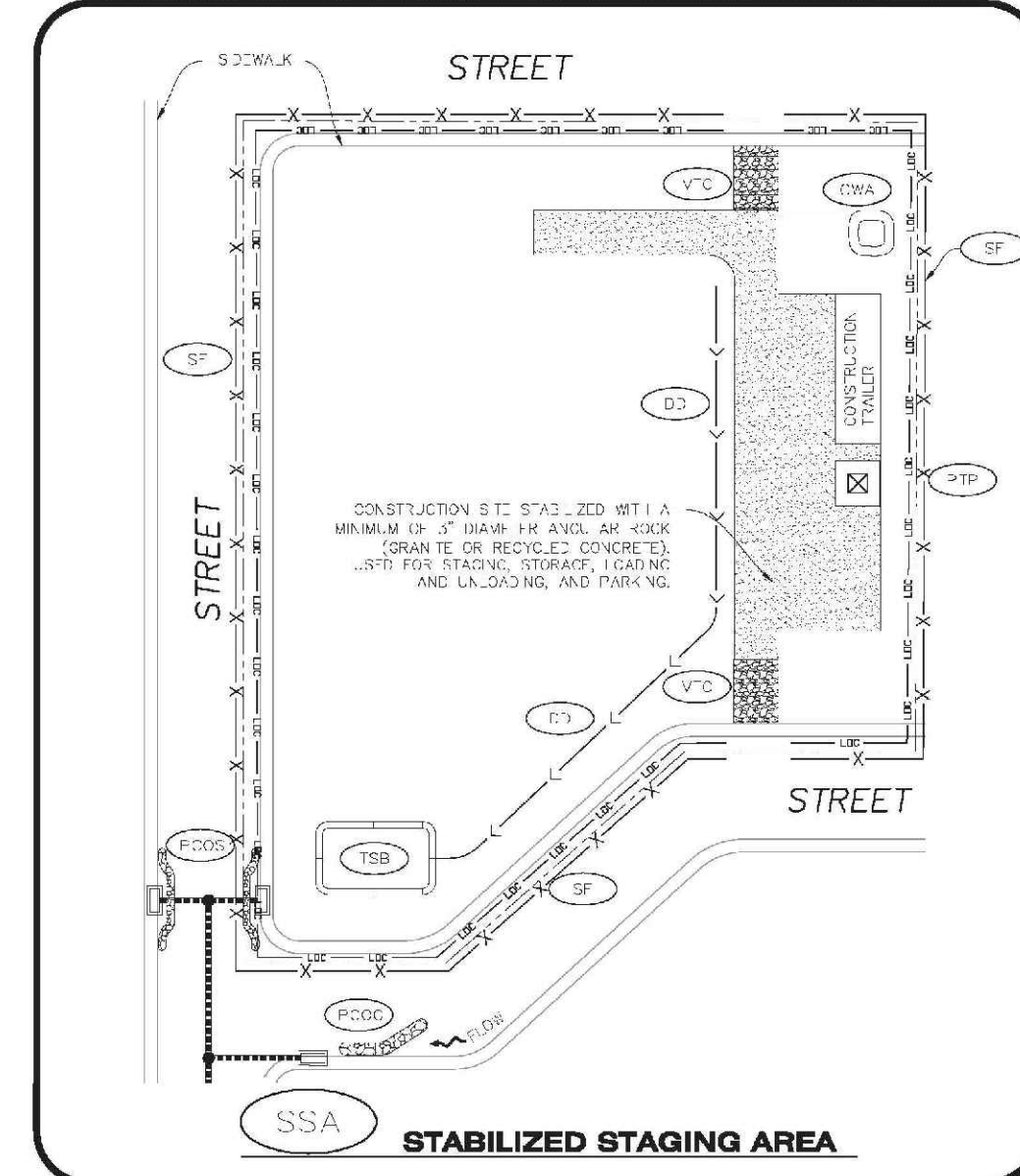
CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES SMC 3 OF 3



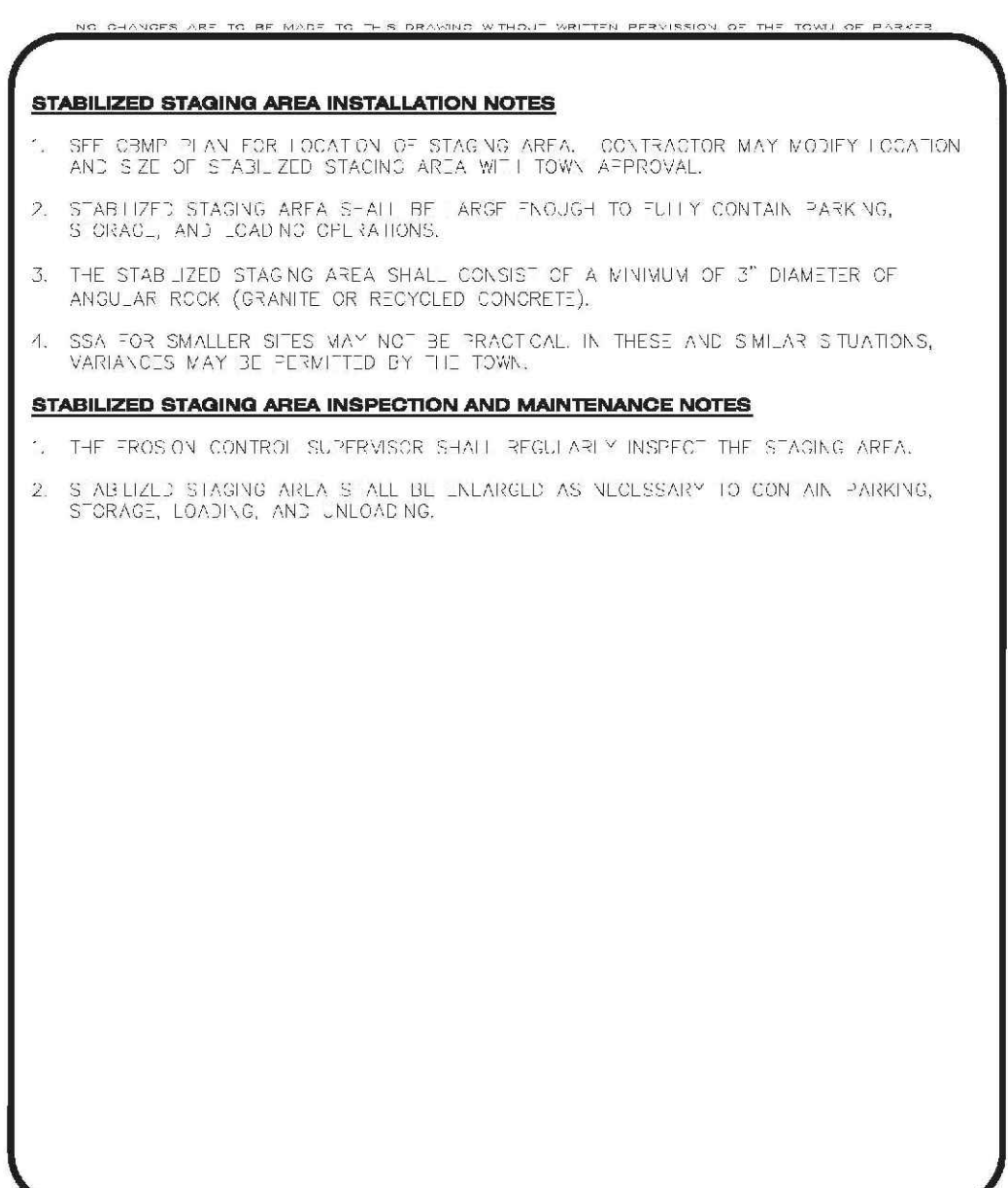
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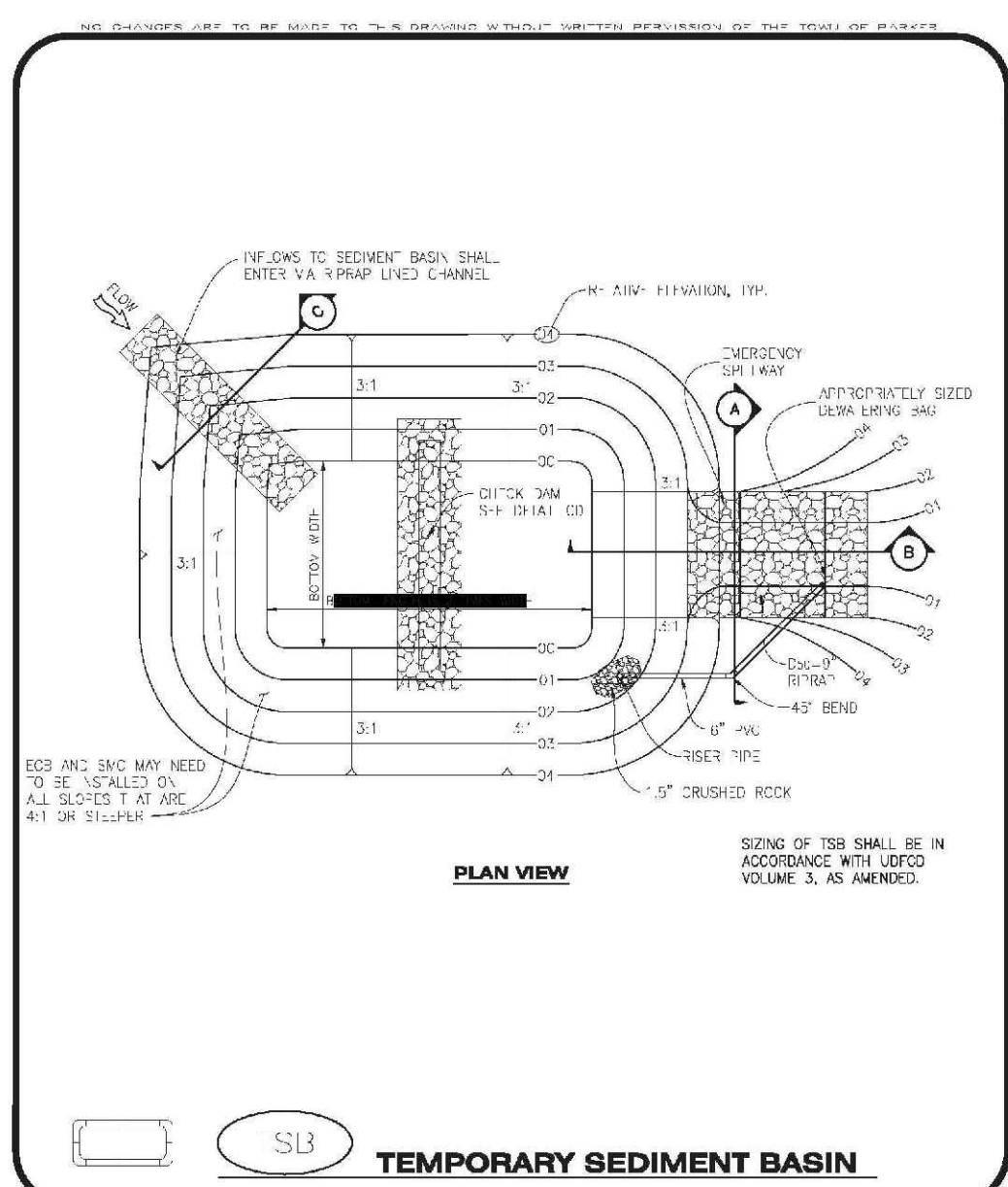
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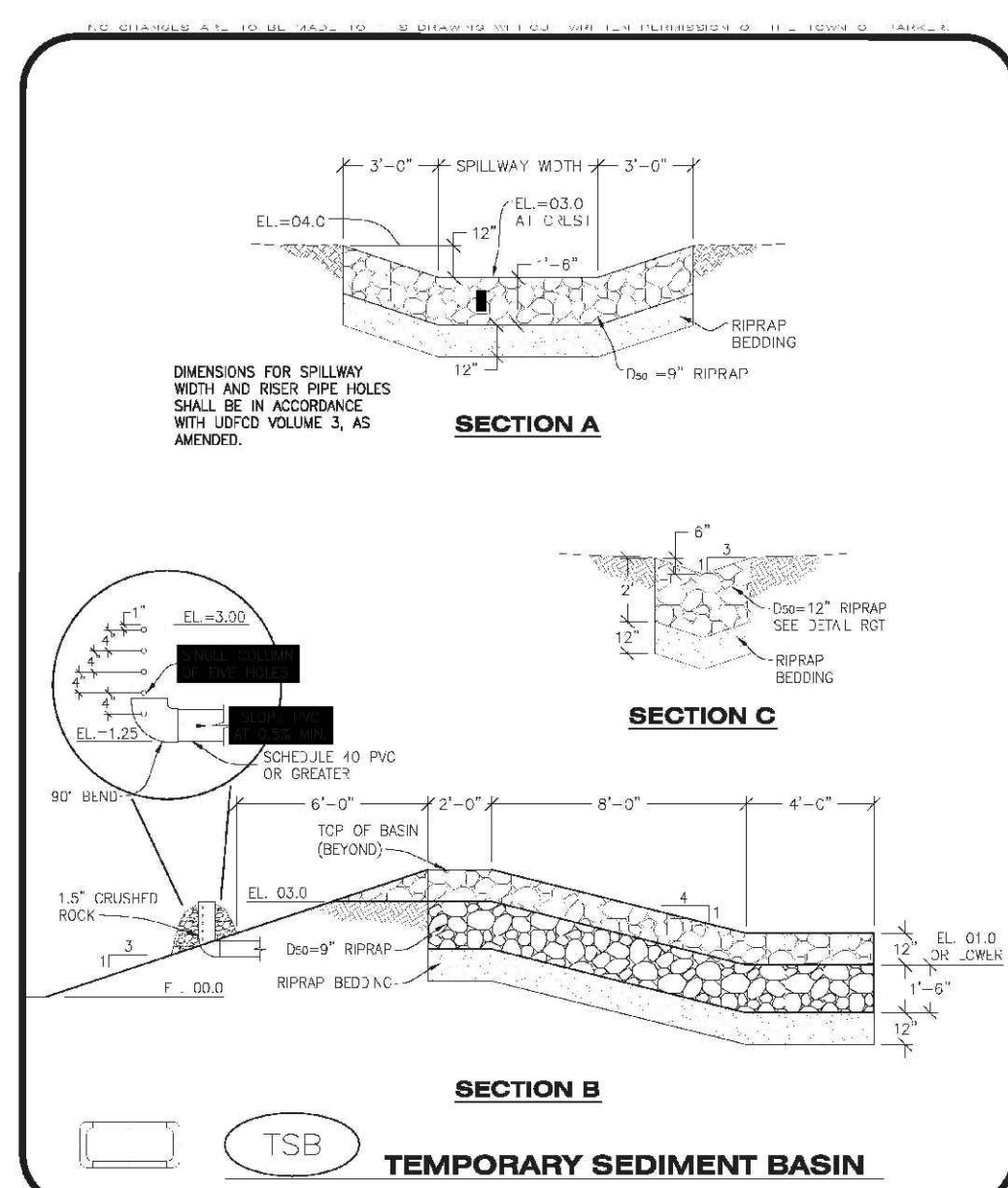
CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES SSA 2 OF 2



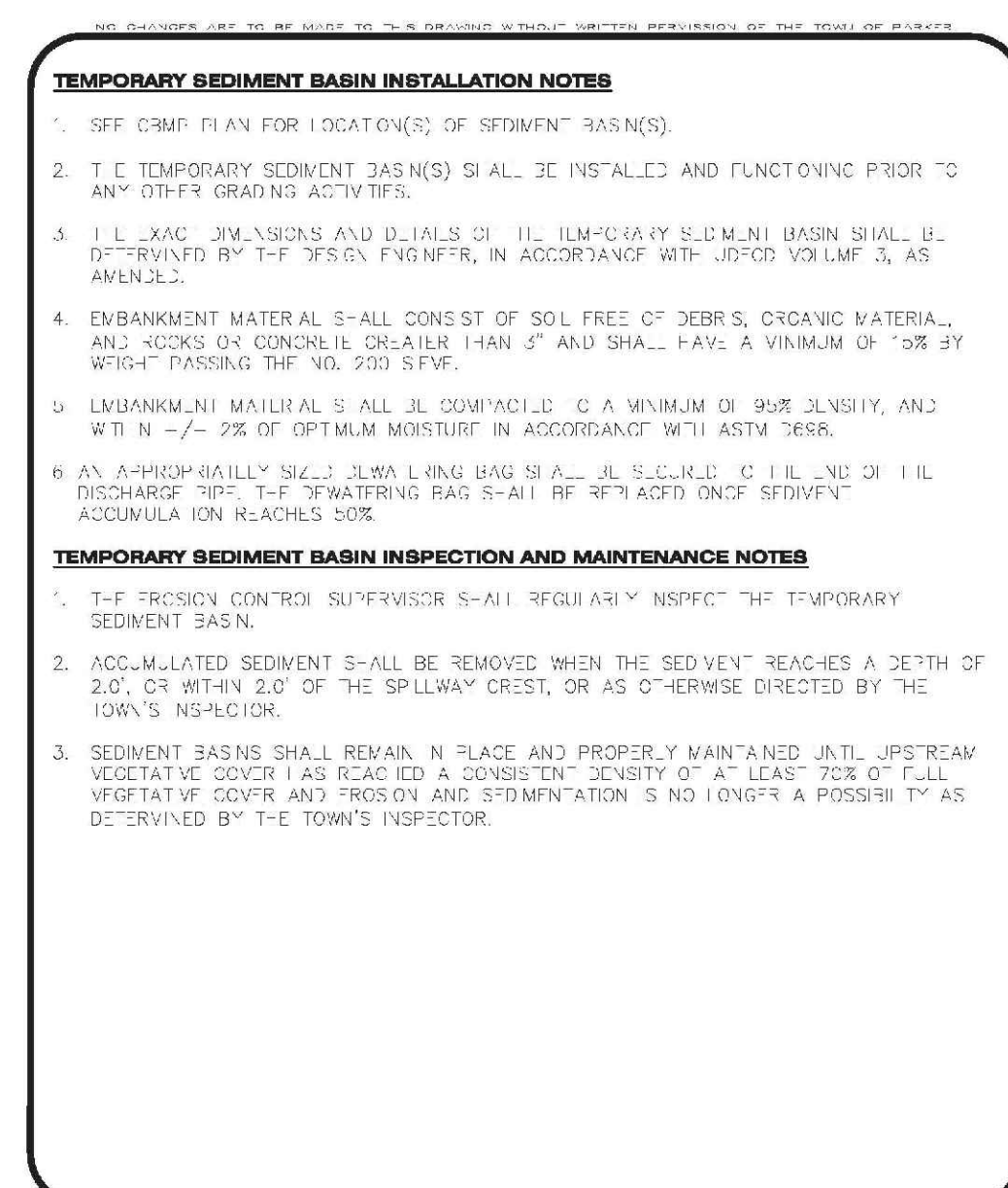
CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES SSA 2 OF 2



CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES TSB 1 OF 3



CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES TSB 2 OF 3



CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES TSB 3 OF 3

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES SSA 2 OF 2

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES TSB 1 OF 3

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES TSB 2 OF 3

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES TSB 3 OF 3

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NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

SECTION A

CHECK DAM

CD

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 3 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

SECTION B

SECTION C

SPACING BETWEEN CHECK DAMS

CD

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 3 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

CHECK DAM INSTALLATION NOTES

- SEE PLAN VIEW FOR LOCATION(S) OF CHECK DAMS.
- CHECK DAMS SHOWN ON CBMP PLAN SHALL BE INSTALLED WHEN DIRECTED BY THE TOWN'S INSPECTOR.
- RIPRAP UTILIZED FOR CHECK DAMS SHALL HAVE A D50 MEDIAN STONE SIZE OF 12".
- RIPRAP PAD SHALL BE TRENCHED INTO THE GROUND A MINIMUM OF 1'-8".
- THE MAXIMUM SPACING BETWEEN CHECK DAMS SHOULD BE SUCH THAT THE BOTTOM OF THE UPSTREAM DAM IS AT THE SAME ELEVATION AS THE TOP OF THE DOWNSTREAM DAM AS SHOWN IN THE DETAIL.

CHECK DAM INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CHECK DAMS.
- ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE CREST OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- CHECK DAMS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- WHEN CHECK DAMS ARE REMOVED, THE TOWN'S INSPECTOR MAY REQUIRE EXCAVATIONS TO BE FILLED WITH SUITABLE COMPACTED TOPSOIL AND ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE CHECK DAMS BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMO).
- IN SOME INSTANCES, CHECK DAMS MAY REMAIN IN PLACE PERMANENTLY.

CD

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES 3 OF 3 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

TYPICAL DEWATERING SUMP

D

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

DEWATERING INSTALLATION NOTES

- IT IS THE EROSION CONTROL SUPERVISOR'S RESPONSIBILITY TO ENSURE THAT ALL DEWATERING IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE).

DEWATERING MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL INSPECT THE DEWATERING OPERATION TO ENSURE THAT THE DISCHARGE WATER IS DRAINING TO THE PROPER LOCATION(S) AND PERFORM ANY NECESSARY REPAIRS OR MAINTENANCE ON A FREQUENT BASIS.

D

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

DIVERSION DITCH SECTION LINED CHANNEL

DIVERSION DITCH SECTION UNLINED CHANNEL

DD

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

DIVERSION DITCH INSTALLATION NOTES

- SEE THE PLAN VIEW FOR THE LOCATION(S) OF THE DIVERSION DITCHES.
- A PLASTIC LINER, RIPRAP, OR EROSION CONTROL BLANKET MAY BE NECESSARY TO PROTECT THE DIVERSION DITCH. THE REQUIRED LINING MATERIAL SHALL BE OBTAINED FROM THE CBMP PLANS VIA THE DESIGN ENGINEER.
- ALL MATERIAL EXCAVATED FROM THE DITCH MAY BE USED TO CONSTRUCT THE BERM ON THE DOWNHILL SIDE OF THE DITCH.
- THE DIVERSION DITCH SHALL BE A MINIMUM OF 20" DEEP WITH APPROX. 3:1 SIDE SLOPES. THE ADJACENT BERM SHALL BE A MINIMUM OF 20" IN HEIGHT WITH APPROX. 3:1 SIDE SLOPES. ALL EMBANKMENTS SHALL BE FIRMLY COMPACTED.
- THE DISCHARGE FROM THE DIVERSION DITCH SHALL BE DIRECTED TOWARDS AN APPROPRIATELY SIZED TEMPORARY SEDIMENT BASIN OR OTHER APPROVED AREA.

DIVERSION DITCH INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE DIVERSION DITCH.
- ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 (10") THE CREST HEIGHT.
- DIVERSION DITCHES SHALL BE RE-GRADED FOLLOWING THE SIGNS OF MODERATE OR MORE SOIL EROSION OR ANY DAMAGE.
- DIVERSION DITCHES ARE TO REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR. ALTERNATIVELY, THE DIVERSION DITCHES MAY BE REMOVED WHEN THE SITE'S TOPOGRAPHY CHANGES SUCH THAT SIGNIFICANT RUNOFF IS NO LONGER POSSIBLE. IN SOME INSTANCES, THE DIVERSION DITCHES MAY REMAIN IN PLACE PERMANENTLY.

DD

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

SIDEWALK TRANSITION PROTECTION (AT INTERSECTION)

STP

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 3 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

SIDEWALK TRANSITION PROTECTION (ALONG STRAIGHT ROADWAY)

STP

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 3 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

SIDEWALK TRANSITION PROTECTION INSTALLATION NOTES

- SEE PLAN VIEW FOR LOCATION(S) OF SIDEWALK TRANSITION PROTECTION.
- ROCK SOCK SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL RS).
- SILT FENCE SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL SF).
- CONSTRUCTION FENCE SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL CF).
- SEDIMENT CONTROL LOGS MAY BE USED IN LIEU OF SILT FENCE WITH PRIOR APPROVAL FROM THE TOWN.

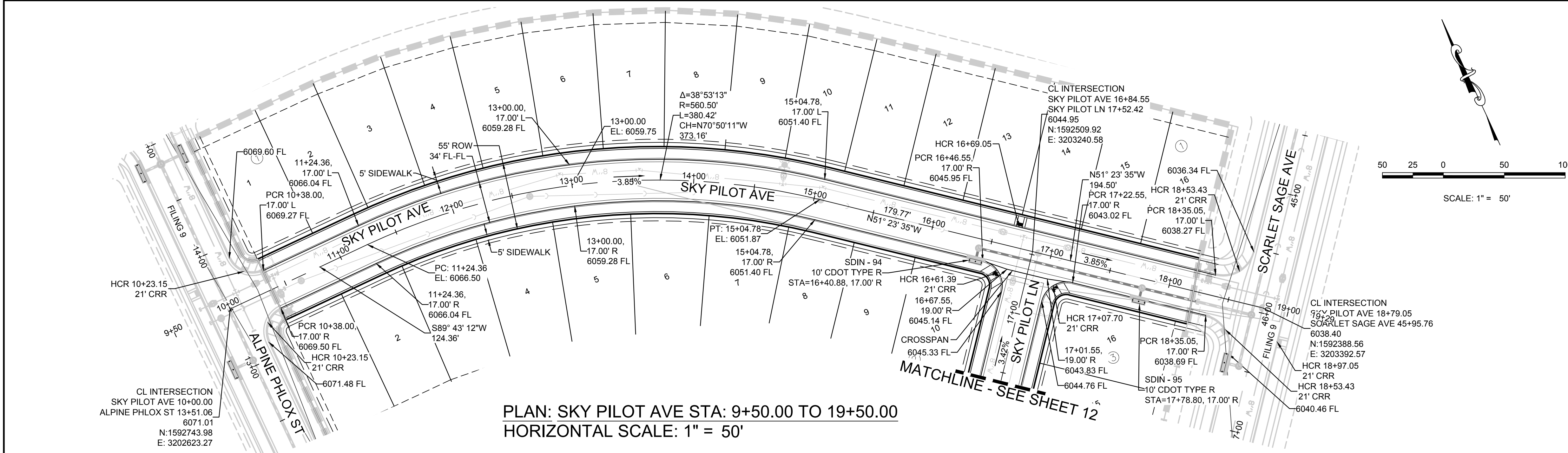
SIDEWALK TRANSITION PROTECTION INSPECTION & MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SIDEWALK TRANSITION INSPECTION.

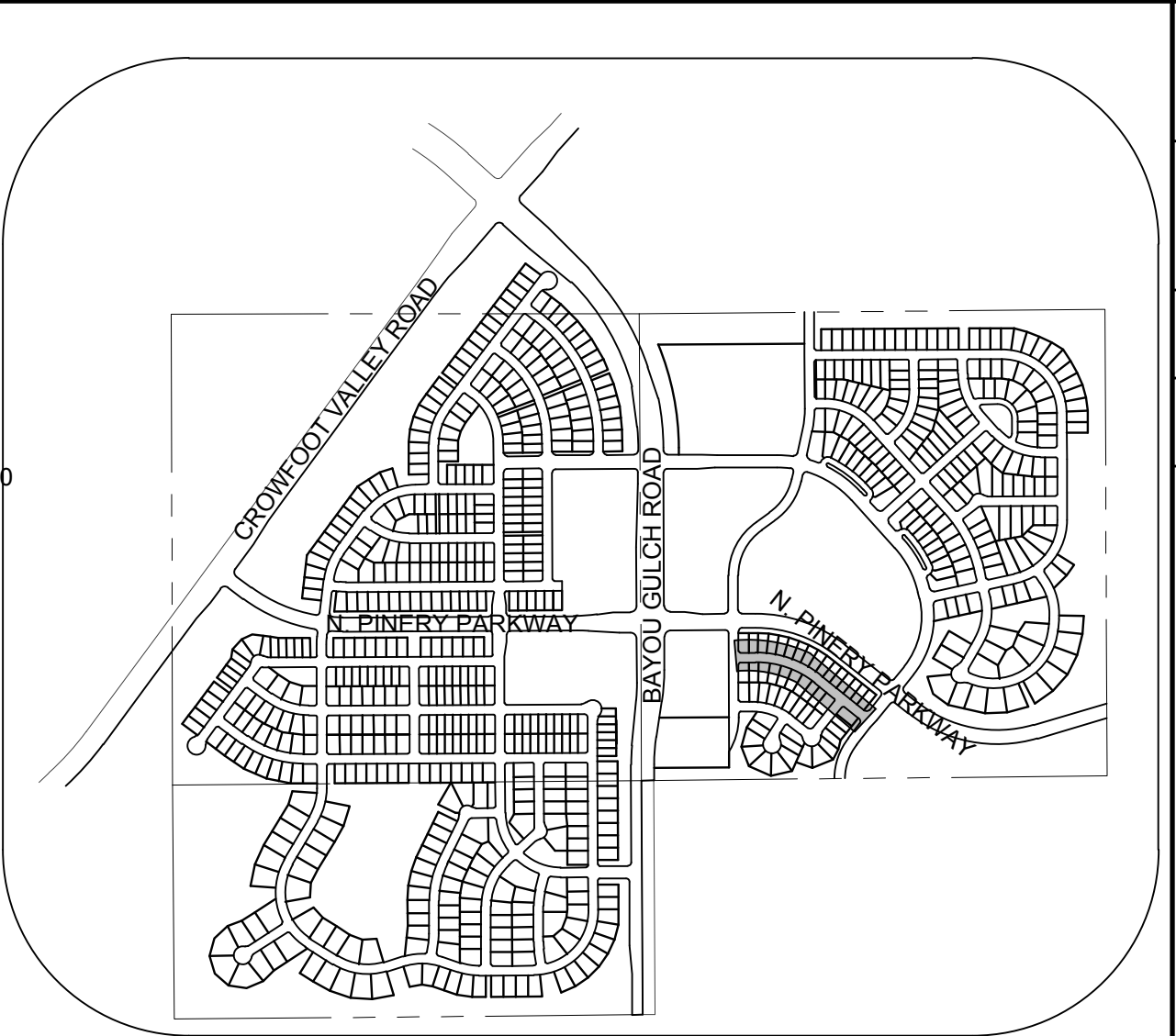
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CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES 3 OF 3 Oct. 2013

SHEET NUMBER	DRAWN BY: JF	SCALE: AS SHOWN	FILE NO: 8130283701	DATE: SEPTEMBER 2017	Revisions	Appr.	Date
				CHECKED BY: JJ	INIT.		
10	TRAILS AT CROWFOOT FILING 13 CONSTRUCTION DRAWINGS BMP DETAILS						
	HR 935 LLC 7353 South Alton Way CENTENNIAL, CO 80112						
10333 E. Dry Creek Rd. Suite 110 Englewood, CO 80110 Tel: (720) 482-9526 Fax: (720) 482-9546							
CVL CONSULTANTS							

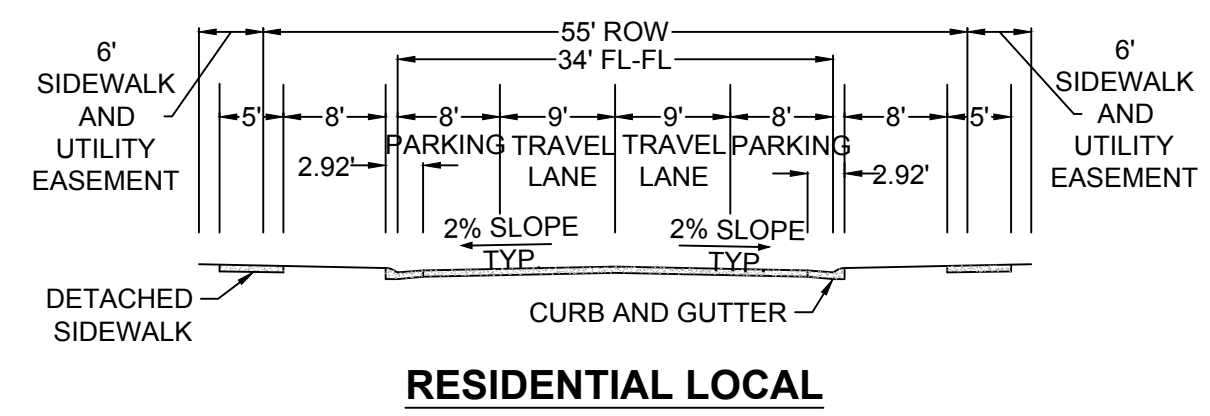


PLAN: SKY PILOT AVE STA: 9+50.00 TO 19+50.00
HORIZONTAL SCALE: 1" = 50'

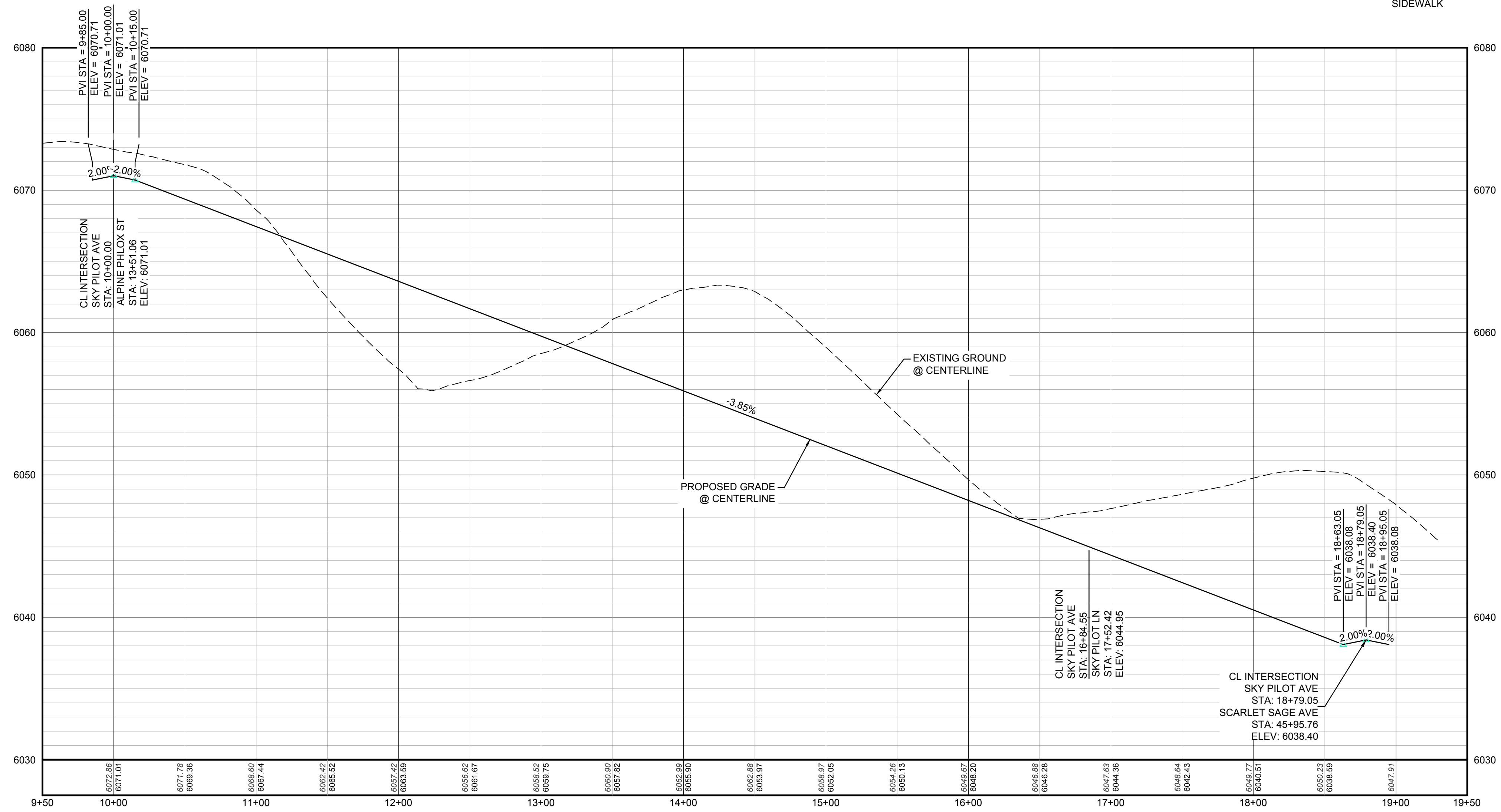


KEYMAP
N.T.S.
LEGEND

⊙	BLOCK NUMBER	△	PROPOSED RANGE POINT
Ⓐ	LOT TYPE	---	CENTERLINE
6	LOT NUMBER	---	RIGHT-OF-WAY
⊕	PROPOSED BUTTERFLY VALVE	---	PROPERTY LINE
⌋	PROPOSED CAP WITH END OF LINE BLOWOFF	---	EDGE OF PAVEMENT
⊗	PROPOSED REDUCER	→	PROPOSED DIRECTION OF FLOW
⊕	PROPOSED VALVE	1.0%	PROPOSED SLOPE & DIRECTION
⊕	PROPOSED FIRE HYDRANT	5615	EXISTING 5' CONTOUR
⊕	PROPOSED WL FITTING WITH THRUST BLOCK	5616	EXISTING 1' CONTOUR
⊕	PROPOSED FLARED END SECTION	5620	PROPOSED 5' CONTOUR
⊕	PROPOSED LOW POINT BLOW-OFF	5607	PROPOSED 1' CONTOUR
⊕	PROPOSED AIR VALVE	---	PROPOSED STORM DRAIN
⊕	FUTURE PHASE VALVE	---	PROPOSED SEWER LINE WITH MANHOLE
⊕	FUTURE FIRE HYDRANT	---	PROPOSED SEWER LATERAL
⊕	PROPOSED LIGHT POLE	---	PROPOSED WATER LINE
⊕	PROPOSED SIDEWALK	---	PROPOSED WATER LATERAL W/ METER
⊕	PROPOSED SIDEWALK RAMP	---	SECTION LINE
10.00	EXISTING ELEVATION	---	FILING BOUNDARY
10.00	PROPOSED DESIGN ELEVATION	---	EXISTING FIBER OPTIC LINE
⊕	PROPOSED STORM DRAIN INLET	---	EXISTING OVERHEAD POWER
⊕	PROPOSED STORM DRAIN MANHOLE	---	EXISTING TELEPHONE LINE



RESIDENTIAL LOCAL



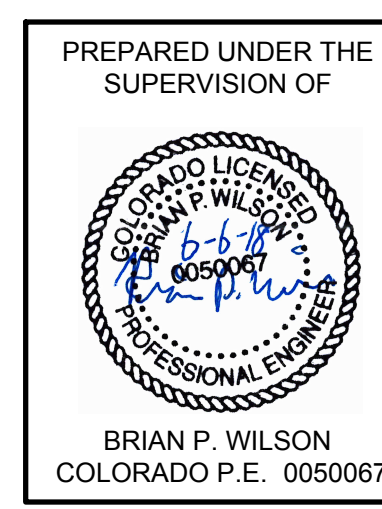
PROFILE: SKY PILOT AVE STA: 9+50.00 TO 19+50.00
HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'

AD	ANGLE DIFFERENCE	MH	MANHOLE
AV	AIR VAC RELEASE VALVE	N.T.S.	NOT TO SCALE
BVC	BEGIN VERTICAL CURVE	PVC	POLYVINYL CHLORIDE
BVP	BEGIN VERTICAL PROFILE	PVI	PT. OF VERTICAL INTERSECTION
CBO	CAP WITH BLOW OFF	PVT	POINT OF VERTICAL TANGENT
CRR	CURB RETURN RADIUS	RCBC	REINFORCED CONCRETE BOX CULVERT
ELEV	ELEVATION	RCP	REINFORCED CONCRETE PIPE
EP	EDGE OF PAVEMENT	ROW	RIGHT OF WAY
EVC	END VERTICAL CURVE	SC	SANITARY CAP
EVP	END VERTICAL PROFILE	SD	STORM DRAIN
FG	FINISHED GROUND	SL	SECTION LINE
FH	FIRE HYDRANT	SS	SANITARY SEWER
FL	FLOW LINE	STA	STATION
GV	GATE VALVE	T.O.P.	TOP OF PIPE
HCR	HANDICAP CURB RAMP	UE	UTILITY EASEMENT
HP	HIGH POINT	VC	VERTICAL CURVE
INV	INVERT	WL	WATER LINE
K	CURVATURE COEFFICIENT	WLC	WATER LINE CONNECTION
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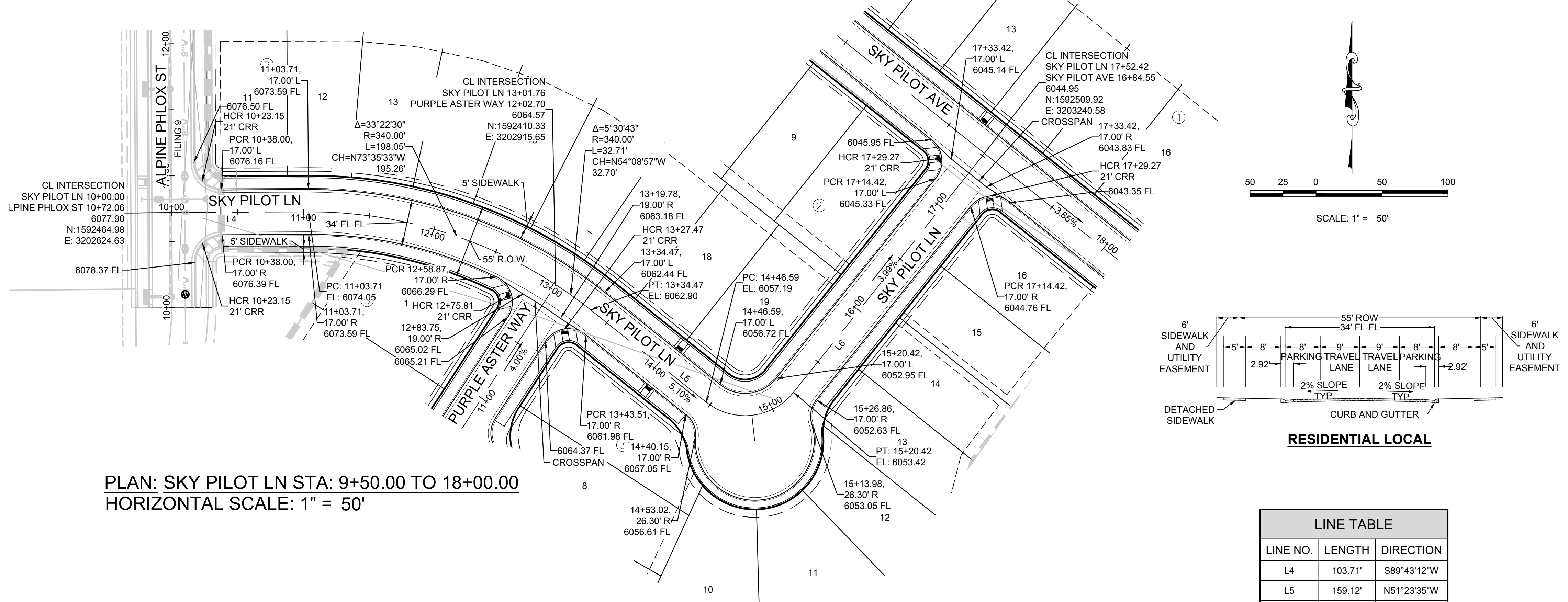


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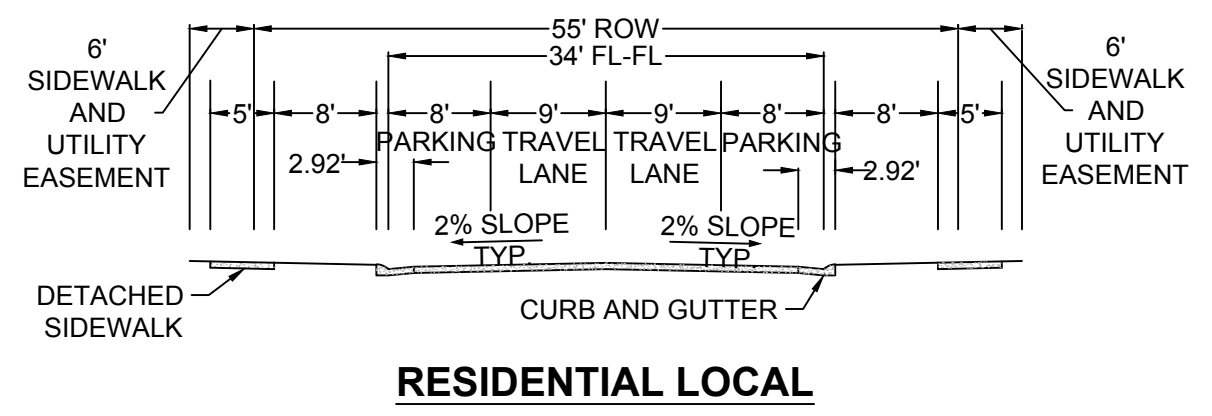
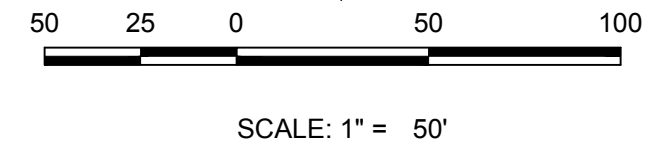
BENCHMARK
THE DOUGLAS COUNTY CONTROL POINT KNOWN AS 1.069032, BEING A 3-1/4" ALUMINUM CAP, BEING LOCATED IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, HAVING A PUBLISHED ELEVATION OF 1799.2870 METERS (5903.13 FEET) NAVD '88 DATUM.

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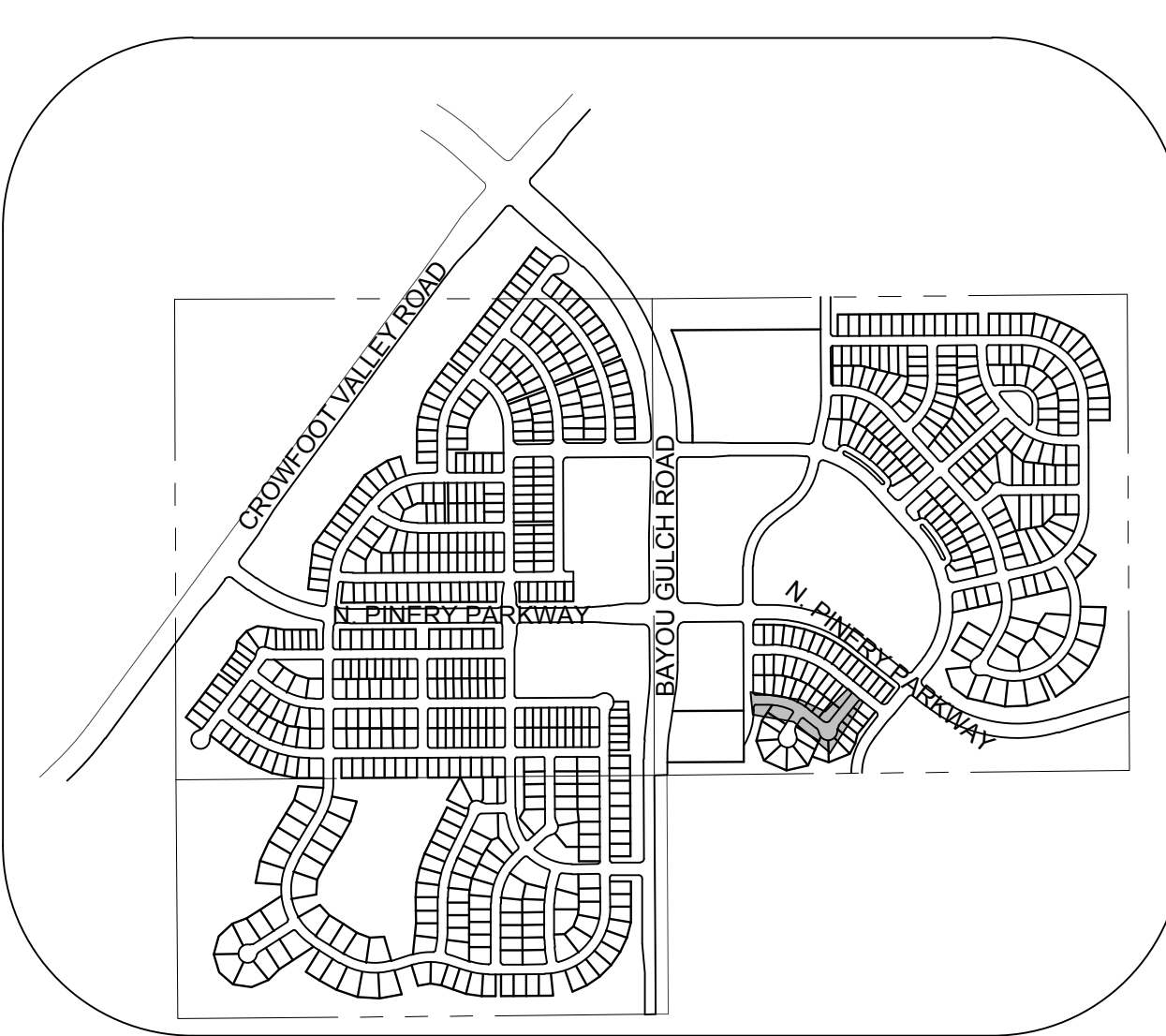
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	AS SHOWN		FILE NO.						
DRAWN BY:	JF	SCALE:	AS SHOWN	PROJECT:	TRAILS AT CROWFOOT FILING 13 CONSTRUCTION DRAWINGS STREET PLAN & PROFILE SKY PILOT AVENUE				
CHECKED BY:	JU	DATE:	SEPTEMBER 2017	ENGINEER:	HR 935 LLC 7353 South Alton Way CENTENNIAL, CO 80112				
10333 E. Dry Creek Rd. Suite 410 Englewood, CO 80110 Tel: (720) 482-9526 Fax: (720) 482-9548									
CVL CONSULTANTS									



PLAN: SKY PILOT LN STA: 9+50.00 TO 18+00.00
HORIZONTAL SCALE: 1" = 50'



LINE TABLE		
LINE NO.	LENGTH	DIRECTION
L4	103.71'	S89°43'12"W
L5	159.12'	N51°23'35"W
L6	279.00'	S38°36'25"W

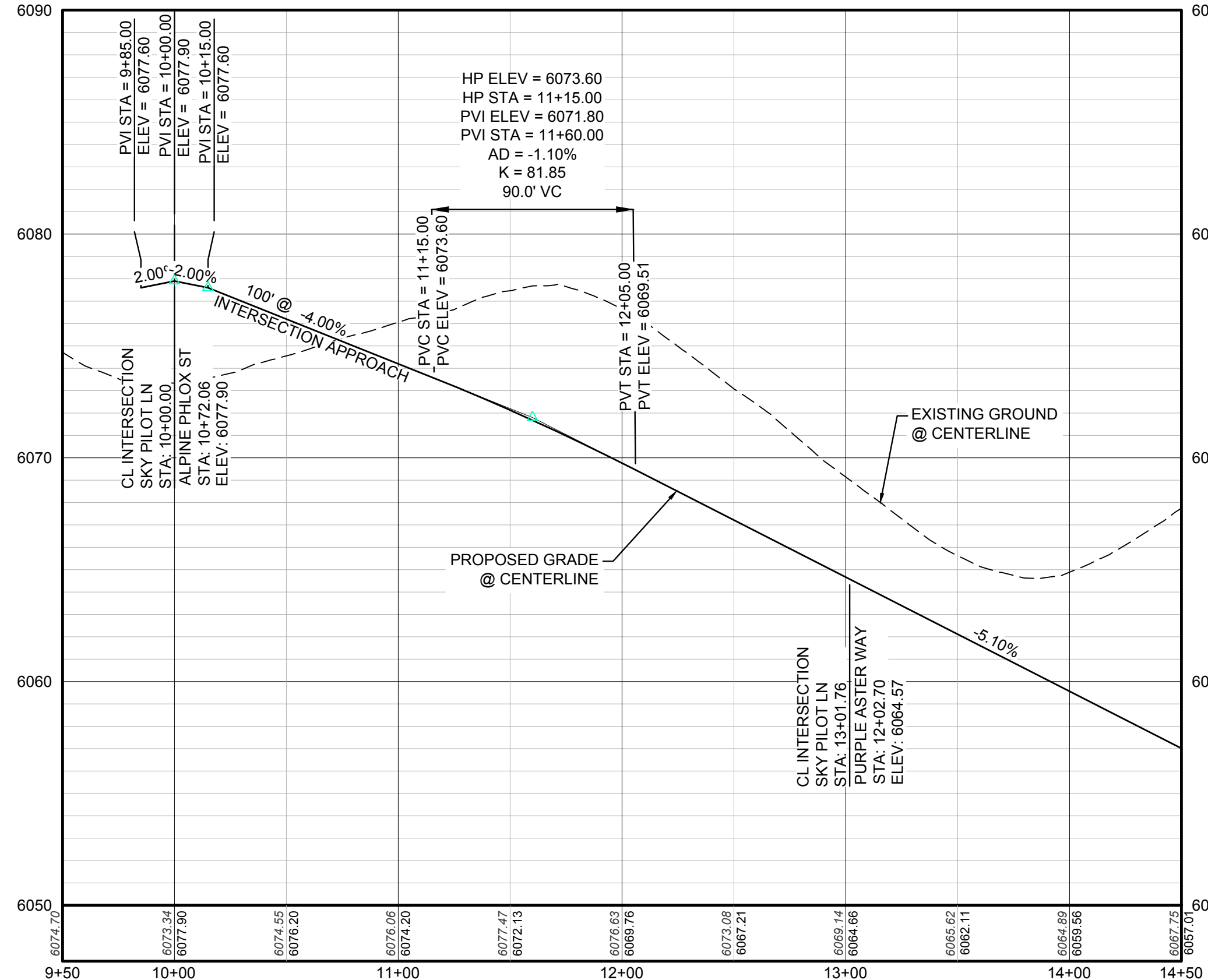


KEYMAP
N.T.S.
LEGEND

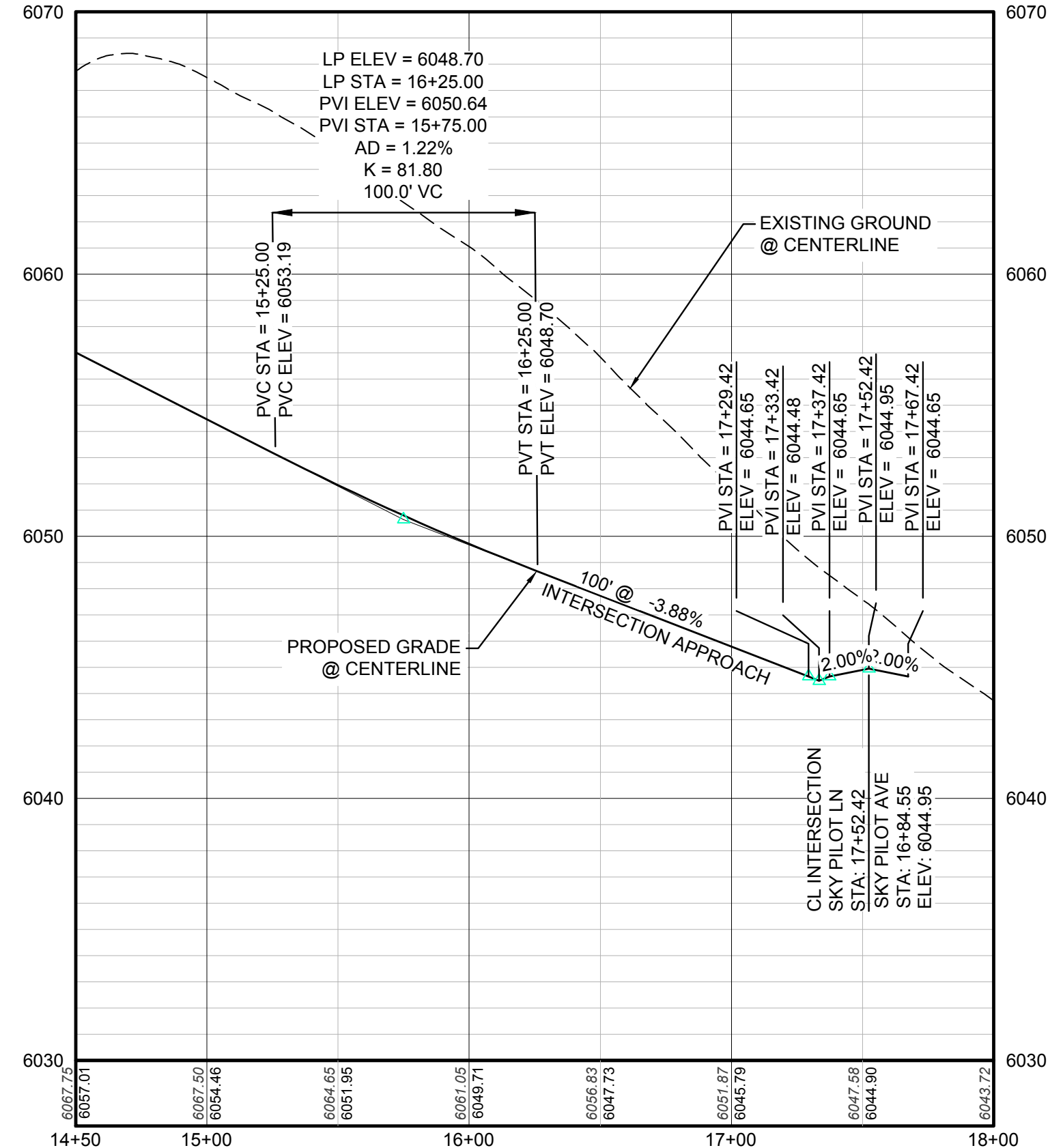
②	BLOCK NUMBER	△	PROPOSED RANGE POINT
Ⓐ	LOT TYPE	---	CENTERLINE
6	LOT NUMBER	---	RIGHT-OF-WAY
⊕	PROPOSED BUTTERFLY VALVE	---	PROPERTY LINE
⌋	PROPOSED CAP WITH END OF LINE BLOWOFF	---	EDGE OF PAVEMENT
⊘	PROPOSED REDUCER	→	PROPOSED DIRECTION OF FLOW
⊕	PROPOSED VALVE	1.0%	PROPOSED SLOPE & DIRECTION
⊕	PROPOSED FIRE HYDRANT	5615	EXISTING 5' CONTOUR
⊕	PROPOSED WL FITTING WITH THRUST BLOCK	5616	EXISTING 1' CONTOUR
⊕	PROPOSED FLARED END SECTION	5620	PROPOSED 5' CONTOUR
⊕	PROPOSED LOW POINT BLOW-OFF	5607	PROPOSED 1' CONTOUR
⊕	PROPOSED AIR VALVE	---	PROPOSED STORM DRAIN
⊕	FUTURE PHASE VALVE	---	PROPOSED SEWER LINE WITH MANHOLE
⊕	FUTURE FIRE HYDRANT	---	PROPOSED SEWER LATERAL
⊕	PROPOSED LIGHT POLE	---	PROPOSED WATER LINE
⊕	PROPOSED SIDEWALK	8" W	PROPOSED WATER LATERAL W/ METER
⊕	PROPOSED SIDEWALK RAMP	---	SECTION LINE
10.00	EXISTING ELEVATION	---	FILING BOUNDARY
10.00	PROPOSED DESIGN ELEVATION	FO	EXISTING FIBER OPTIC LINE
⊕	PROPOSED STORM DRAIN INLET	OH	EXISTING OVERHEAD POWER
⊕	PROPOSED STORM DRAIN MANHOLE	TEL	EXISTING TELEPHONE LINE

ABBREVIATIONS

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LF	LINEAR FEET	WSE	WATER SURFACE ELEVATION



PROFILE: SKY PILOT LN STA: 9+50.00 TO 14+50.00
HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'



PROFILE: SKY PILOT LN STA: 14+50.00 TO 18+00.00
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TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

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UNCC 1-800-922-1987

NO.	REVISIONS	DATE	INIT.	APPR.	DATE

10338 E. Dry Creek Rd.
Suite 6410
Englewood, CO 80150
Tel: (720) 482-9526
Fax: (720) 482-9546

CVL
CONSULTANTS

HR 935 LLC
7353 South Alton Way
CENTENNIAL, CO 80112

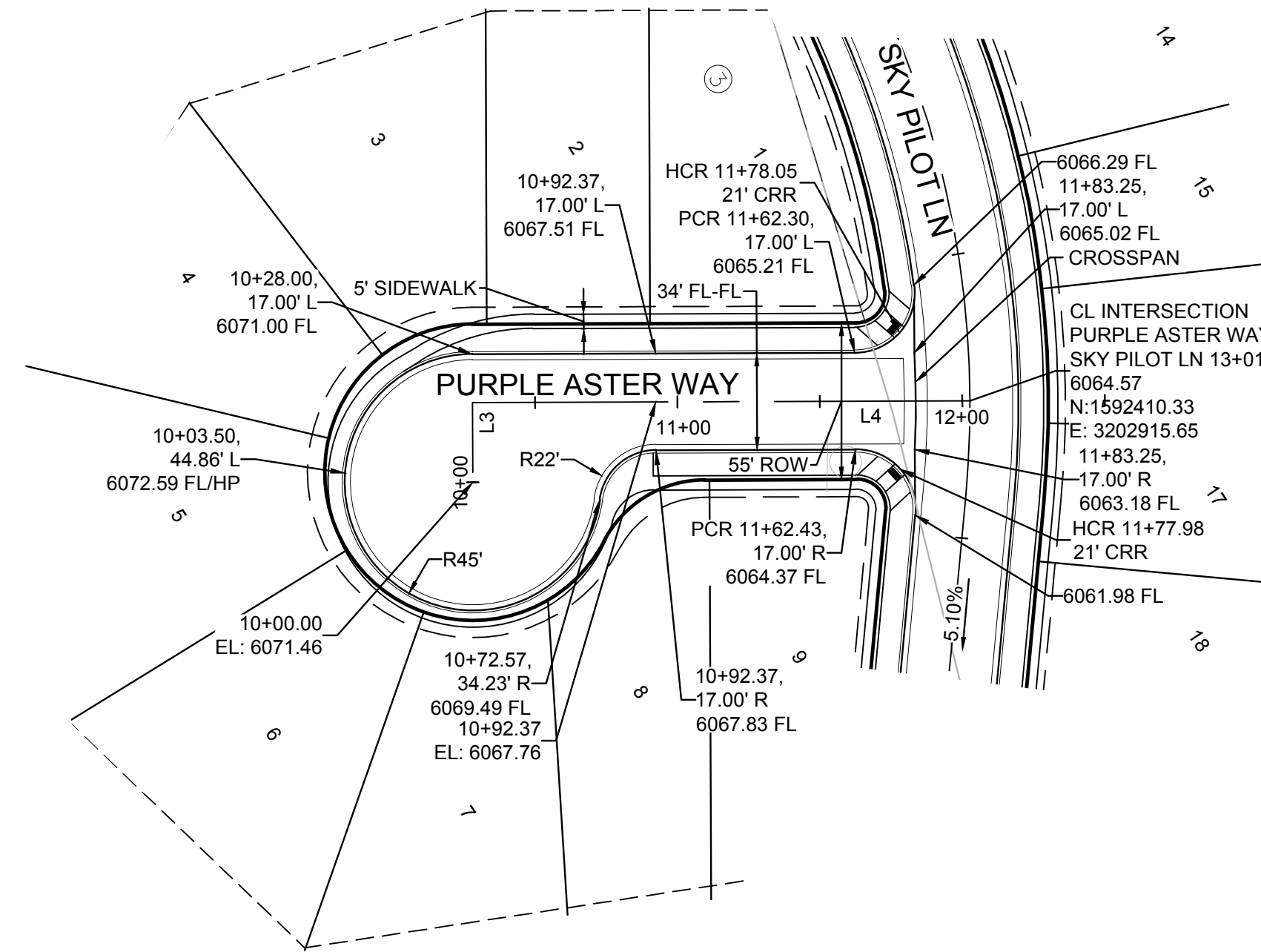
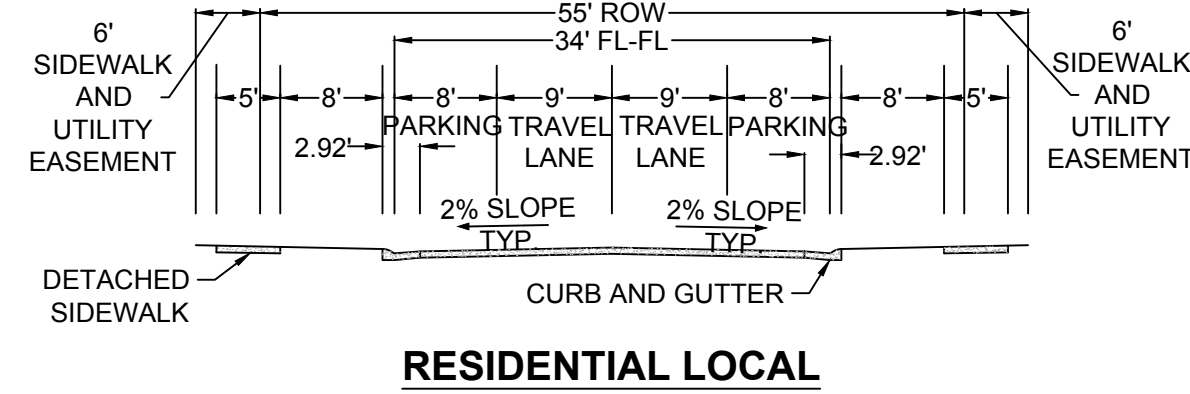
TRAILS AT CROWFOOT
FILING 13 CONSTRUCTION DRAWINGS
STREET PLAN & PROFILE
SKY PILOT LANE

SCALE: AS SHOWN
FILE NO: 8130283701

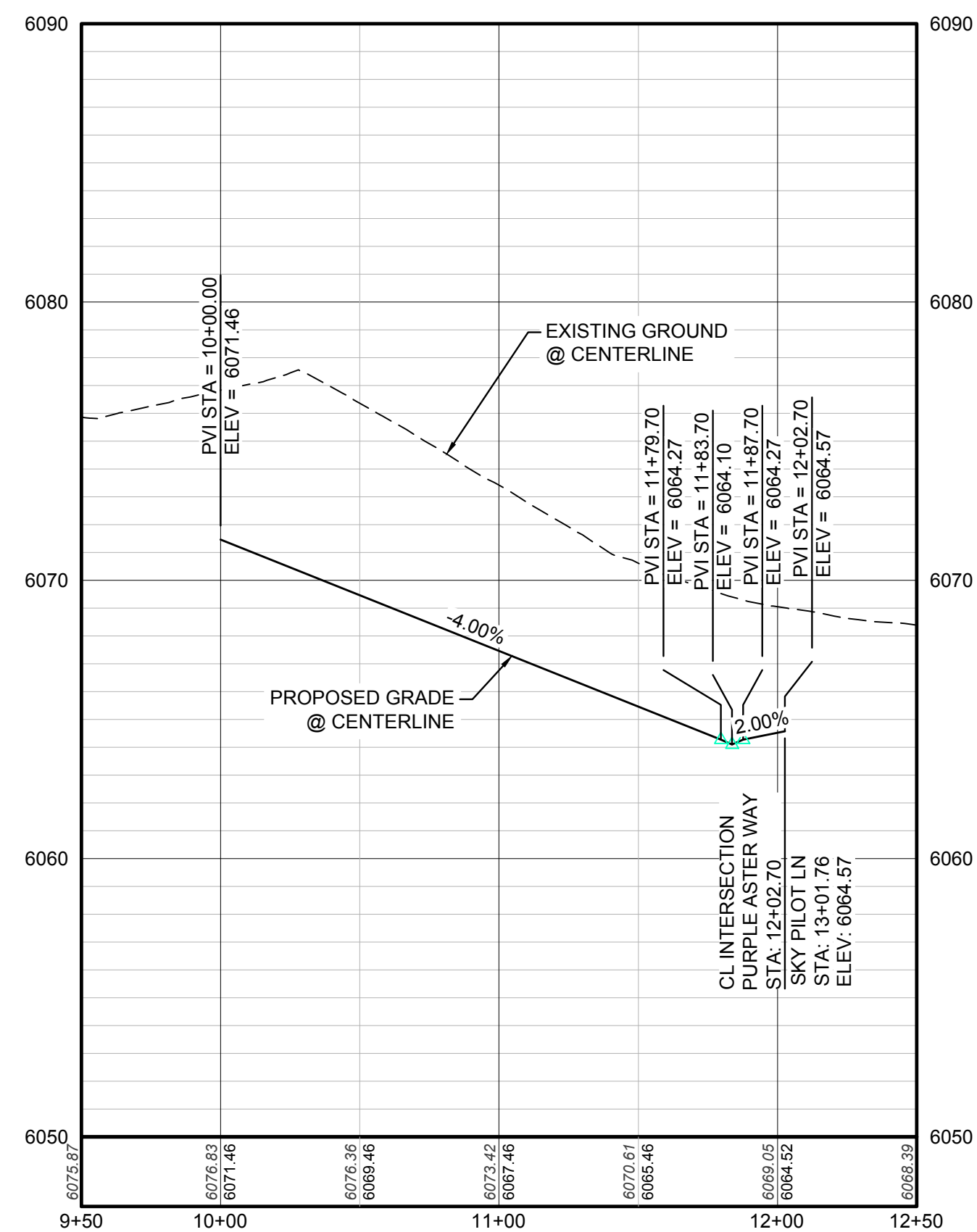
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CHECKED BY: JJ
DATE: SEPTEMBER 2017

SHEET NUMBER **12**

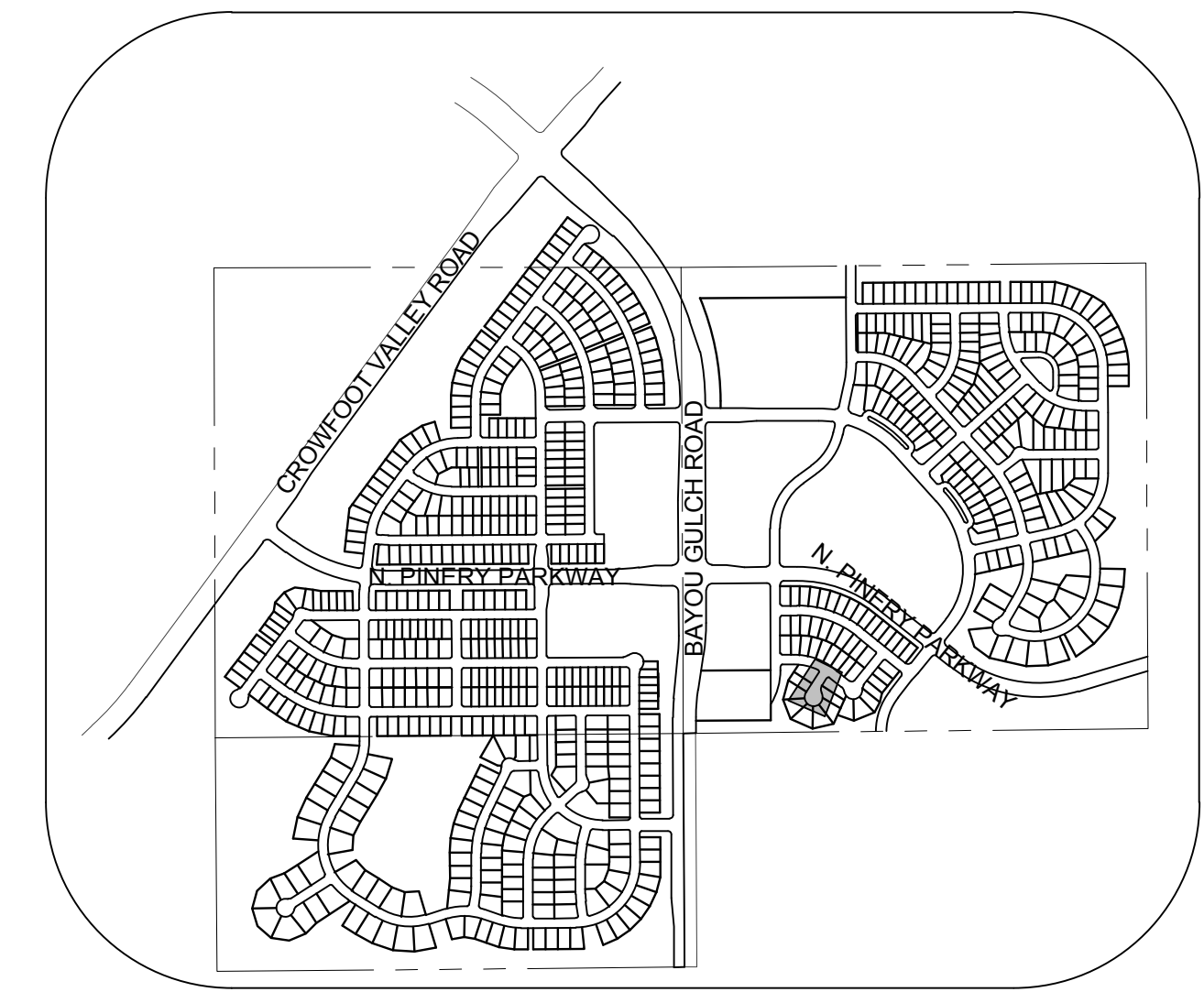
LINE TABLE		
LINE NO.	LENGTH	DIRECTION
L3	24.50'	S56°54'18"E
L4	174.70'	S33°05'42"W



PLAN: PURPLE ASTER WAY STA: 9+50.00 TO 12+00.00
HORIZONTAL SCALE: 1" = 50'



PROFILE: PURPLE ASTER WAY STA: 9+50.00 TO 12+50.00
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KEYMAP
N.T.S.
LEGEND

⊙	BLOCK NUMBER	△	PROPOSED RANGE POINT
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⌈	PROPOSED CAP WITH END OF LINE BLOWOFF	---	EDGE OF PAVEMENT
⌋	PROPOSED REDUCER	→	PROPOSED DIRECTION OF FLOW
⊗	PROPOSED VALVE	1.0%	PROPOSED SLOPE & DIRECTION
Ⓜ	PROPOSED FIRE HYDRANT	5615	EXISTING 5' CONTOUR
Ⓜ	PROPOSED WL FITTING WITH THRUST BLOCK	5616	EXISTING 1' CONTOUR
Ⓜ	PROPOSED FLARED END SECTION	5620	PROPOSED 5' CONTOUR
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Ⓜ	PROPOSED AIR VALVE	---	PROPOSED STORM DRAIN
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⊗	PROPOSED LIGHT POLE	---	PROPOSED WATER LINE
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10.00	EXISTING ELEVATION	---	FILING BOUNDARY
10.00	PROPOSED DESIGN ELEVATION	FO	EXISTING FIBER OPTIC LINE
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Ⓜ	PROPOSED STORM DRAIN MANHOLE	TEL	EXISTING TELEPHONE LINE

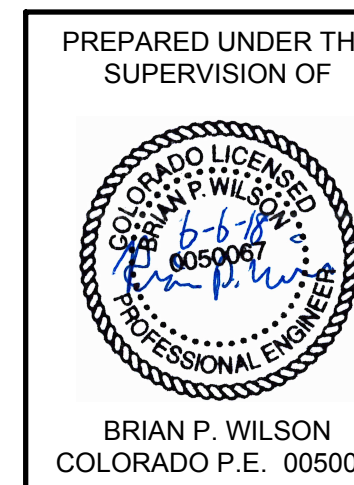
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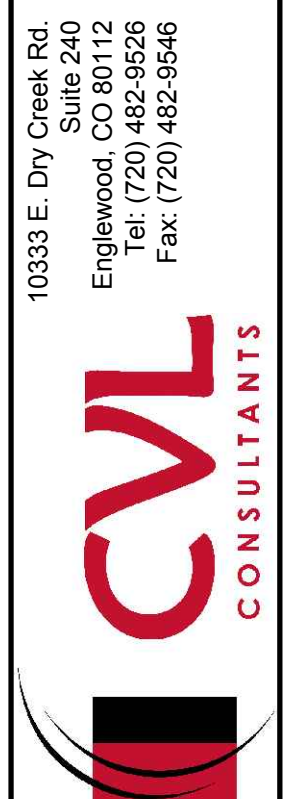


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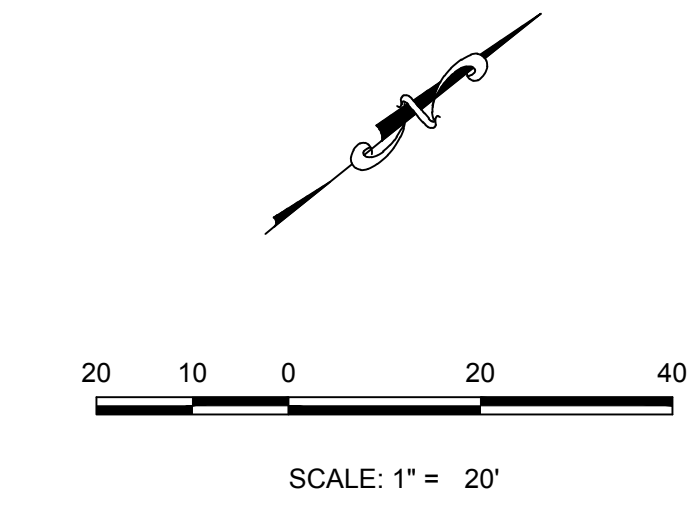
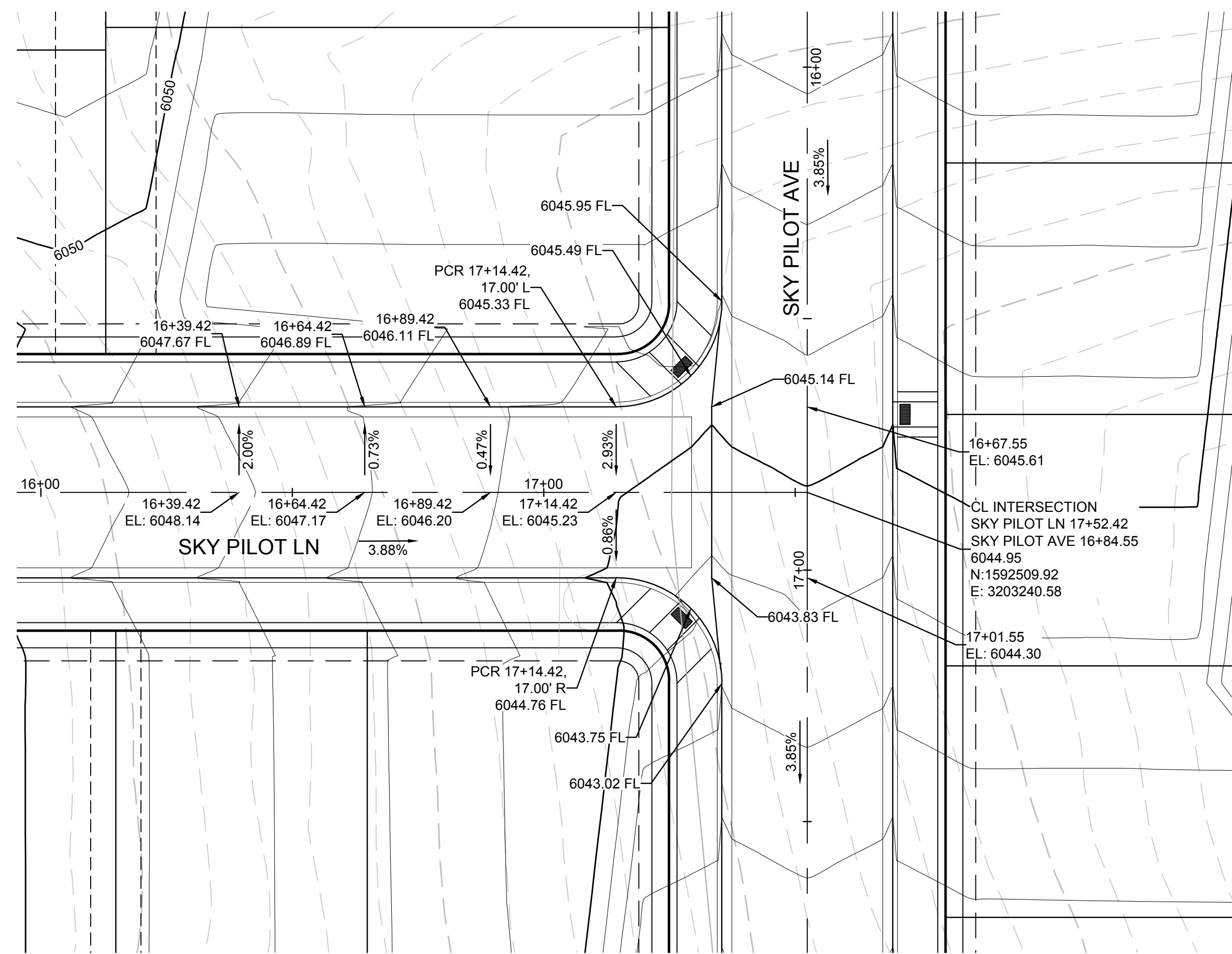
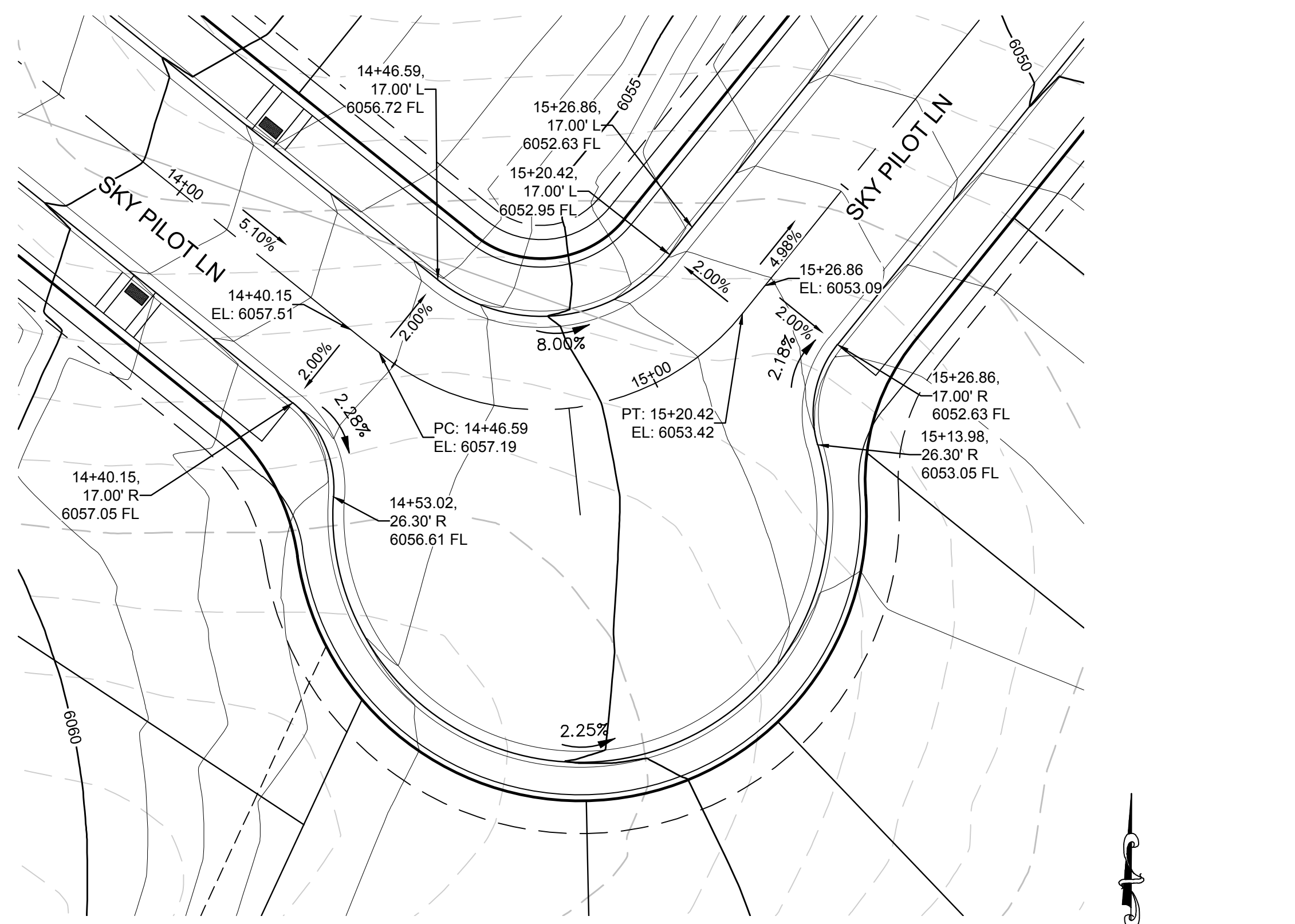
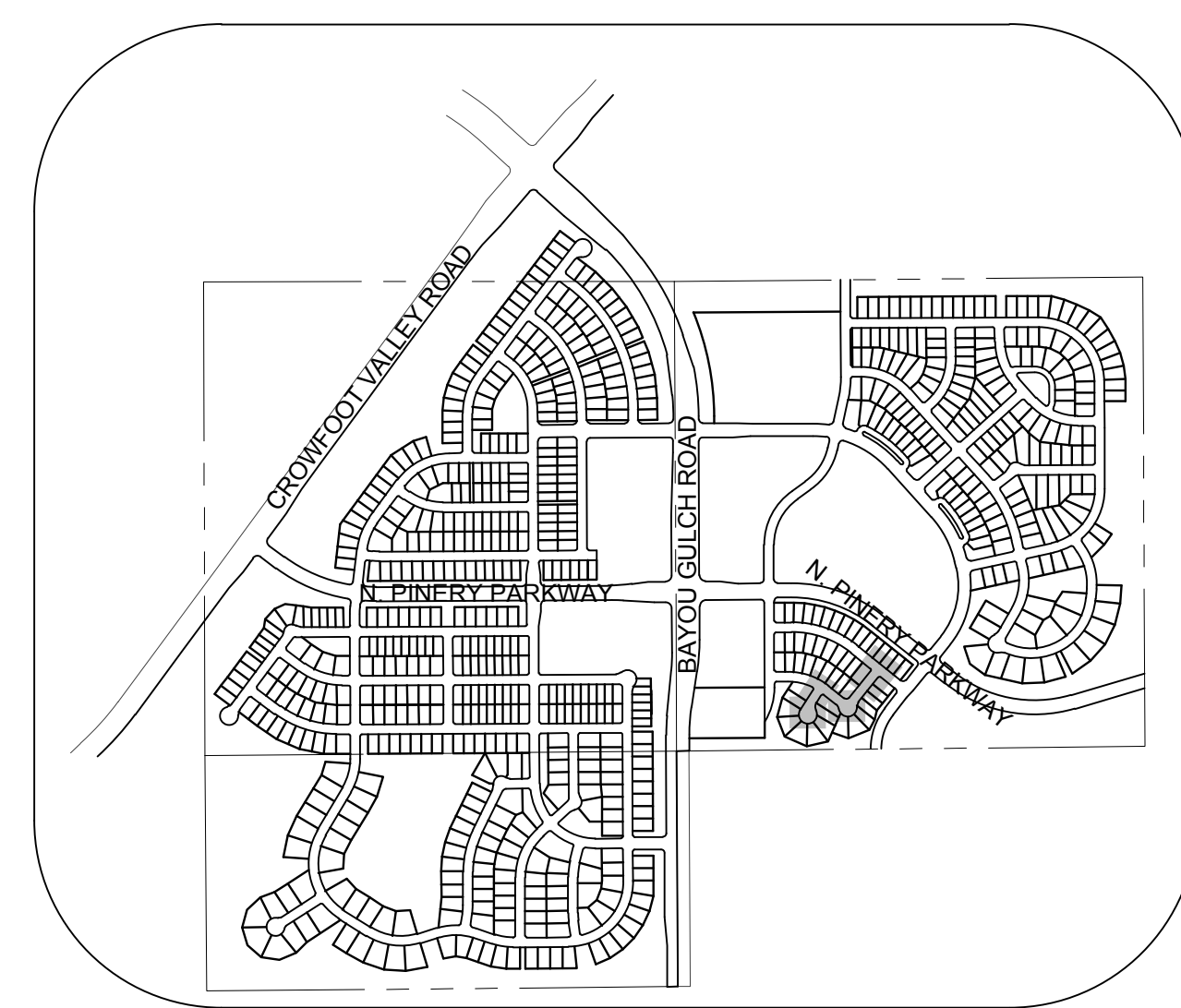
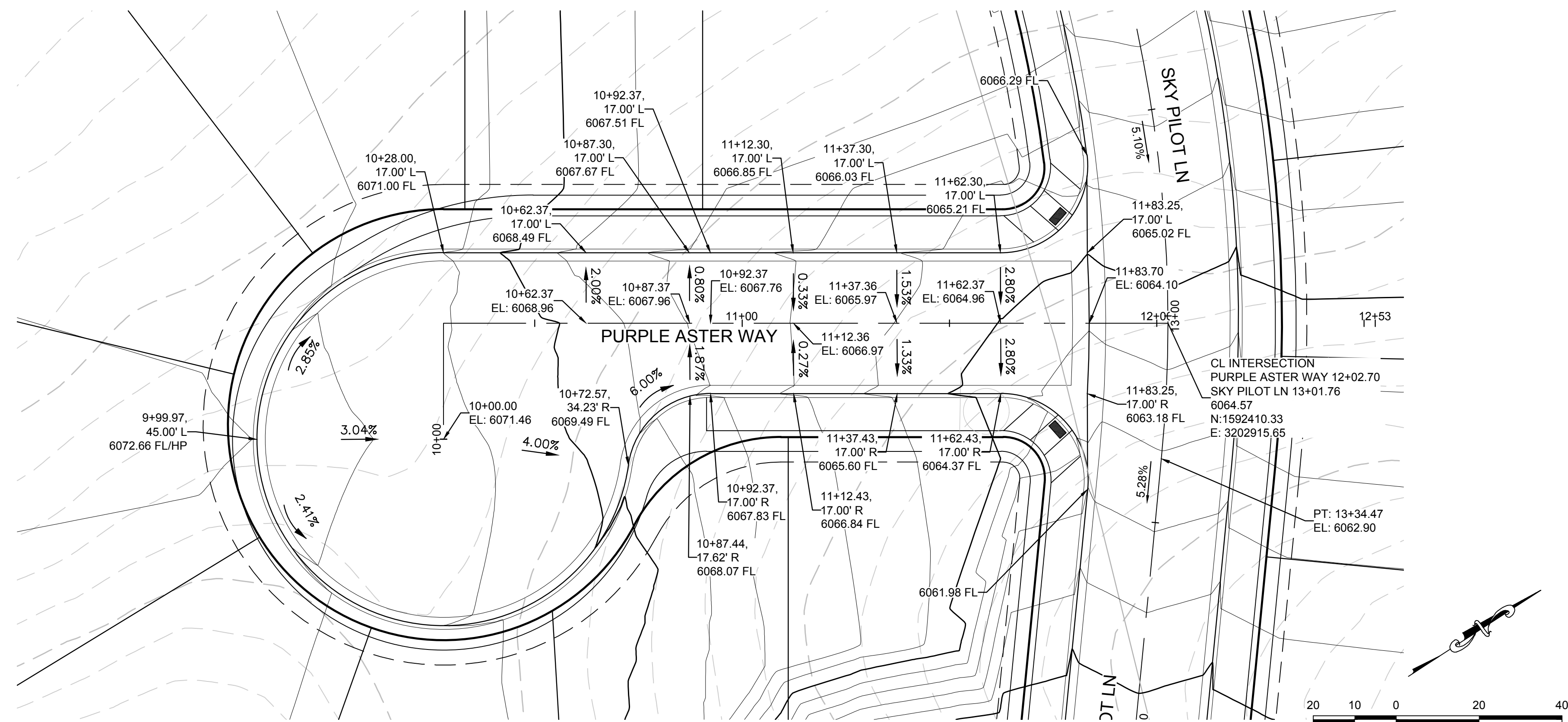


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13	JF	AS SHOWN	JU	SEPTEMBER 2017	8130283701						



HR 935 LLC
7353 South Alton Way
CENTENNIAL, CO 80112

TRAILS AT CROWFOOT
FILING 13 CONSTRUCTION DRAWINGS
STREET PLAN & PROFILE
PURPLE ASTER WAY



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PREPARED UNDER THE SUPERVISION OF

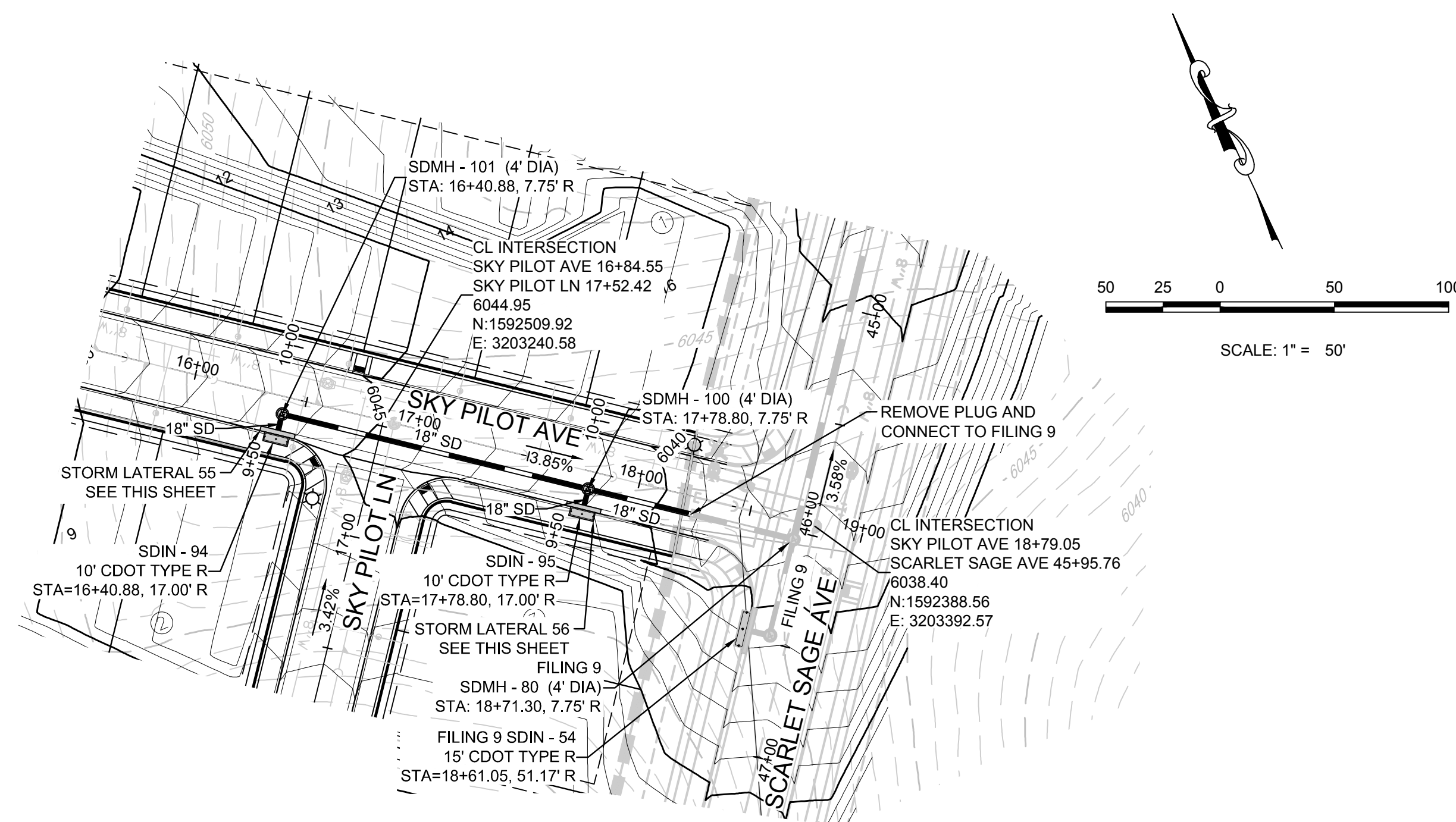
 BRIAN P. WILSON
 COLORADO P.E. 0050067

N:\PROJECTS\BENCHMARCH\ENGINEERING\SHSHEET SET\PROJECTS\13 INTERSECTION PLANS.DWG, CDDVA, 9/12/2018 2:25 PM

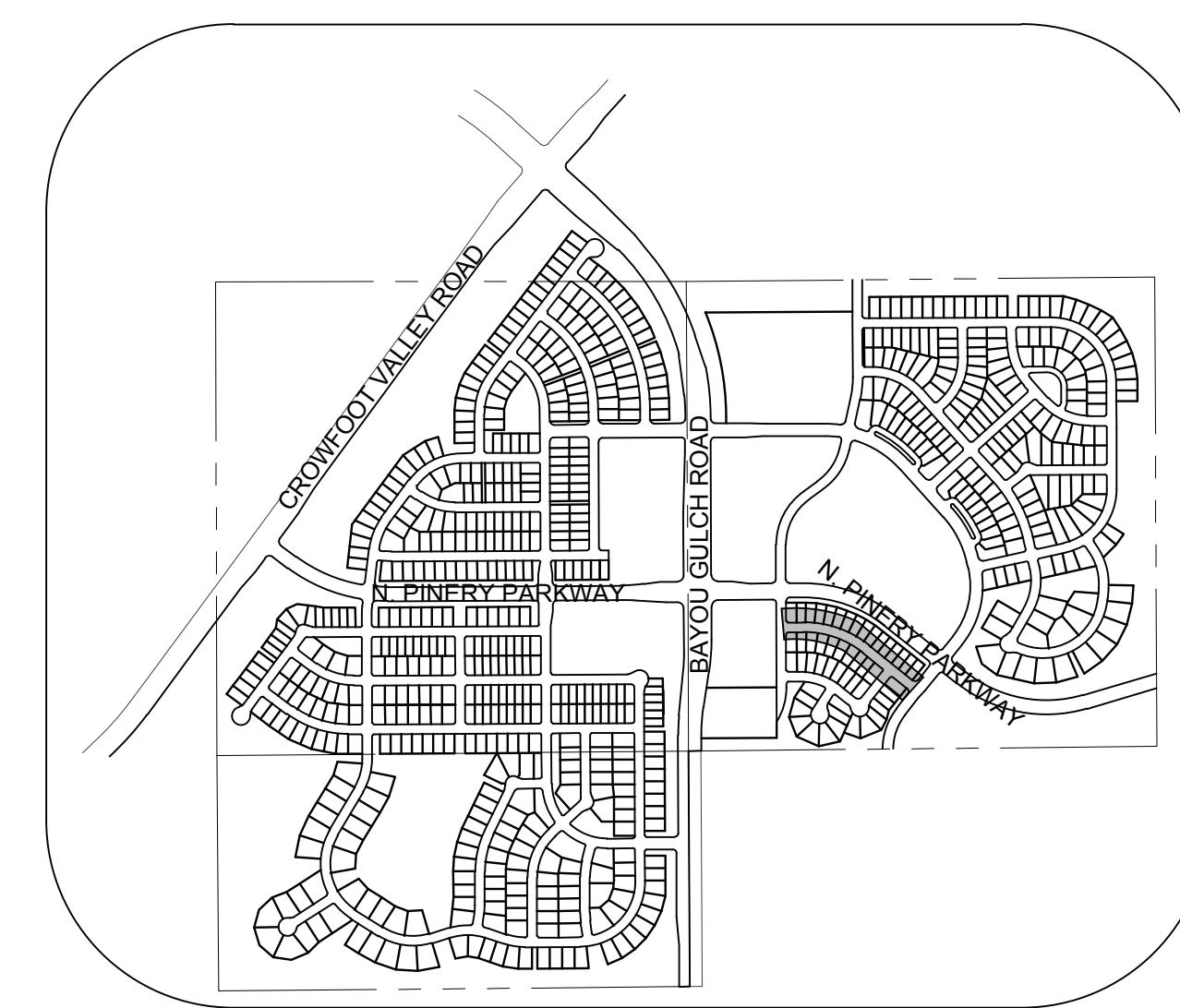
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SHEET NUMBER	SCALE:		AS SHOWN	FILE NO:	8130283701
	DRAWN BY:	RHR	CHECKED BY:	JU	DATE: SEPTEMBER 2017
TRAILS AT CROWFOOT FILING 13 CONSTRUCTION DRAWINGS INTERSECTION PLANS					
HR 935 LLC 7353 South Alton Way CENTENNIAL, CO 80112					
CVL CONSULTANTS					
10338 E. Dry Creek Rd. Suite 6410 Englewood, CO 80150 Tel: (720) 482-9526 Fax: (720) 482-9548					
No.	Revisions	Date	Init.	Appr.	Date

14

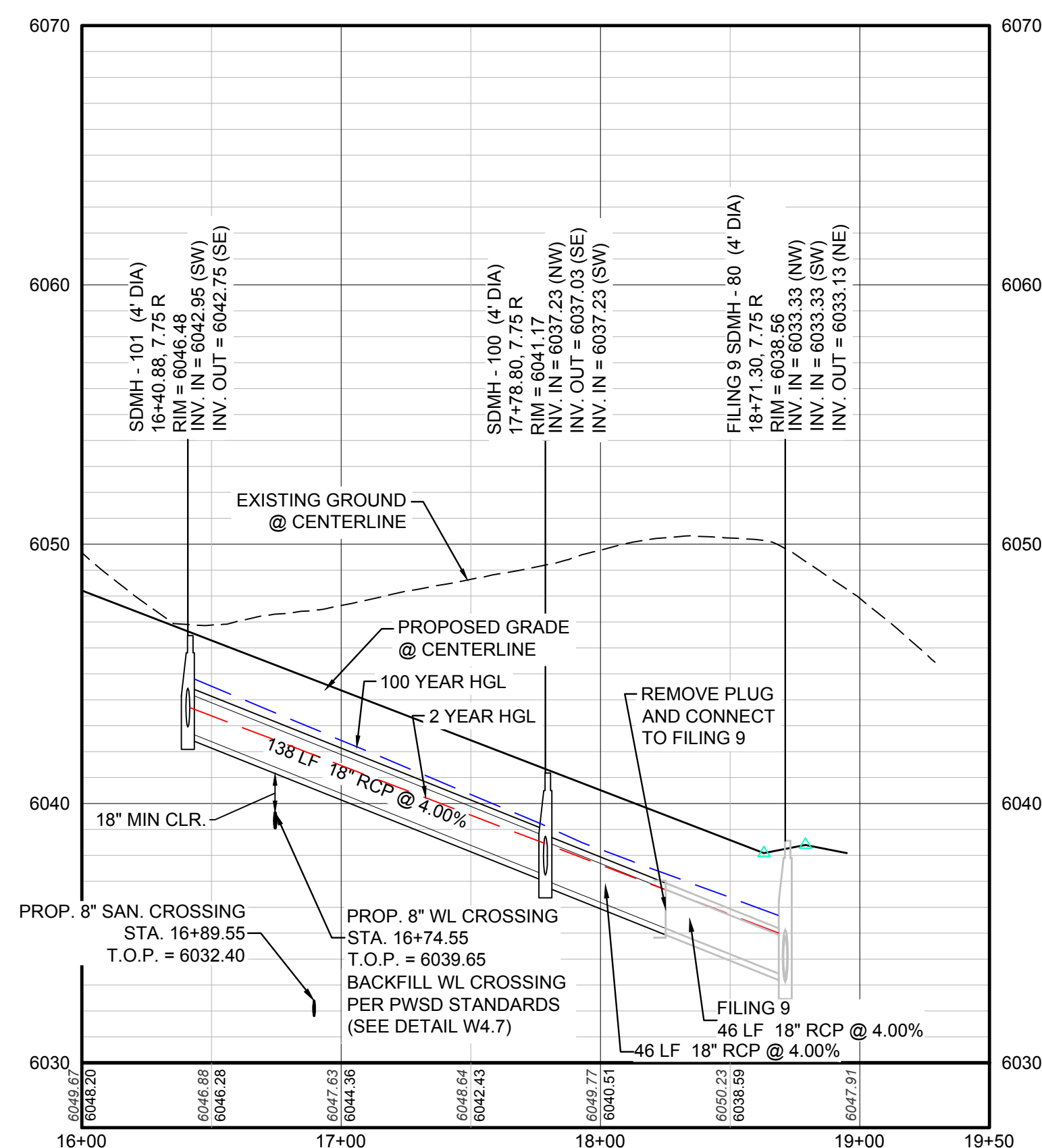


PLAN: SKY PILOT AVE STA: 16+00.00 TO 19+50.00
HORIZONTAL SCALE: 1" = 50'



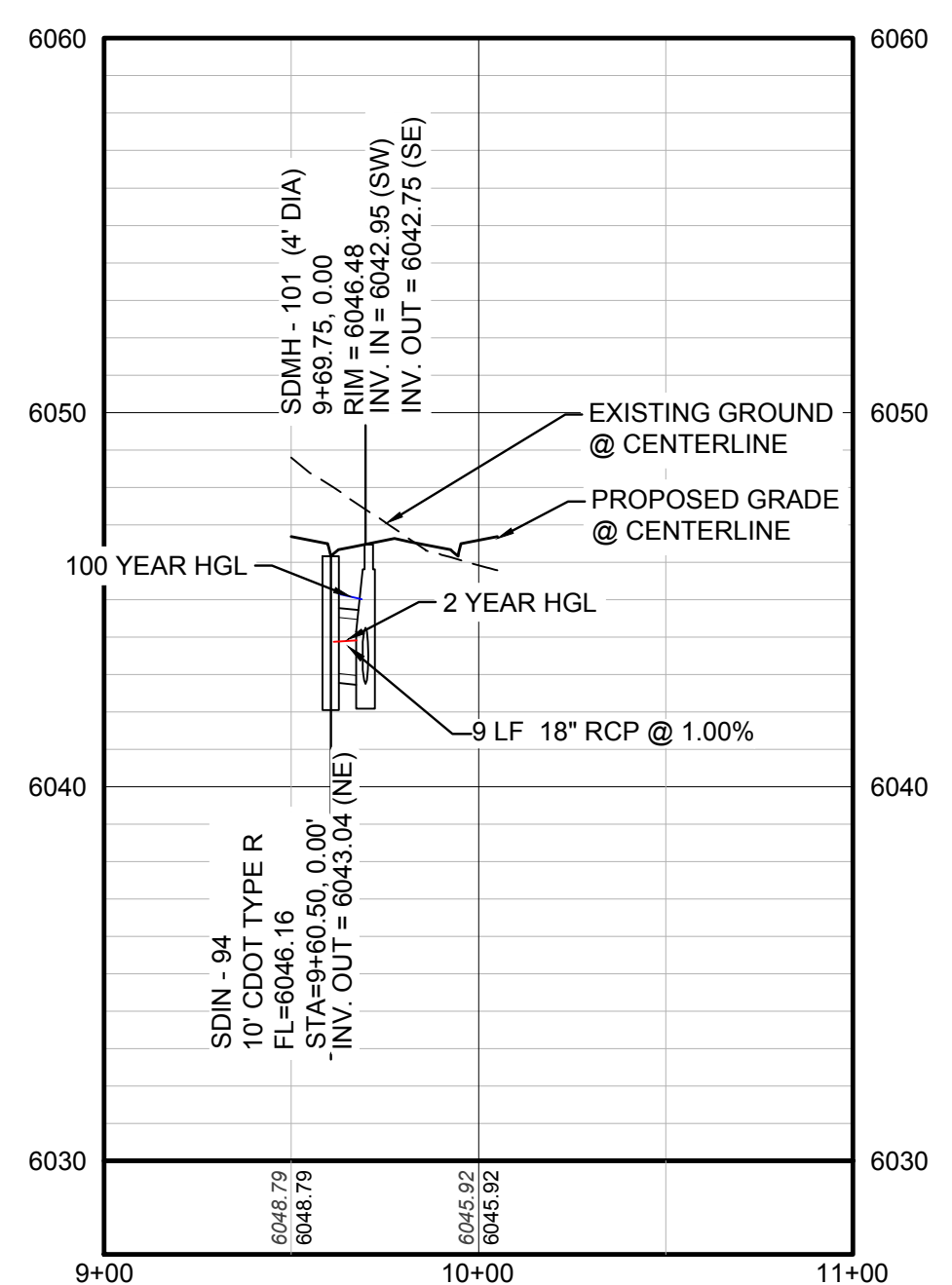
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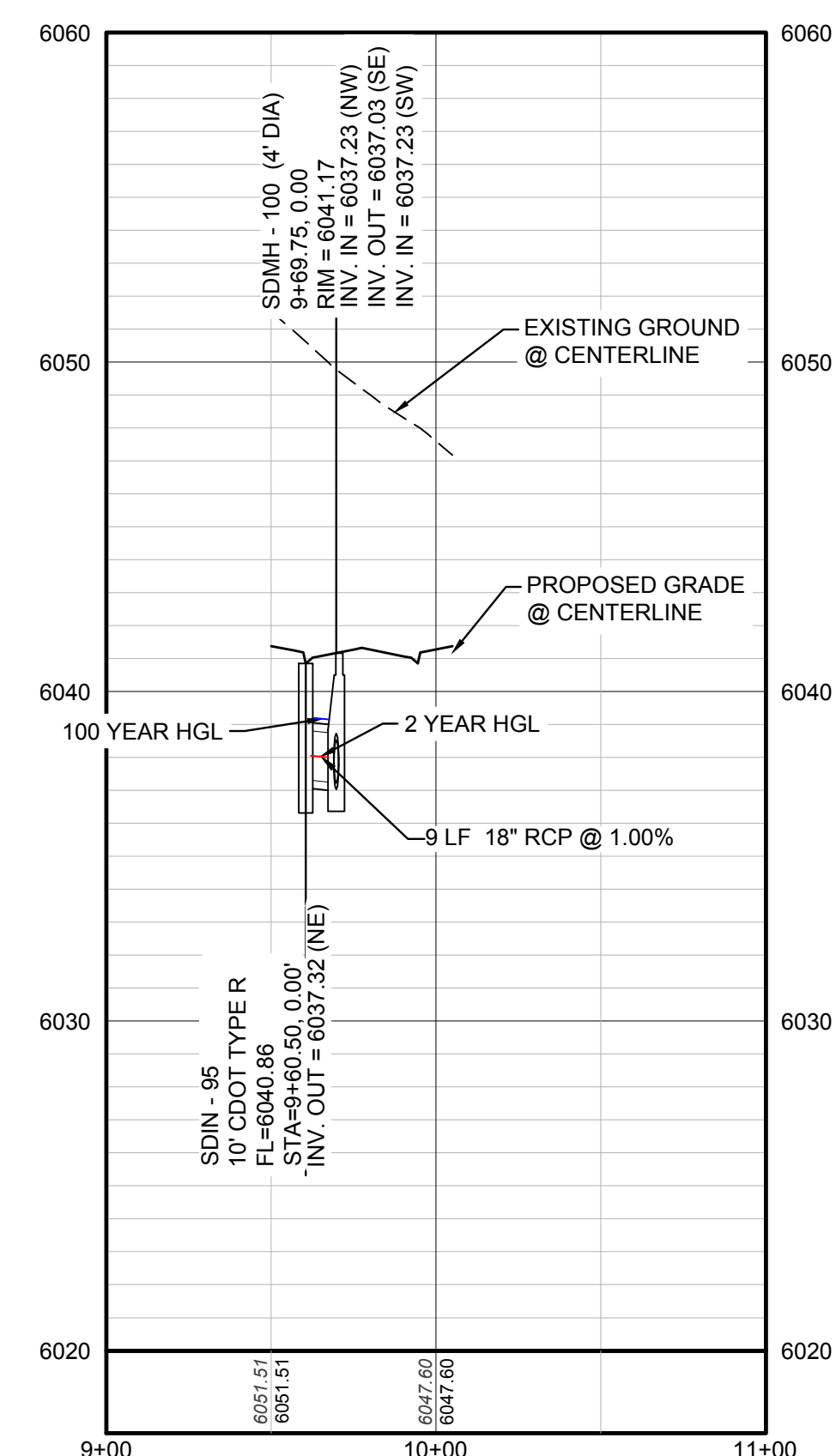
PROFILE: SKY PILOT AVE STA: 16+00.00 TO 19+50.00
HORIZONTAL: 1" = 50'

STORM LATERAL 55 - SEE THIS SHEET



PROFILE: STORM LATERAL 55 STA: 9+00.00 TO 11+00.00
HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'

STORM LATERAL 56 - SEE THIS SHEET



PROFILE: STORM LATERAL 56 STA: 9+00.00 TO 11+00.00
HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'

ABBREVIATIONS

AD	ANGLE DIFFERENCE	MH	MANHOLE
AV	AIR VAC RELEASE VALVE	N.T.S.	NOT TO SCALE
BVC	BEGIN VERTICAL CURVE	PVC	POLYVINYL CHLORIDE
BVP	BEGIN VERTICAL PROFILE	PVI	PT. OF VERTICAL INTERSECTION
CBO	CAP WITH BLOW OFF	PVT	POINT OF VERTICAL TANGENT
CRR	CURB RETURN RADIUS	RCBC	REINFORCED CONCRETE BOX CULVERT
ELEVATION	ELEVATION	RCP	REINFORCED CONCRETE PIPE
EP	EDGE OF PAVEMENT	ROW	RIGHT OF WAY
EVC	END VERTICAL CURVE	SC	SANITARY CAP
EVP	END VERTICAL PROFILE	SD	STORM DRAIN
FG	FINISHED GROUND	SL	SECTION LINE
FH	FIRE HYDRANT	SS	SANITARY SEWER
FL	FLOW LINE	STA	STATION
GV	GATE VALVE	T.O.P.	TOP OF PIPE
HCR	HANDICAP CURB RAMP	UE	UTILITY EASEMENT
HP	HIGH POINT	VC	VERTICAL CURVE
INV	INVERT	WL	WATER LINE
K	CURVATURE COEFFICIENT	WLC	WATER LINE CONNECTION
LF	LINEAR FEET	WSE	WATER SURFACE ELEVATION

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES. SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

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BENCHMARK
DOUGLAS COUNTY CONTROL POINT KNOWN AS 1.069032, BEING A 3-1/4" ALUMINUM CAP, BEING LOCATED IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, HAVING A PUBLISHED ELEVATION OF 1799.2870 METERS (5903.13 FEET) NAVD '88 DATUM.

BASIS OF BEARINGS:
THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 9 BEING MONUMENTED AT THE NORTHEAST CORNER OF SAID SECTION 9 BY A 3-1/4" ALUMINUM CAP STAMPED LS 23053 AND AT THE EAST QUARTER CORNER OF SAID SECTION 9 BY A 2-1/2" ALUMINUM CAP STAMPED LS 6935 BEING CONSIDERED TO BEAR SOUTH 00°15'06" EAST, 2648.70 FEET.

PREPARED UNDER THE SUPERVISION OF

BRIAN P. WILSON
COLORADO P.E. 0050067

NO.	REVISIONS	DATE	INIT.	APPR.	DATE

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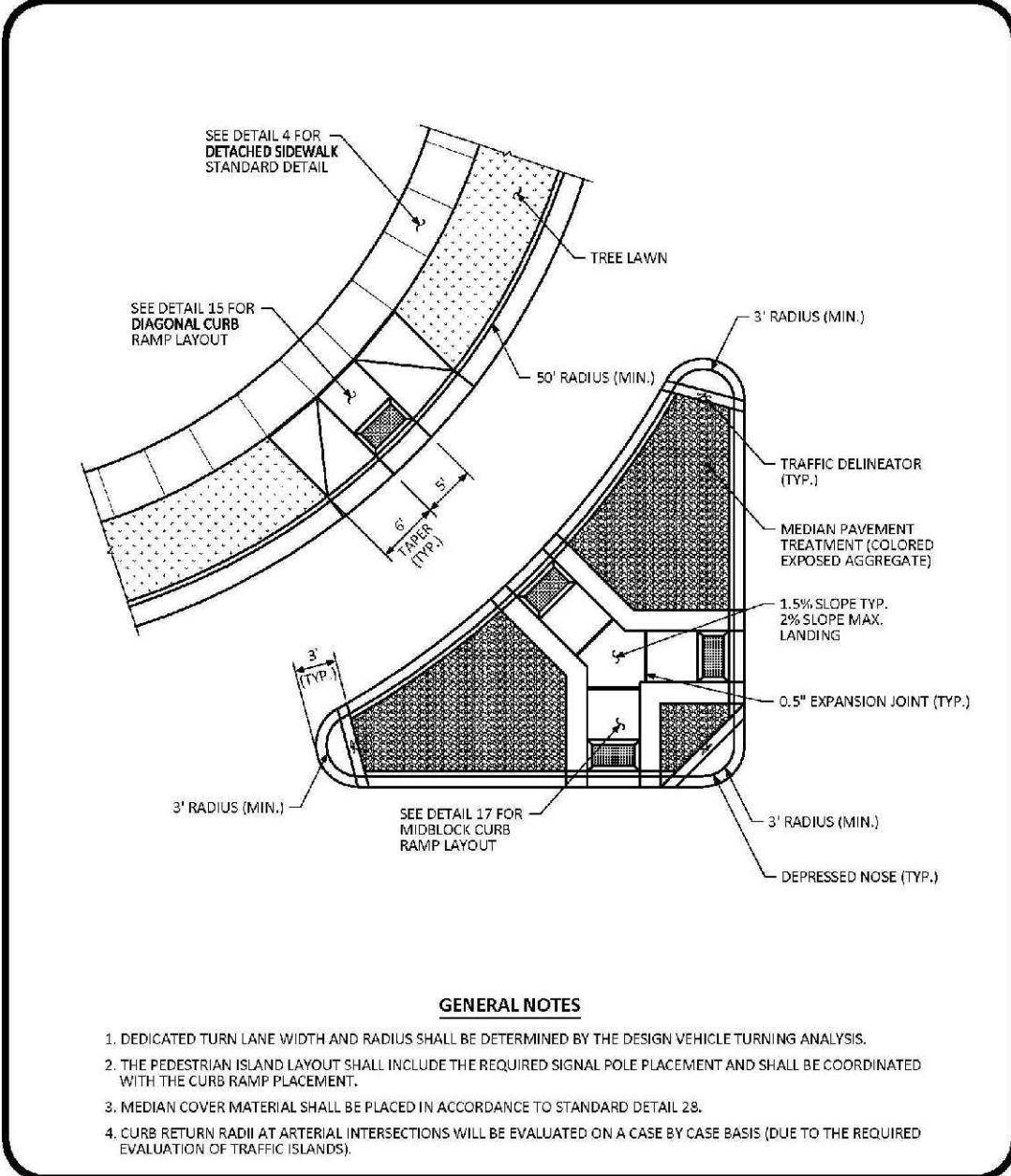
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STORM PLAN & PROFILE
SKY PILOT AVENUE

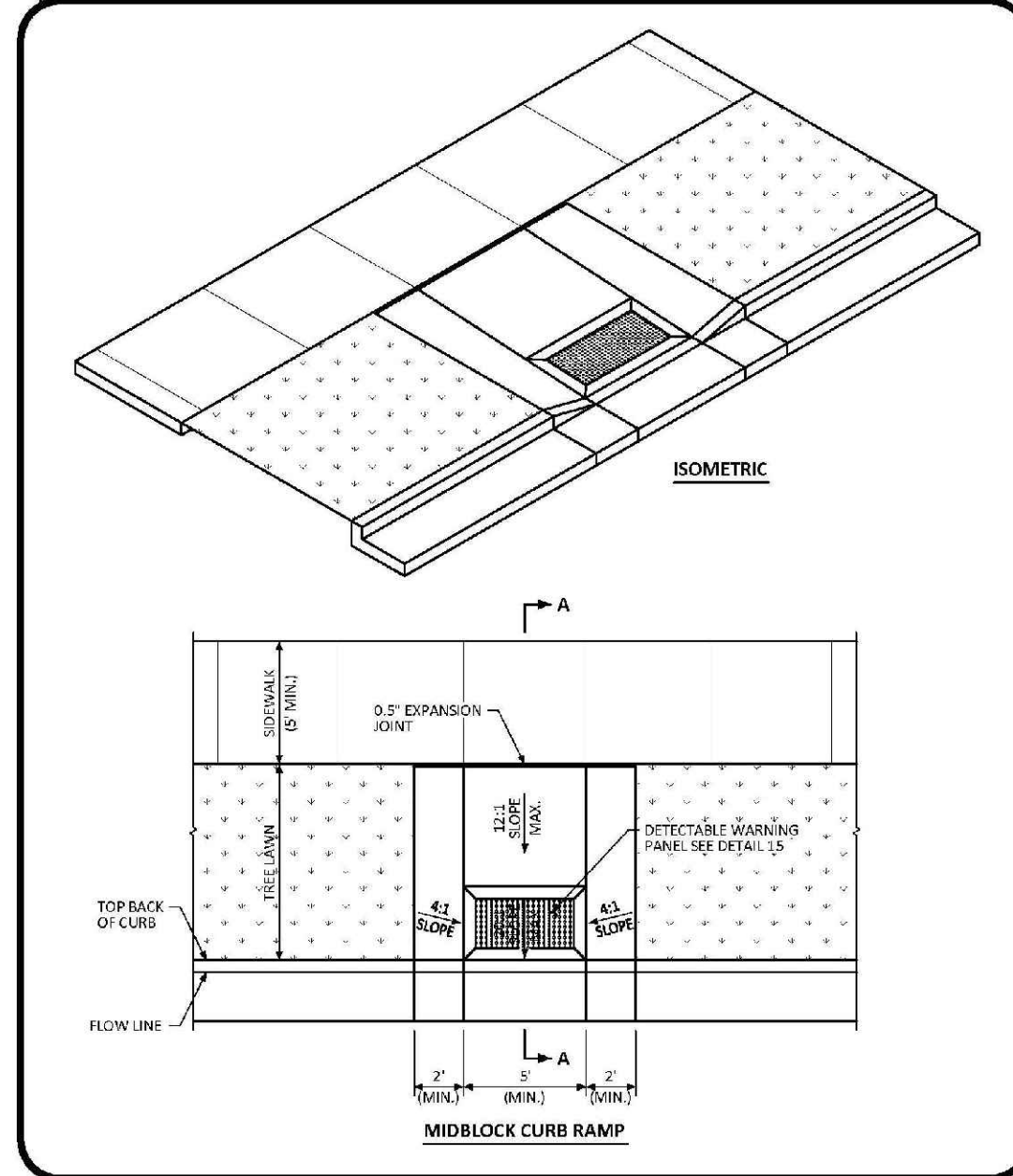
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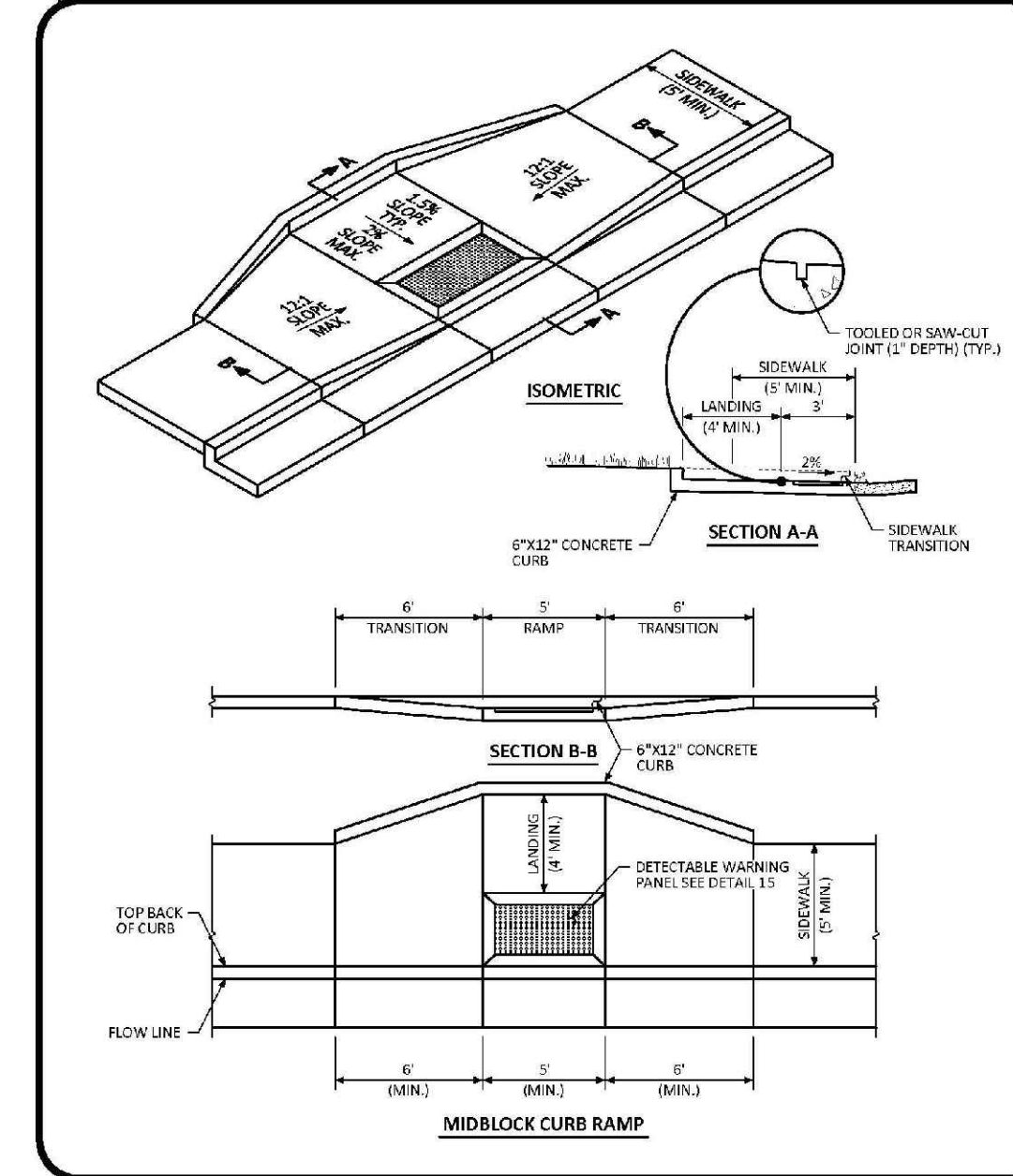
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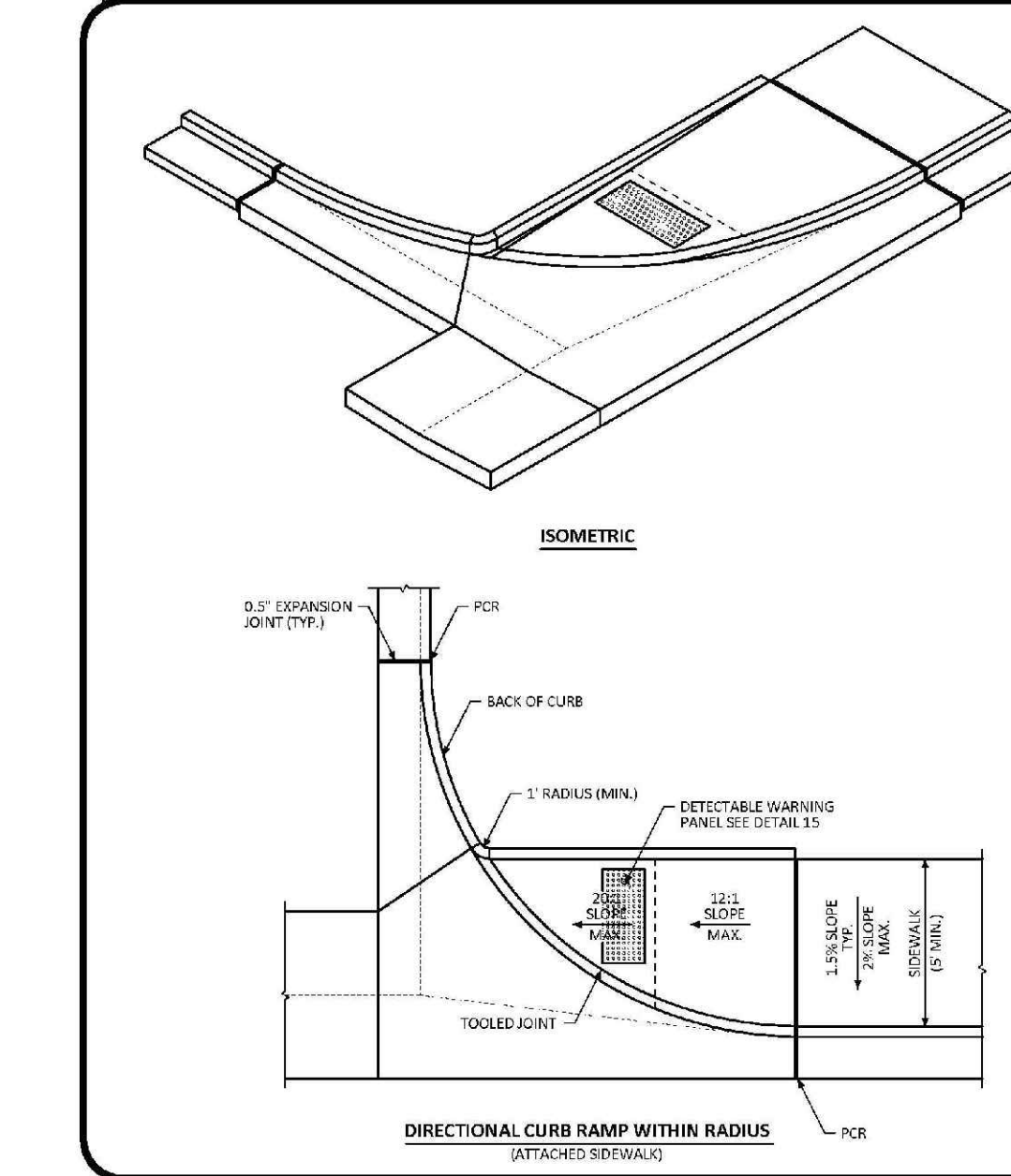
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 DATE: AUGUST 2014
 DETAIL: 16
 1 OF 1



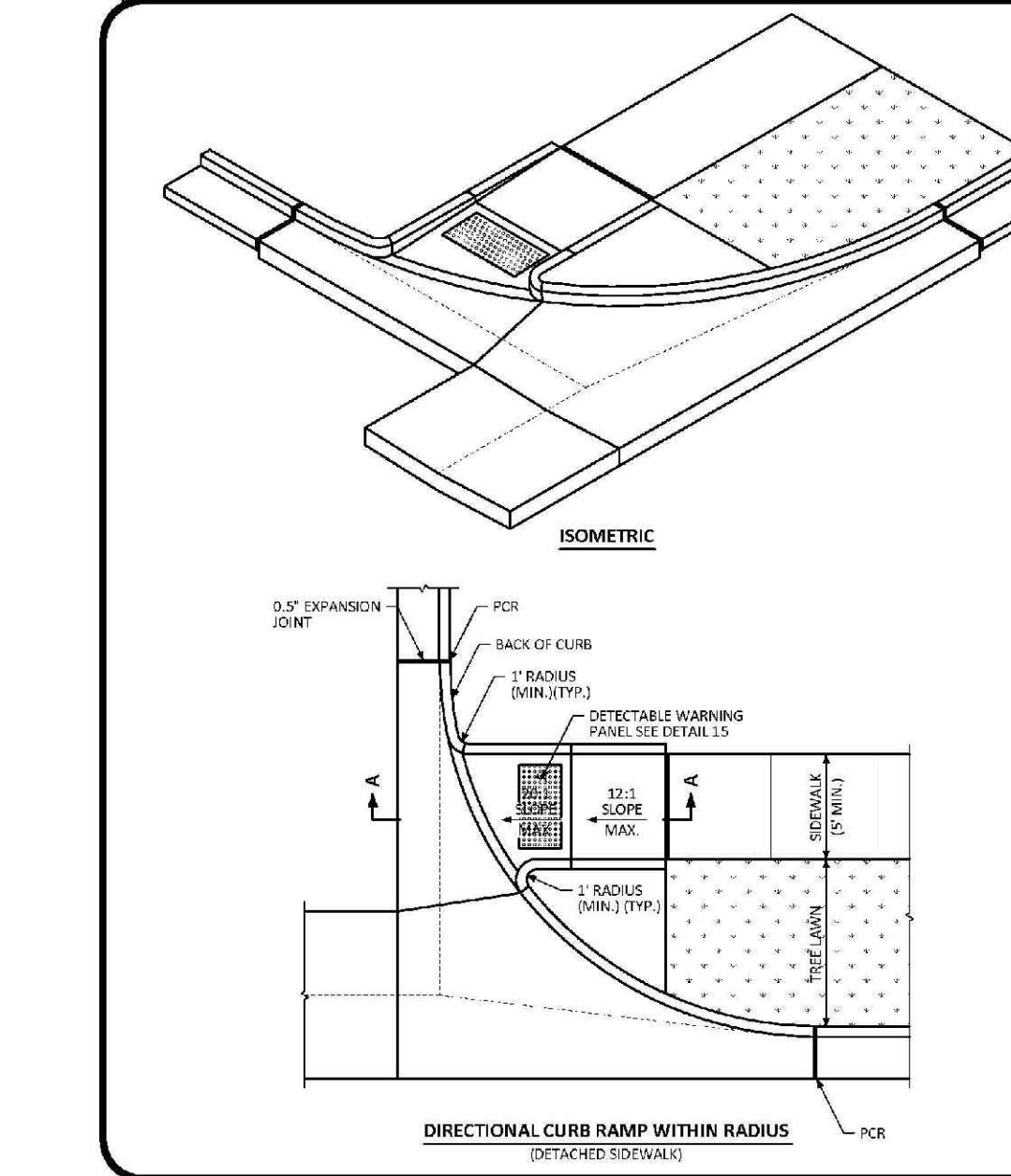
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 1 OF 2



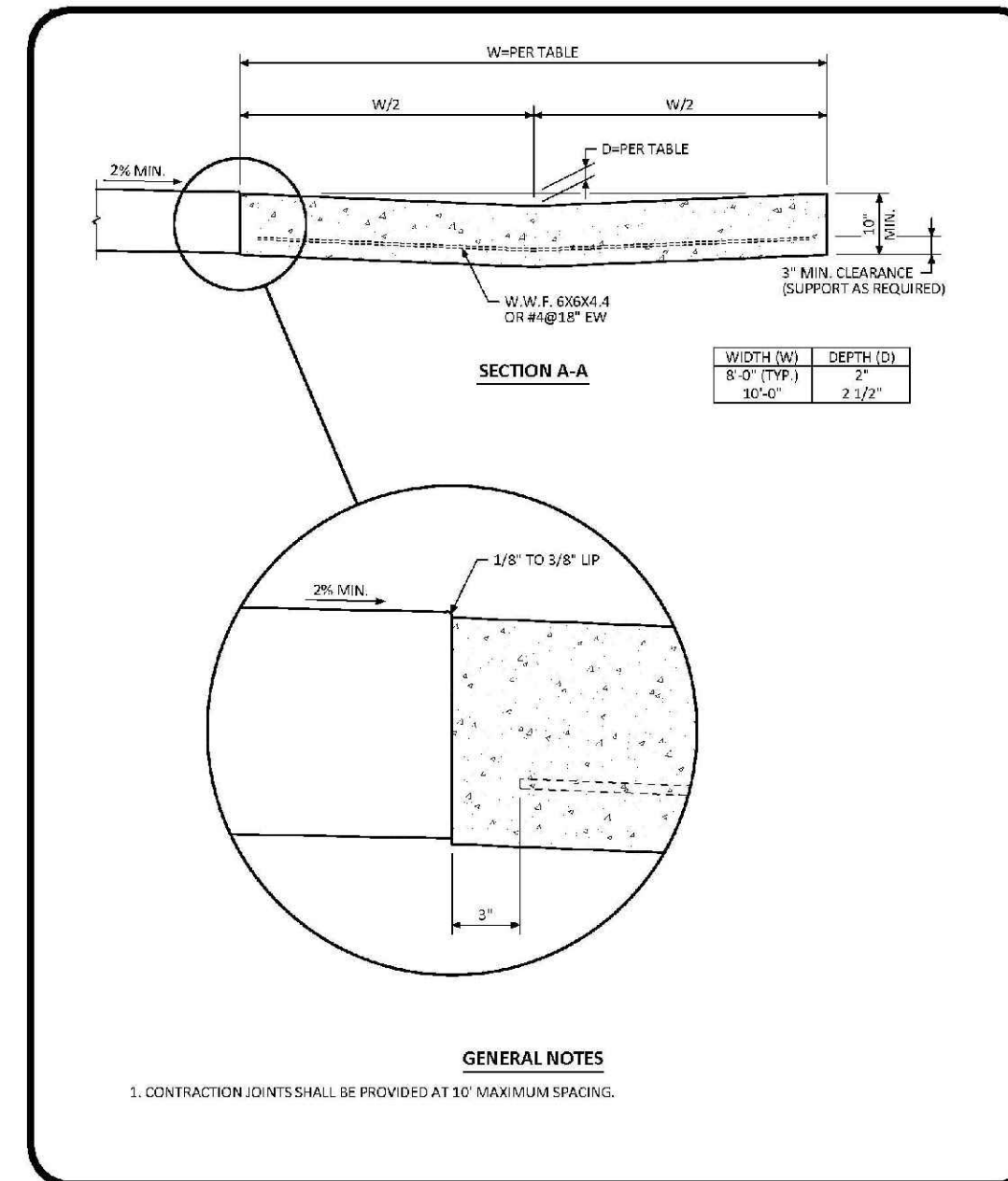
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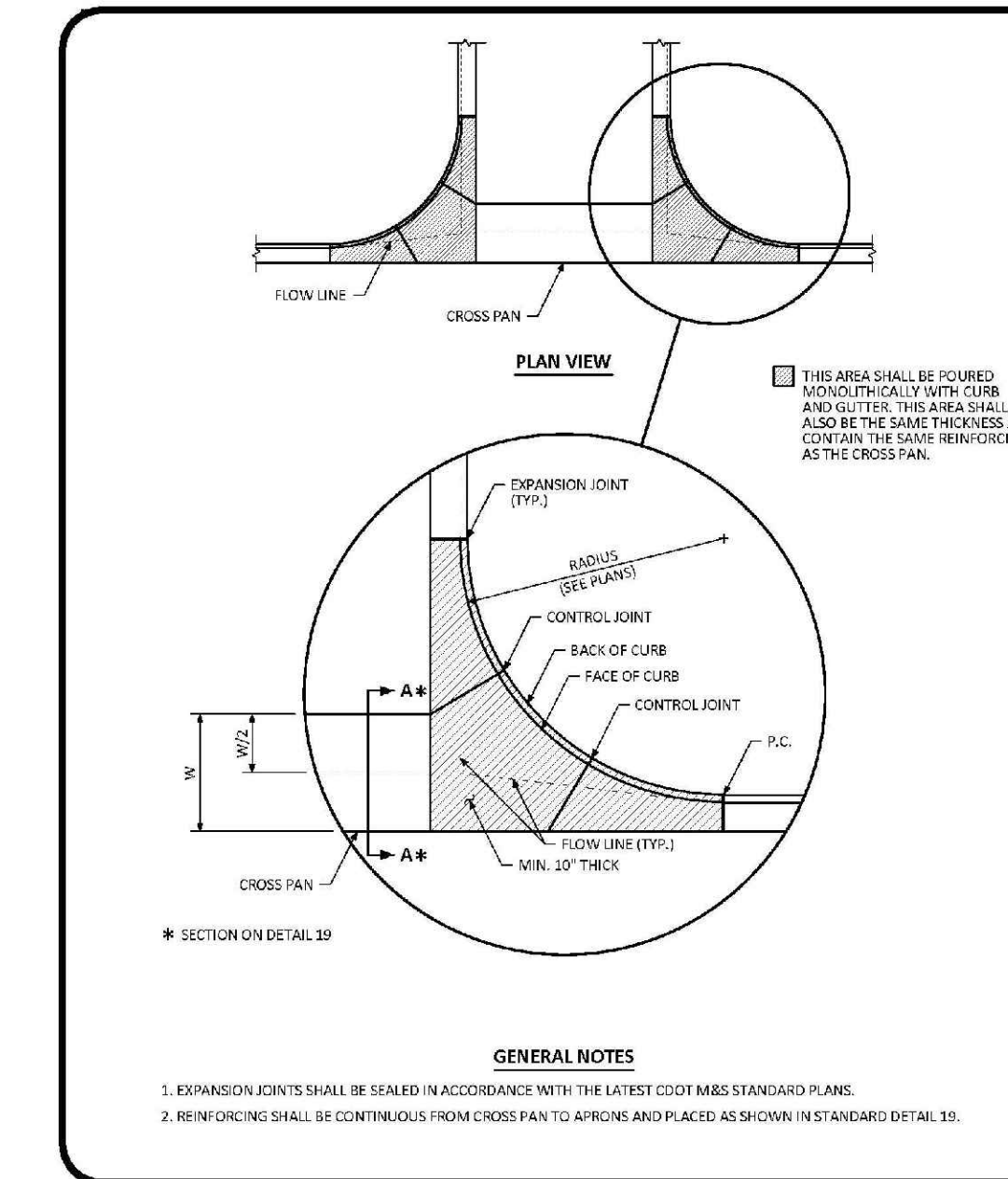
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 DETAIL: 18
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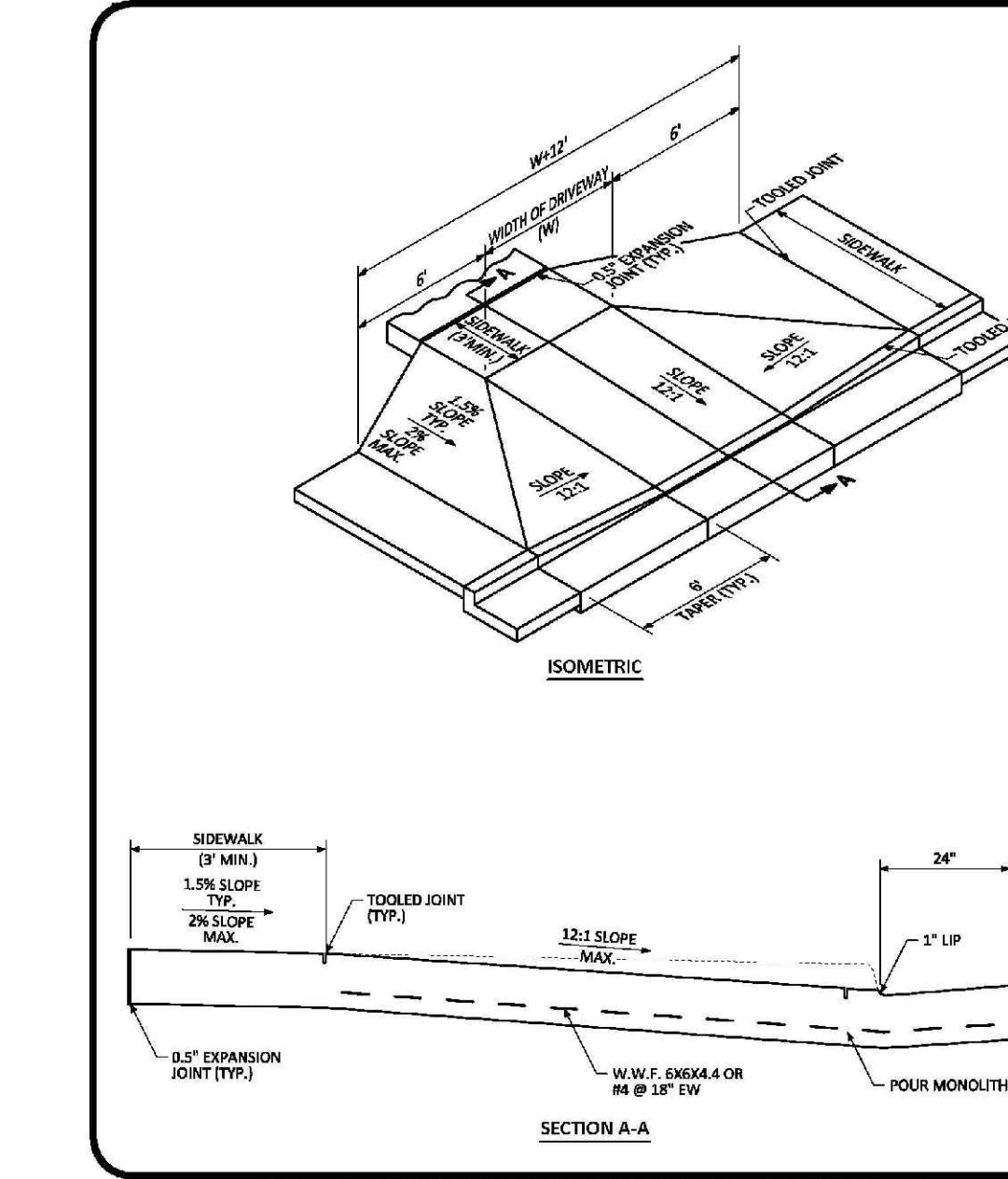
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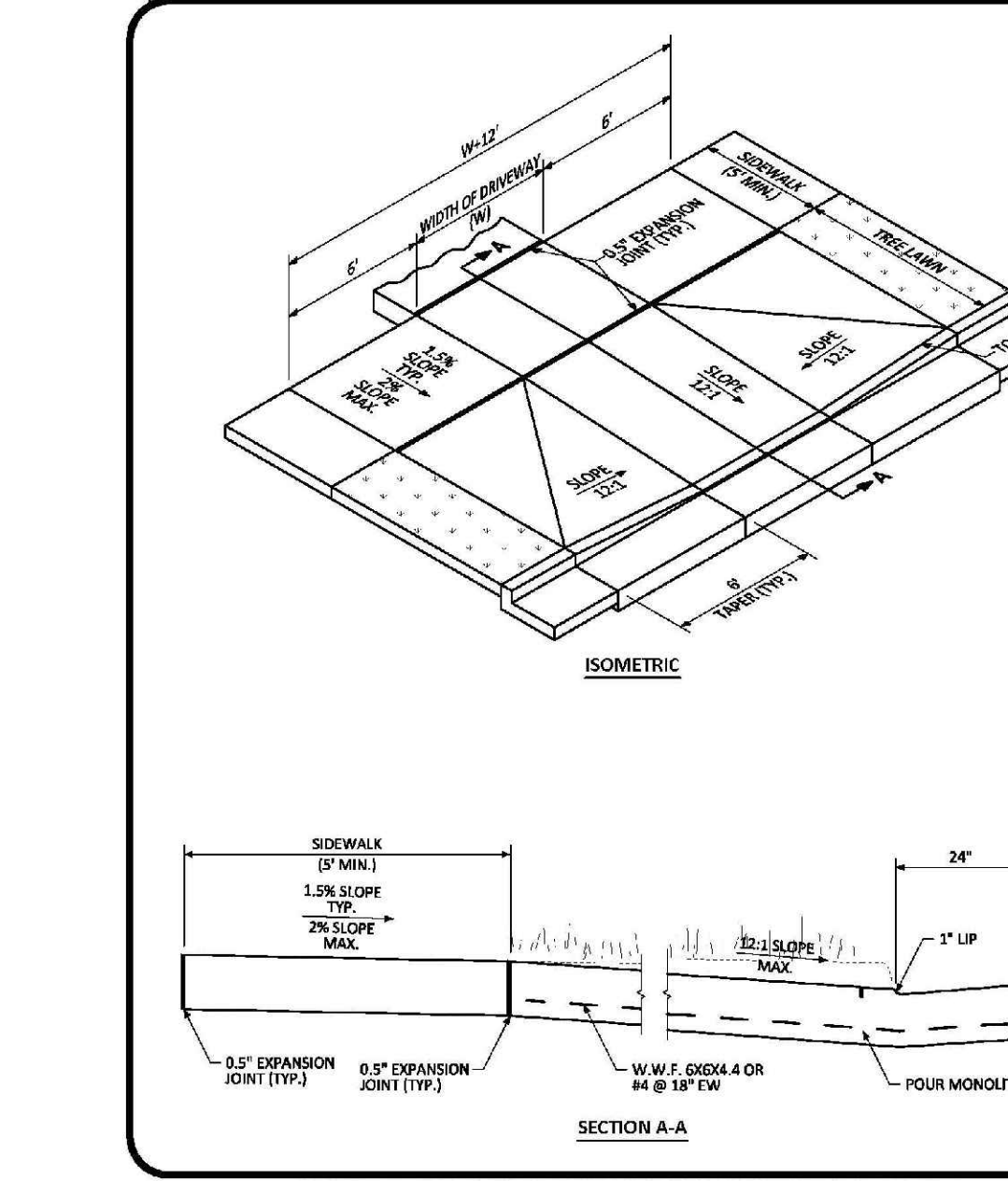
CROSS PAN LAYOUT STANDARD DETAIL
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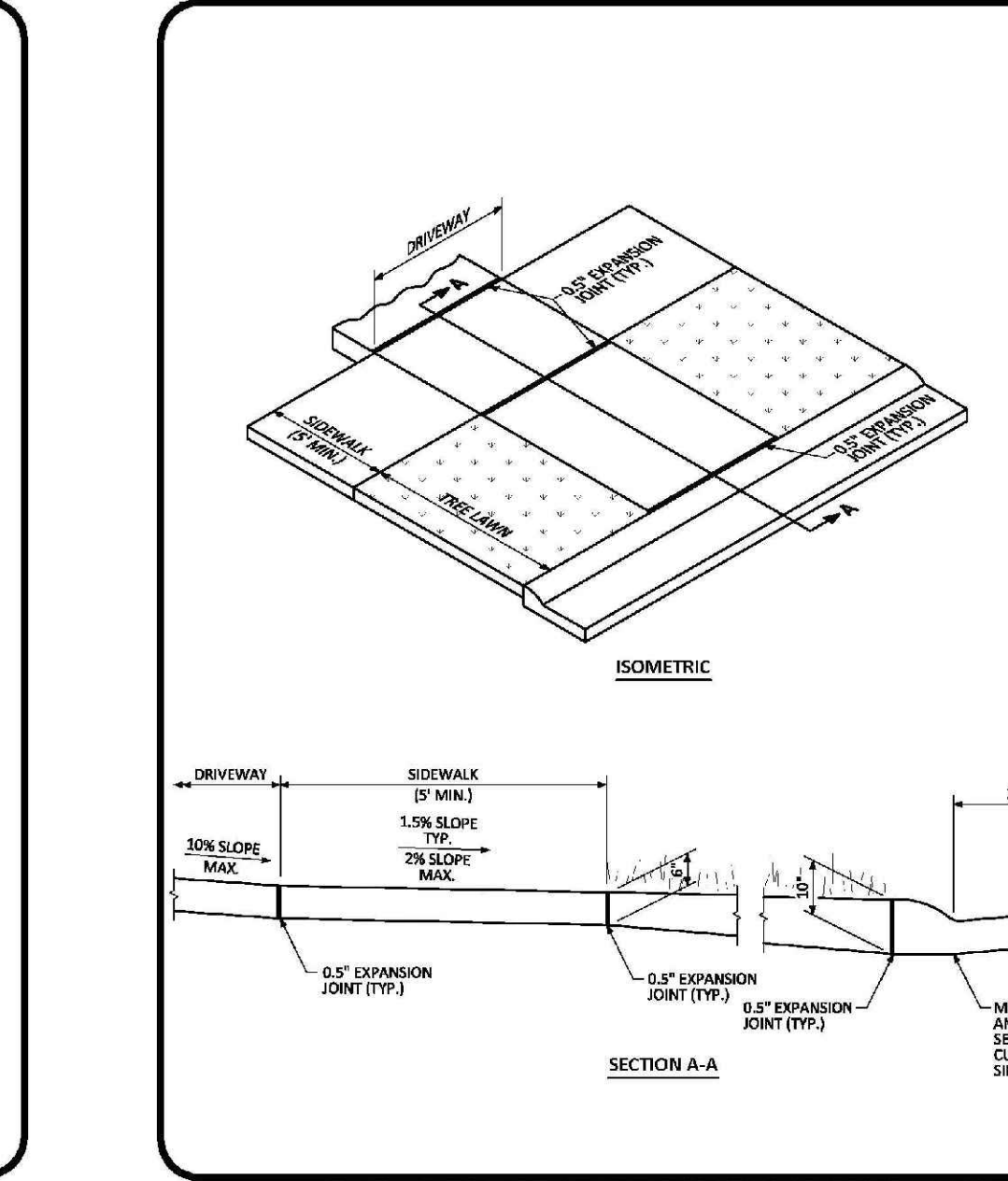
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 DETAIL: 20
 1 OF 1



COMMERCIAL DRIVEWAY WITH ATTACHED SIDEWALK STANDARD DETAIL
 DATE: AUGUST 2014
 DETAIL: 21
 1 OF 2



COMMERCIAL DRIVEWAY WITH DETACHED SIDEWALK STANDARD DETAIL
 DATE: AUGUST 2014
 DETAIL: 21
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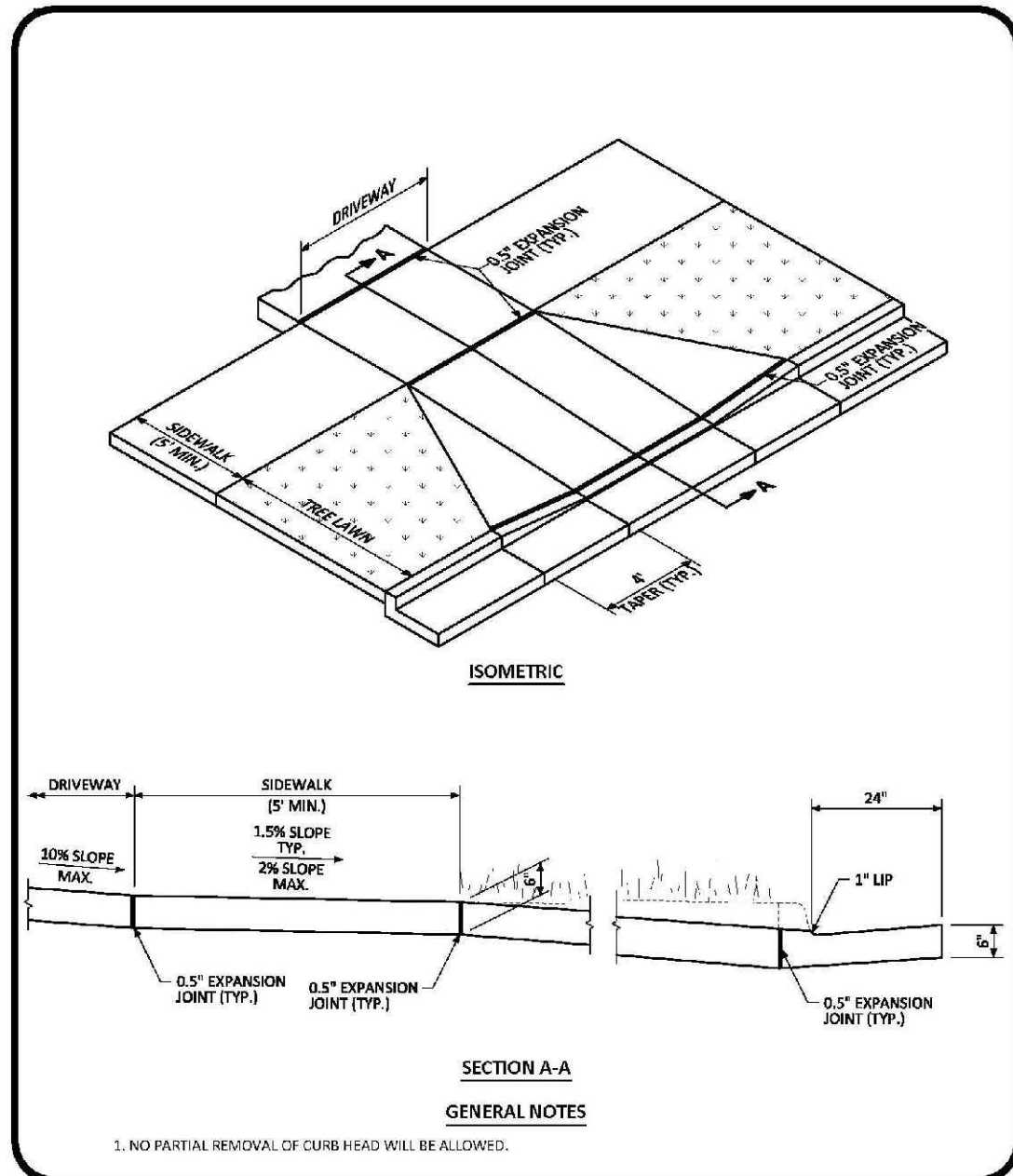


**RESIDENTIAL DRIVEWAY WITH 4\"/>
 DATE: AUGUST 2014
 DETAIL: 22
 1 OF 1**

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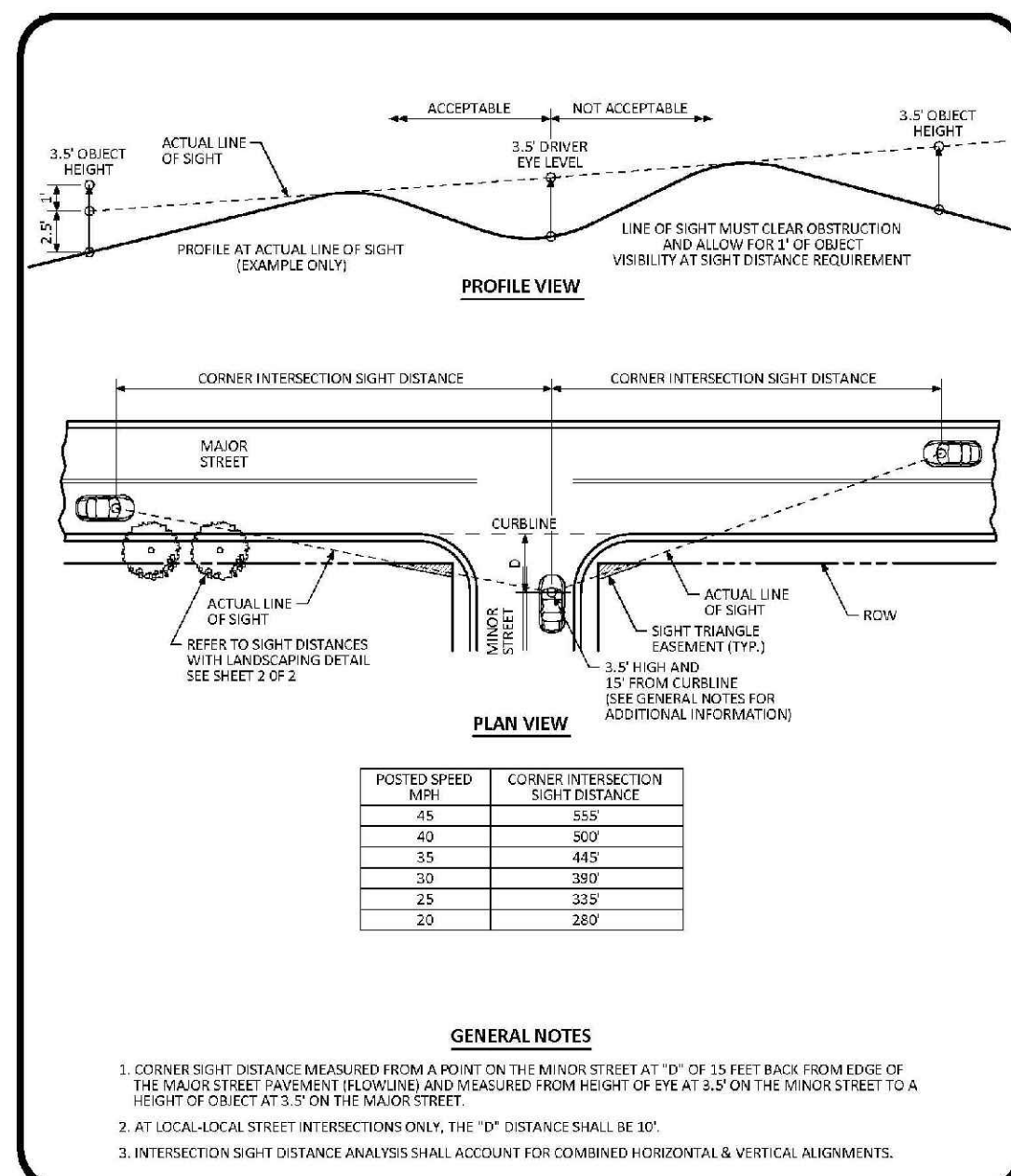
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RESIDENTIAL DRIVEWAY WITH 6" VERTICAL CURB & GUTTER LAYOUT STANDARD DETAIL

DATE AUGUST 2014

DETAIL 23

1 OF 1



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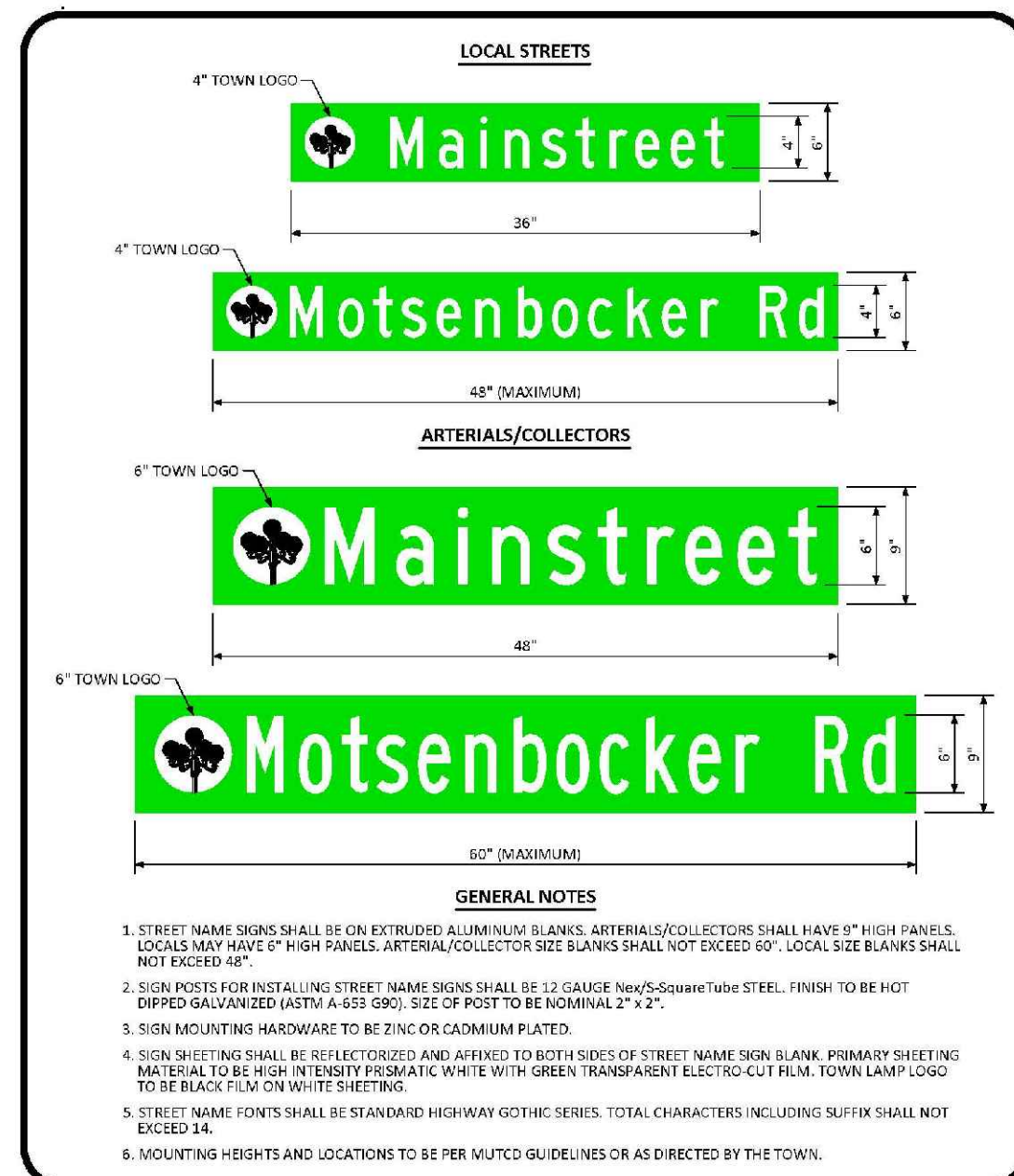
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INTERSECTION SIGHT DISTANCE REQUIREMENTS STANDARD DETAIL

DATE AUGUST 2014

DETAIL 25

1 OF 1



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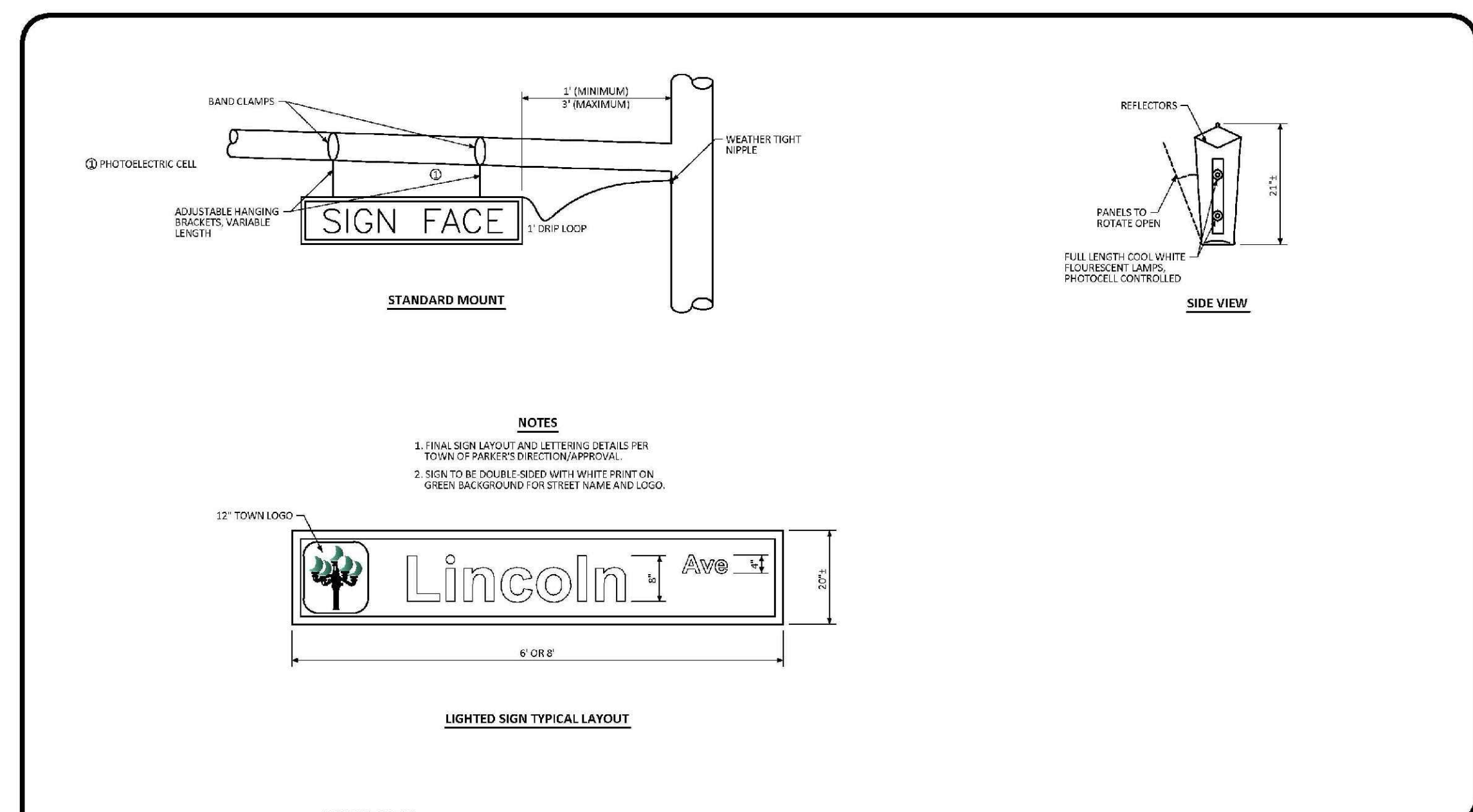
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GROUND MOUNTED STREET NAME PANELS

DATE DECEMBER 2016

DETAIL 32

1 OF 1



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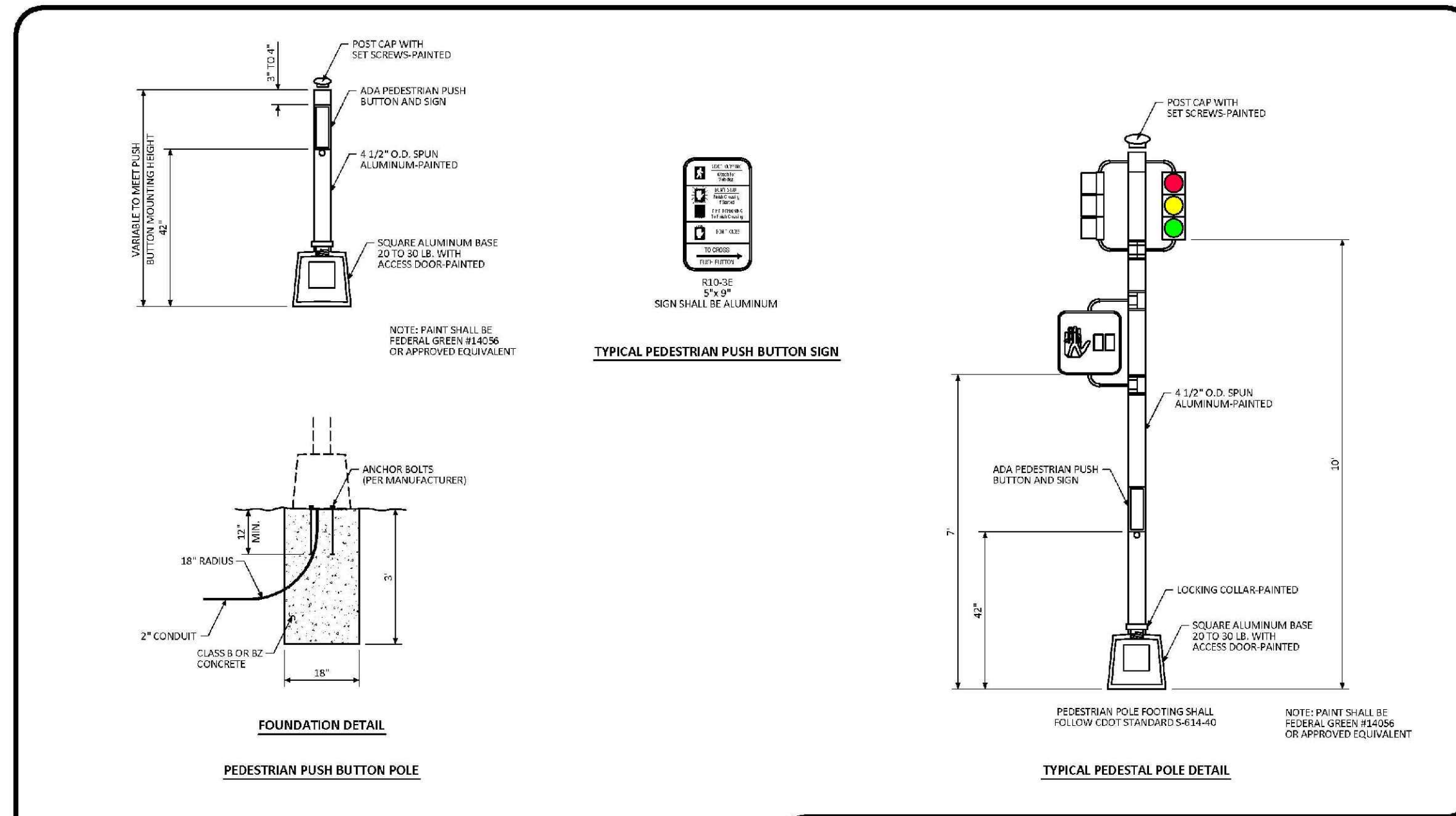
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ILLUMINATED STREET NAME SIGN STANDARD SIGNAL DETAIL

DATE NOVEMBER 2012

DETAIL 3

1 OF 1



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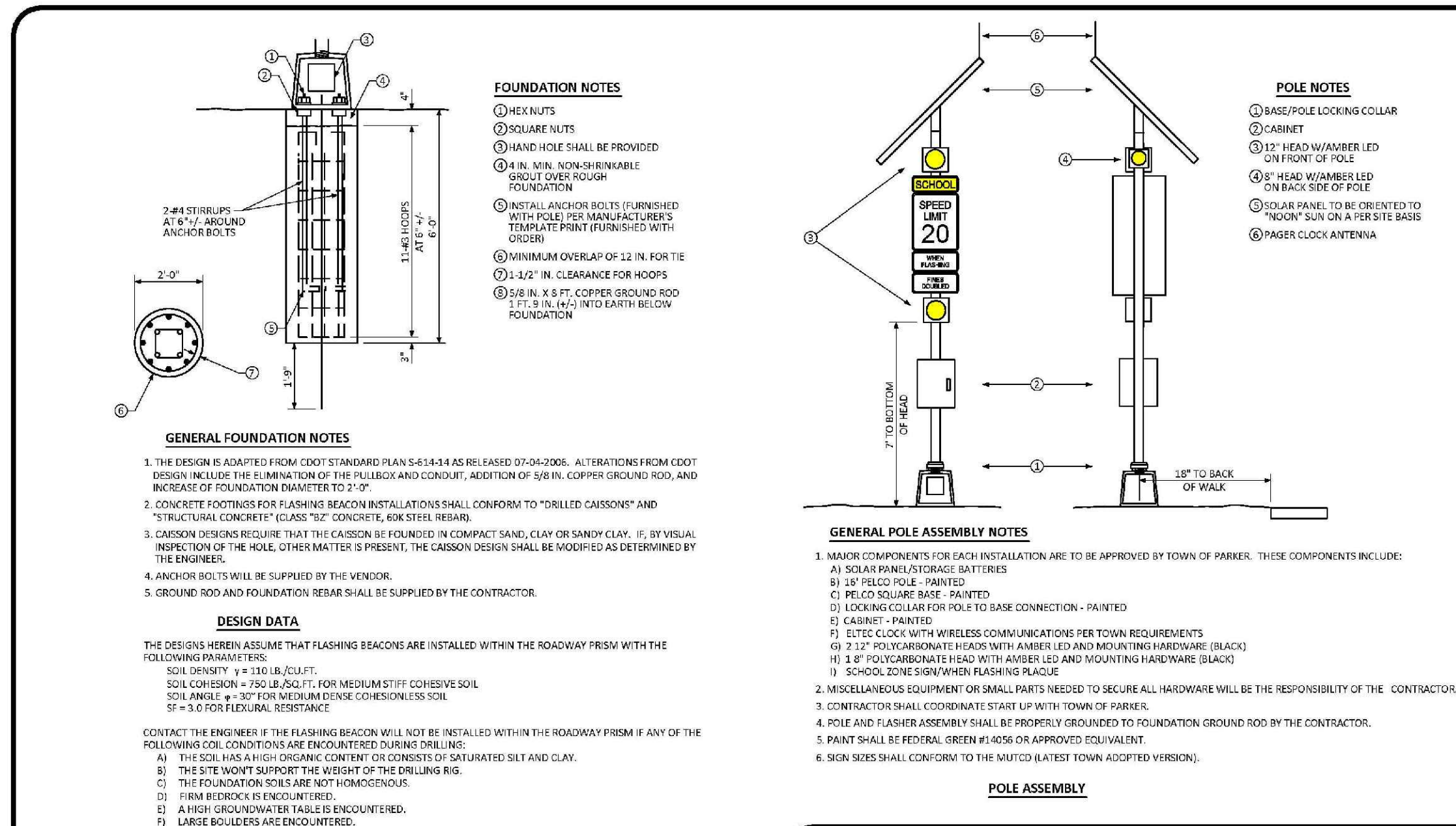
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PEDESTRIAN POLE STANDARD SIGNAL DETAIL

DATE NOVEMBER 2012

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1 OF 1



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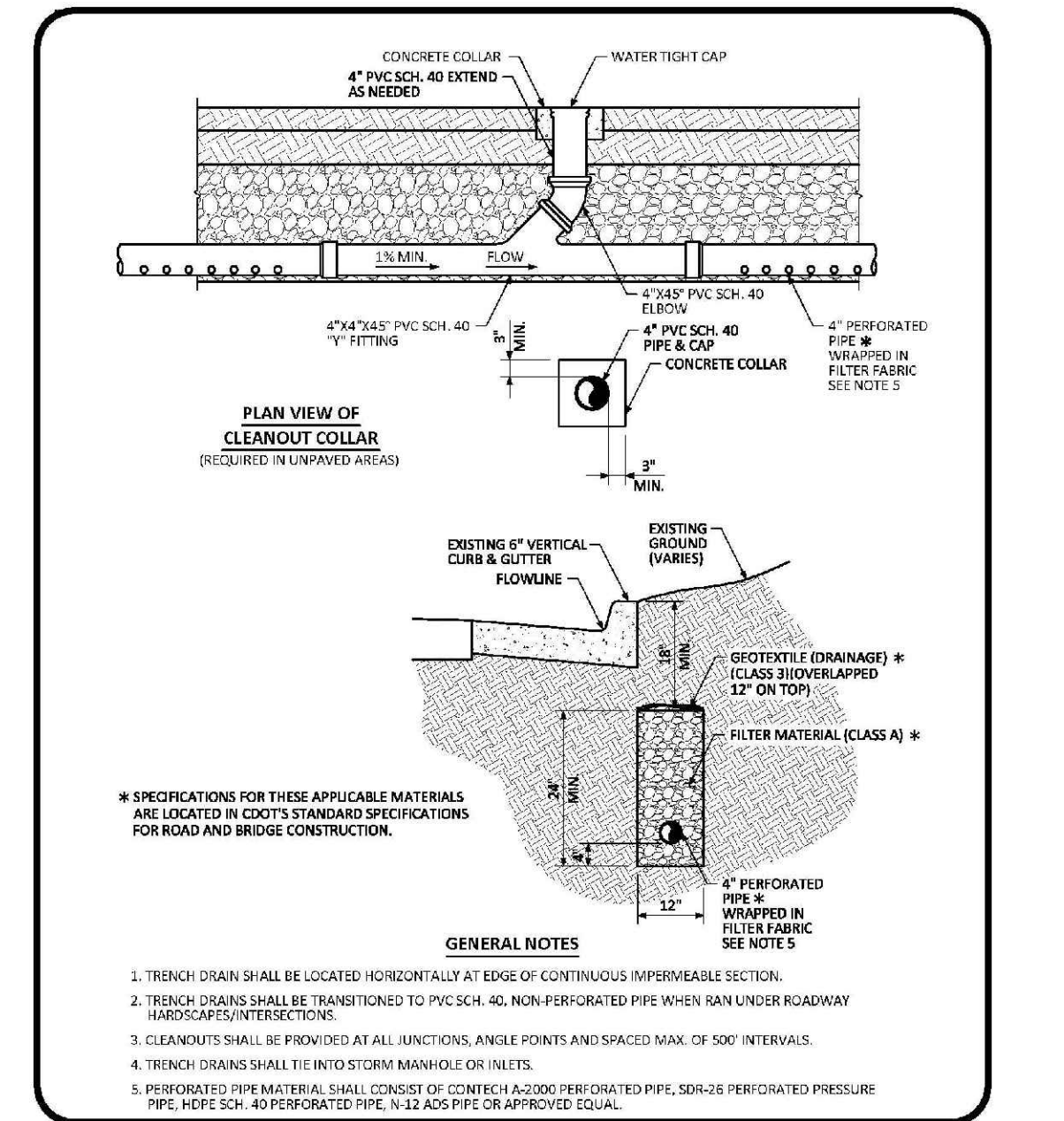
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SCHOOL FLASHING BEACON STANDARD SIGNAL DETAIL

DATE NOVEMBER 2012

DETAIL 6

1 OF 1



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TRENCH DRAIN DETAIL SECTION STANDARD DETAIL

DATE AUGUST 2014

DETAIL 31

1 OF 1

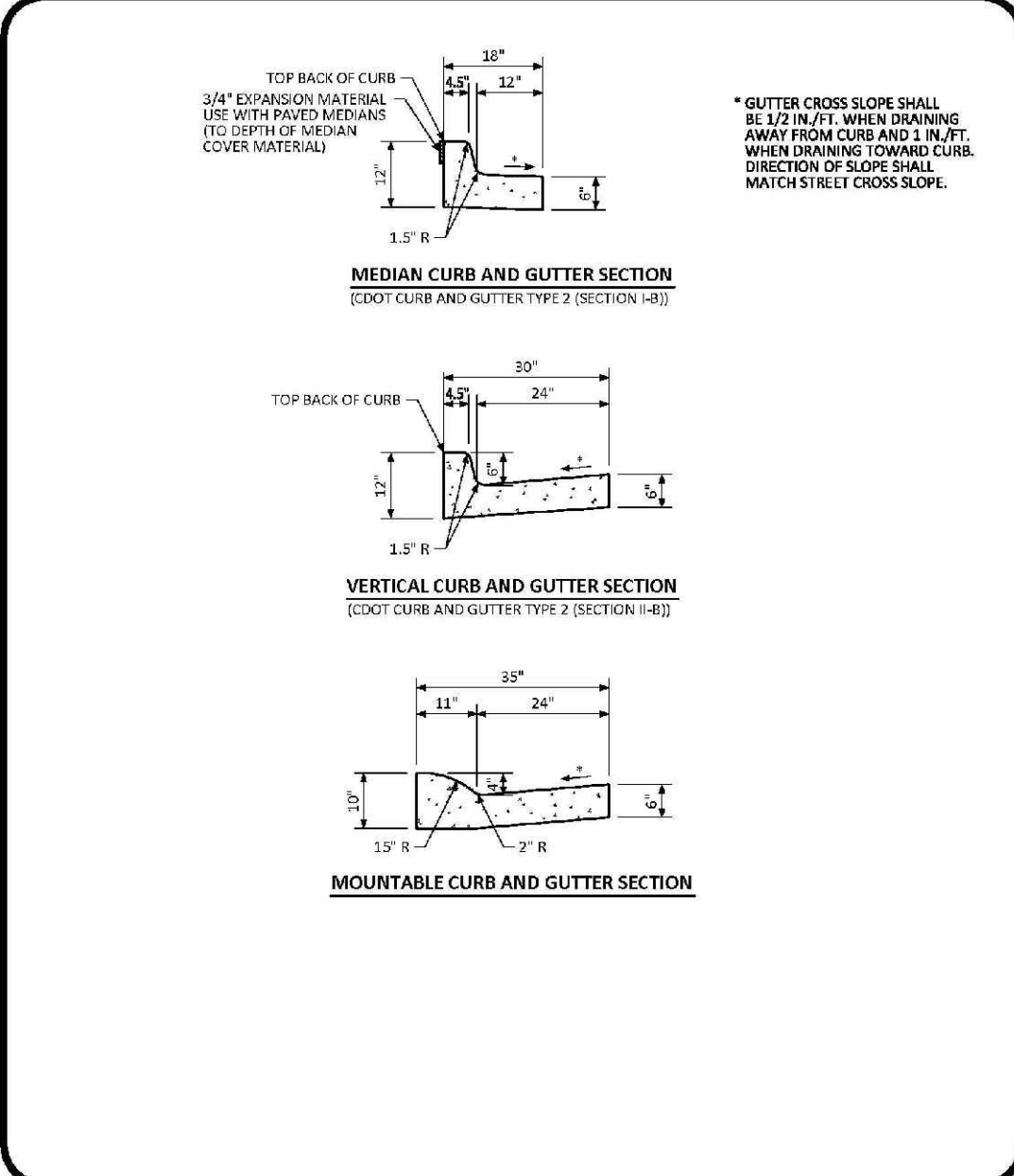
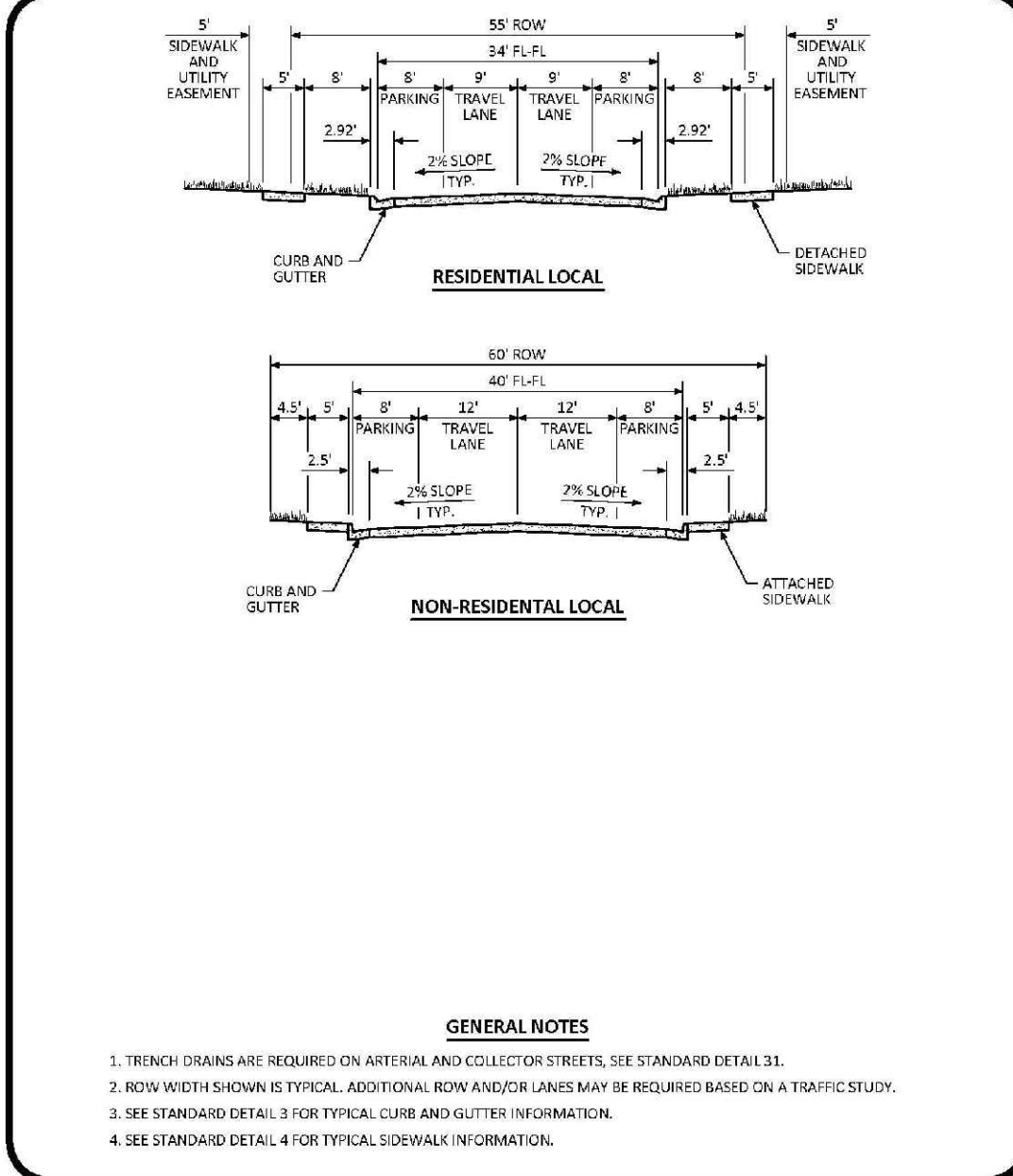
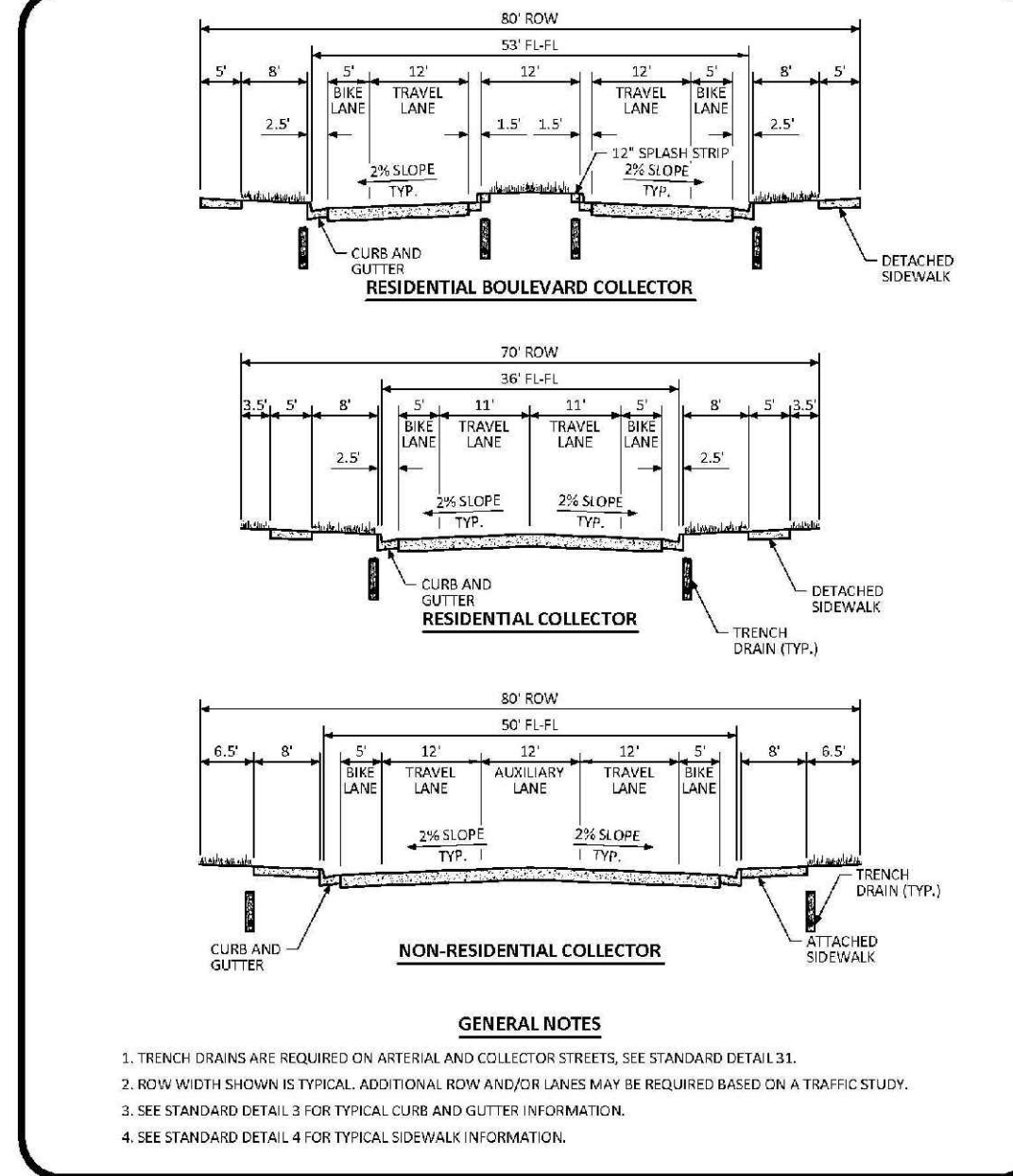
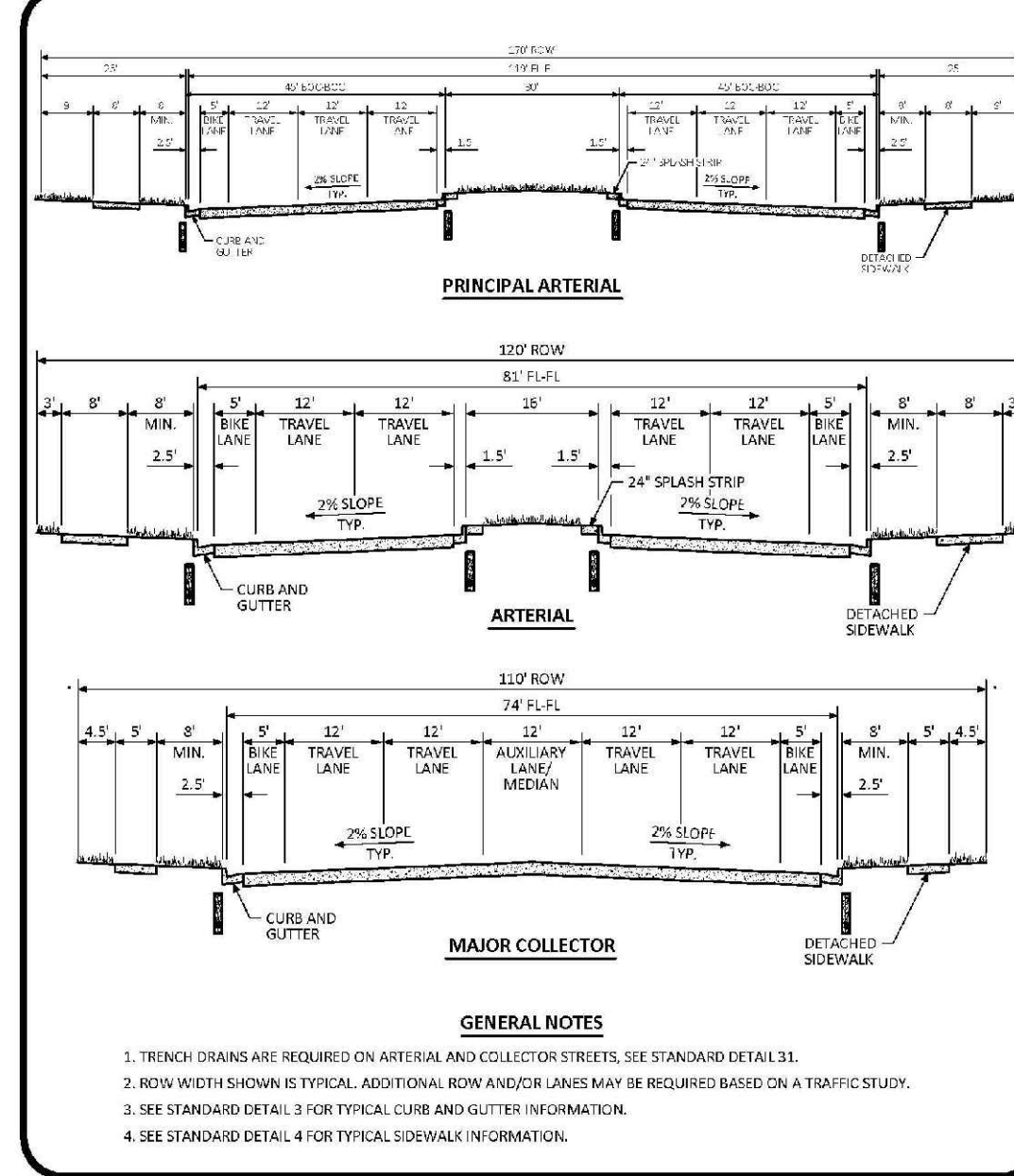
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TYPICAL STREET CROSS SECTIONS STANDARD DETAIL

DATE: JULY 2015

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TYPICAL STREET CROSS SECTIONS STANDARD DETAIL

DATE: JULY 2015

DETAIL: 2 OF 3

TYPICAL STREET CROSS SECTIONS STANDARD DETAIL

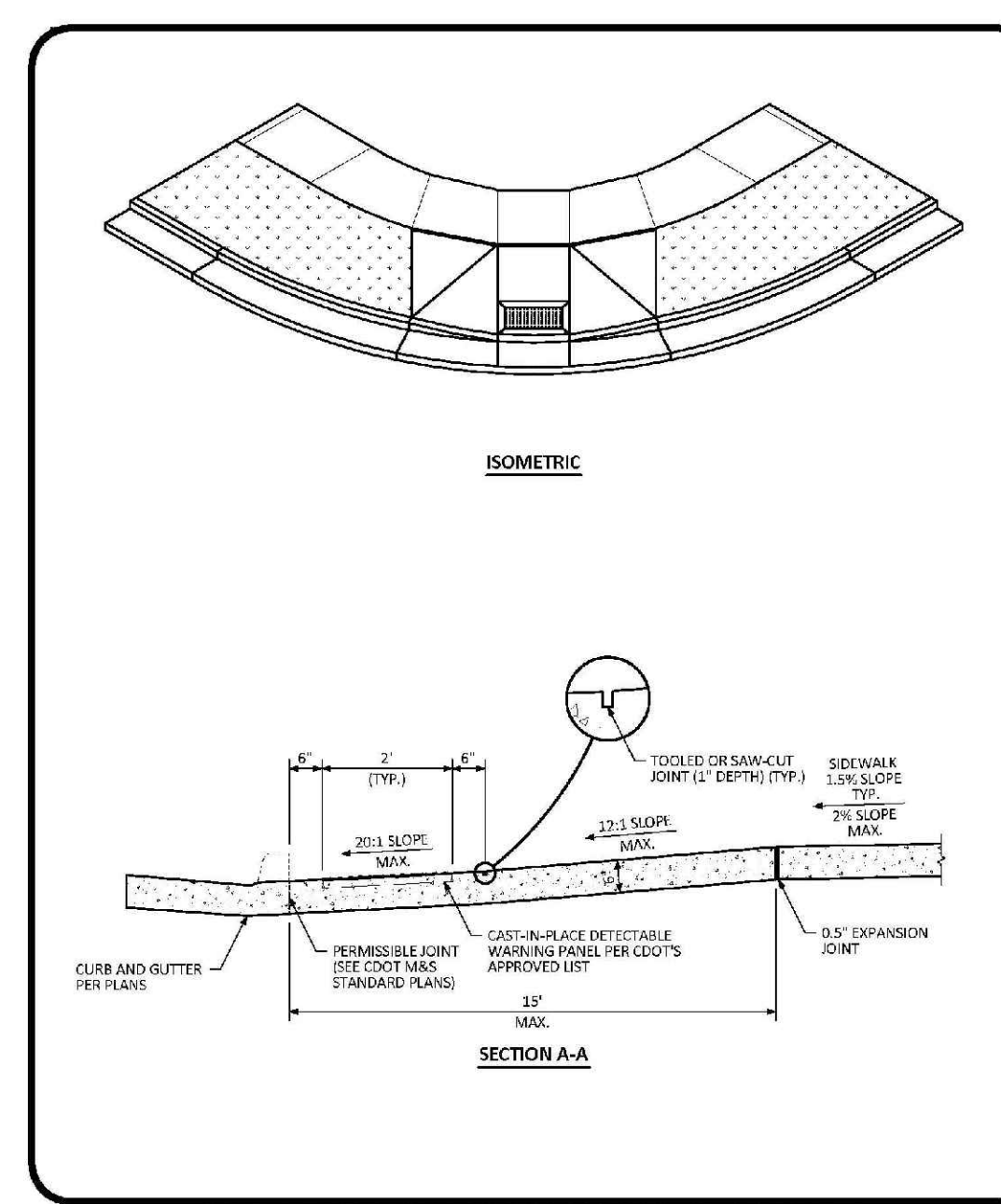
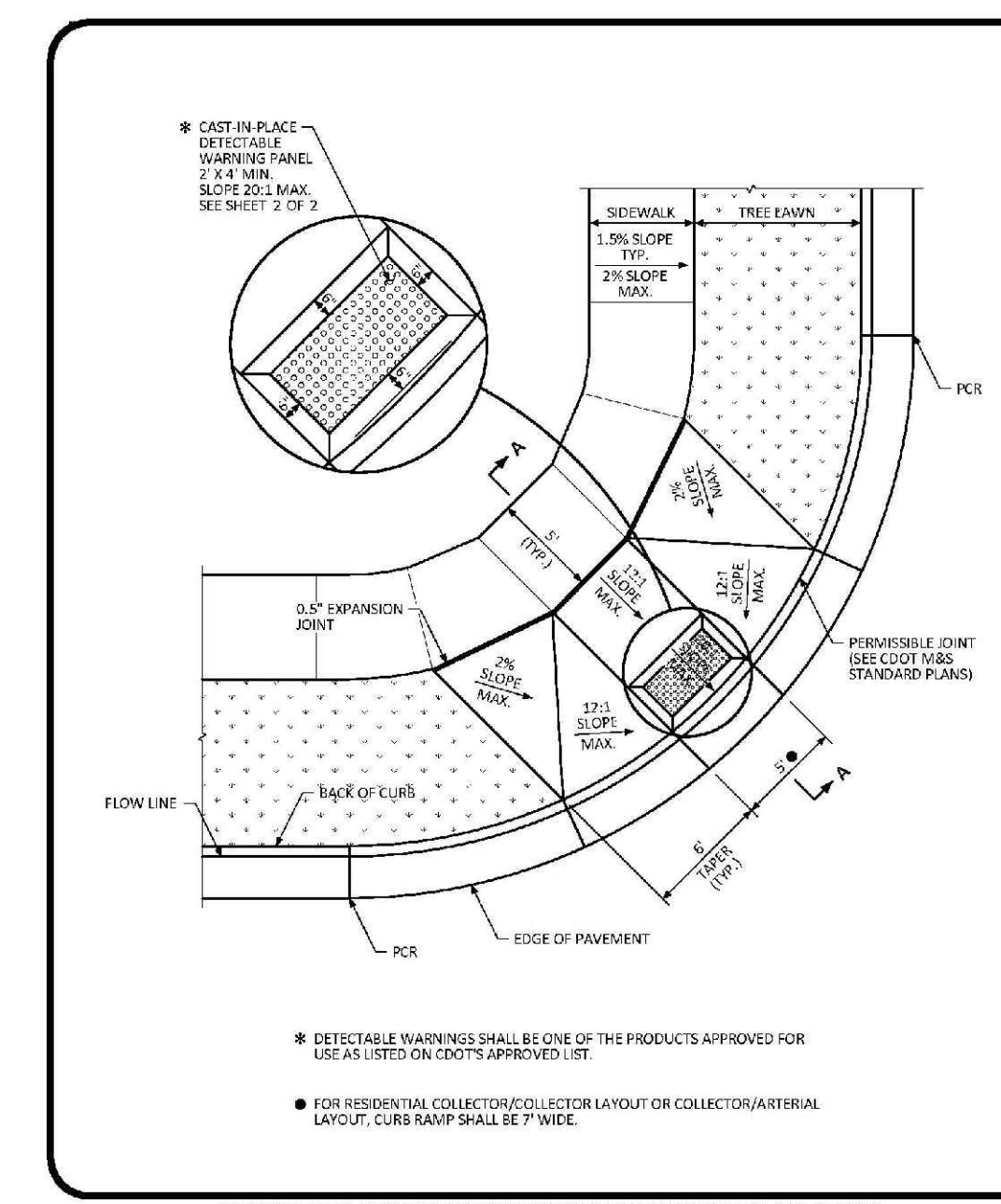
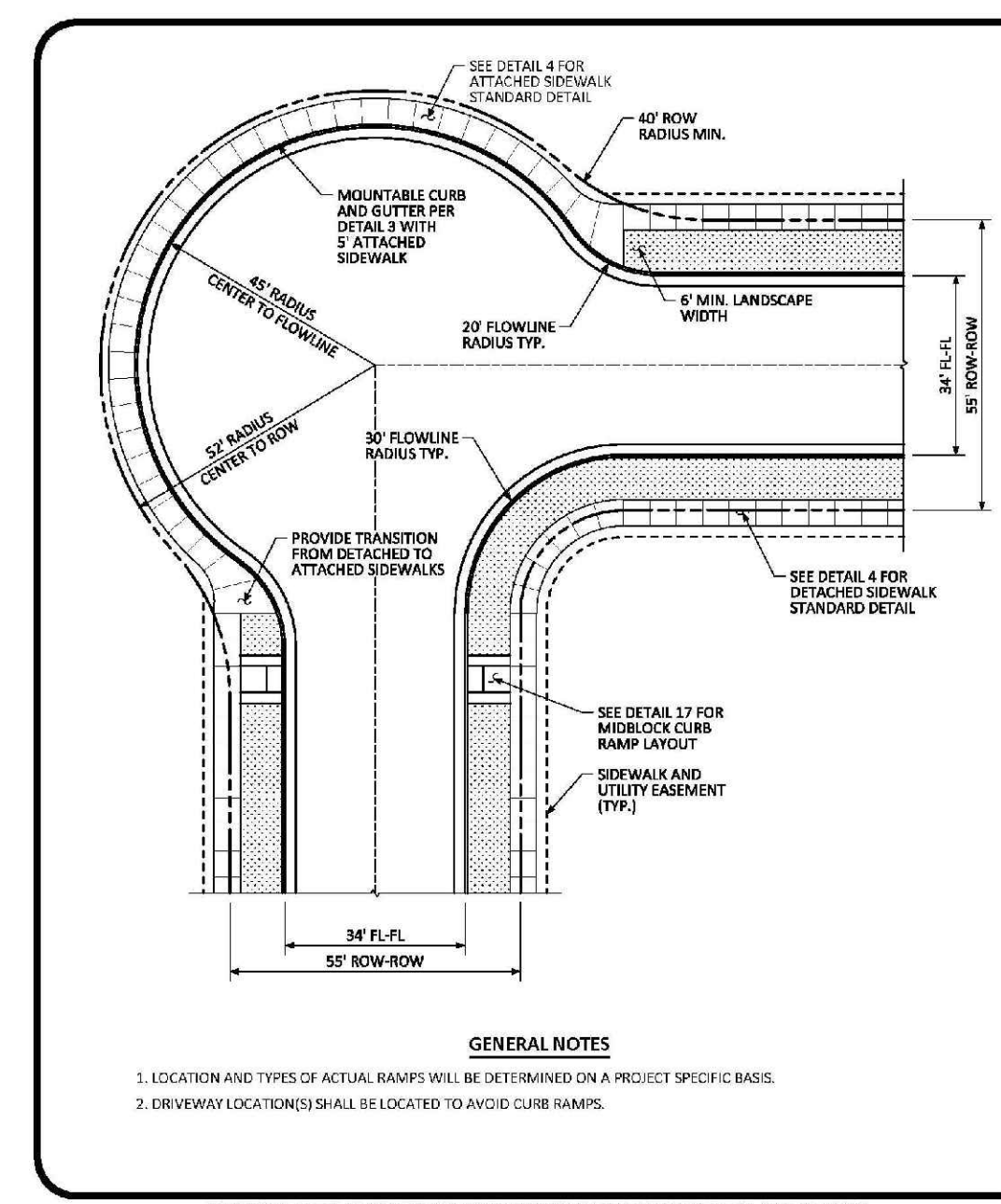
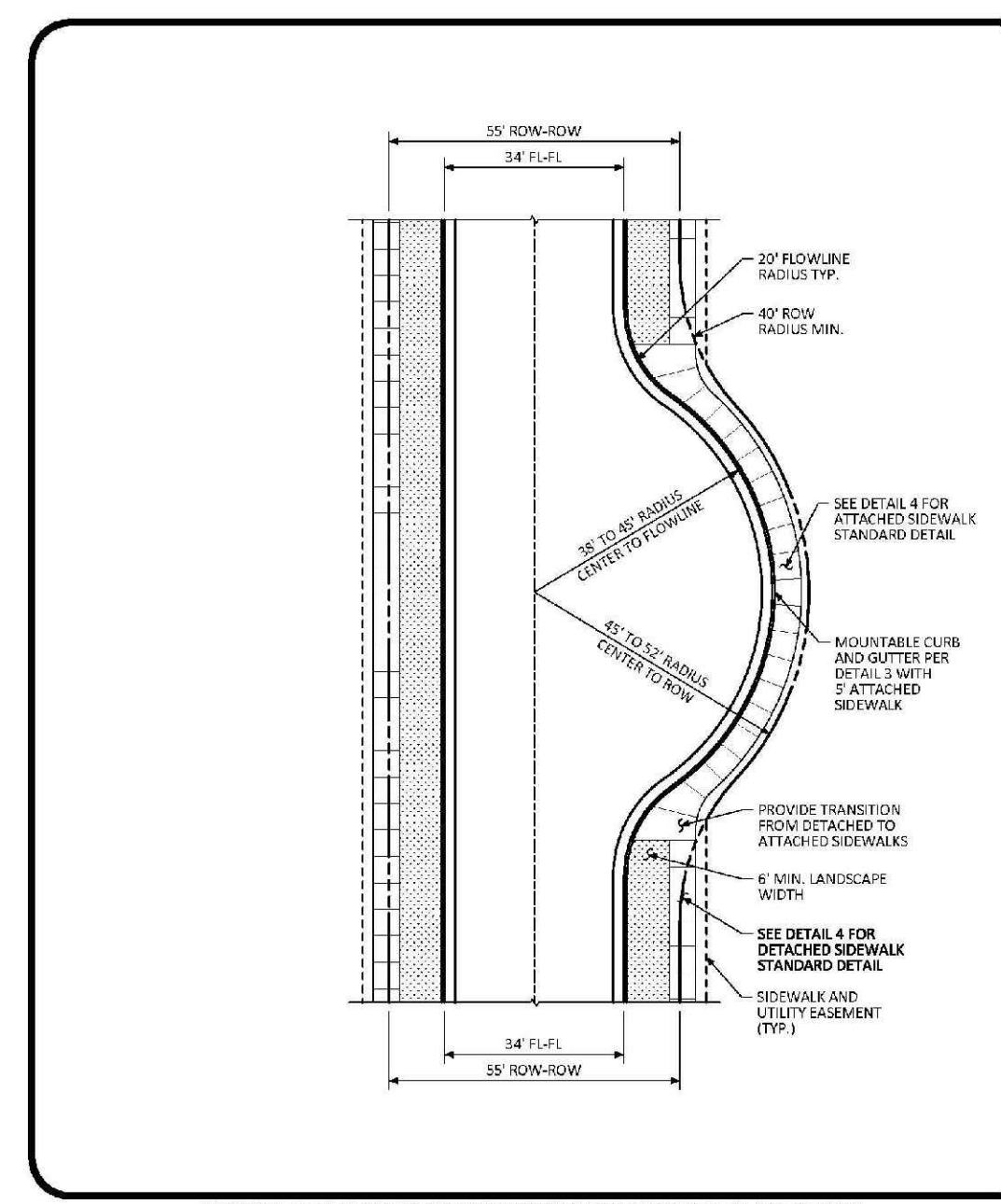
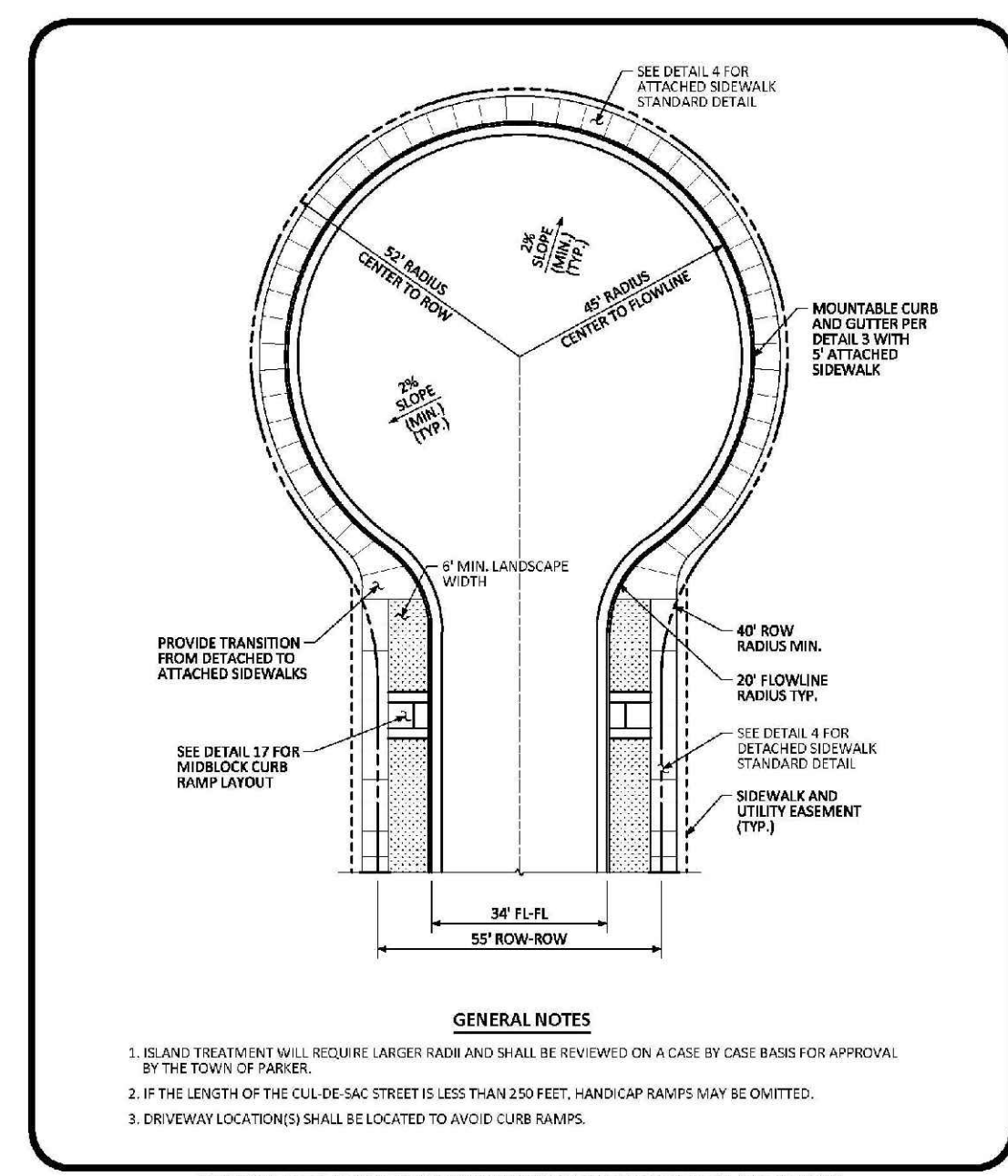
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DETAIL: 3 OF 3

CURB, GUTTER, AND SIDEWALK SECTIONS STANDARD DETAIL

DATE: AUGUST 2014

DETAIL: 1 OF 1



RESIDENTIAL LOCAL CUL-DE-SAC TYPICAL LAYOUT STANDARD DETAIL

DATE: AUGUST 2014

DETAIL: 5 OF 1

RESIDENTIAL LOCAL KNUCKLE TYPICAL LAYOUT STANDARD DETAIL

DATE: AUGUST 2014

DETAIL: 6 OF 1

RESIDENTIAL LOCAL CORNER KNUCKLE TYPICAL LAYOUT STANDARD DETAIL

DATE: AUGUST 2014

DETAIL: 7 OF 1

DIAGONAL CURB RAMP (DETACHED SIDEWALK) LAYOUT STANDARD DETAIL

DATE: AUGUST 2014

DETAIL: 15 OF 2

DIAGONAL CURB RAMP LAYOUT STANDARD DETAIL

DATE: AUGUST 2014

DETAIL: 15 OF 2

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