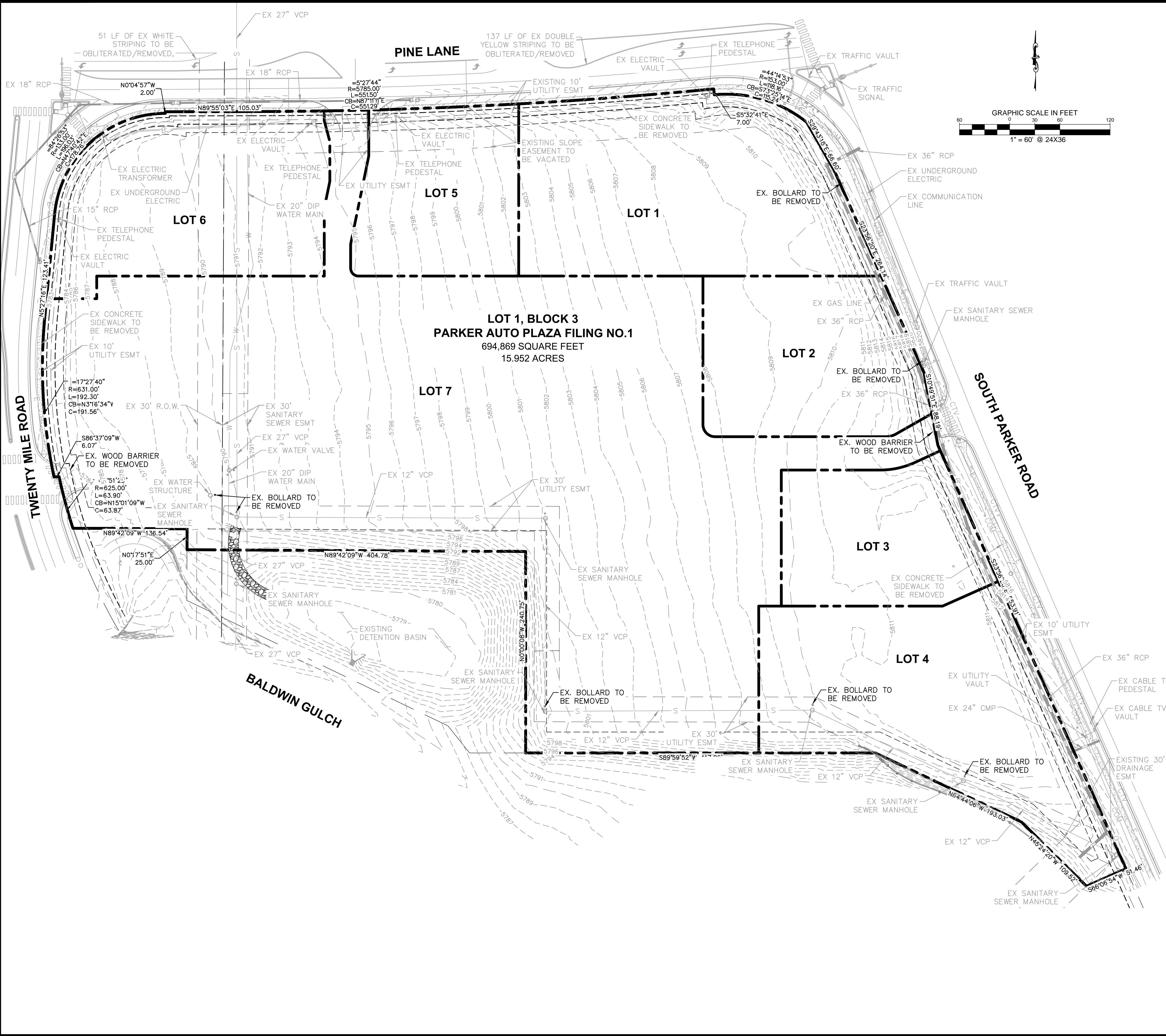


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LEGEND

	EXISTING PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING STORM SEWER LINE
	EXISTING UNDERGROUND POWER LINE
	EXISTING GAS LINE
	EXISTING TELECOMM LINE
	EXISTING COMMUNICATIONS LINE
	EXISTING SANITARY SEWER LINE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER MANHOLE

- DEMOLITION NOTES**
- ALL EXISTING IMPROVEMENTS TO BE PROTECTED IN PLACE, UNLESS SPECIFICALLY CALLED OUT AS 'TO BE REMOVED'. CONTRACTOR TO CONFIRM ALL UTILITY DISCONNECTS HAVE BEEN COMPLETED PRIOR TO DEMOLITION. DISCONNECTS SHALL BE MADE AT THE MAIN AND ANY UTILITY LINES REMOVED FROM THE SITE AS REQUIRED BY PARKER WATER & SANITATION DISTRICT OR THE TOWN OF PARKER ENGINEERING.
 - CONTRACTOR TO ENSURE UTILITY LOCATES HAVE BEEN PERFORMED PRIOR TO DEMOLITION ACTIVITIES.
 - ALL APPLICABLE PARKER WATER & SANITATION DISTRICT STANDARDS FOR REMOVAL/ABANDONMENT AND TAP CUT OFFS SHALL BE MAINTAINED.
 - ALL DRY UTILITY RELOCATIONS, DEMOLITION, SERVICE DISRUPTIONS AND NEW CONSTRUCTION SHALL BE COORDINATED BY THE CONTRACTOR WITH ALL UTILITY PROVIDERS AND ADJACENT PROPERTIES (XCEL ENERGY, COMCAST, CENTURYLINK, IREA, ADJACENT OWNERSHIP) IN ADVANCE OF THESE ACTIVITIES.
 - IMPROVEMENTS NOT NOTED FOR DEMOLITION/REMOVAL SHALL BE PROTECTED IN PLACE. CONTRACTOR SHALL CONTACT ENGINEER OF RECORD SHOULD ANY CONFLICTS EXIST.
 - CONTRACTOR TO TAKE CARE WHILE CONDUCTING DEMOLITION AND CONSTRUCTION ACTIVITIES IN PROXIMITY OF EXISTING GAS LINES. LICENSE AGREEMENT IS REQUIRED WITH XCEL ENERGY PRIOR TO CONSTRUCTION WITHIN EXISTING GAS EASEMENTS. CONTRACTOR TO POTHOLE EXISTING UTILITIES AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION AND CONSTRUCTION AS NECESSARY.
 - CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH SITE CONDITIONS AT TIME OF PRICING. THIS DEMOLITION PLAN IS INTENDED TO DEPICT THE OBSERVABLE IMPROVEMENTS. ANY MISCELLANEOUS UTILITIES OR DEBRIS ENCOUNTERED DURING CONSTRUCTION SHALL BE REMOVED AS A PART OF THE BASE SCOPE OF WORK.
 - UTILITIES ARE SHOWN PER ENGINEERING SERVICE COMPANY SURVEY DATED MARCH 20, 2014. LOCATIONS ARE APPROXIMATE AND SHOULD BE VERIFIED.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

NO.	REVISION	BY	DATE

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 2019 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: ECZ
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 DATE: 11/14/19

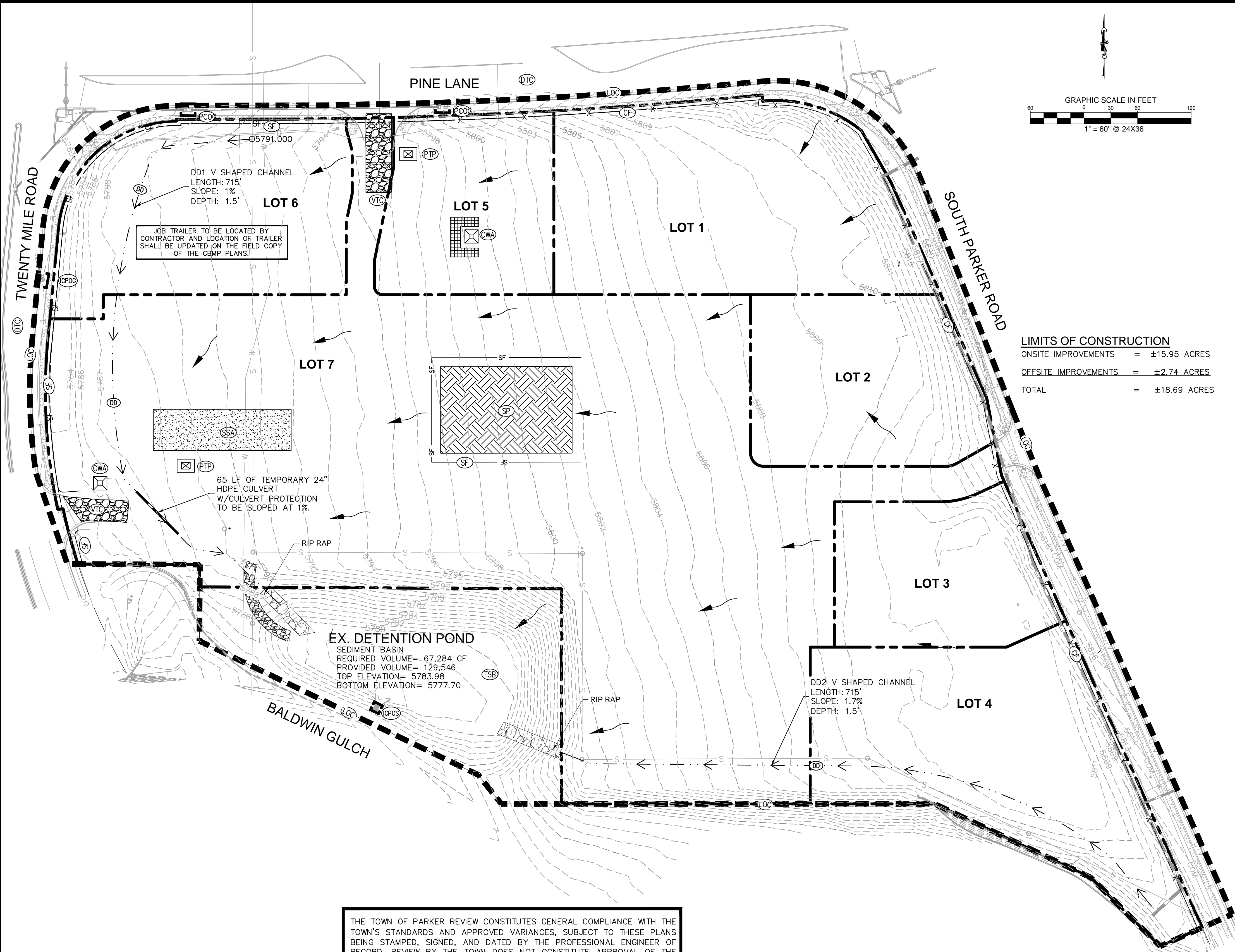
PARKER & PINE
 PARKER, CO
 CONSTRUCTION DOCUMENTS
EX. CONDITIONS & DEMOLITION PLAN

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PROJECT NO.
 096502001
 DRAWING NAME
 096502001DM
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LEGEND*

---	EXISTING PROPERTY LINE
---	(LOC) LIMITS OF CONSTRUCTION
-X-X-	(CF) CONSTRUCTION FENCE
-SF-	(SF) SILT FENCE
[SSA]	(SSA) STABILIZED STAGING AREA
[CWA]	(CWA) CONCRETE WASHOUT
[VTC]	(VTC) VEHICLE TRACKING CONTROL
[SP]	(SP) SOIL STOCKPILE
[PTP]	(PTP) PORTABLE TOILET PROTECTION
→	FLOW ARROW
[DTC]	(DTC) DEBRIS TRASH CONTROL
[IPCOS]	(IPCOS) INLET PROTECTION, CURB ON SUMP
[DD]	(DD) DIVERSION DITCH/BERM
[MWP]	(MWP) MASONRY WORK PROTECTION
[IPCOS]	(IPCOS) INLET PROTECTION, CURB ON GRADE

*SEE SHEET C3.2 - CBMP DETAILS FOR COMPLETE LEGEND

LIMITS OF CONSTRUCTION
 ONSITE IMPROVEMENTS = ±15.95 ACRES
 OFFSITE IMPROVEMENTS = ±2.74 ACRES
 TOTAL = ±18.69 ACRES

- NOTES**
- THE INTENT OF THIS PLAN IS TO IDENTIFY THE EROSION CONTROL PRACTICES RECOMMENDED. THE CONTRACTOR SHALL REFERENCE ADDITIONAL CONSTRUCTION PLANS FOR DEMOLITION OF EXISTING AND CONSTRUCTION OF PROPOSED IMPROVEMENTS.
 - ADJACENT STREETS AND SIDEWALK SHALL BE KEPT CLEAN AND FREE OF SEDIMENT AND/OR DEBRIS AT ALL TIMES. CONTRACTOR SHALL PERFORM STREET SWEEPING AT ALL TIMES DURING ACTIVE TRACKING AND AT A MINIMUM ON A DAILY BASIS AT THE END OF EACH CONSTRUCTION DAY.
 - TEMPORARY STABILIZATION (TS) SHALL BE IMPLEMENTED WITHIN THE DISTURBED PORTIONS OF THE PROJECT SITE NO LATER THAN 14 DAYS FOLLOWING THE CEASE OF CONSTRUCTION ACTIVITIES WITHIN THE DISTURBED AREAS.
 - PERMANENT STABILIZATION (PS) MAY BE USED WITHIN AREAS OF TEMPORARY STABILIZATION (TS) AT THE CONTRACTOR'S DISCRETION. STABILIZATION SHALL BE APPLIED IN ACCORDANCE WITH APPLICABLE TEMPORARY STABILIZATION SEQUENCING REQUIREMENTS.
 - CONTRACTOR SHALL UTILIZE ROLLED EROSION CONTROL PRODUCTS ON ALL SLOPES 4H:1V OR GREATER TO ACHIEVE REQUIRED STABILIZATION.
 - CONTRACTOR SHALL MAINTAIN ACCEPTABLE EROSION CONTROL PRACTICES WITHIN THE ANTICIPATED LIMITS OF CONSTRUCTION IDENTIFIED HEREIN. BEST MANAGEMENT PRACTICES AND STABILIZATION SHALL BE COMPLETED AS IDENTIFIED HEREIN IN ACCORDANCE WITH OWNER REQUIREMENTS.
 - ALL WORK IN E. COTTONWOOD DR. ROW REQUIRES A ROW PERMIT FROM THE TOWN OF PARKER.
 - CONTRACTOR SHALL REFER TO THE APPROVED GEOTECHNICAL REPORT FOR OVEREXCAVATION REQUIREMENTS AND ADDITIONAL INFORMATION.
 - SILT FENCE TO BE INSTALLED PRIOR TO COMMENCEMENT OF ONSITE GRADING AND CONSTRUCTION ACTIVITIES.
 - DEMOLITION, REMOVAL AND SOIL TREATMENT SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER RECOMMENDATIONS.
 - CONTRACTOR TO NOTE PROXIMITY OF EXISTING IMPROVEMENTS ADJACENT TO THE SITE AND PROVIDE NECESSARY MEASURES TO PROTECT ALL FACILITIES AND STRUCTURES IN PLACE.
 - CONTRACTOR SHALL MAINTAIN STABILIZED STAGING AREA (SSA), VEHICLE TRACKING CONTROL (VTC), AND CONCRETE WASHOUT AREA (CWA) AT THE CONSTRUCTION ENTRANCE AT ALL TIMES. CONTRACTOR SHALL UPDATE THE EROSION CONTROL PLAN IN THE FIELD TO INDICATE THE LOCATION OF THE SSA, VTC, AND CWA BMPs AS EXCAVATION SEQUENCING DICTATES.
 - CONTRACTOR SHALL OBTAIN R.O.W. PERMITS FOR ANY R.O.W. CLOSURES.
 - TO REDUCE THE POTENTIAL FOR CLOGGING OF DEBRIS GRATES, NO STRAW MULCH SHALL BE USED WITHIN THE EXCESS URBAN RUNOFF VOLUME OF A DETENTION BASIN. INSTEAD, EROSION CONTROL BLANKET SHALL BE INSTALLED FOR A WIDTH OF AT LEAST 6- FEET ON BOTH SIDES OF THE CONCRETE LOW FLOW CHANNELS OR UP TO A DEPTH OF 1-FOOT IN SOIL RIPRAP OR BENCHED LOW FLOW CHANNELS. ADDITIONALLY, HYDRAULICALLY-APPLIED WOOD FIBER MULCH, STABILIZED FIBER MATRIX, BONDED FIBER MATRIX, OR FLEXIBLE GROWTH MEDIUM SHALL BE USED IN ALL OTHER AREAS WITHIN THE EXCESS URBAN RUNOFF VOLUME OF THE DETENTION BASIN. THE BLANKET AND HYDRAULICALLY-APPLIED MULCH SHALL COMPLY WITH THE MATERIALS AND INSTALLATION REQUIREMENTS FOR EROSION CONTROL BLANKETS AS REQUIRED BY THE TOWN'S CBMP PROGRAM, AND WHERE APPLICABLE, THE PRODUCT MANUFACTURER.
 - LOT PROTECTION IS REQUIRED ON ALL COMMERCIAL LOTS WHEN LANDSCAPING IS NOT POSSIBLE.
 - CONTRACTOR SHALL TEMPORARILY IRRIGATE ALL AREAS OF PERMANENT VEGETATION THAT WILL NOT BE SERVED BY PERMANENT IRRIGATION.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

NOTE: REFER TO SHEET C3.11 FOR BMP CALCULATIONS.

NO.	REVISION	BY	DATE

Kimley-Horn
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 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: ECZ
 CHECKED BY: DLS
 DATE: 11/14/19

PARKER & PINE
 PARKER, CO
 CONSTRUCTION DOCUMENTS
 CBMP PLAN (INITIAL)

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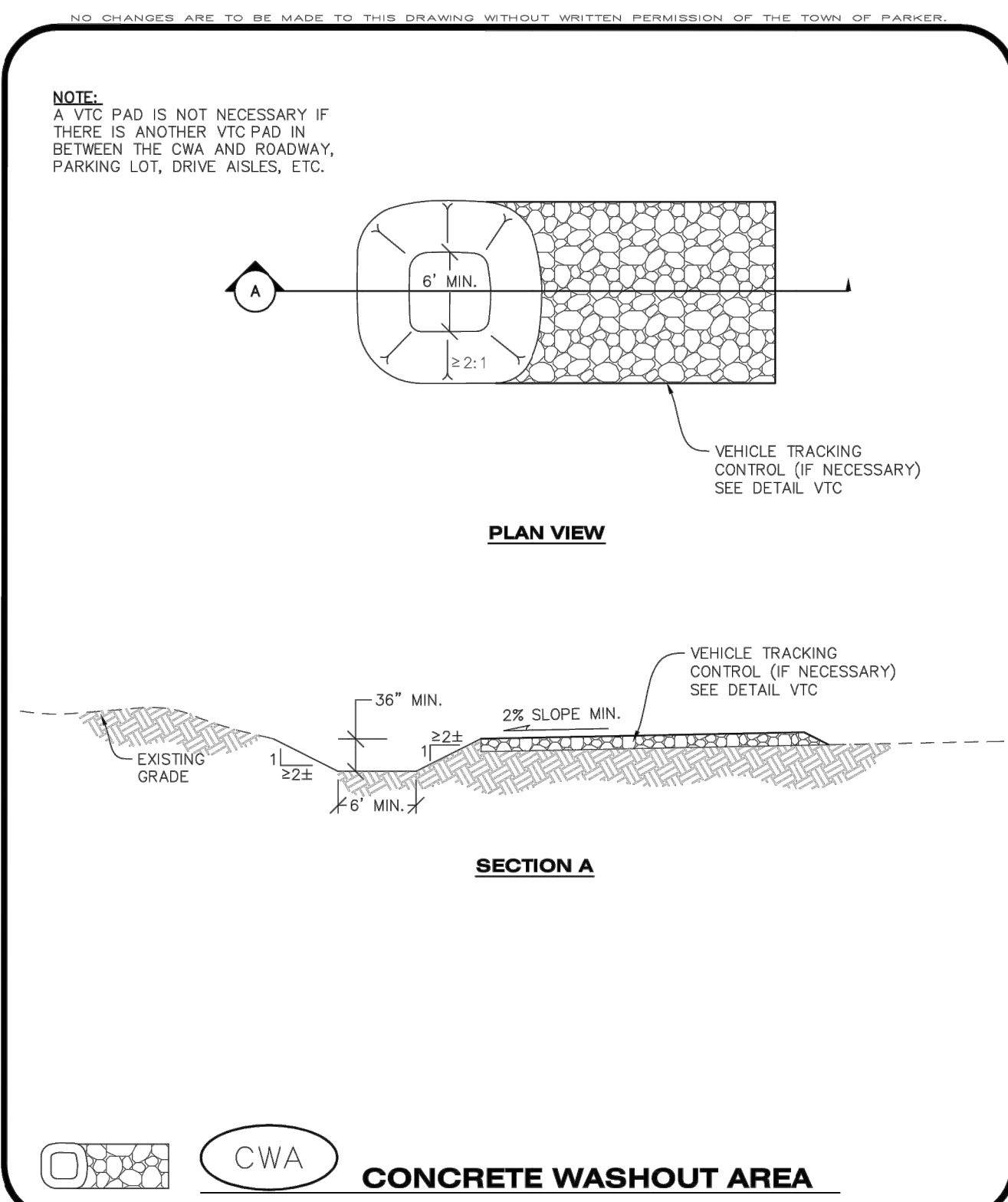
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CBMP | **CWA**
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
Oct. 2013

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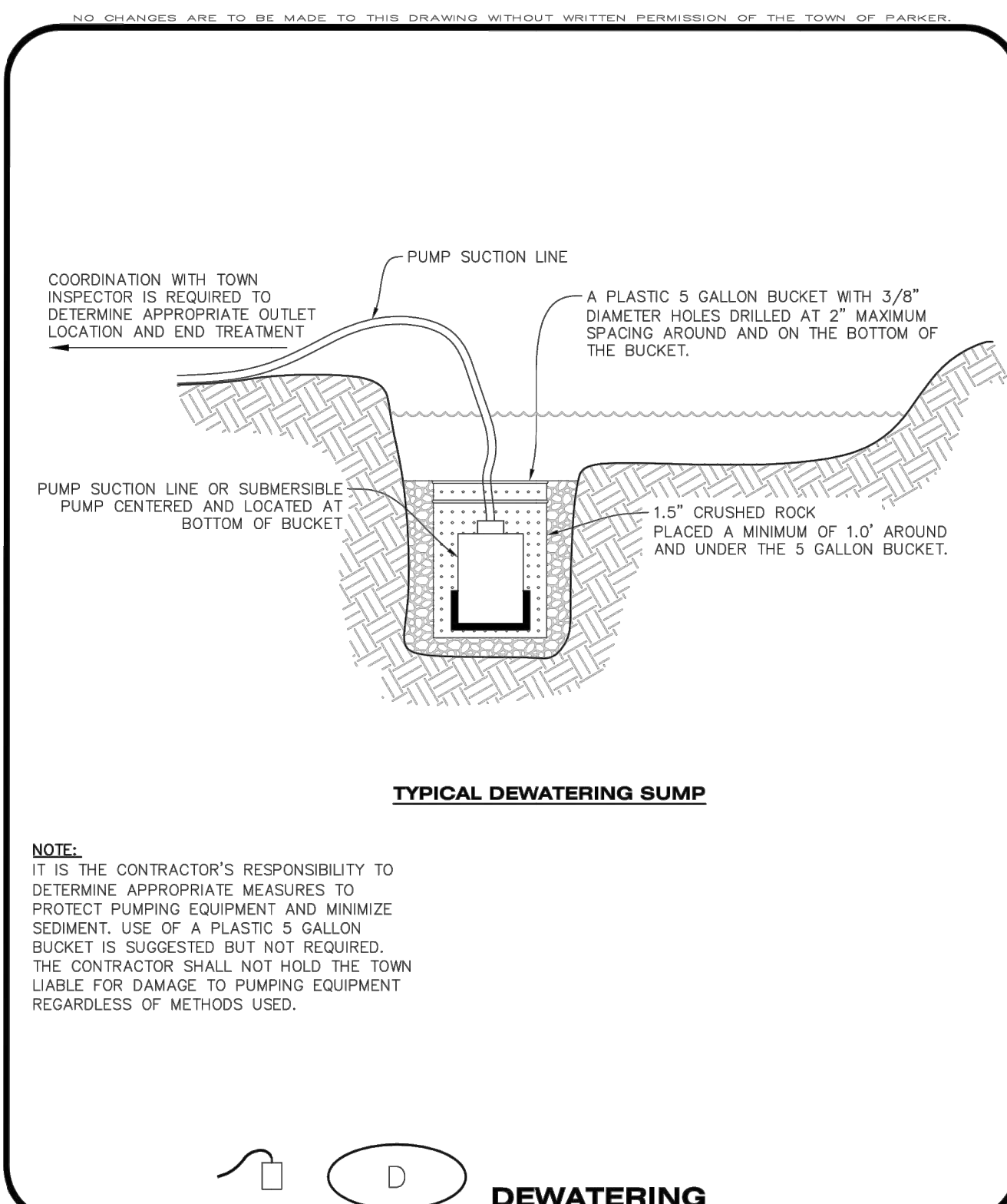
CONCRETE WASHOUT AREA INSTALLATION NOTES

1. CONCRETE WASHOUT AREAS SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
2. A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT THE ACCESS POINT TO ALL CONCRETE WASHOUT AREAS WHEN NO OTHER VTC PAD EXISTS IN BETWEEN THE CWA AND THE ROADWAY.
3. IF GROUNDWATER IS ENCOUNTERED WHEN DIGGING THE PIT, A NEW LOCATION SHOULD BE SELECTED. IF NO OTHER LOCATION CAN BE FOUND, A ONE-PIECE IMPERVIOUS LINER SHALL BE REQUIRED ALONG THE BOTTOM AND SIDES OF THE SUBSURFACE PIT.

CONCRETE WASHOUT AREA INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CONCRETE WASHOUT AREA.
2. CONCRETE WASHOUT MATERIALS SHALL BE REMOVED BEFORE ITS CAPACITY HAS BEEN REACHED.
3. CONCRETE WASHOUT AREAS SHALL BE ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE AND ASSOCIATED WASH WATER.
4. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE AS NECESSARY TO ENSURE ADEQUATE CAPACITY.
5. CONCRETE WASHOUT AREAS SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
6. WHEN CONCRETE WASHOUT AREAS ARE REMOVED, THE TOWN'S INSPECTOR MAY REQUIRE EXCAVATIONS TO BE FILLED WITH SUITABLE COMPACTED BACKFILL AND TOPSOIL, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE CONCRETE WASHOUT AREAS SHALL BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

CBMP | **CWA**
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
Oct. 2013



CBMP | **D**
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
Oct. 2013

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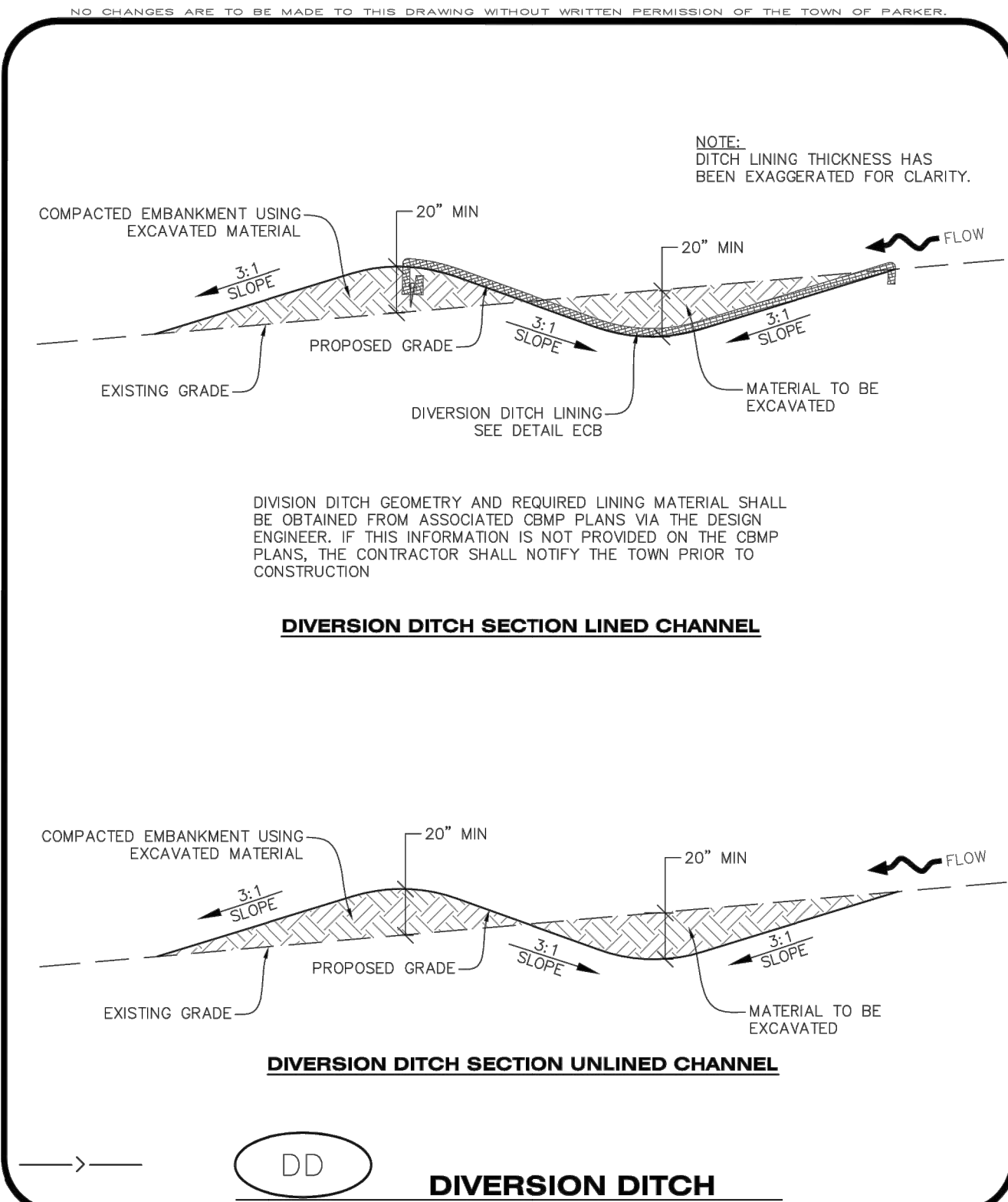
DEWATERING INSTALLATION NOTES

1. IT IS THE EROSION CONTROL SUPERVISOR'S RESPONSIBILITY TO ENSURE THAT ALL DEWATERING IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE).

DEWATERING MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL INSPECT THE DEWATERING OPERATION TO ENSURE THAT THE DISCHARGE WATER IS DRAINING TO THE PROPER LOCATION(S) AND PERFORM ANY NECESSARY REPAIRS OR MAINTENANCE ON A FREQUENT BASIS.

CBMP | **D**
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
Oct. 2013



CBMP | **DD**
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
Oct. 2013

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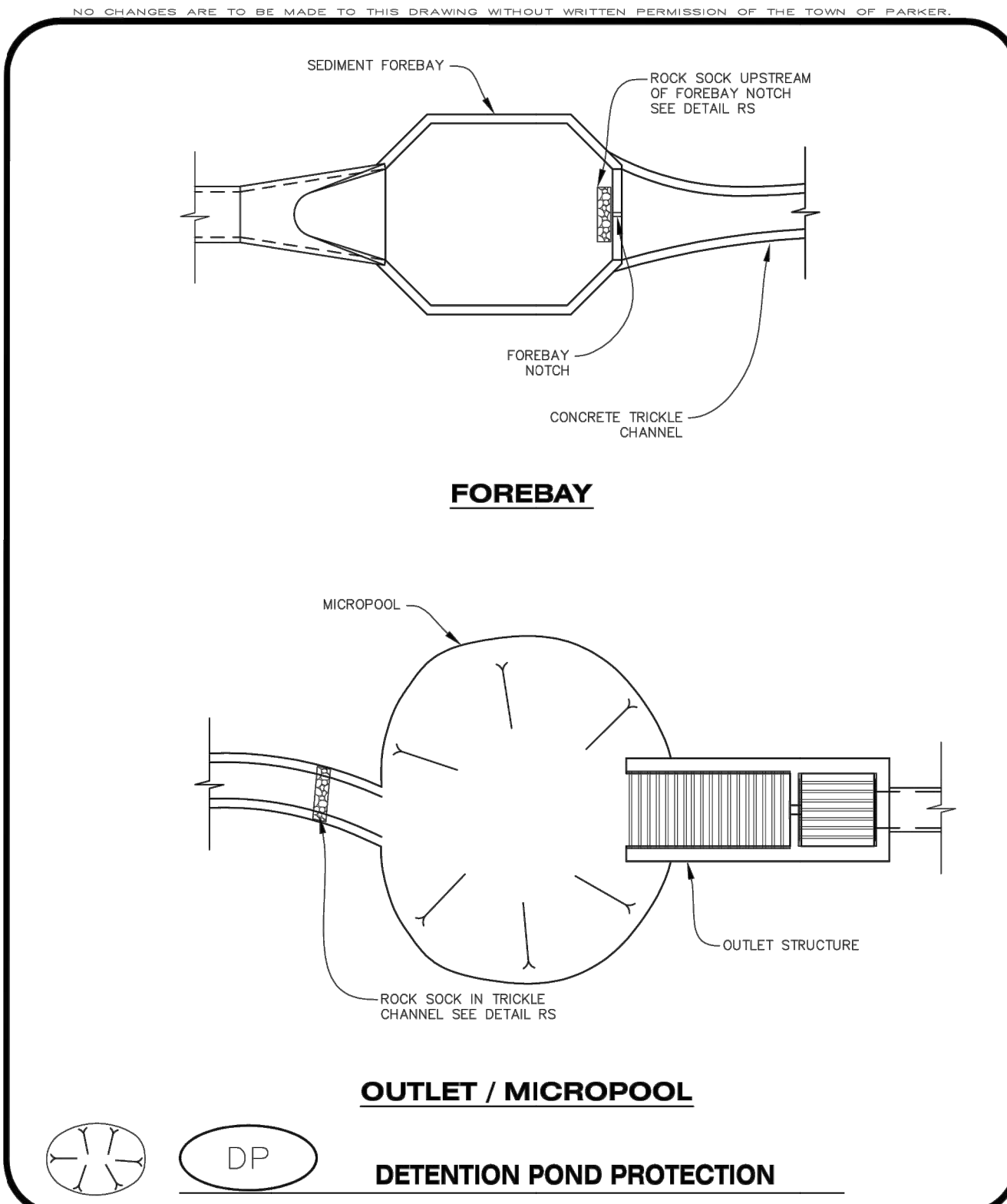
DIVERSION DITCH INSTALLATION NOTES

1. SEE THE PLAN VIEW FOR THE LOCATION(S) OF THE DIVERSION DITCHES.
2. A PLASTIC LINER, RIPRAP, OR EROSION CONTROL BLANKET MAY BE NECESSARY TO PROTECT THE DIVERSION DITCH. THE REQUIRED LINING MATERIAL SHALL BE OBTAINED FROM THE CBMP PLANS VIA THE DESIGN ENGINEER.
3. ALL MATERIAL EXCAVATED FROM THE DITCH MAY BE USED TO CONSTRUCT THE BERM ON THE DOWNHILL SIDE OF THE DITCH.
4. THE DIVERSION DITCH SHALL BE A MINIMUM OF 20" DEEP WITH APPROX. 3:1 SIDE SLOPES. THE ADJACENT BERM SHALL BE A MINIMUM OF 20" IN HEIGHT WITH APPROX. 3:1 SIDE SLOPES. ALL EMBANKMENTS SHALL BE FIRMLY COMPACTED.
5. THE DISCHARGE FROM THE DIVERSION DITCH SHALL BE DIRECTED TOWARDS AN APPROPRIATELY SIZED TEMPORARY SEDIMENT BASIN OR OTHER APPROVED AREA.

DIVERSION DITCH INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE DIVERSION DITCH.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 (10") THE CREST HEIGHT.
3. DIVERSION DITCHES SHALL BE RE-GRADED FOLLOWING THE SIGNS OF MODERATE OR MORE SOIL EROSION OR ANY DAMAGE.
4. DIVERSION DITCHES ARE TO REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR. ALTERNATIVELY, THE DIVERSION DITCHES MAY BE REMOVED WHEN THE SITE'S TOPOGRAPHY CHANGES SUCH THAT SIGNIFICANT RUNOFF IS NO LONGER POSSIBLE. IN SOME INSTANCES, THE DIVERSION DITCHES MAY REMAIN IN PLACE PERMANENTLY.

CBMP | **DD**
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
Oct. 2013



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 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
Oct. 2013

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DETENTION POND PROTECTION INSTALLATION NOTES

1. DETENTION POND PROTECTION SHALL BE INSTALLED IMMEDIATELY FOLLOWING THE CONSTRUCTION OF THE TRICKLE CHANNEL AND FOREBAY.
2. CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
3. ROCK SOCK FOR OUTLET STRUCTURE AND FOREBAY PROTECTION SHALL BE ONE CONTINUOUS PIECE (SEE DETAIL RS).

DETENTION POND PROTECTION INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE OUTLET STRUCTURE PROTECTION.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED IMMEDIATELY.
3. OUTLET STRUCTURE PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

CBMP | **DP**
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
Oct. 2013

NO.	REVISION	BY	DATE

Kimley»Horn
 2019 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: EC2
 CHECKED BY: DLS
 DATE: 11/14/19

PARKER & PINE
 PARKER, CO
 CONSTRUCTION DOCUMENTS
CBMP DETAILS

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DEBRIS AND TRASH CONTROL

NOTE:

1. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TRICKLE CHANNELS, AND/OR OTHER IMPERVIOUS SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEAN BEFORE THE END OF THE WORK DAY. FURTHERMORE, ALL LOOSE TRASH AND LITTER ASSOCIATED WITH THE PROJECT MUST BE REMOVED AND PROPERLY DISCARDED ON A DAILY BASIS.

DEBRIS AND TRASH CONTROL

CBMP

CONSTRUCTION BEST MANAGEMENT PRACTICES

DTC
 1 OF 2
 Oct. 2013

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EROSION CONTROL BLANKET INSTALLATION NOTES

1. SEE THE PLAN VIEW FOR THE LOCATION(S) OF THE EROSION CONTROL BLANKETS.
2. EROSION CONTROL BLANKETS USED FOR CHANNEL PROTECTION SHALL BE PROPERLY SELECTED BY THE DESIGN ENGINEER BASED ON CURRENT AND FUTURE FLOW RATES WITHIN THE CHANNEL. BASED ON THESE CALCULATIONS, TURF REINFORCEMENT MATTING OR RIPRAP MAY BE NECESSARY IN LIEU OF EROSION CONTROL BLANKETS.
3. IMMEDIATELY PRIOR TO BLANKET INSTALLATION, SOIL SURFACE SHALL BE SMOOTH, AND FREE OF ANY GAPS, VOIDS, WEEDS, ROCKS, STICKS, OR OTHER MISCELLANEOUS DEBRIS.
4. EROSION CONTROL BLANKET SHALL THEN BE INSTALLED ACCORDING TO THE DETAILED DRAWINGS.
5. ANY DAMAGED OR REMAINING STAPLES OR STAKES SHALL BE REMOVED FROM THE SITE.
6. ALL EROSION CONTROL BLANKETS FOR SLOPE PROTECTION INSTALLED IN THE TOWN SHALL BE DOUBLE NET, STRAW OR EXCELISOR.

MANUFACTURER	PRODUCT NAME
NORTH AMERICAN GREEN	S150
APPROVED EQUAL	APPROVED EQUAL

7. IN MOST CASES, EROSION CONTROL BLANKETS FOR SLOPE PROTECTION ARE TO REMAIN IN PLACE PERMANENTLY.

EROSION CONTROL BLANKET MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE EROSION CONTROL BLANKETS AND MAKE ANY NECESSARY REPAIRS.

EROSION CONTROL BLANKET (SLOPE)

CBMP

CONSTRUCTION BEST MANAGEMENT PRACTICES

ECB
 3 OF 3
 Oct. 2013

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DEBRIS CONTROL NOTES:

1. A COMBINATION OF SURFACE SCRAPING AND SWEEPING MAY BE NECESSARY TO PROPERLY CLEAN THESE AREAS.
2. ALL CHEMICAL SPILLS AND/OR STAINS ON THE SITE SHALL BE CLEANED TO THE MAXIMUM EXTENT PRACTICABLE. IN SOME CASES IT MAY BE NECESSARY TO USE PRESSURIZED WATER AND A VAC-TRUCK.
3. ON-SITE PERSONNEL, DELIVERY DRIVERS, ETC., SHOULD BE EDUCATED ON THE NEED FOR CONTINUAL DEBRIS AND TRASH CONTROL.

EROSION CONTROL BLANKET (CHANNEL)

CBMP

CONSTRUCTION BEST MANAGEMENT PRACTICES

DTC
 2 OF 2
 Oct. 2013

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THIS METHOD OF INLET PROTECTION SHALL NOT BE USED ON INLETS RECEIVING SIGNIFICANT FLOWS, SUCH AS IN CERTAIN SWALES/CHANNELS OR HIGHWAY MEDIANS. INLET PROTECTION FOR AREA INLETS IN PAVEMENT (SEE DETAIL IPAP) SHALL BE USED IN THESE CONDITIONS.

INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT

CBMP

CONSTRUCTION BEST MANAGEMENT PRACTICES

IPAN
 1 OF 1
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EROSION CONTROL BLANKET (SLOPE)

CBMP

CONSTRUCTION BEST MANAGEMENT PRACTICES

ECB
 1 OF 3
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AREA INLET PROTECTION INSTALLATION NOTES

1. SEE PLAN VIEW FOR LOCATION(S) OF AREA INLET PROTECTION.
2. THE AREA INLET PROTECTION SHOWN ON CBMP PLANS SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE INSTALLATION OF NEW INLETS. AN INTERIM STYLE OF INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.

AREA INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE AREA INLET PROTECTION.
2. AREA INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
3. WHEN THE AREA INLET PROTECTION IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE AREA INLET PROTECTION MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
4. ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.

INLET PROTECTION FOR AREA INLETS IN PAVEMENT

CBMP

CONSTRUCTION BEST MANAGEMENT PRACTICES

IPAP
 1 OF 1
 Oct. 2013

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EROSION CONTROL BLANKET (CHANNEL)

CBMP

CONSTRUCTION BEST MANAGEMENT PRACTICES

ECB
 2 OF 3
 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

INLET PROTECTION FOR AREA INLETS IN PAVEMENT

CBMP

CONSTRUCTION BEST MANAGEMENT PRACTICES

IPAP
 1 OF 1
 Oct. 2013

NO.	REVISION	BY	DATE

2019 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: ECZ
 CHECKED BY: DLS
 DATE: 11/14/19

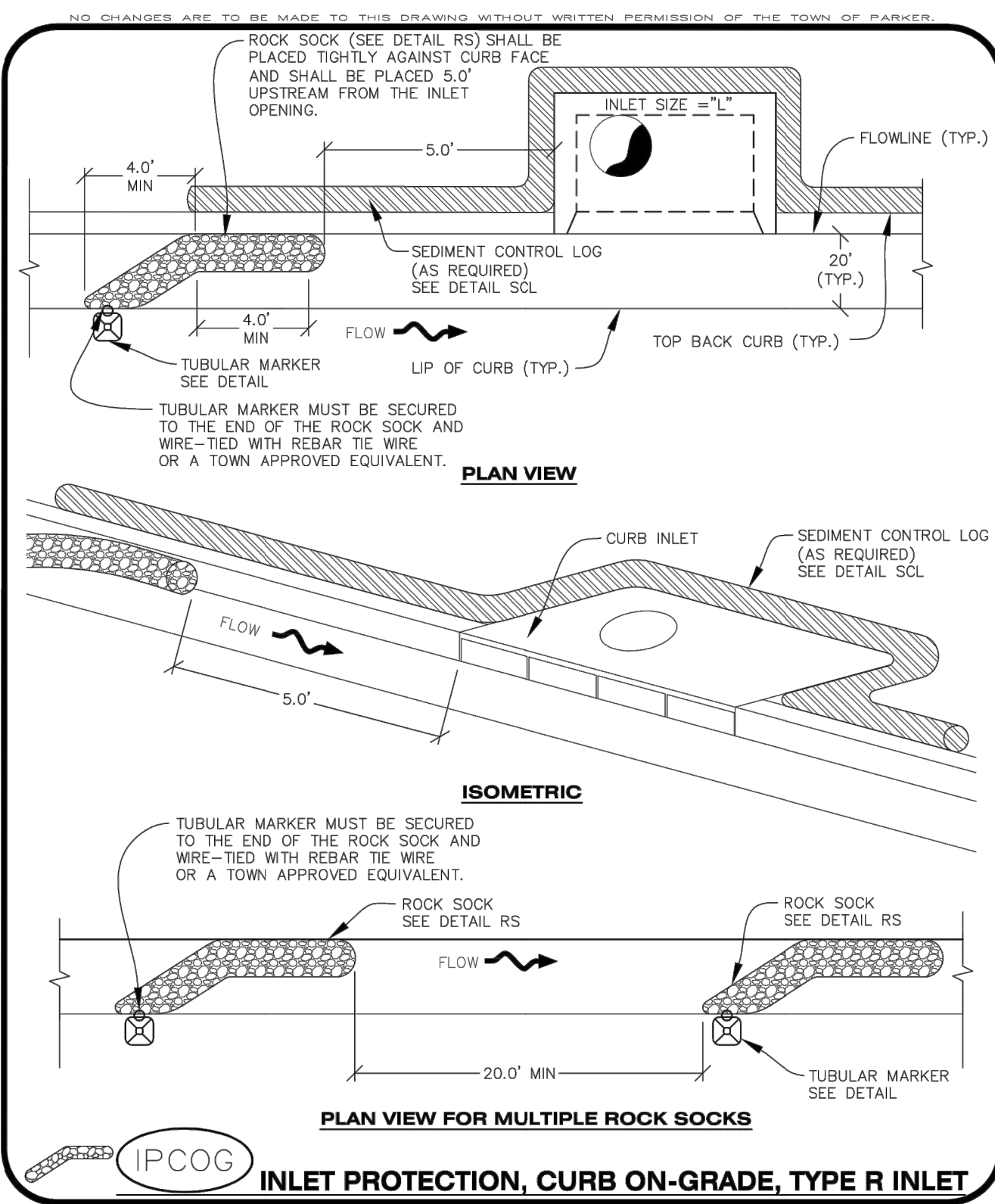
PARKER & PINE
 PARKER, CO
 CONSTRUCTION DOCUMENTS
CBMP DETAILS

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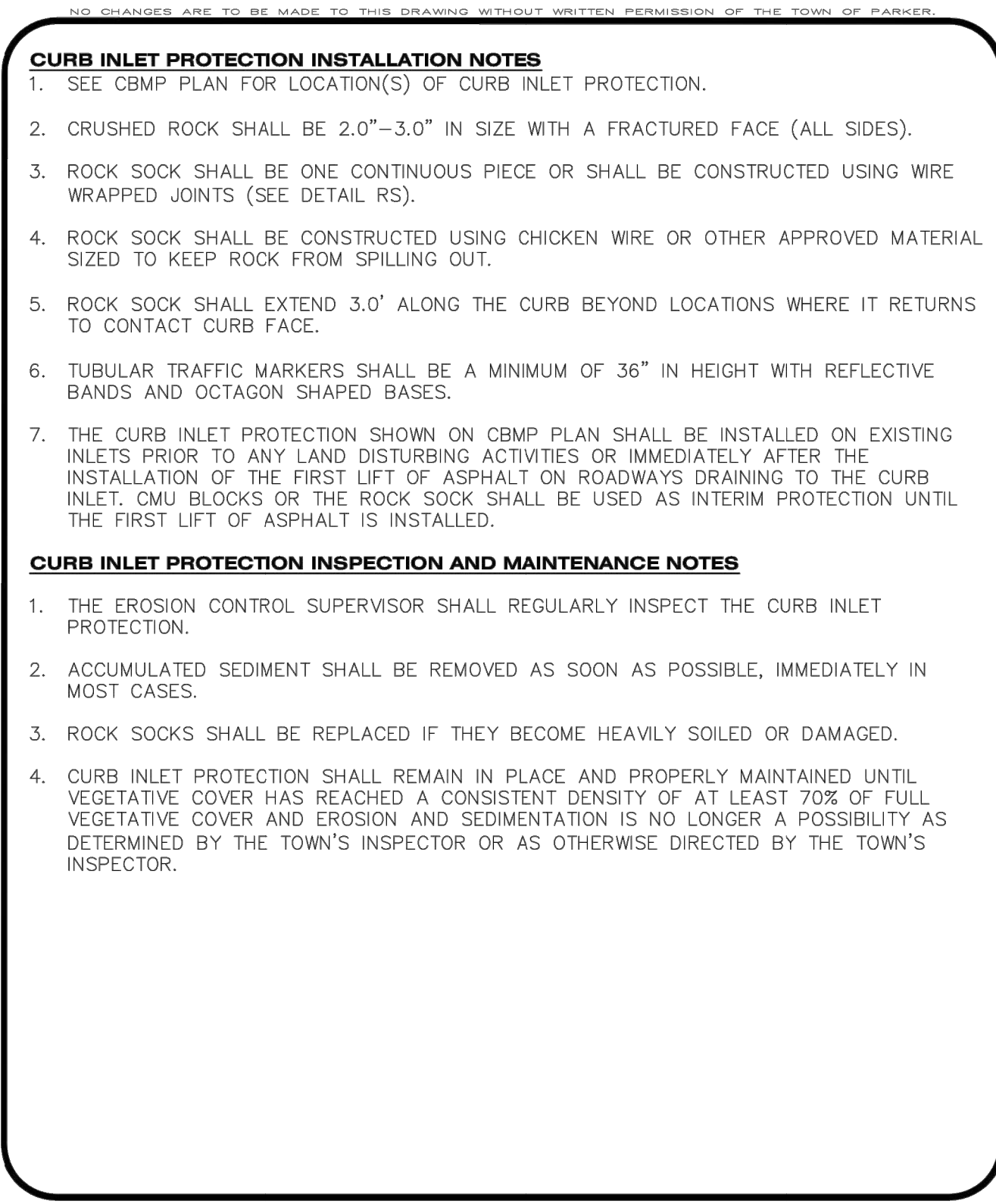
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 PROJECT NO.
 096502001
 DRAWING NAME
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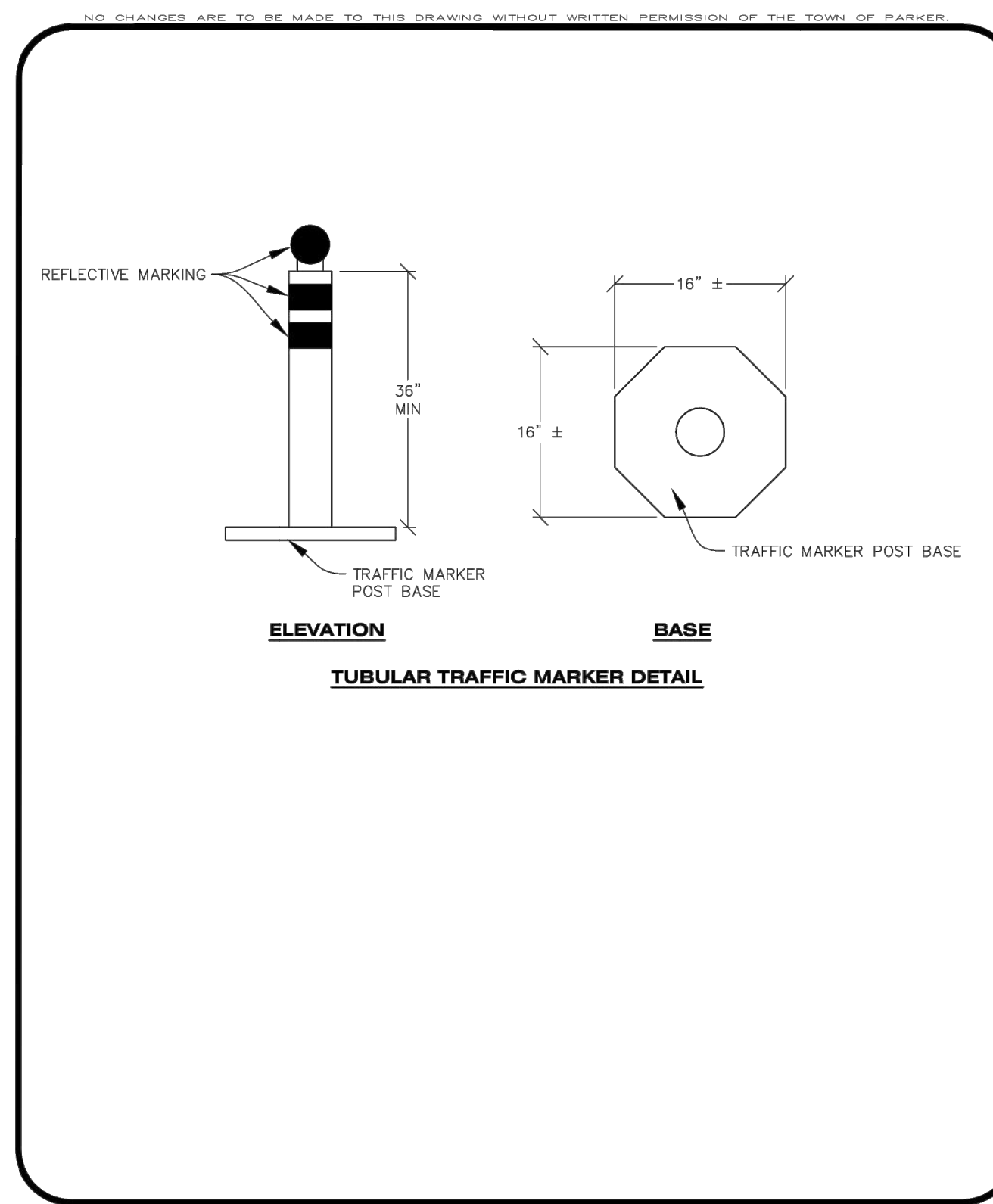
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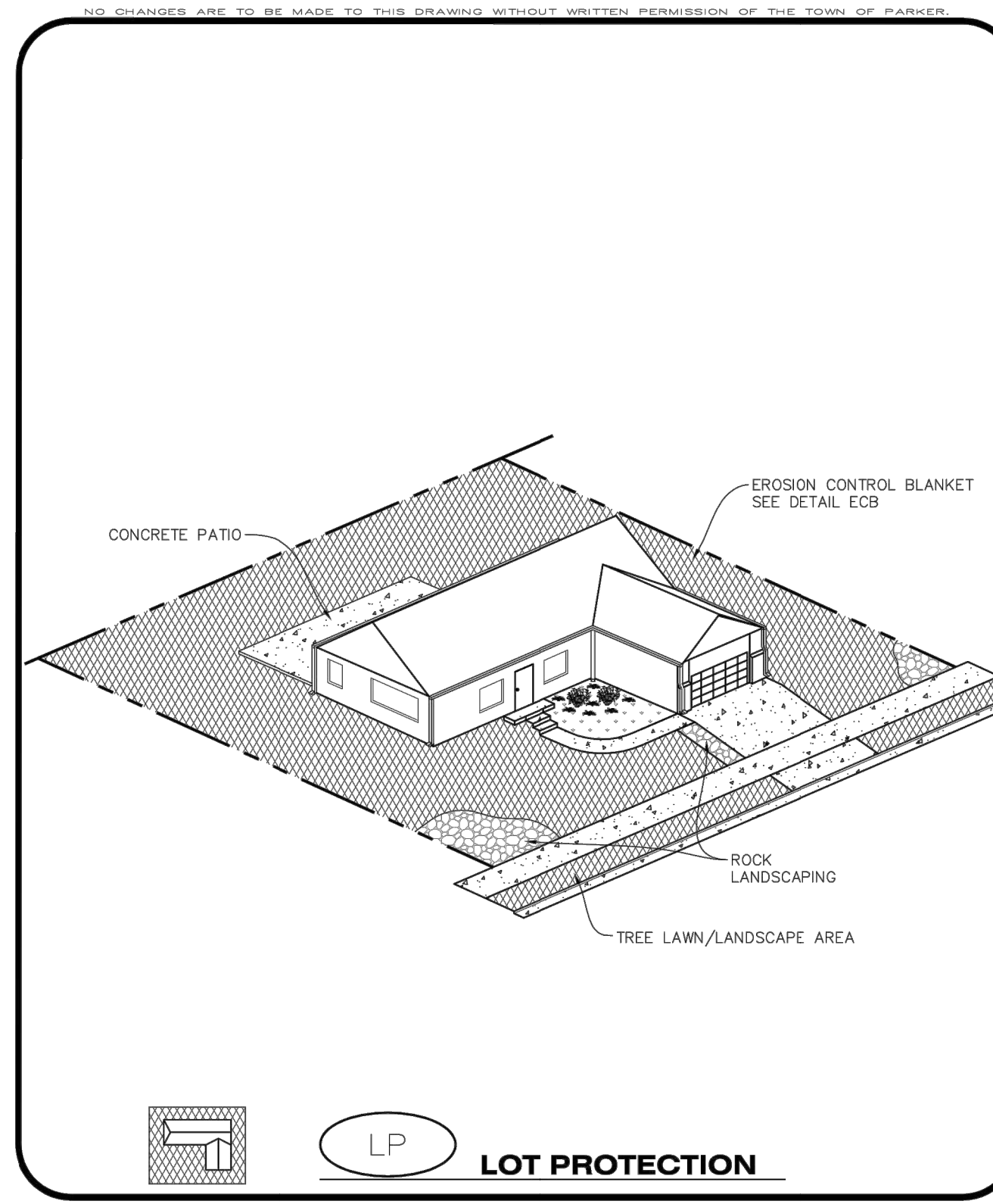
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 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 3
 Oct. 2013



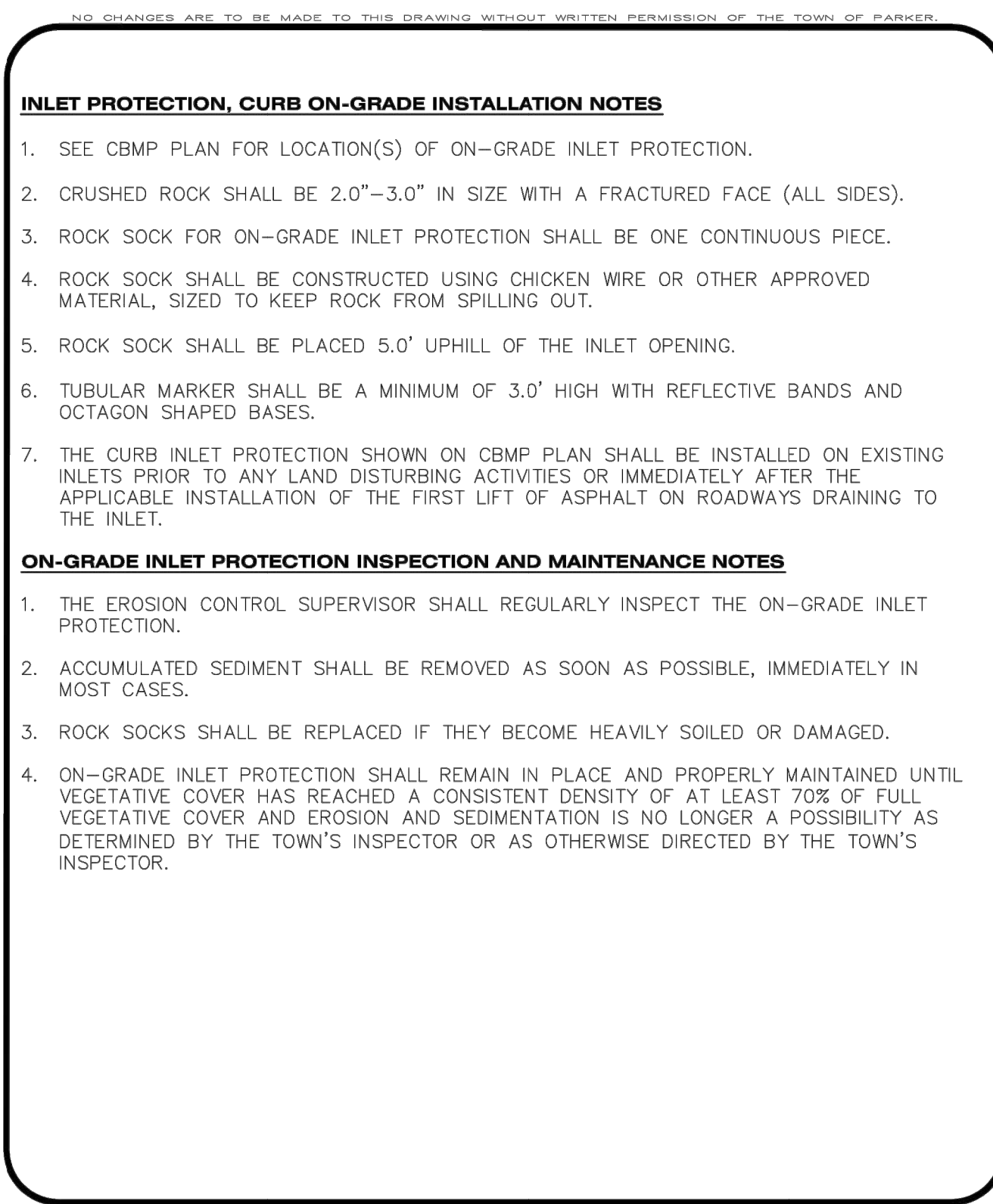
CBMP | **IPCOC**
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
 Oct. 2013



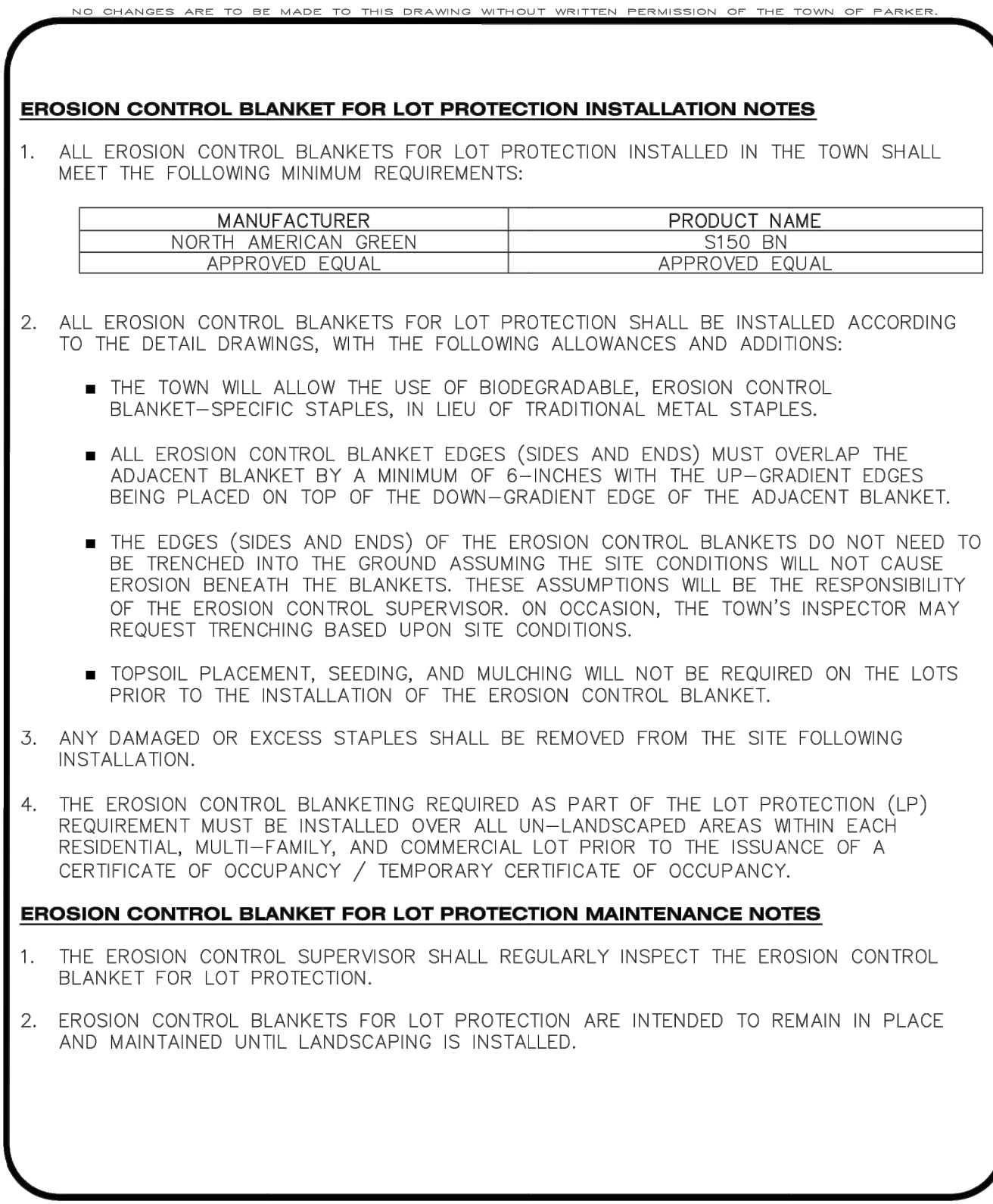
CBMP | **IPCOC**
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 3
 Oct. 2013



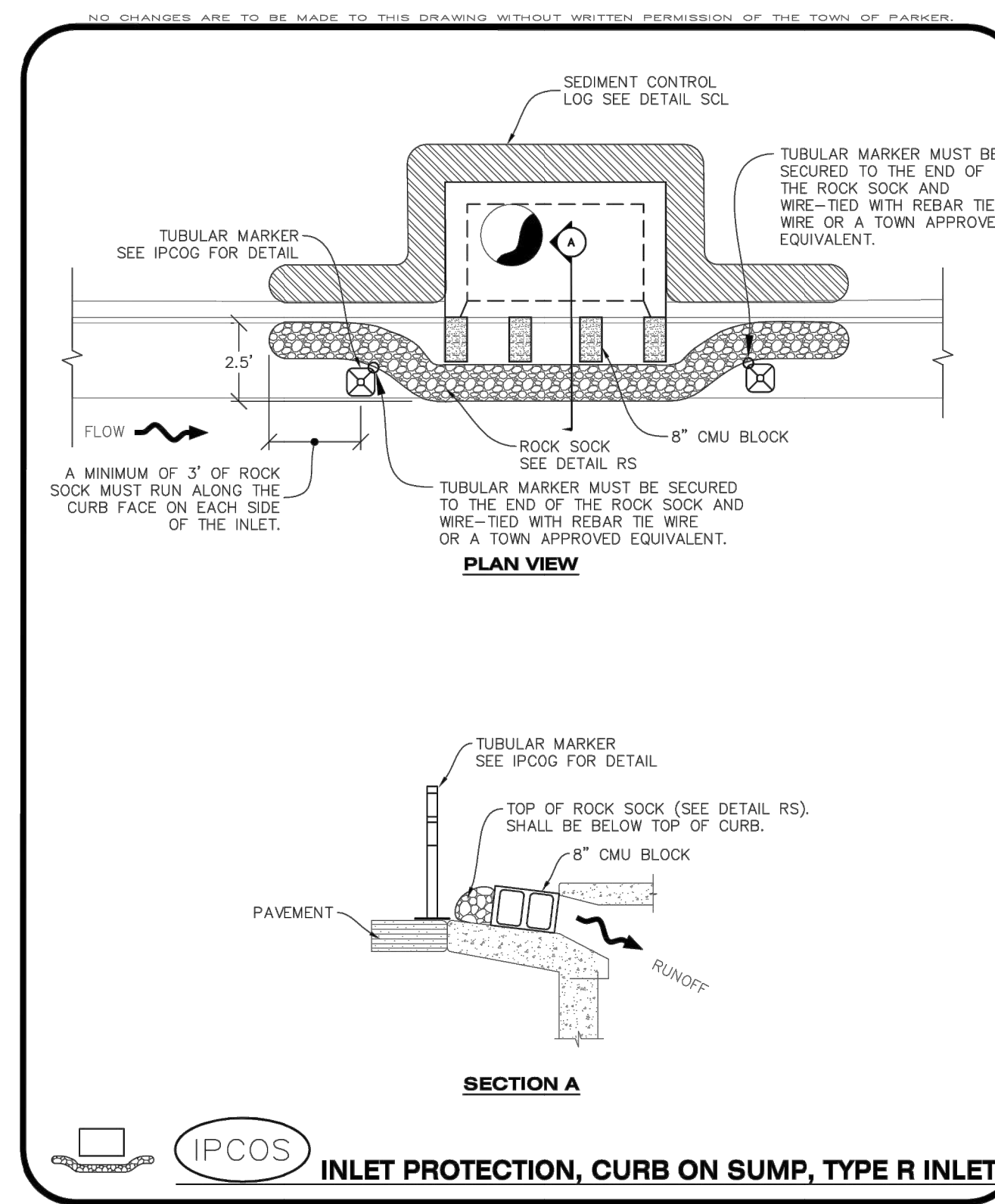
CBMP | **LP**
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
 Oct. 2013



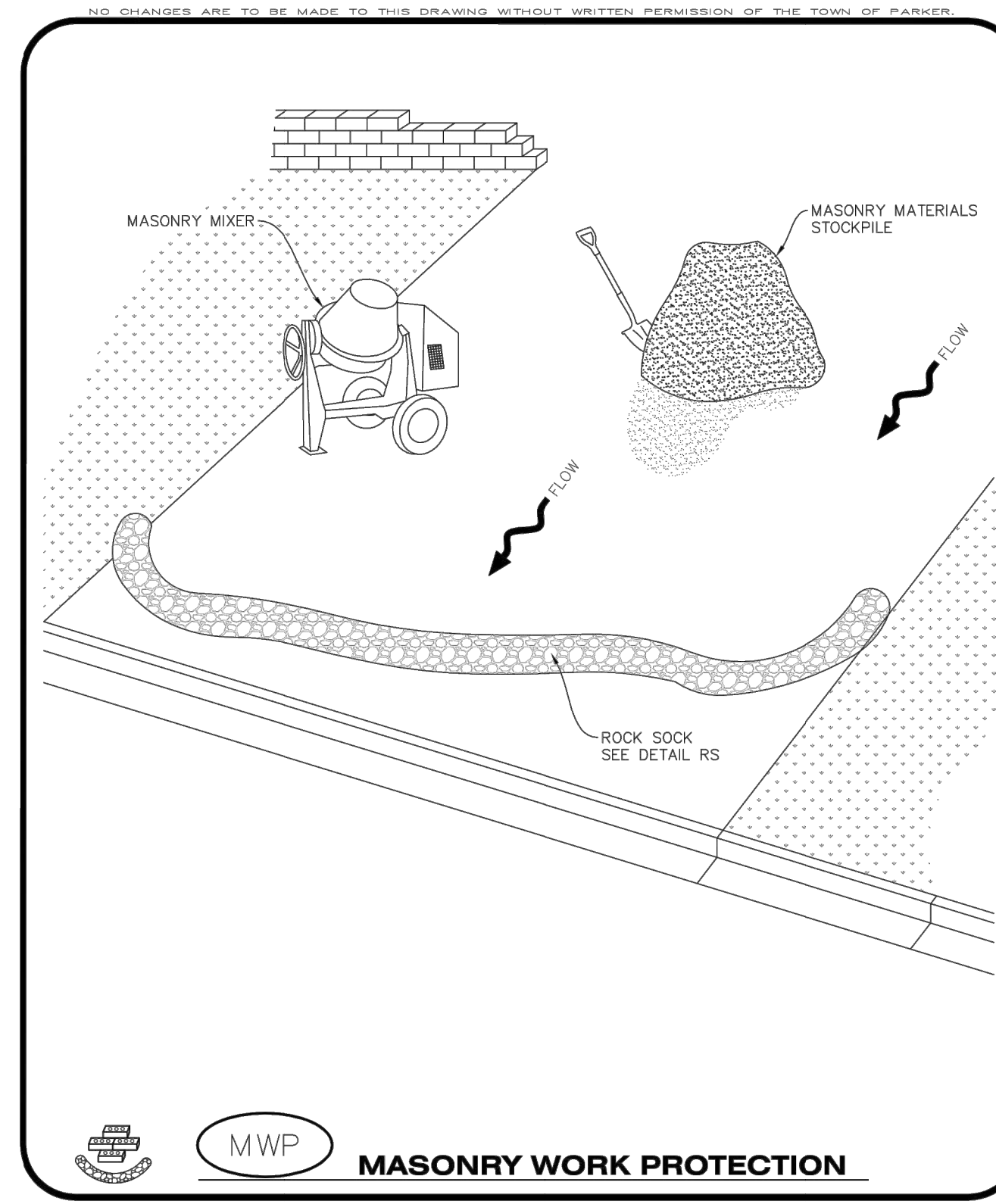
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 CONSTRUCTION BEST MANAGEMENT PRACTICES | 3 OF 3
 Oct. 2013



CBMP | **LP**
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
 Oct. 2013



CBMP | **IPCOS**
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
 Oct. 2013



CBMP | **MWP**
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
 Oct. 2013

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 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

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 PARKER, CO
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 PROJECT NO.
 096502001
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 096502001EC_DT
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MASONRY WORK PROTECTION INSTALLATION NOTES

- MASONRY WORK PROTECTION MAY NEED TO BE INSTALLED WHEN MASONRY WORK AND MIXING IS OCCURRING.
- A ROCK SOCK SHALL BE INSTALLED IN A CRESCENT SHAPE ON THE DOWNHILL SIDE OF THE MASONRY WORK AND MIXER.
- CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
- ROCK SOCK SHALL BE ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAPPED JOINTS (SEE DETAIL RS).
- ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL, SIZED TO KEEP ROCK FROM SPILLING OUT.

MASONRY WORK PROTECTION INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE MASONRY WORK PROTECTION.
- ALL CONCRETE WASTE SHALL BE REGULARLY CLEANED AND PLACED IN THE CONCRETE WASH OUT AREA.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.

CBMP
MWP
 CONSTRUCTION BEST MANAGEMENT PRACTICES

2 OF 2
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

CONTRACTOR SHALL ANCHOR PORTABLE TOILET TO THE GROUND, AT A MINIMUM OF TWO OPPOSING CORNERS (ON A DIAGONAL) USING U-SHAPED REBAR STAKES

PORTABLE TOILET PROTECTION

CBMP
PTP
 CONSTRUCTION BEST MANAGEMENT PRACTICES

1 OF 2
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

PORTABLE TOILET PROTECTION INSTALLATION NOTES

- PORTABLE TOILETS SHALL BE PLACED A MINIMUM OF 10.0' BEHIND ALL CURBS, SIDEWALKS, AND OTHER IMPERVIOUS AREAS.
- ALL PORTABLE TOILETS MUST BE GROUPED TOGETHER.
- PORTABLE TOILETS SHALL BE SECURELY ANCHORED TO THE GROUND USING U-SHAPED REBAR STAKES.
- U-SHAPED REBAR STAKES SHALL BE POSITIONED ON AT LEAST 2 OPPOSING (DIGITAL) CORNERS.

PORTABLE TOILET PROTECTION INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE PORTABLE TOILET PROTECTION.
- PORTABLE TOILETS SHALL BE SERVICED AT THE NECESSARY INTERVALS TO ELIMINATE THE POSSIBILITY OF OVERFLOW.
- WHEN THE PORTABLE TOILETS ARE REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE TOILETS MAY NEED TO BE LANDSCAPED OR ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
- PORTABLE TOILETS THAT ARE NOT CONSISTENTLY MAINTAINED IN ACCORDANCE WITH THESE REQUIREMENTS MAY NEED TO BE CLUSTERED TOGETHER, IN ONE CENTRALIZED LOCATION IN ORDER TO INCREASE COMPLIANCE AND REDUCE THE CHANCE OF A SPILL.

CBMP
PTP
 CONSTRUCTION BEST MANAGEMENT PRACTICES

2 OF 2
Oct. 2013

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ROUGH CUT STREET CONTROL

CBMP
RCSC
 CONSTRUCTION BEST MANAGEMENT PRACTICES

1 OF 2
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

ROUGH CUT STREET CONTROL INSTALLATION NOTES

- SEE CBMP PLAN FOR LOCATION(S) OF ROUGH CUT STREET CONTROL.
- THE SPACING OF THE ROUGH CUT STREET CONTROL MAY BE DETERMINED BY THE DESIGN ENGINEER AND SHOWN ON THE CBMP PLAN.

ROUGH CUT STREET CONTROL INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE ROUGH CUT STREET CONTROL.
- ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN THE SEDIMENT DEPTH IS 1/2 THE HEIGHT OF THE ROCK SOCK.
- ROUGH CUT STREET CONTROL SHALL BE REPAIRED IMMEDIATELY FOLLOWING ANY SIGN OF WEAR OR ALTERATION OF THE ORIGINAL SHAPE AND DIMENSIONS.
- ROUGH CUT STREET CONTROL SHALL BE KEPT IN PLACE AND MAINTAINED UNTIL SUB-GRADE PREPARATION BEGINS FOR PAVING. AT THAT POINT, THE RCSC SHOULD BE REMOVED IN INCREMENTS BASED ON SUBGRADE PREPARATION.

CBMP
RCSC
 CONSTRUCTION BEST MANAGEMENT PRACTICES

2 OF 2
Oct. 2013

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ROCK SOCK

CBMP
RS
 CONSTRUCTION BEST MANAGEMENT PRACTICES

1 OF 2
Oct. 2013

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ROCK SOCK INSTALLATION NOTES

- SEE CBMP PLAN FOR LOCATION(S) OF ROCK SOCK.
- CRUSHED ROCK SHALL BE APPROXIMATELY 2.0"-3.0" GRANITE IN SIZE WITH A FRACTURED FACE (ALL SIDES).
- ROCK SOCK SHALL BE APPROXIMATELY ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAPPED JOINTS (SEE DETAIL RS).
- ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL SIZED TO KEEP ROCK FROM SPILLING OUT.
- MINIMUM ROCK SOCK DIAMETER SHALL VARY BASED ON APPLICATION (7" MIN).
- TUBULAR MARKERS MAY NEED TO BE USED IN CONJUNCTION WITH ROCK SOCKS ANYTIME THE ROCK SOCK IS PLACED ON A ROADWAY, SIDEWALK, PARKING LOT OR OTHER LOCATION SUSCEPTIBLE TO VEHICLE OR PEDESTRIAN TRAFFIC. TUBULAR MARKERS SHALL CONFORM TO THE TUBULAR MARKER DETAIL.

ROCK SOCK INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE ROCK SOCKS.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
- ROCK SOCKS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

CBMP
RS
 CONSTRUCTION BEST MANAGEMENT PRACTICES

2 OF 2
Oct. 2013

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ROCK SOCK IN SWALE

CBMP
RSS
 CONSTRUCTION BEST MANAGEMENT PRACTICES

1 OF 1
Oct. 2013

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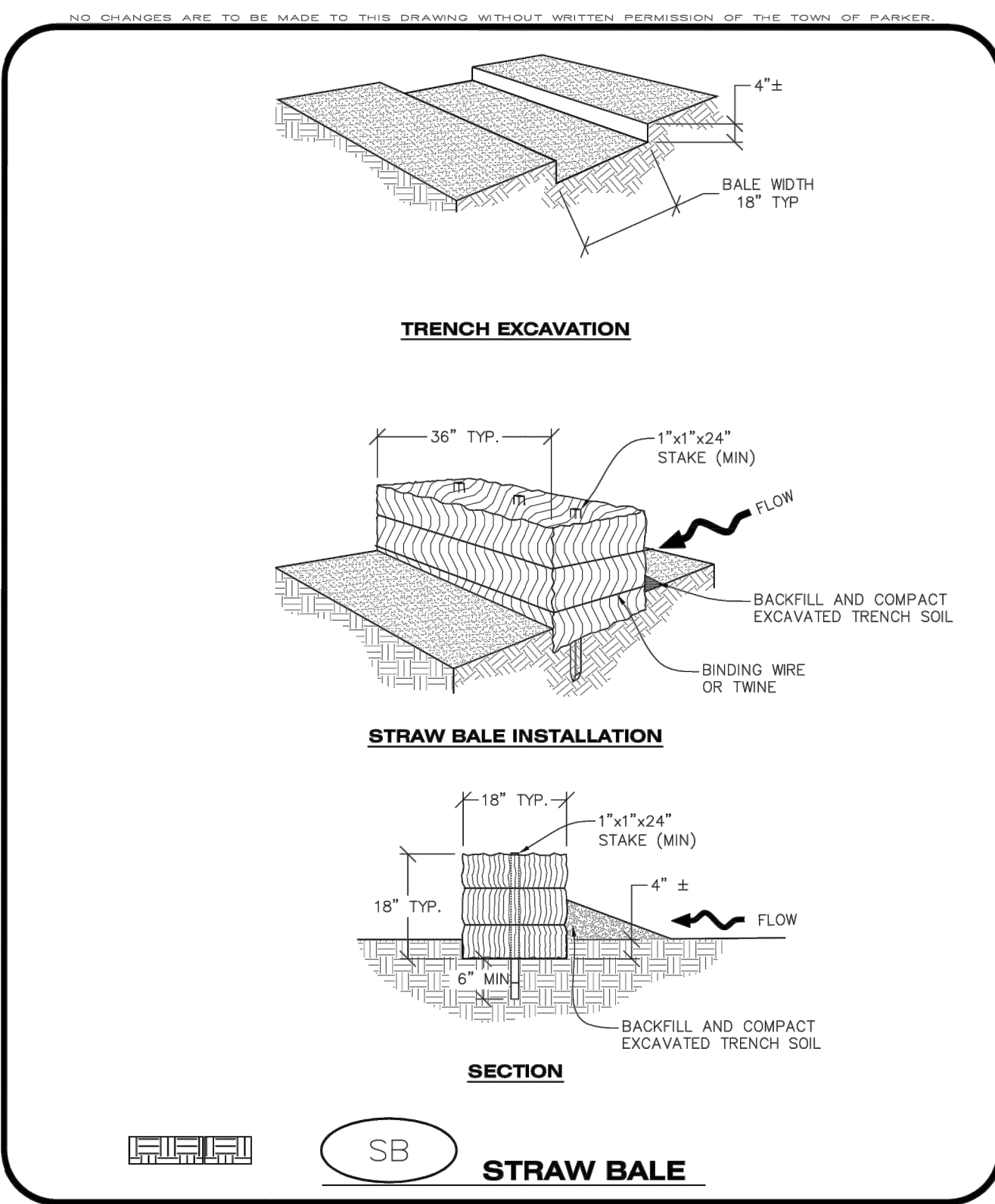
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PROJECT NO.
 096502001
 DRAWING NAME
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SB STRAW BALE

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

1 OF 2
Oct. 2013

STRAW BALE INSTALLATION NOTES

- SEE CBMP PLAN FOR LOCATION(S) OF STRAW BALES.
- TYPICAL STRAW BALES SHALL BE APPROXIMATELY 36"X18"X18".
- TWO (2) WOODEN STAKES SHALL BE USED TO HOLD EACH BALE IN PLACE. WOODEN STAKES SHALL BE A MINIMUM OF 1"x1"x24".
- WOODEN STAKES SHALL BE PLACED APPROXIMATELY 6" INTO THE GROUND.
- STRAW BALES SHALL BE SPACED AND POSITIONED ACCORDING TO DETAILS.

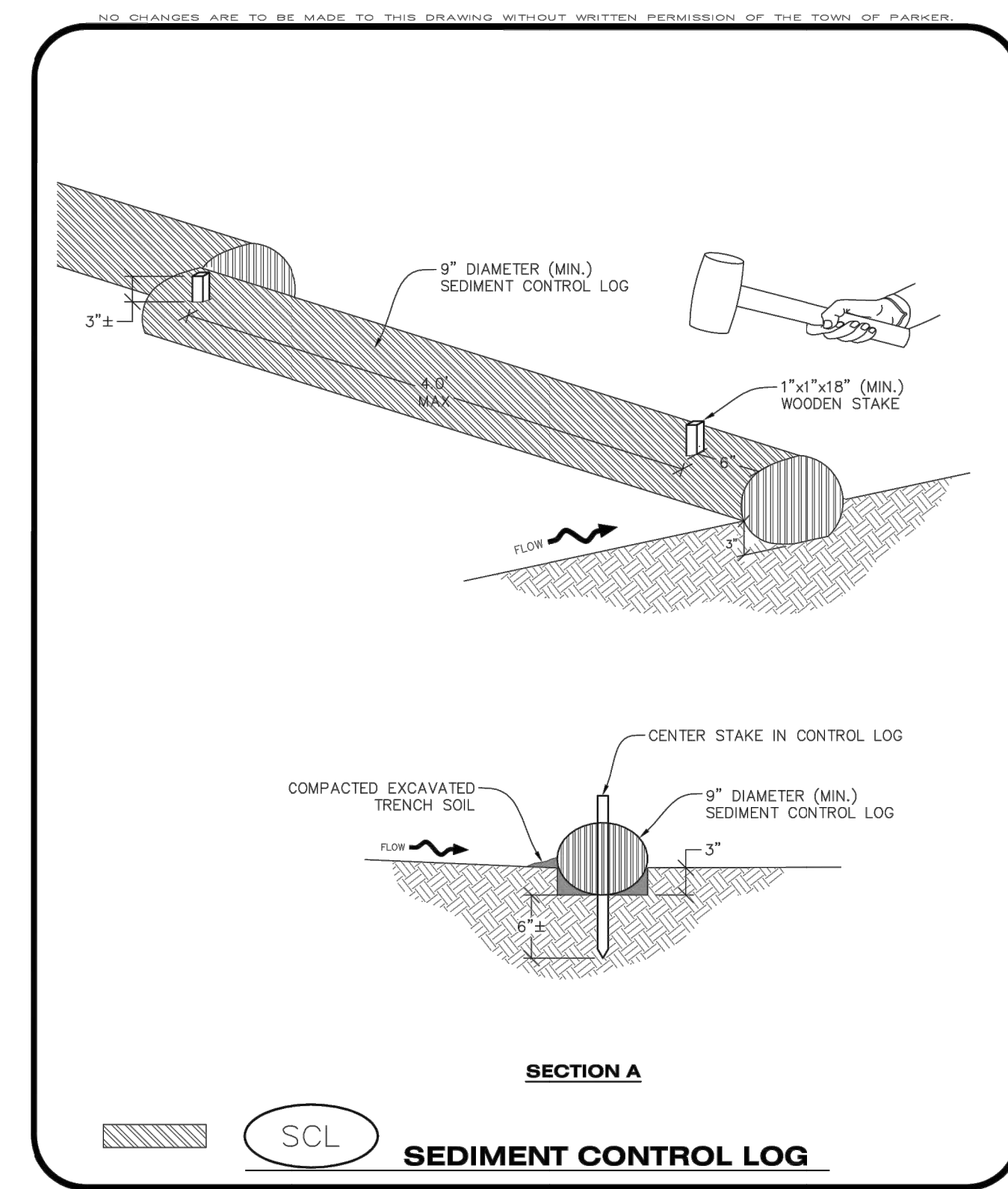
STRAW BALE INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE STRAW BALES.
- ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE STRAW BALE.
- STRAW BALES MAY NEED TO BE REPLACED IF THEY BECOME HEAVILY SOILED, ROTTEN, OR OTHERWISE DAMAGED.
- STRAW BALES SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN INSPECTOR.
- WHEN THE STRAW BALES ARE REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE STRAW BALES MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

SB STRAW BALE

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

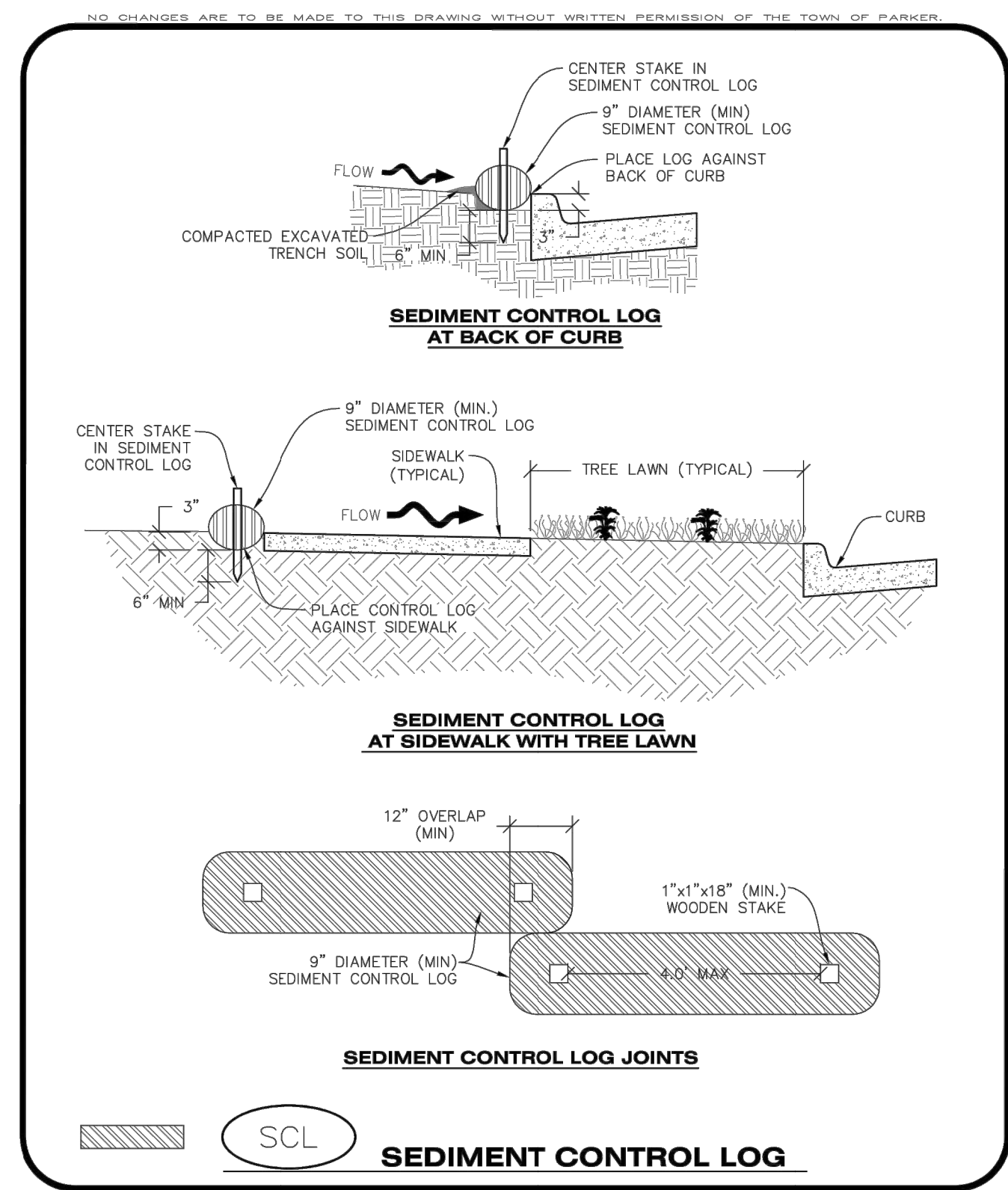
2 OF 2
Oct. 2013



SCL SEDIMENT CONTROL LOG

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

1 OF 3
Oct. 2013



SCL SEDIMENT CONTROL LOG

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

2 OF 3
Oct. 2013

SEDIMENT CONTROL LOG INSTALLATION NOTES

- SEE CBMP PLAN FOR LOCATION(S) OF SEDIMENT CONTROL LOGS.
- ALL SEDIMENT CONTROL LOGS SHALL BE INSTALLED FREE OF DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR.
- SEDIMENT CONTROL LOGS SHALL BE INSTALLED IMMEDIATELY ADJACENT TO AN IMPERVIOUS SURFACE SUCH AS A CURB HEAD, SIDEWALK, INLET LID, ETC. NO GAPS SHALL EXIST BETWEEN THE SEDIMENT CONTROL LOG AND THE IMPERVIOUS SURFACE.
- A UNIFORM 3" DEEP ANCHOR TRENCH (APPROX.) IN THE SHAPE OF A HALF-SPHERE SHALL BE EXCAVATED USING A TRENCHER, SPADE-SHAPED SHOVEL, OR PICK. THE ANCHOR TRENCH SHALL BE SIZED TO ALLOW FOR THE SEDIMENT CONTROL LOG TO SEAT TIGHTLY AGAINST THE ANCHOR TRENCH.
- EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF THE ANCHOR TRENCH AND PROPERLY COMPACTED.
- ANCHOR TRENCH SHALL BE RELATIVELY FREE OF ROCKS OR OTHER DEBRIS PRIOR TO THE PLACEMENT.
- ALL SEDIMENT CONTROL LOGS SHALL BE PLACED 3" (APPROX.) BELOW THE GROUND AND PULLED TIGHT ON BOTH ENDS TO REMOVE ANY CURVES OR SNAGS.
- THE UPHILL SIDE OF THE SEDIMENT CONTROL LOG SHALL BE BACKFILLED WITH SOIL THAT IS RELATIVELY FREE OF ROCKS AND DEBRIS. THE SOIL SHALL BE TIGHTLY COMPACTED AGAINST THE GROUND AND SEDIMENT CONTROL LOG USING A SHOVEL, OR SIMILAR DEVICE.
- SEDIMENT CONTROL LOG STAKES SHALL BE MADE OF WOOD AND SECURELY ANCHOR THE SCL IN PLACE.
- STAKES SHALL BE PLACED ON 4.0' CENTERS AND EMBEDDED APPROXIMATELY 6" INTO THE GROUND. STAKES THAT ARE BROKEN PRIOR TO OR DURING INSTALLATION SHALL BE REPLACED.
- SEDIMENT CONTROL LOGS SHALL OVERLAP A MINIMUM OF 12". THE OVERLAPPING SHALL OCCUR ON THE UP-GRADE SIDE OF THE LOGS.
- SEDIMENT CONTROL LOGS SHALL BE STAKED WITHIN 6" FROM EACH END.
- SEDIMENT CONTROL LOGS THAT ARE INSTALLED BEHIND CURBS AND SIDEWALKS MUST BE DONE SO THAT NO MORE THAN A 2" GAP EXISTS BETWEEN THE CONCRETE AND THE LOG. EROSION CONTROL BLANKETING (ECB) BETWEEN THE GAP MAY BE REQUIRED IN INSTANCES WHERE THIS DOES NOT OCCUR.

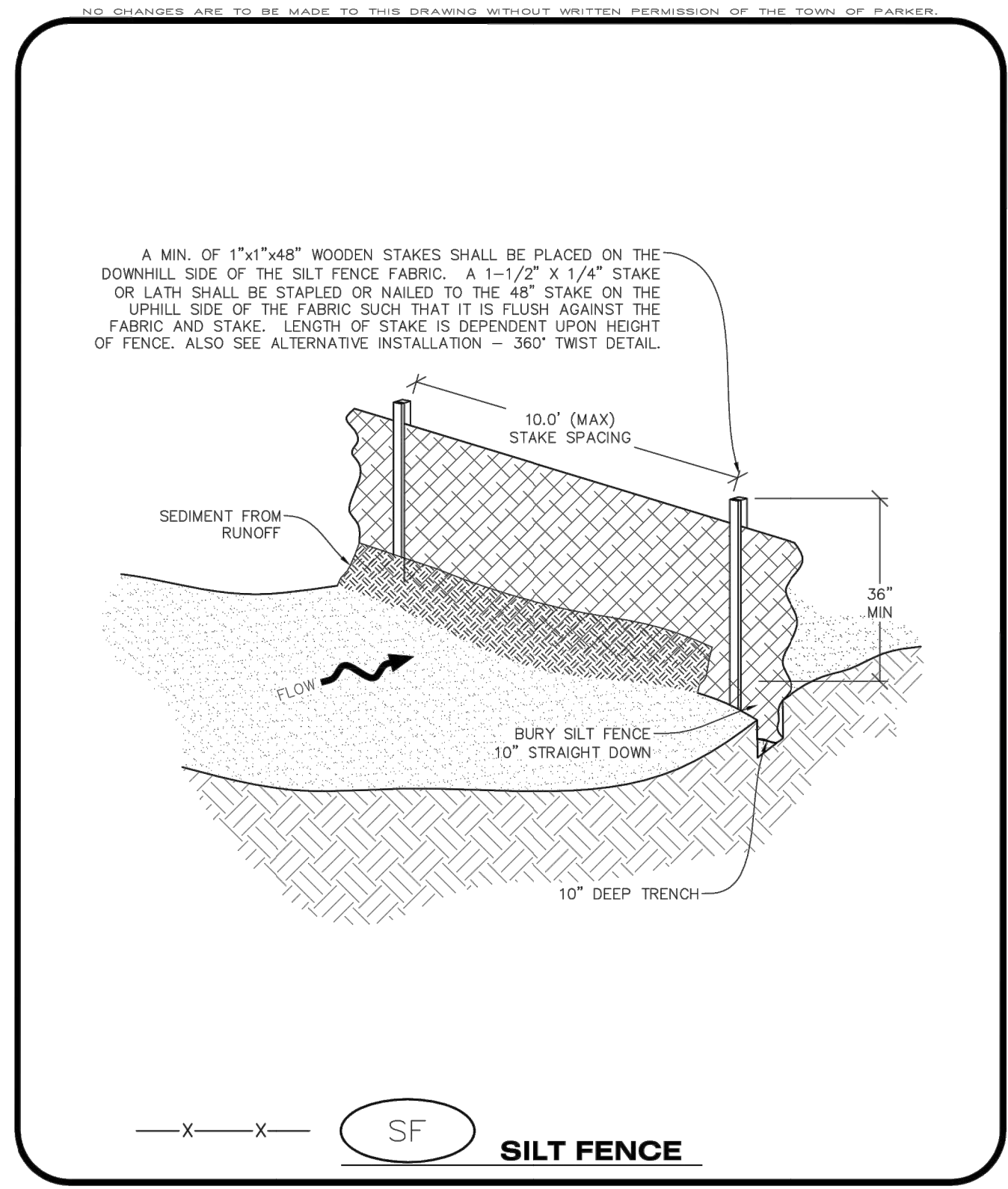
SEDIMENT CONTROL LOG INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SEDIMENT CONTROL LOGS.
- ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF EXPOSED LOG.
- SEDIMENT CONTROL LOGS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- SEDIMENT CONTROL LOGS SHALL BE REPLACED WHEN THERE ARE ANY SIGNS OF WEAR OR DAMAGE THAT WOULD PREVENT THE SCL FROM FUNCTIONING AS DESIGNED.
- WHEN THE SEDIMENT CONTROL LOGS ARE REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE SEDIMENT CONTROL LOGS MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

SCL SEDIMENT CONTROL LOG

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

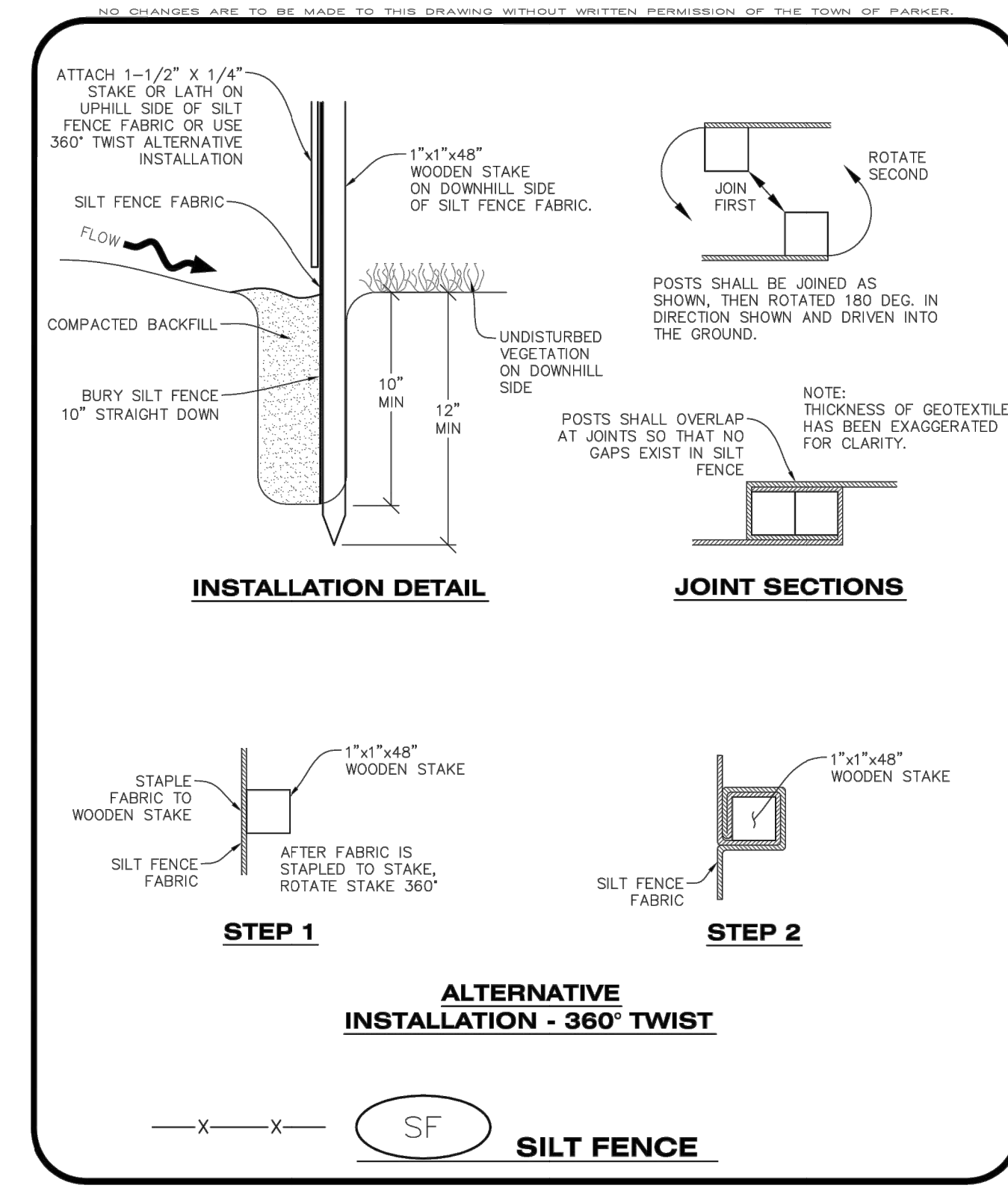
3 OF 3
Oct. 2013



SF SILT FENCE

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

1 OF 4
Oct. 2013



SF SILT FENCE

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

2 OF 4
Oct. 2013

SILT FENCE INSTALLATION NOTES

- SEE CBMP PLAN FOR LOCATION(S) OF SILT FENCE.
- ALL SILT FENCE SHALL BE INSTALLED IN GOOD CONDITION AND FREE OF ANY DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR.
- A UNIFORM 10" DEEP ANCHOR TRENCH SHALL BE EXCAVATED USING A TRENCHER.
- A 10" DEEP ANCHOR SLIT SHALL BE FORMED IF USING A STATIC SLICING METHOD.
- EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF THE ANCHOR TRENCH.
- ANCHOR TRENCH SHALL BE GENERALLY FREE OF ROCKS OR OTHER DEBRIS PRIOR TO THE PLACEMENT OF THE SILT FENCE.
- THE ANCHOR TRENCH SHALL BE THOROUGHLY BACKFILLED WITH SOIL THAT IS GENERALLY FREE OF ROCKS AND DEBRIS.
- ALL EXCAVATED MATERIAL SHALL BE PLACED ON THE UP-GRADE SIDE OF THE SILT FENCE.
- STAKES SHALL BE POSITIONED ON THE DOWNHILL SIDE OF THE SILT FENCE FABRIC AND PLACED ON 10.0' CENTERS OR LESS. STAKES SHALL BE EMBEDDED A MINIMUM OF 12" INTO THE GROUND. A WOODEN LATH SHALL BE ATTACHED TO THE OPPOSING (UPHILL) SIDE OF THE STAKE FOR ADDED STRENGTH AND SUPPORT. THE LATH SHALL HAVE THE FOLLOWING DIMENSIONS: 1"x4"x24".
- SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD NOT BE SIGNIFICANT SAGGING ALONG ANY PORTION OF THE SILT FENCE AFTER IT HAS BEEN ANCHORED TO THE STAKES.
- SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES AND LATHS USING STAPLES OR NAILS OF AN APPROXIMATE LENGTH ENOUGH STAPLES AND NAILS SHOULD BE PLACED ALONG THE LATH TO ENSURE PROPER ATTACHMENT.
- SILT FENCE FABRIC SHALL MEET THE FOLLOWING MANDATORY REQUIREMENTS:

PROPERTIES	TEST METHOD	MANDATORY REQUIREMENTS
GRAB TENSILE STRENGTH	ASTM D 4632	≥ 124 LBS
MULLEN BURST STRENGTH	ASTM D 3786	≥ 300 PSI
PUNCTURE STRENGTH	ASTM D 4833	≥ 60 LBS
TRAPEZOID TEAR STRENGTH	ASTM D 4533	≥ 65 LBS
UV RESISTANCE	ASTM D 4355	≥ 80% AT 500 HOURS OF UV EXPOSURE
FLOW RATE	ASTM D 4491	≥ 10 GAL/MIN/FT2

- AN ORIGINAL PRODUCT SPECIFICATION SHEET FROM THE SILT FENCE MANUFACTURER SHALL BE MADE AVAILABLE AT THE REQUEST OF THE TOWN'S INSPECTOR. THE PRODUCT SPECIFICATION SHEET SHALL PROVIDE THE RESULTS FOR THE TEST METHODS ABOVE.
- SILT FENCE JOINTS SHALL BE CONNECTED ACCORDING TO THE ATTACHED DRAWING.
- SILT FENCE THAT IS INSTALLED BEHIND CURBS AND SIDEWALKS MUST BE DONE SO THAT NO MORE THAN A 2" GAP EXISTS BETWEEN CONCRETE AND THE SILT FENCE. EROSION CONTROL BLANKETING (ECB) BETWEEN THE GAP MAY BE REQUIRED IN INSTANCES WHERE THIS DOES NOT OCCUR.

SF SILT FENCE

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

3 OF 4
Oct. 2013

NO. REVISION BY DATE

Kimley»Horn
2019 KIMLEY-HORN AND ASSOCIATES, INC.
4582 South Ulster Street, Suite 1500
Denver, Colorado 80237 (303) 228-2300

PARKER & PINE
 PARKER, CO
 CONSTRUCTION DOCUMENTS
 CBMP DETAILS

DESIGNED BY: DLS
DRAWN BY: EC2
CHECKED BY: DLS
DATE: 11/14/19

PRELIMINARY
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

PROJECT NO.
096502001

DRAWING NAME
096502001EC_DT

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 THIS DOCUMENT IS UNCONTROLLED. IT IS THE USER'S RESPONSIBILITY TO VERIFY THE LATEST REVISIONS AND TO OBTAIN THE LATEST REVISIONS FROM THE PROJECT MANAGER. THE USER SHALL BE RESPONSIBLE FOR OBTAINING THE LATEST REVISIONS AND TO OBTAIN THE LATEST REVISIONS FROM THE PROJECT MANAGER. THE USER SHALL BE RESPONSIBLE FOR OBTAINING THE LATEST REVISIONS AND TO OBTAIN THE LATEST REVISIONS FROM THE PROJECT MANAGER.

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

SILT FENCE INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SILT FENCE.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED REGULARLY.
3. SILT FENCE SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
4. SILT FENCE SHALL BE REPLACED WHEN THERE ARE ANY SIGNS OF WEAR AND/OR DAMAGE.
5. WHEN THE SILT FENCE IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE SILT FENCE MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).


CBMP | SF
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 4 OF 4
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

SEEDING AND MULCHING SHALL BE PERFORMED ACCORDING TO THE ACCOMPANYING DETAIL(S) AND TEXT. NO EXCEPTIONS SHALL BE MADE

1. SEE PLAN VIEW FOR:
 - LOCATION(S) OF SEEDING AND MULCHING
 - TYPE OF SEED MIX
2. SEED MIXES MAY CONFORM TO THE TABLE PROVIDED WITH THE SMC NOTES OR ALTERNATIVES MAY BE ALLOWED WITH PRIOR PERMISSION BY THE TOWN'S INSPECTOR.
3. SEEDING MAY BE PERFORMED YEAR ROUND ASSUMING THE SOIL IS NOT FROZEN. SEEDING DURING TIMES OF EXTREME TEMPERATURES SHOULD BE AVOIDED IF POSSIBLE.
4. AT THE BEGINNING OF THE LAND DISTURBANCE ACTIVITIES, IT IS HIGHLY RECOMMENDED THAT AN APPROPRIATE AMOUNT OF NATIVE TOPSOIL BE STRIPPED FROM THE SITE AND STOCKPILED. ALL AREAS, PRIOR TO PERMANENT SEEDING AND MULCHING, WILL LIKELY NEED TO BE COVERED WITH AN APPROPRIATE LAYER OF TOPSOIL. THIS REQUIREMENT APPLIES TO ALL AREAS WHERE NATIVE SEEDING IS SPECIFIED ON THE CBMP PLAN AND/OR LANDSCAPING PLANS.
5. IT IS STRONGLY RECOMMENDED THAT SAMPLES FROM THE STRIPPED TOPSOIL BE PROPERLY COLLECTED AND TESTED BY A QUALIFIED LABORATORY TO ENSURE ADEQUATE NUTRIENT CONTENT PRIOR TO SEEDING AND MULCHING. IF IT IS DISCOVERED THAT THE TOPSOIL IS VOID OF THE NUTRIENTS NECESSARY TO SUCCESSFULLY ESTABLISH THE REQUIRED VEGETATION, THEN THE APPROPRIATE AMENDMENTS SHALL BE ADDED.
6. ALL AREAS TO BE SEEDED AND MULCHED SHALL BE SURFACE ROUGHENED ACCORDING TO THE SURFACE ROUGHENING DETAILS AND NOTES. SURFACE ROUGHENING SHALL OCCUR AFTER PLACEMENT OF THE TOPSOIL.
7. WHEN INSTALLED WITH A DRILL SEEDER, SEED SHALL BE PLACED AT A DEPTH OF 1/4 - 1/2 INCH. ROW SPACING SHALL BE NO MORE THAN 6-INCHES.
8. ALL AREAS INCAPABLE OF BEING DRILL SEEDER SHALL BE SURFACE ROUGHENED ACCORDING TO THE SURFACE ROUGHENING NOTES OR EFFECTIVELY ROUGHENED USING A HARROW OR OTHER SUCH IMPLEMENT. ALL AREAS SHALL BE UNIFORMLY HAND BROADCASTED WITH THE PROPER SEED MIX APPLIED AT TWO TIMES THE DRILL SEEDER RATE. BROADCASTED AREAS SHALL THEN BE RE-HARROWED OR RE-RAKED USING A HARD-TIPPED RAKE TO ENSURE THAT SEEDS ARE BURIED TO AN APPROXIMATE DEPTH OF 1/4 - 1/2 INCH.
9. AFTER SEEDING HAS BEEN COMPLETED, MULCH SHALL BE UNIFORMLY APPLIED AT A RATE OF 2 TONS/ACRE (4,000 LBS/ACRE). MULCH SHALL BE MECHANICALLY CRIMPED TO A DEPTH OF 2 INCHES USING A CRIMPER. MULCH SHALL BE HAND CRIMPED AND COVERED WITH A TACKIFIER IN AREAS WHERE MECHANICAL CRIMPING IS NOT POSSIBLE. WHEN SOILS PERMIT, ALL MULCH SHALL BE CRIMPED SUCH THAT THE INDIVIDUAL PIECES OF STRAW OR HAY FORM EXAGGERATED V-SHAPES PROTRUDING OUT OF THE GROUND SEVERAL INCHES.
10. IN CERTAIN INSTANCES, IT MAY BE NECESSARY TO APPLY A TACKIFIER IN ORDER TO HELP WITH STRAW DISPLACEMENT. TACKIFIER SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.


CBMP | SMC
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 3
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

SEEDING AND MULCHING MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SEEDING AND MULCHING.
2. ANY SEEDED AND MULCHED AREAS THAT BECOME DAMAGED SHALL BE REPAIRED WITHIN THE TIME FRAME SPECIFIED BY THE TOWN'S INSPECTOR.

WEED MANAGEMENT

1. ALL HERBICIDES SHALL BE APPLIED BY COMMERCIAL PESTICIDE APPLICATORS LICENSED BY THE COLORADO DEPARTMENT OF AGRICULTURE AS QUALIFIED APPLICATORS. THE CONTRACTOR SHALL FURNISH DOCUMENTATION OF SUCH LICENSING PRIOR TO HERBICIDE APPLICATION.
2. HERBICIDE APPLICATION METHOD SHALL BE SUCH THAT PLANT GROWTH OUTSIDE THE DESIGNATED TREATMENT AREAS WILL NOT BE DAMAGED. ALL DAMAGE CAUSED BY IMPROPER HERBICIDE APPLICATION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
3. HERBICIDES SHALL BE APPLIED DURING THE APPROPRIATE SEASONS, WHEN TARGET PLANTS ARE ACTIVELY GROWING.
4. AFTER THE GRASS SEED IS ESTABLISHED, APPROPRIATE HERBICIDES SHALL BE APPLIED TO CONTROL THE REMAINING WEEDS TO ENSURE A TIMELY RETURN OF THE FINANCIAL SECURITY. PROPER TIMING OF HERBICIDE APPLICATIONS ARE NECESSARY TO ACHIEVE THE SUPPRESSION OF WEED SEED PRODUCTION AND DEPLETION OF WEED ROOT MASS. ULTIMATELY, THE HERBICIDES USED SHALL BE BASED UPON THE TARGET WEEDS.
5. HERBICIDE TREATMENTS SHALL CONTINUE AT AN APPROPRIATE RATE UNTIL IT IS EVIDENT THAT WEED GROWTH PRESENCE AND GROWTH IS MINIMAL AND MAY BE CONTROLLED THROUGH MOWING AND/OR ANNUAL HERBICIDE TREATMENT.


CBMP | SMC
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 3
Oct. 2013

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TOWN OF PARKER, SEED MIX 1

- 20% CANADA WILDRIE
- 15% CRESTED WHEATGRASS
- 15% SLENDER WHEATGRASS
- 10% ANNUAL RYEGRASS
- 10% SHEEP FESCUE
- 10% BIG BLUESTEM
- 10% SIDEOTS GRAMA
- 5% CANADA BLUEGRASS
- 5% BLUE GRAMA

SEEDING RATE:
 DRILLED: 25 LBS/ACRE
 BROADCAST: 50 LBS/ACRE

TOWN OF PARKER, SEED MIX 2

- 22% SLENDER WHEATGRASS
- 18% SODAR STREAMBANK WHEATGRASS
- 13% ARIZONA FESCUE
- 13% BLUE GRAMA
- 12% BUFFALOGRASS
- 12% BARLEY OR DATS
- 5% SPIKE MUHLY
- 5% INDIAN RICEGRASS

SEEDING RATE:
 DRILLED: 25 LBS/ACRE
 BROADCAST: 50 LBS/ACRE

TOWN OF PARKER, SEED MIX 3 (LOW-GROWTH MIX)

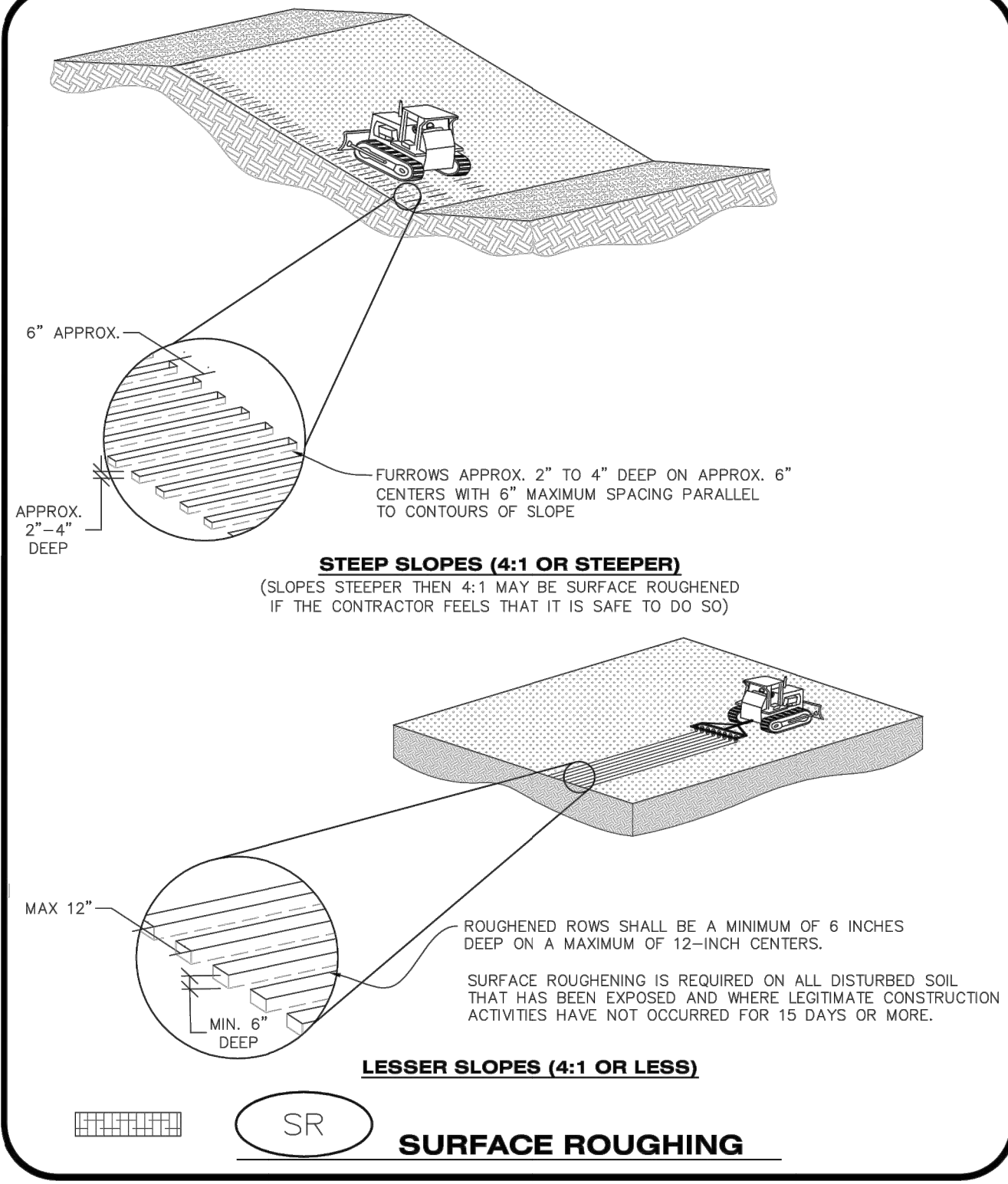
- 25% EPHRAIM CRESTED WHEATGRASS
- 23% SHEEP FESCUE
- 18% PERENNIAL RYEGRASS
- 13% CANADA BLUEGRASS
- 12% BARLEY OR DATS
- 9% BLUE FESCUE

SEEDING RATE:
 DRILLED: 25 LBS/ACRE
 BROADCAST: 50 LBS/ACRE

SEED MIX 4:
 OTHER SEED MIXES APPROVED BY THE TOWN OF PARKER


CBMP | SMC
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 3 OF 3
Oct. 2013

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CBMP | SR
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
Oct. 2013

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SURFACE ROUGHENING INSTALLATION NOTES

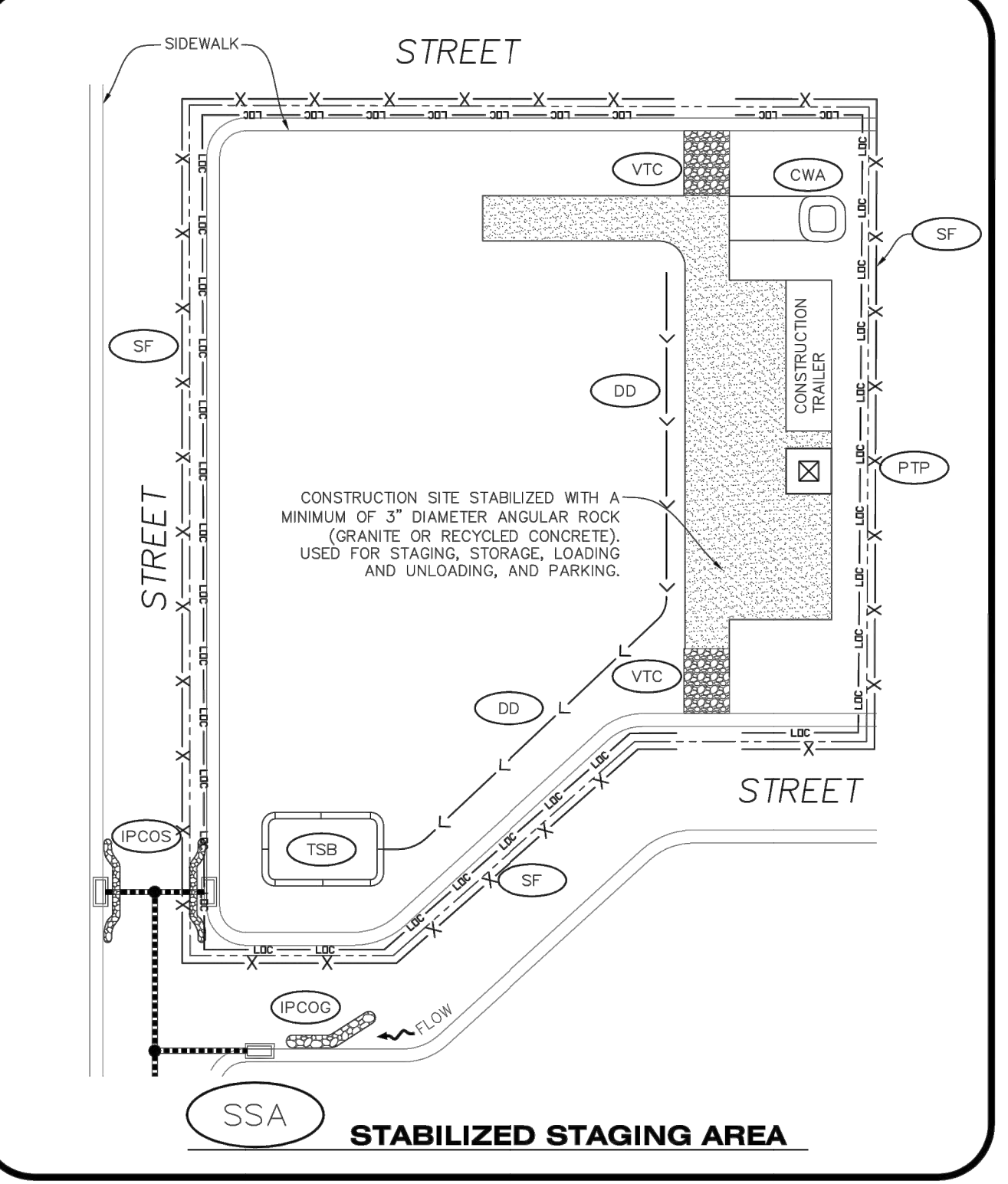
1. SEE CBMP PLAN FOR LOCATION(S) OF SURFACE ROUGHENING.
2. DISTURBED AREAS THAT REMAIN INACTIVE FOR 15 DAYS OR MORE MUST RECEIVE SURFACE ROUGHENING OR ANOTHER APPROVED BMP FROM THE SDCM. DETERMINATION OF JOB SITE INACTIVITY IS AT THE DISCRETION OF THE TOWN'S INSPECTOR.
3. FOR STEEP SLOPES (3:1 OR STEEPER), IT IS ACCEPTABLE TO "TRACK" THE SLOPES, ACCORDING TO THE CBMP DETAILS.
4. SCHEDULES FOR REQUIRING STABILIZATION MAY BE MODIFIED BY THE PERMITTEE TO ALLOW FOR SPECIAL CONSIDERATIONS SUCH AS STABILIZING ACCESS AREAS AND AREAS IN CLOSE PROXIMITY TO CONTINUING CONSTRUCTION.

SURFACE ROUGHENING INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL PROACTIVELY INSPECT THE SURFACE ROUGHENING.


CBMP | SR
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.




CBMP | SSA
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
Oct. 2013

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STABILIZED STAGING AREA INSTALLATION NOTES

1. SEE CBMP PLAN FOR LOCATION OF STAGING AREA. CONTRACTOR MAY MODIFY LOCATION AND SIZE OF STABILIZED STAGING AREA WITH TOWN APPROVAL.
2. STABILIZED STAGING AREA SHALL BE LARGE ENOUGH TO FULLY CONTAIN PARKING, STORAGE, AND LOADING OPERATIONS.
3. THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM OF 3" DIAMETER OF ANGULAR ROCK (GRANITE OR RECYCLED CONCRETE).
4. SSA FOR SMALLER SITES MAY NOT BE PRACTICAL. IN THESE AND SIMILAR SITUATIONS, VARIANCES MAY BE PERMITTED BY THE TOWN.

STABILIZED STAGING AREA INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE STAGING AREA.
2. STABILIZED STAGING AREA SHALL BE ENLARGED AS NECESSARY TO CONTAIN PARKING, STORAGE, LOADING, AND UNLOADING.


CBMP | SSA
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
Oct. 2013

NO.	REVISION	BY	DATE

Kimley»Horn
 2019 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

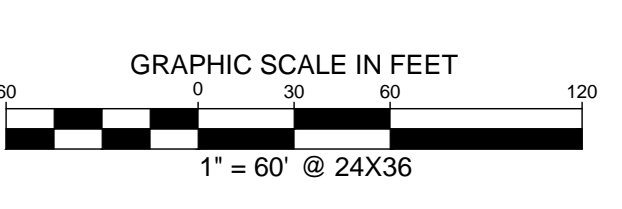
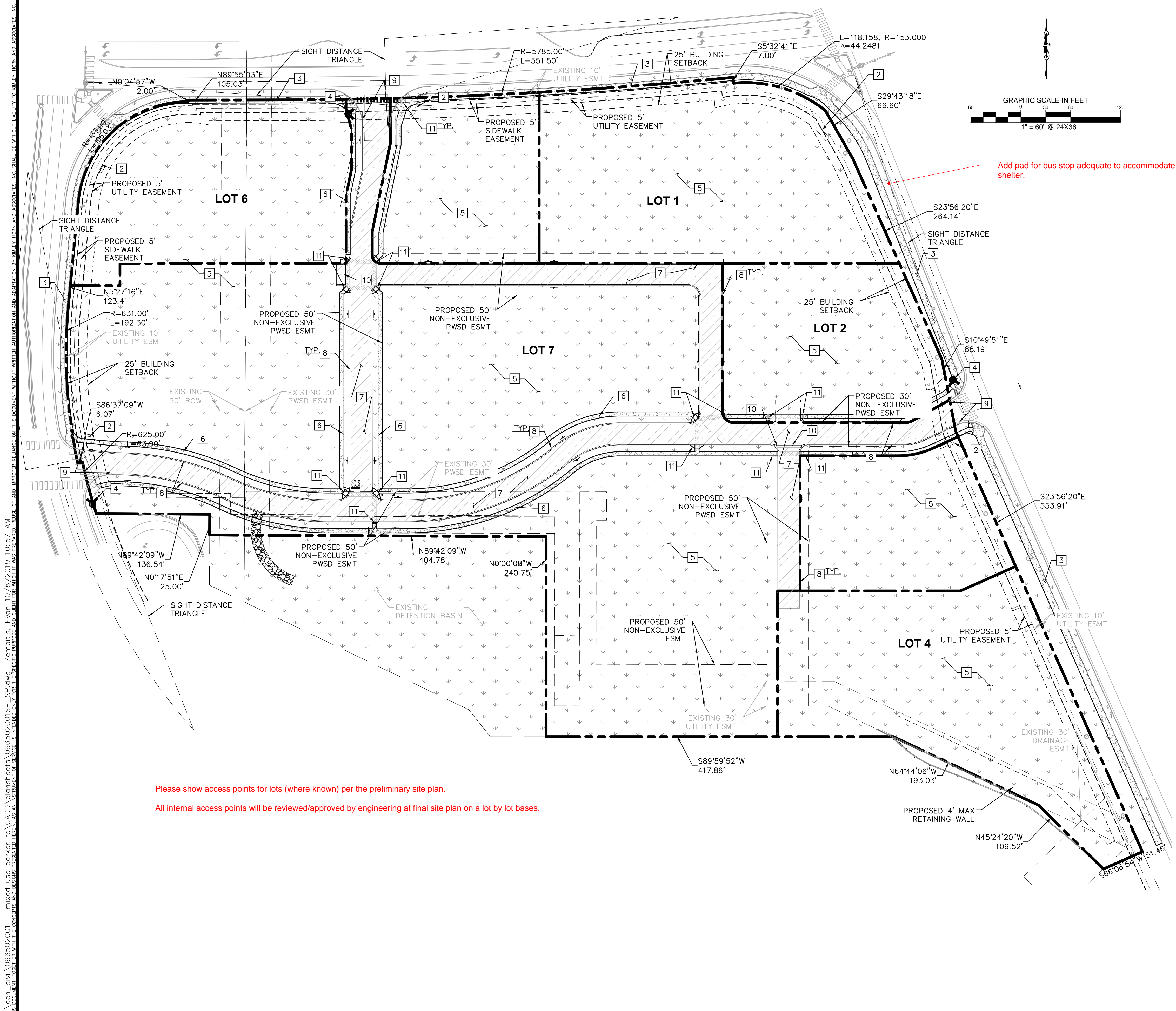
DESIGNED BY: DLS
 DRAWN BY: ECZ
 CHECKED BY: DLS
 DATE: 11/14/19

PARKER & PINE
 PARKER, CO
 CONSTRUCTION DOCUMENTS
CBMP DETAILS

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 Kimley-Horn and Associates, Inc.

PROJECT NO.
 096502001
 DRAWING NAME
 096502001EC_DT
C3.9





LEGEND

- PROPERTY LINE
- LOT LINE
- EXISTING UTILITY EASEMENT
- PROPOSED UTILITY EASEMENT
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- SETBACK LINE
- HEAVY DUTY ASPHALT PAVING
- CONCRETE SIDEWALK
- PROPOSED FINAL STABILIZATION/LANDSCAPE
- DECORATIVE CONCRETE PAVEMENT
- PROPOSED FIRE HYDRANT

KEY NOTES

- 1 PROPOSED 5' WIDE PEDESTRIAN CONNECTION
- 2 PROPOSED MONUMENT SIGN.
- 3 PROPOSED 8' WIDE SIDEWALK
- 4 PROPOSED FIRE HYDRANT.
- 5 PROPOSED PERMANENT STABILIZATION. REFER TO LANDSCAPE PLANS
- 6 PROPOSED 5' CONCRETE SIDEWALK.
- 7 PROPOSED HEAVY DUTY ASPHALT PAVING.
- 8 PROPOSED 18" VERTICAL CURB
- 9 PROPOSED CURB TRANSITION FROM 18" CURB AND GUTTER (ON-SITE) TO 30" CURB AND GUTTER (OFF-SITE).
- 10 PROPOSED CROSSSPAN GUTTER
- 11 PROPOSED ADA COMPLIANT CURB RAMP

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

Please show access points for lots (where known) per the preliminary site plan.
 All internal access points will be reviewed/approved by engineering at final site plan on a lot by lot bases.

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 THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

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 2019 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: ECZ
 CHECKED BY: DLS
 DATE: 11/14/19

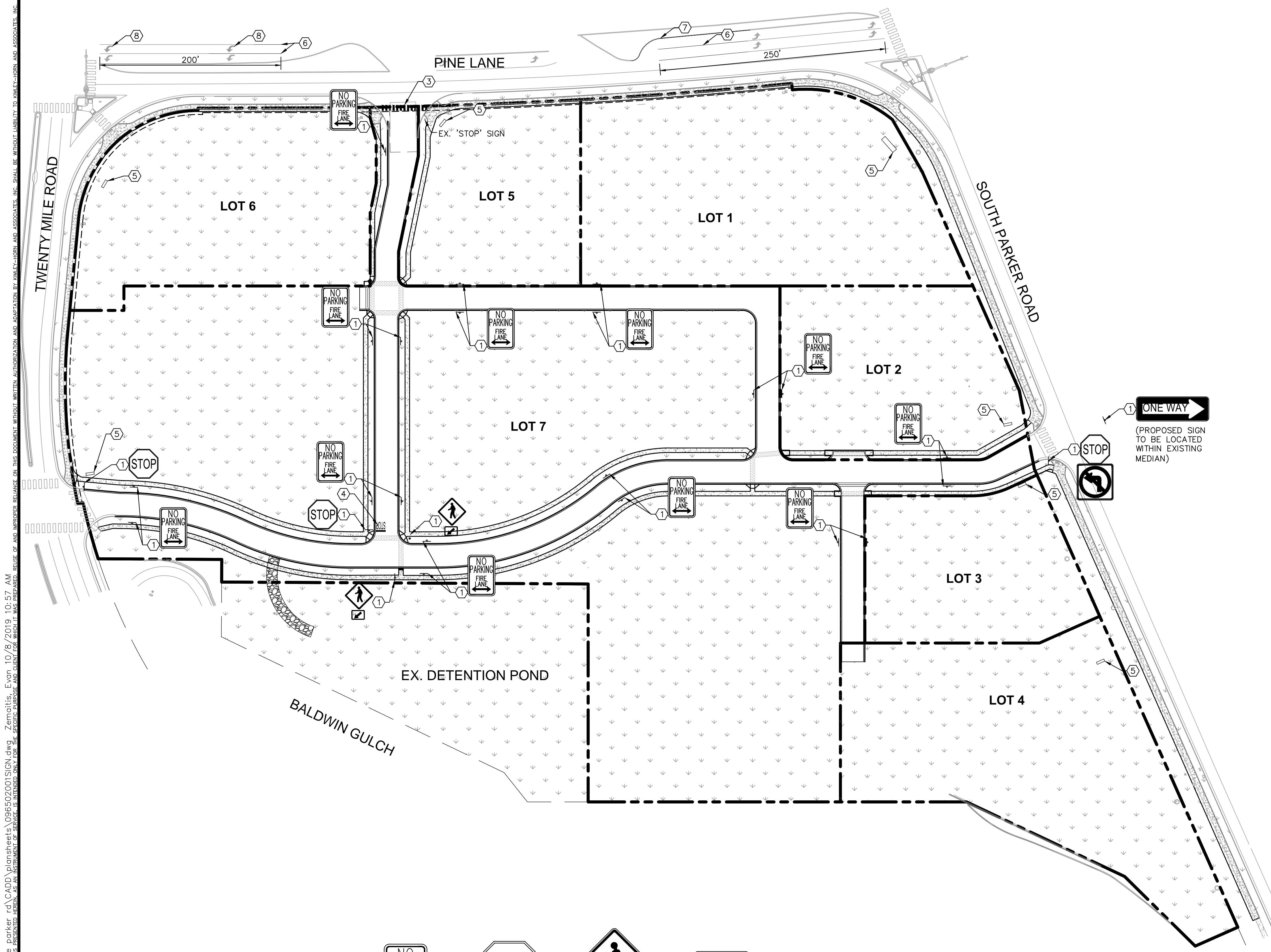
PARKER & PINE
 PARKER, CO
 CONSTRUCTION DOCUMENTS
 SITE PLAN

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Kimley»Horn
 Kimley-Horn and Associates, Inc.

PROJECT NO.
 096502001
 DRAWING NAME
 096502001SP_SP

C4.0





LEGEND

--- PROPERTY LINE

--- SIGN

SIGNING AND STRIPING NOTES

- ① ALL SIGNS AND ROADWAY MARKINGS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- ② NOT USED
- ③ 10' CROSSWALK STRIPING SHALL BE 2' WIDE SOLID RECESS PREFORMED PLASTIC AT 4'-0" O.C. PERPENDICULAR TO THE PATH OF TRAVEL
- ④ 12" STOP BAR. SEE DETAIL ON SHEET C4.3
- ⑤ PROPOSED MONUMENT SIGN (REFER TO ARCH. PLANS)
- ⑥ EXTEND EXISTING 6" SOLID WHITE STRIPE
- ⑦ 6" SOLID DOUBLE YELLOW STRIPE
- ⑧ DIRECTIONAL PAVEMENT MARKING. SEE DETAIL SHEET C4.3

- NOTES:
- 1. SEE SIGN POST DETAIL ON SHEET C4.4 FOR INSTALLATION AND POST/BASE DIMENSIONS.
 - 2. ALL PARKING ADJACENT TO LANDSCAPE ISLANDS SHALL BE 10' WIDE FROM STRIPE TO FACE OF CURB.
 - 3. CONTRACTOR TO REMOVE ALL EXISTING PAVEMENT MARKINGS IN CONFLICT WITH THE FINAL SIGNAGE AND STRIPING PLAN.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

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 4582 South Ulster Street, Suite 1500
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 DRAWN BY: ECZ
 CHECKED BY: DLS
 DATE: 11/14/19

**PARKER & PINE
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 CONSTRUCTION DOCUMENTS
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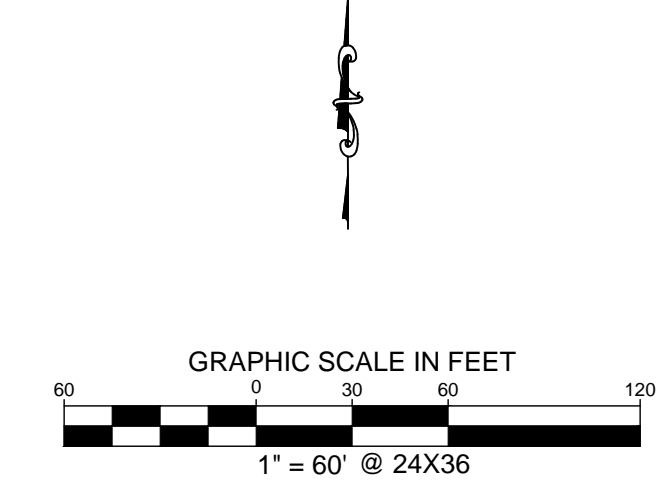
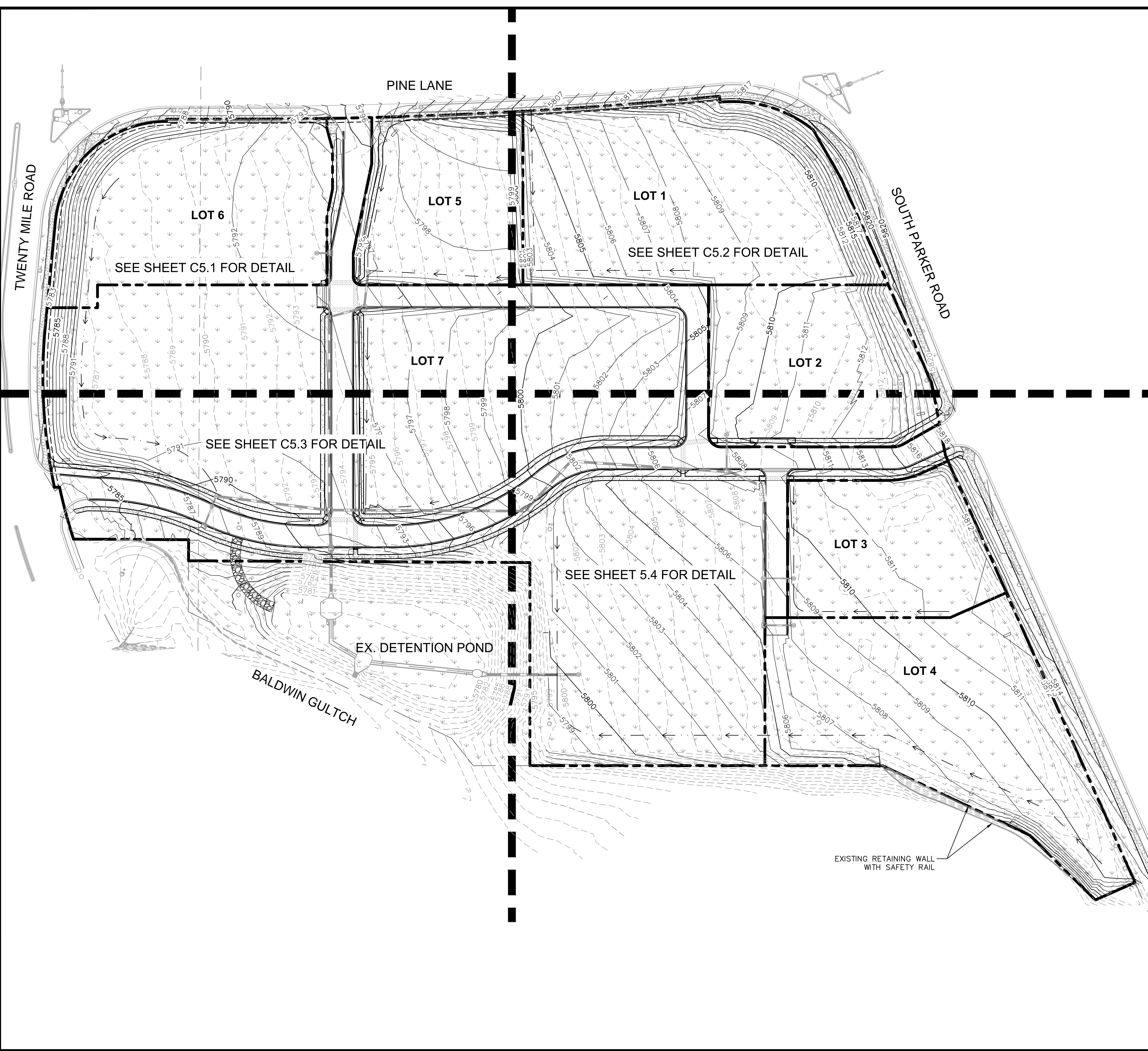
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096502001

DRAWING NAME
096502001SIGN

C4.2



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- LEGEND**
- EXISTING PROPERTY LINE
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - EXISTING STORM SEWER
 - PROPOSED STORM SEWER
 - PROPOSED STORM INLET

BENCHMARK

DOUGLAS CONTROL MONUMENT #1.095035, A 3 1/4" ALUMINUM CAP.

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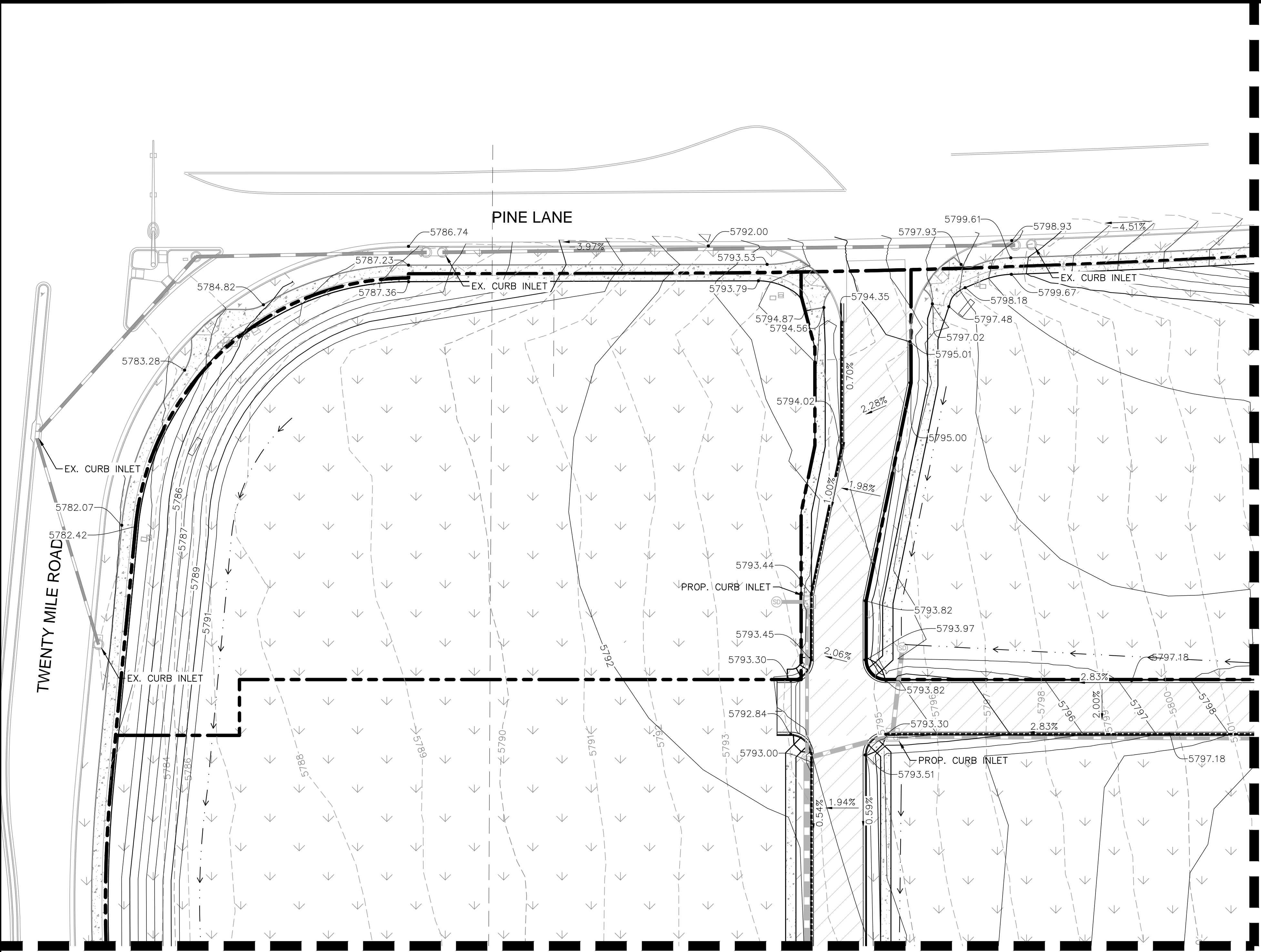
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096502001

DRAWING NAME
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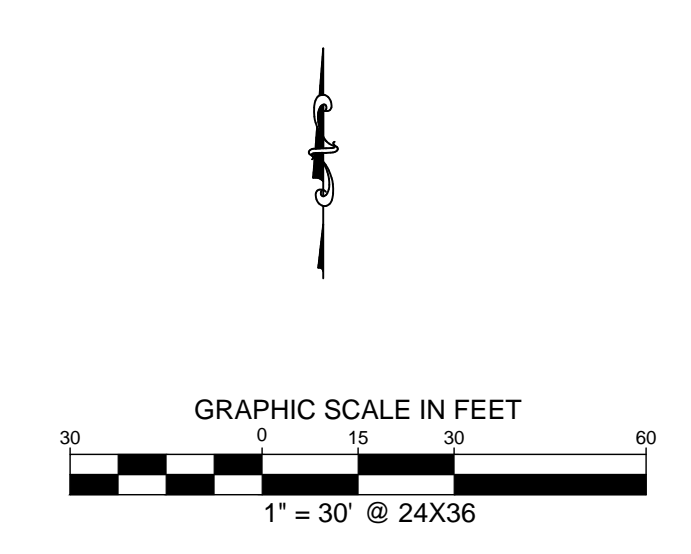


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SEE SHEET C5.3 FOR CONTINUATION

SEE SHEET C5.2 FOR CONTINUATION



LEGEND

- PROPERTY LINE
- - - -5770- - - EXISTING CONTOUR
- 5771— PROPOSED CONTOUR
- 1.00% PROPOSED FLOW ARROW WITH SLOPE
- 5771 PROPOSED SPOT ELEVATION
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED STORM INLET
- TP TOP OF PAVEMENT
- TS TOP OF SLAB (DUMPSTER PAD)
- SW TOP OF SIDEWALK
- ME MATCH EXISTING ELEVATION
- - - - PROPOSED VALLEY
- - - - PROPOSED RIDGE
- CATCH CURB

BENCHMARK

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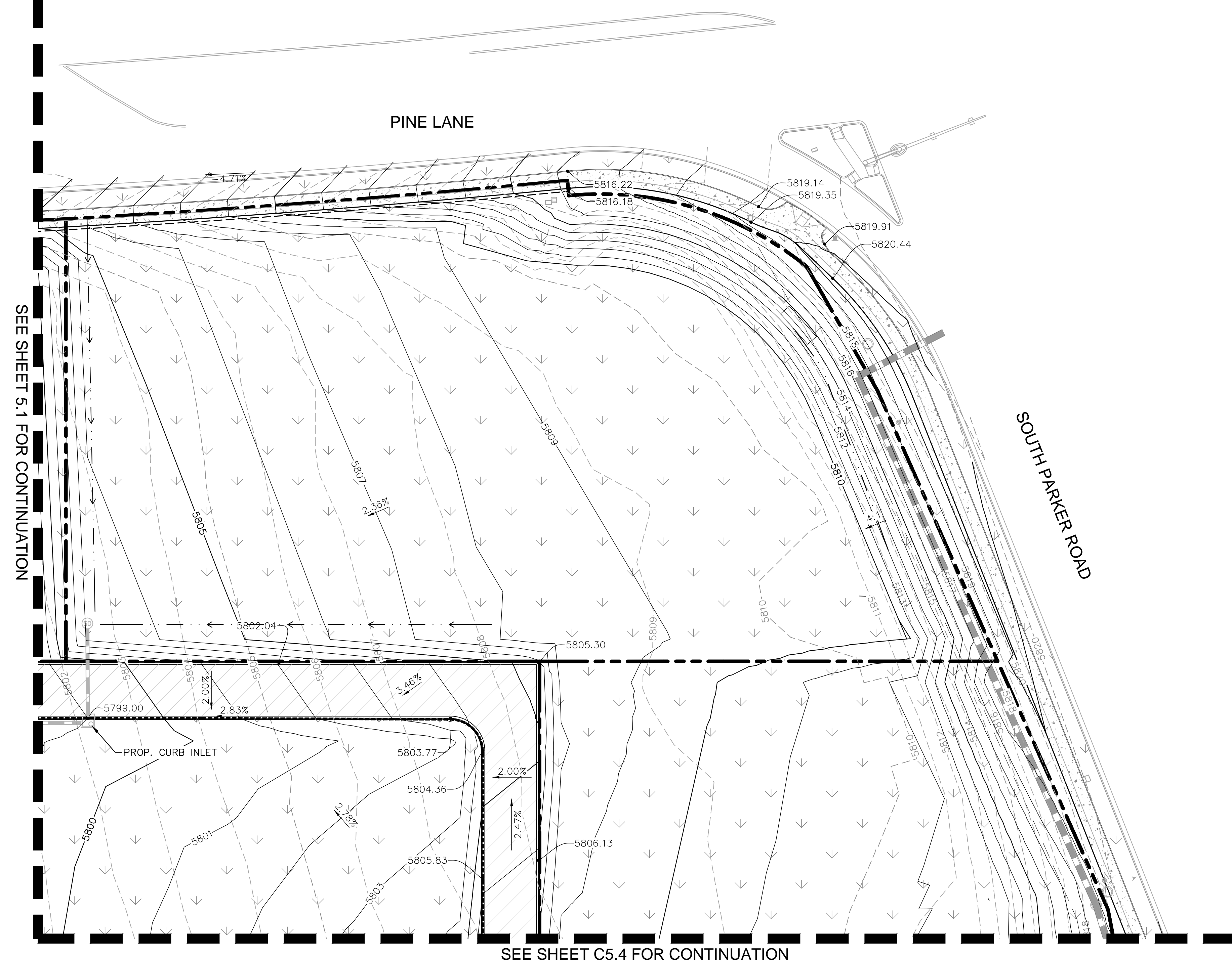
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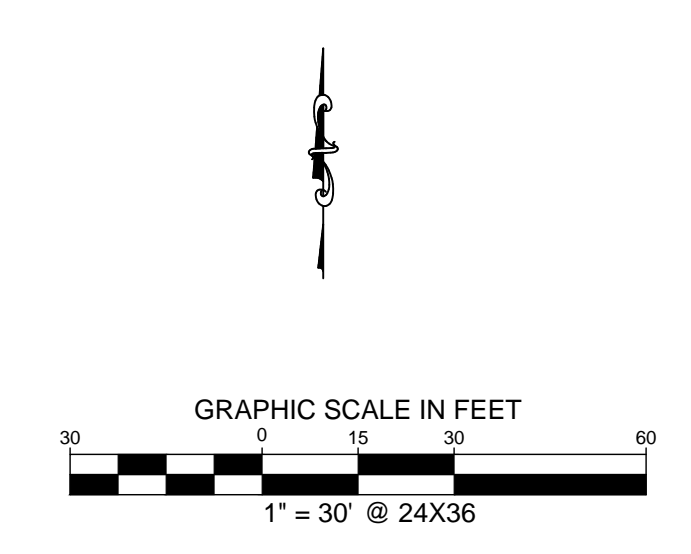


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SEE SHEET 5.1 FOR CONTINUATION

SEE SHEET C5.4 FOR CONTINUATION



LEGEND

- — — — — PROPERTY LINE
- - - - -5770- - - - - EXISTING CONTOUR
- — — — —5771- — — — — PROPOSED CONTOUR
- 1.00% PROPOSED FLOW ARROW WITH SLOPE
- 5771 PROPOSED SPOT ELEVATION
- — — — — EXISTING STORM SEWER
- — — — — PROPOSED STORM SEWER
- PROPOSED STORM INLET
- TP TOP OF PAVEMENT
- TS TOP OF SLAB (DUMPSTER PAD)
- SW TOP OF SIDEWALK
- ME MATCH EXISTING ELEVATION
- — — — — PROPOSED VALLEY
- — — — — PROPOSED RIDGE
- — — — — CATCH CURB

BENCHMARK

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 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 728-2300

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 CHECKED BY: DLS
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 PARKER, CO
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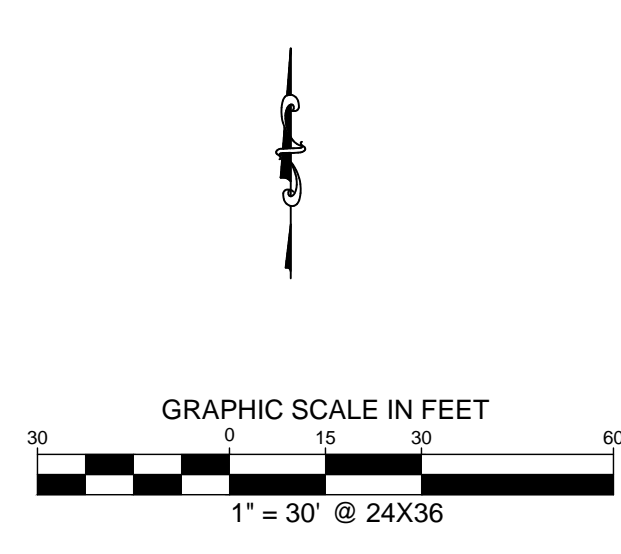
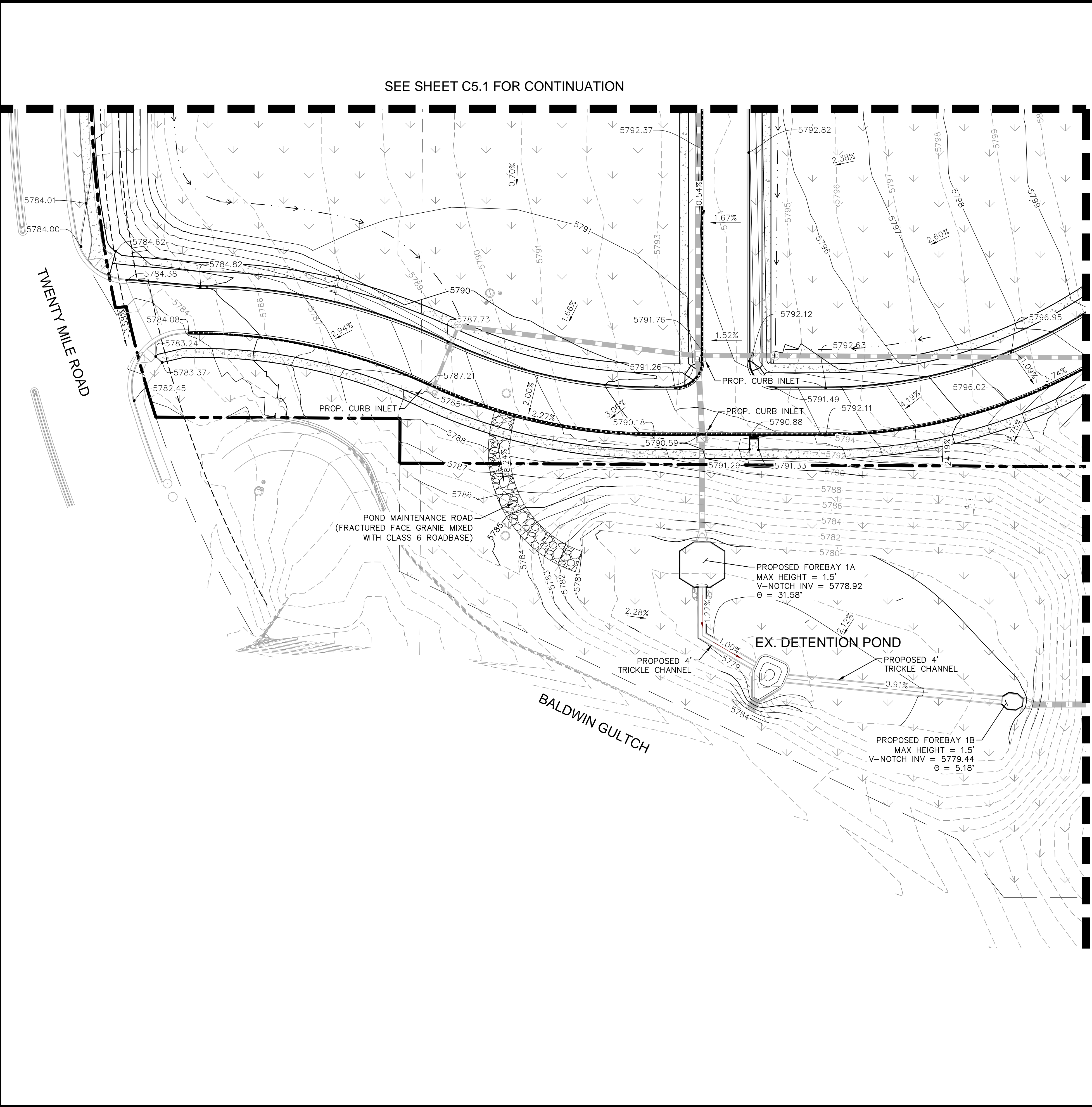
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LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED FLOW ARROW WITH SLOPE
	PROPOSED SPOT ELEVATION
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	PROPOSED STORM INLET
	TP TOP OF PAVEMENT
	TS TOP OF SLAB (DUMPSTER PAD)
	SW TOP OF SIDEWALK
	ME MATCH EXISTING ELEVATION
	PROPOSED VALLEY
	PROPOSED RIDGE
	CATCH CURB

BENCHMARK

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 Denver, Colorado 80237 (303) 228-2300

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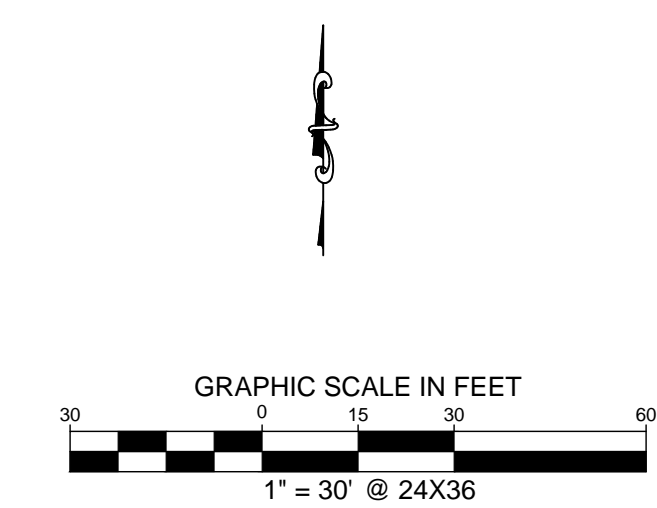
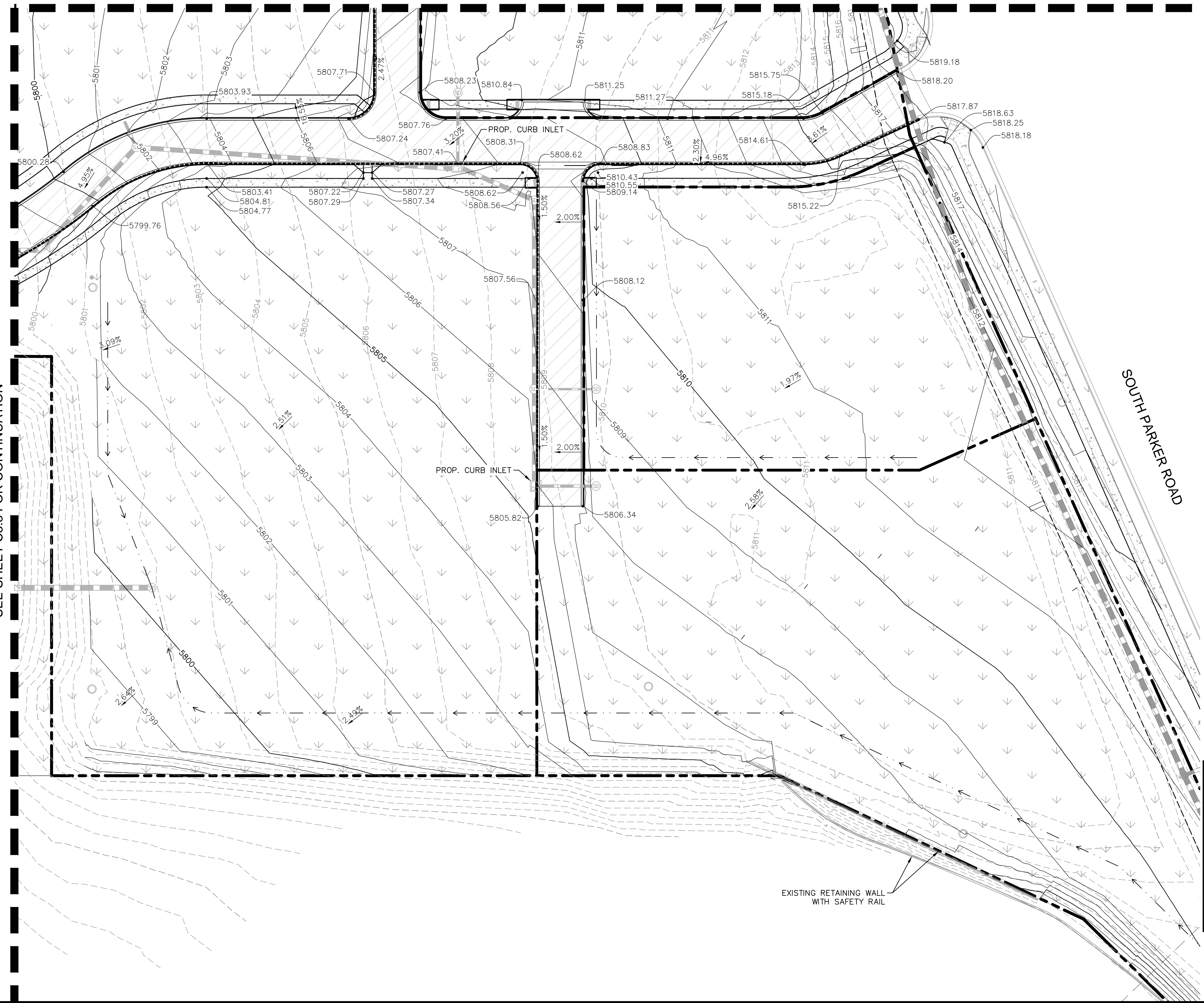
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SEE SHEET C5.3 FOR CONTINUATION

SEE SHEET C5.2 FOR CONTINUATION



- LEGEND**
- PROPERTY LINE
 - 5770- EXISTING CONTOUR
 - 5771- PROPOSED CONTOUR
 - 1.00% PROPOSED FLOW ARROW WITH SLOPE
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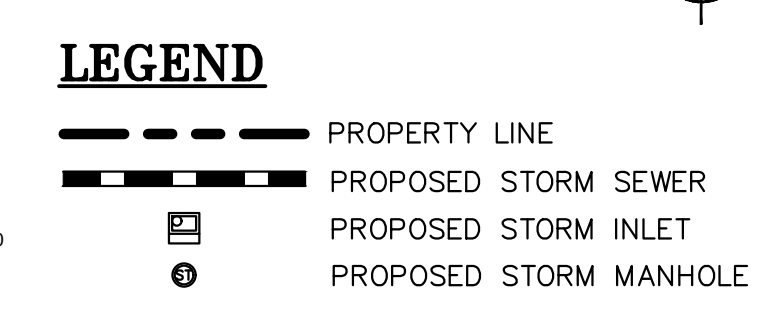
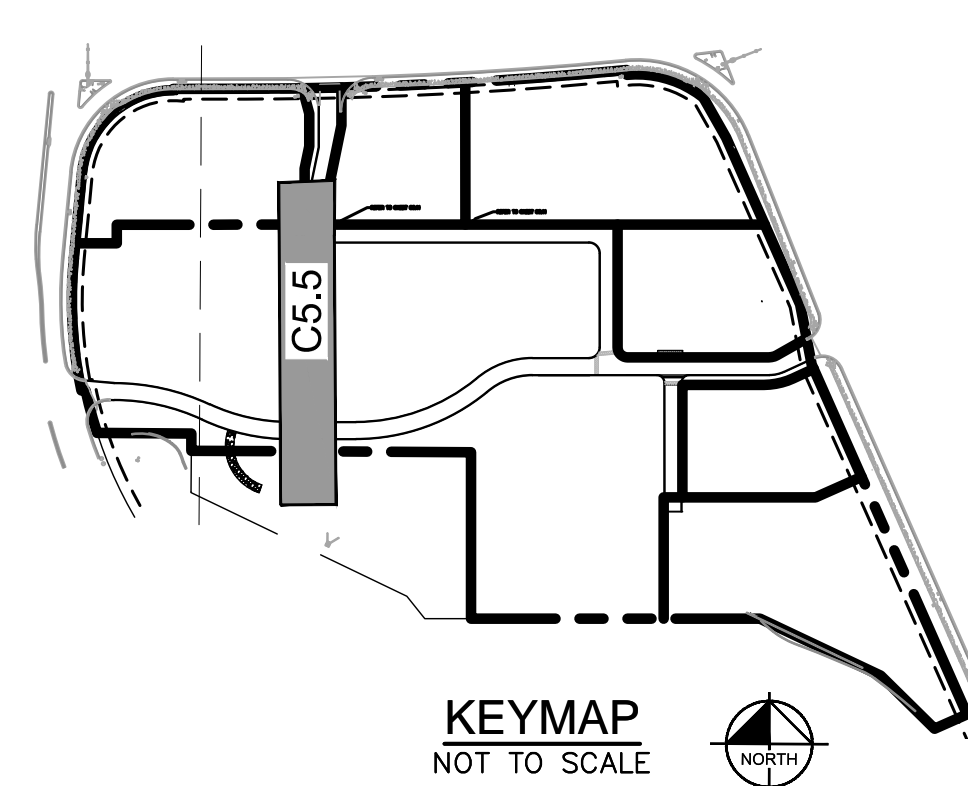
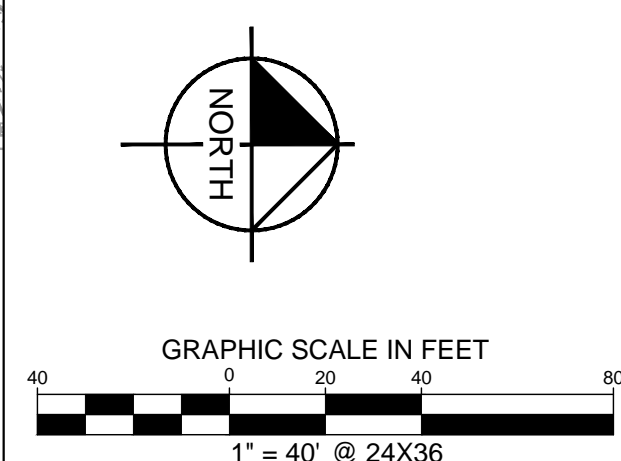
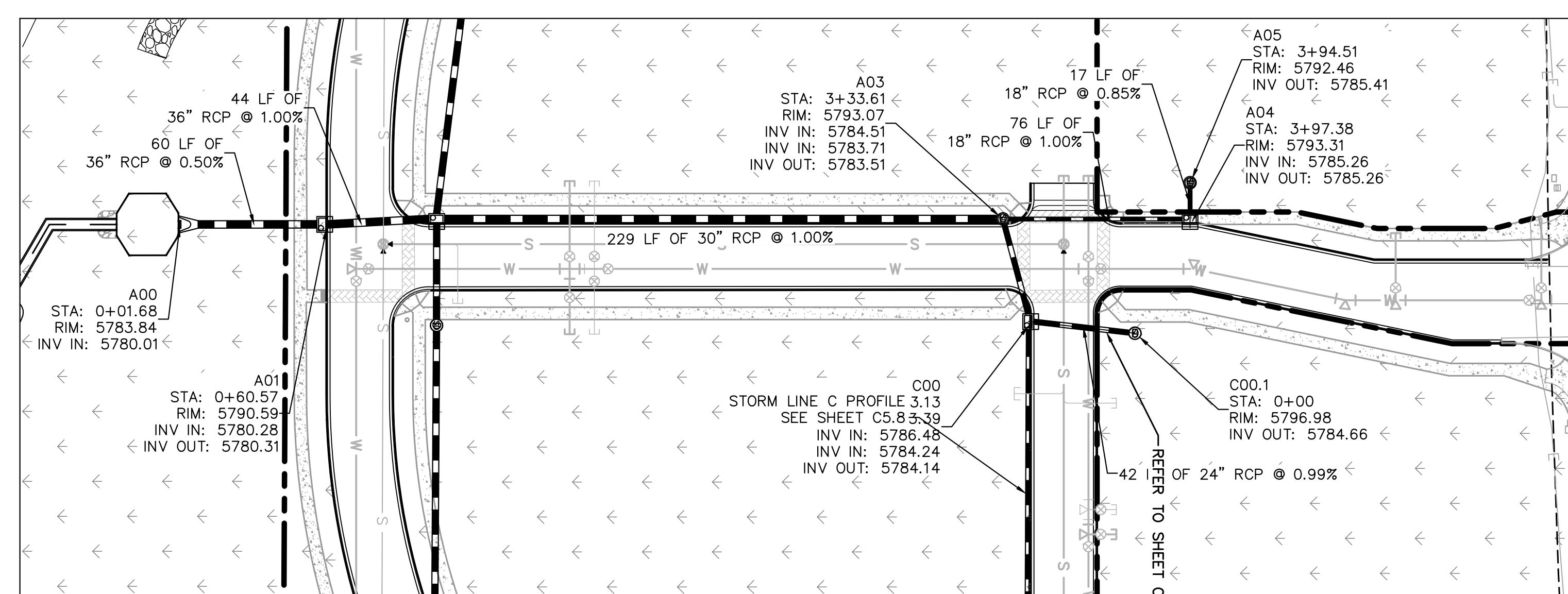
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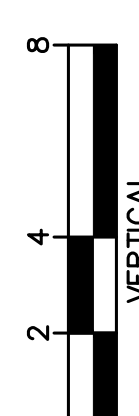
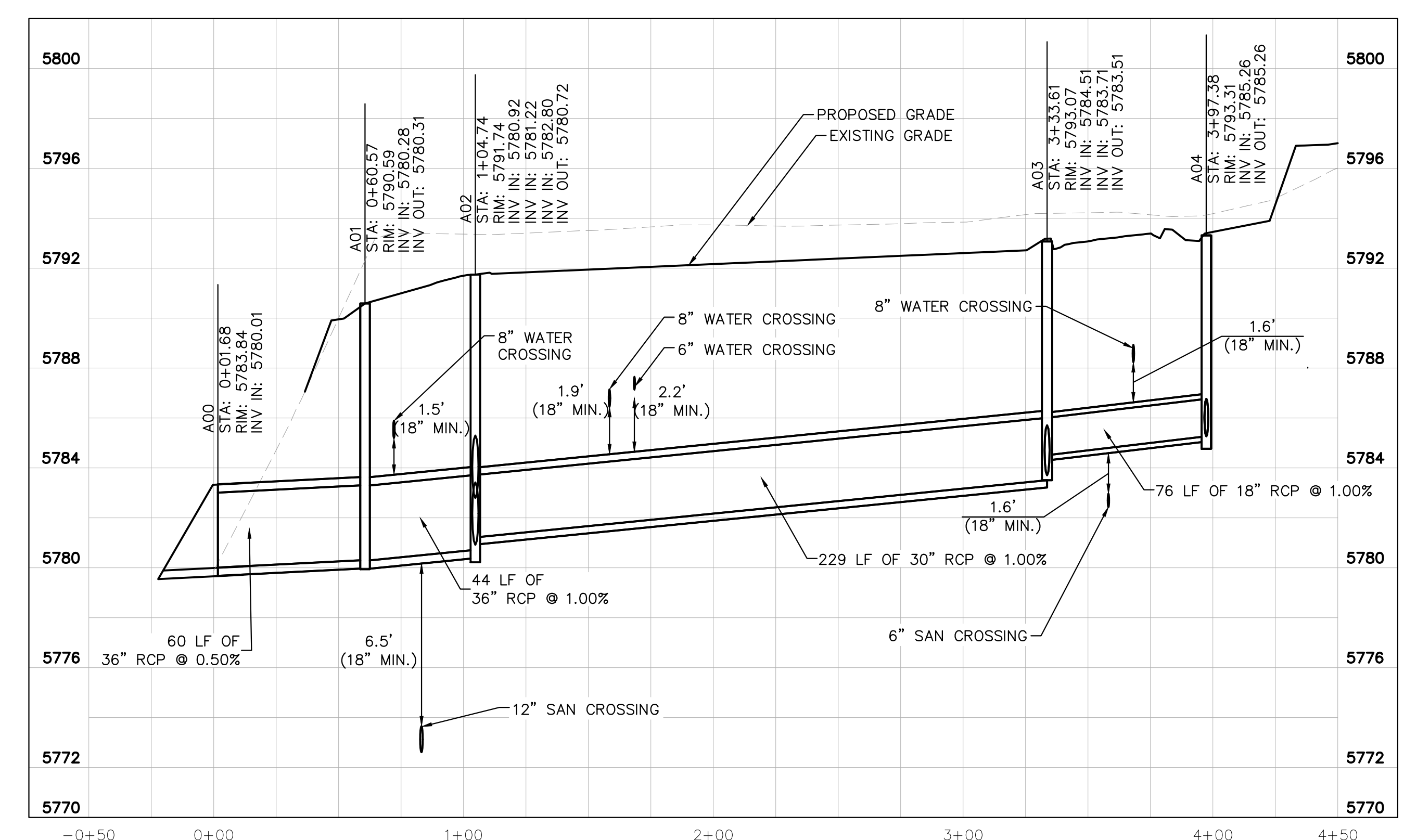
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 096502001GD
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STRUCTURE TABLE		
STRUCTURE NAME:	DESCRIPTION:	LOCATION:
A00	OUTLET	N: 11940.6071 E: 50137.5692
A01	TYPE R 10' INLET	N: 12000.1427 E: 50137.5726
A02	TYPE R MODIFIED INLET	N: 12044.3094 E: 50137.5726
A03	5' DIA MANHOLE	N: 12273.1682 E: 50135.4060
A04	TYPE R 5' INLET	N: 12348.8235 E: 50137.5726
A05	5' DIA MANHOLE	N: 12348.8235 E: 50120.7393
B00	TYPE R 10' INLET	N: 12026.8637 E: 49987.5740
B01	5' DIA MANHOLE	N: 12060.7173 E: 50001.3228
B02	5' DIA MANHOLE	N: 12044.1939 E: 50178.4126
B03	TYPE R 5' INLET	N: 12046.5109 E: 50366.5611
B04	5' DIA MANHOLE	N: 12102.1929 E: 50421.7791
B05	TYPE R 5' INLET	N: 12092.1007 E: 50606.3725
B05.1	5' DIA MANHOLE	N: 12133.6552 E: 50606.5543
B06	5' DIA MANHOLE	N: 12071.7851 E: 50650.2930
B07	5' DIA MANHOLE	N: 11963.3147 E: 50650.2930
B07.1	5' DIA MANHOLE	N: 11963.3062 E: 50685.9988
B08	TYPE R 10' INLET	N: 11907.6200 E: 50652.4644
B08.1	5' DIA MANHOLE	N: 11907.6120 E: 50685.9988
C00	TYPE R 5' INLET	N: 12284.8966 E: 50176.9060
C00.1	5' DIA MANHOLE	N: 12326.5470 E: 50181.6014
C01	TYPE R 5' MANHOLE	N: 12284.2299 E: 50375.1453
C01.1	5' DIA MANHOLE	N: 12328.8687 E: 50374.9646
D00	OUTLET	N: 11849.1405 E: 50322.3179
D01	5' DIA MANHOLE	N: 11849.2713 E: 50430.9191



STORM LINE A PROFILE [STA 0+00 TO 4+50]

HORIZONTAL SCALE: 1"=40'
VERTICAL SCALE: 1"=4'

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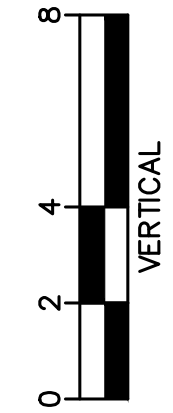
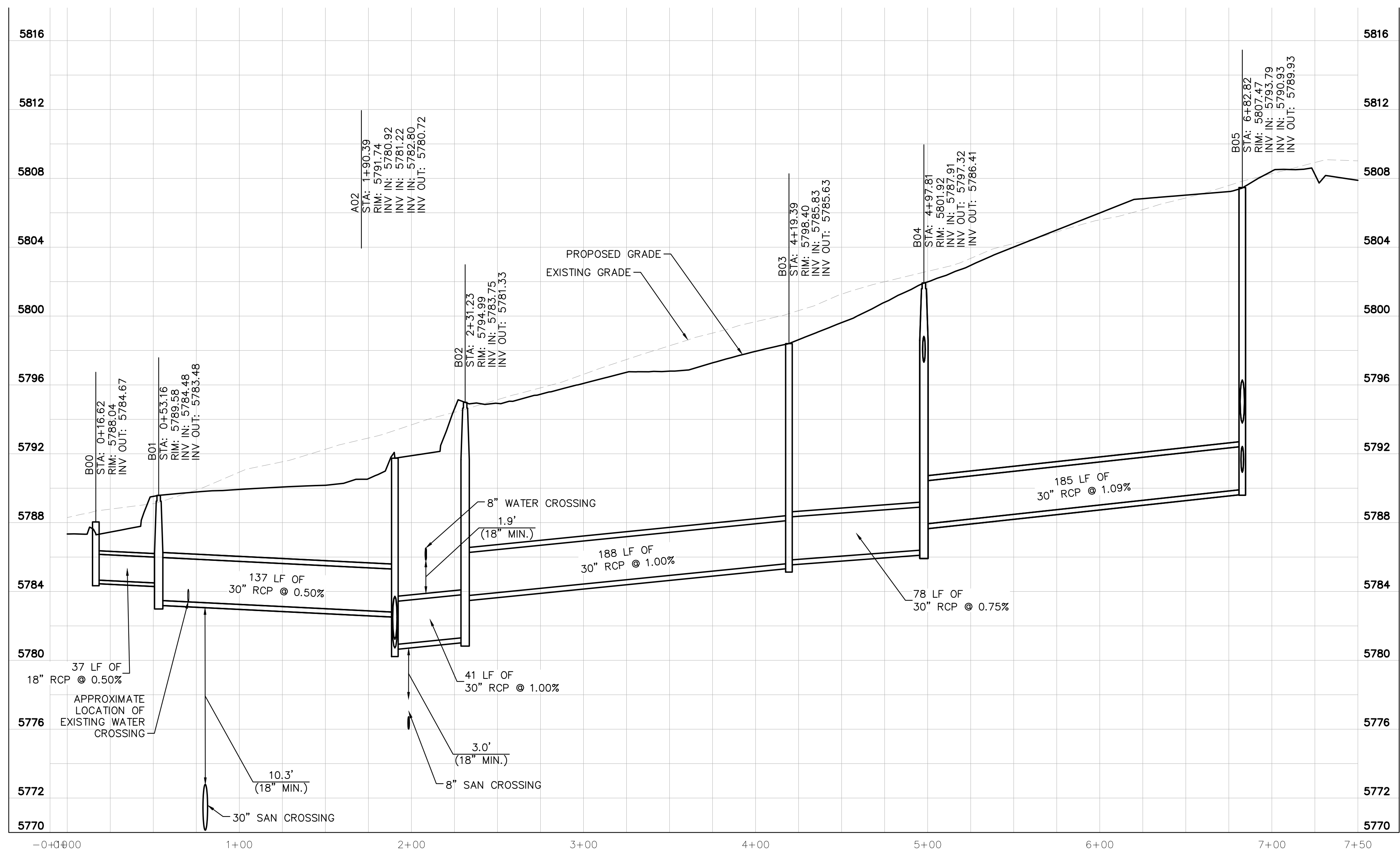
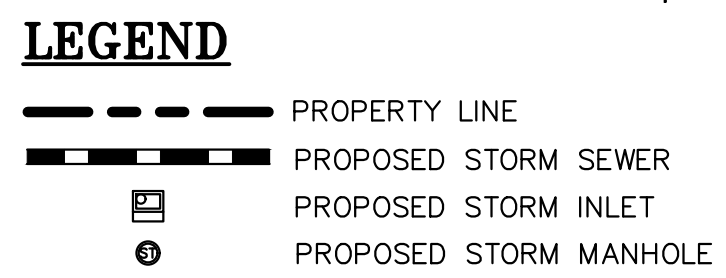
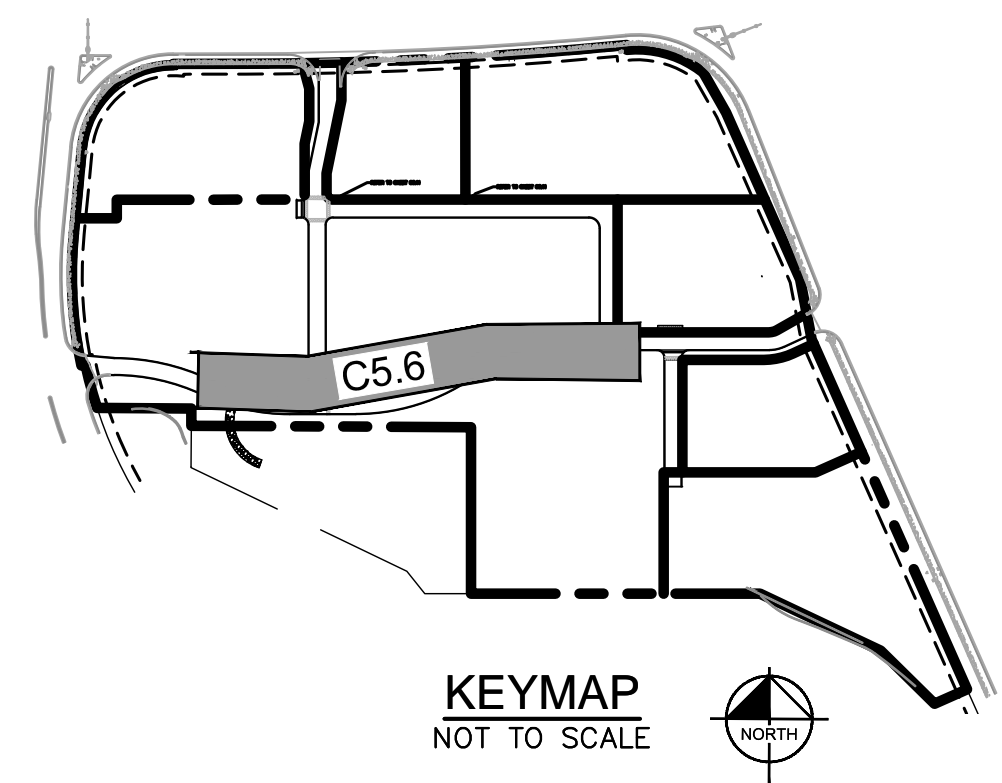
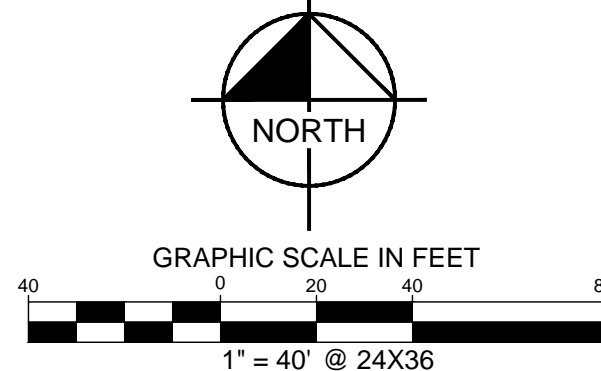
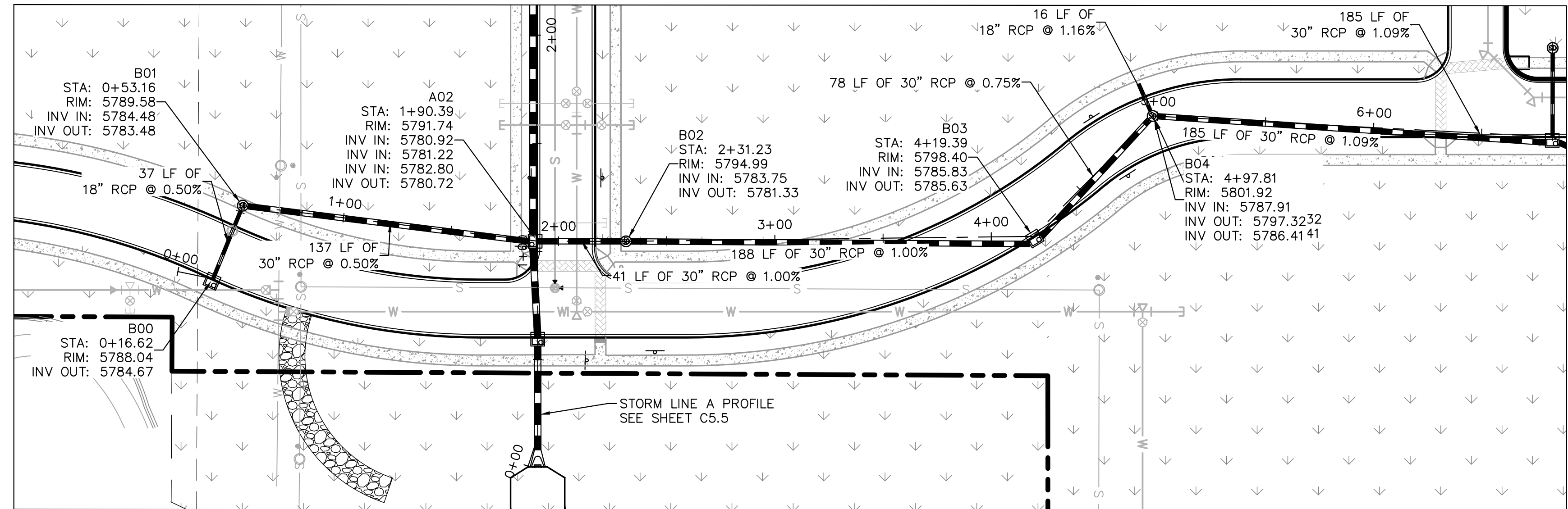
PARKER & PINE
 PARKER, CO
 CONSTRUCTION DOCUMENTS
STORM-A PLAN AND PROFILE

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Kimley»Horn
 Kimley-Horn and Associates, Inc.

PROJECT NO.
096502001
 DRAWING NAME
096502001ST
C5.5



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STRUCTURE TABLE		
STRUCTURE NAME:	DESCRIPTION:	LOCATION:
A00	OUTLET	N: 11940.6071 E: 50137.5692
A01	TYPE R 10' INLET	N: 12000.1427 E: 50137.5726
A02	TYPE R MODIFIED INLET	N: 12044.3094 E: 50137.5726
A03	5' DIA MANHOLE	N: 12273.1682 E: 50135.4060
A04	TYPE R 5' INLET	N: 12348.8235 E: 50137.5726
A05	5' DIA MANHOLE	N: 12348.8235 E: 50120.7393
B00	TYPE R 10' INLET	N: 12026.8637 E: 49987.5740
B01	5' DIA MANHOLE	N: 12060.7173 E: 50001.3228
B02	5' DIA MANHOLE	N: 12044.1939 E: 50178.4126
B03	TYPE R 5' INLET	N: 12046.5109 E: 50366.5611
B04	5' DIA MANHOLE	N: 12102.1929 E: 50421.7791
B05	TYPE R 5' INLET	N: 12092.1007 E: 50606.5543
B05.1	5' DIA MANHOLE	N: 12133.6552 E: 50606.5543
B06	5' DIA MANHOLE	N: 12071.7851 E: 50650.2930
B07	5' DIA MANHOLE	N: 11963.3147 E: 50685.9988
B07.1	5' DIA MANHOLE	N: 11963.3062 E: 50685.9988
B08	TYPE R 10' INLET	N: 11907.6200 E: 50652.4644
B08.1	5' DIA MANHOLE	N: 11907.6120 E: 50685.9988
C00	TYPE R 5' INLET	N: 12284.8966 E: 50176.9060
C00.1	5' DIA MANHOLE	N: 12326.5470 E: 50181.6014
C01	TYPE R 5' MANHOLE	N: 12284.2299 E: 50375.1453
C01.1	5' DIA MANHOLE	N: 12328.8687 E: 50374.9646
D00	OUTLET	N: 11849.1405 E: 50322.3179
D01	5' DIA MANHOLE	N: 11849.2713 E: 50430.9191

STORM LINE B PROFILE [STA 0+00 TO 7+00]

HORIZONTAL SCALE: 1"=40'
VERTICAL SCALE: 1"=4'

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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____



NO. _____ REVISION _____ BY _____ DATE _____

2019 KIMLEY-HORN AND ASSOCIATES, INC.
4582 South Ulster Street, Suite 1500
Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
DRAWN BY: ECZ
CHECKED BY: DLS
DATE: 11/14/19

PARKER & PINE
PARKER, CO
CONSTRUCTION DOCUMENTS
STORM-B PLAN AND PROFILE

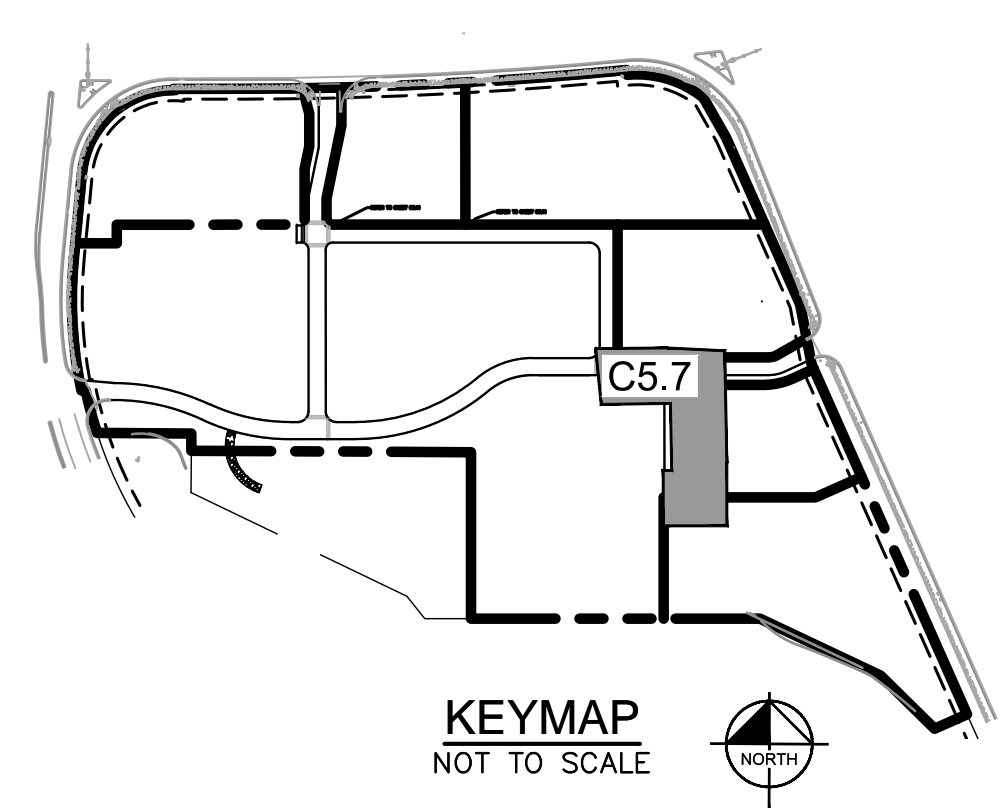
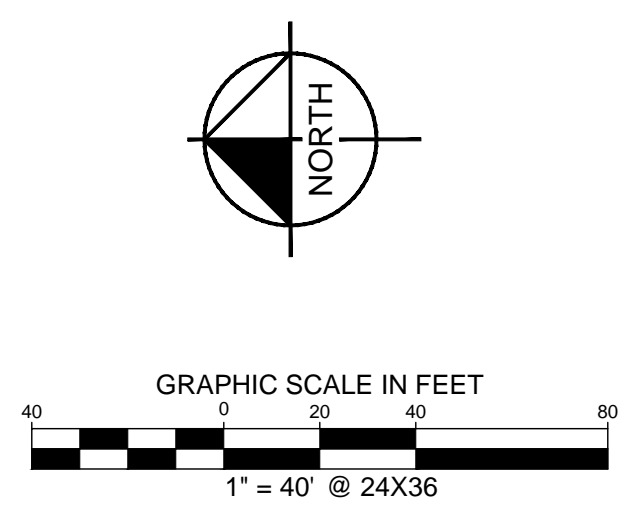
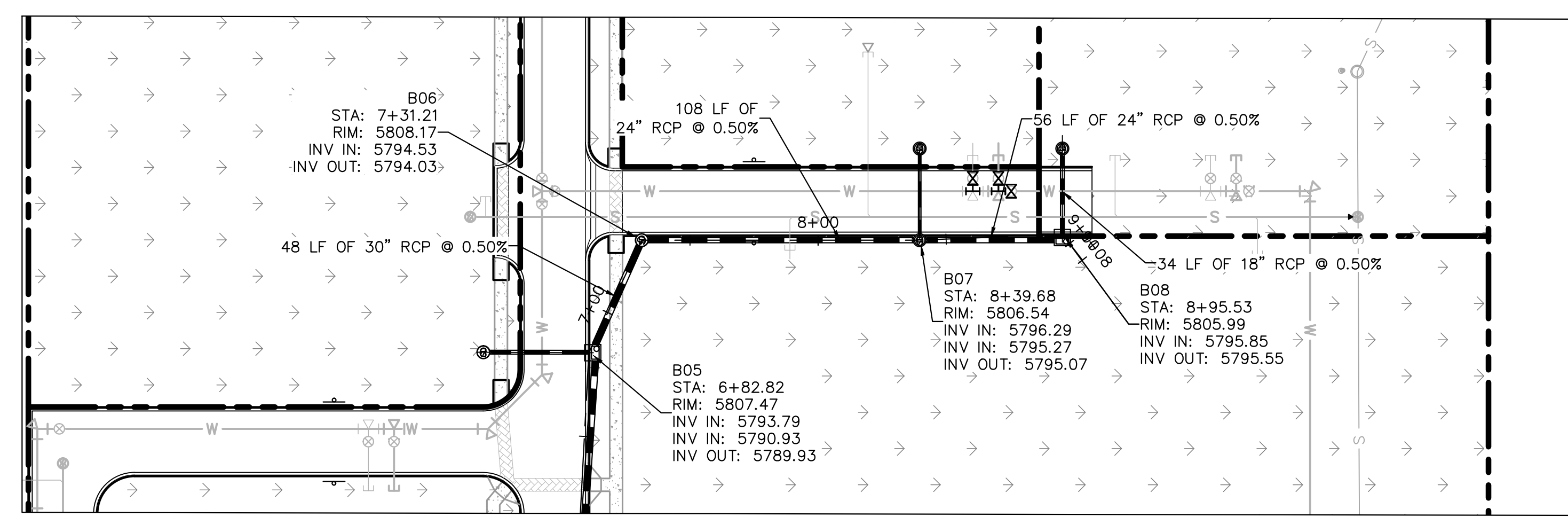
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PROJECT NO.
096502001

DRAWING NAME
096502001ST

C5.6

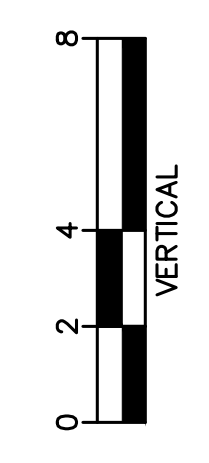
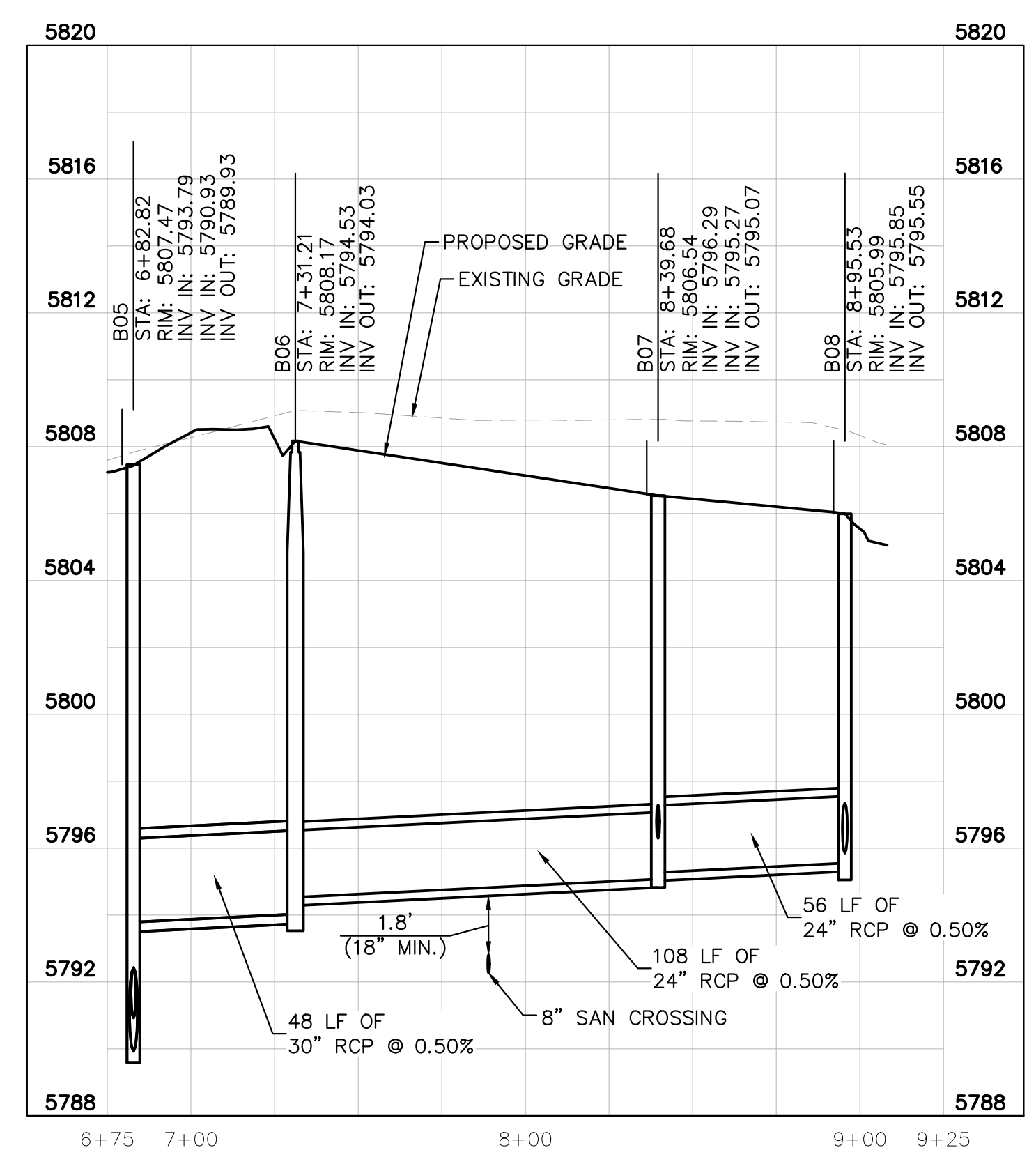
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LEGEND

- PROPERTY LINE
- PROPOSED STORM SEWER
- PROPOSED STORM INLET
- PROPOSED STORM MANHOLE

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D00	OUTLET	N: 11849.1405 E: 50322.3179
D01	5" DIA MANHOLE	N: 11849.2713 E: 50430.9191



STORM LINE B PROFILE [STA 7+00 TO 9+00]

HORIZONTAL SCALE: 1"=40'
 VERTICAL SCALE: 1"=4'

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NO.	REVISION	BY	DATE	APPR

Kimley»Horn
 2019 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: ECZ
 CHECKED BY: DLS
 DATE: 11/14/19

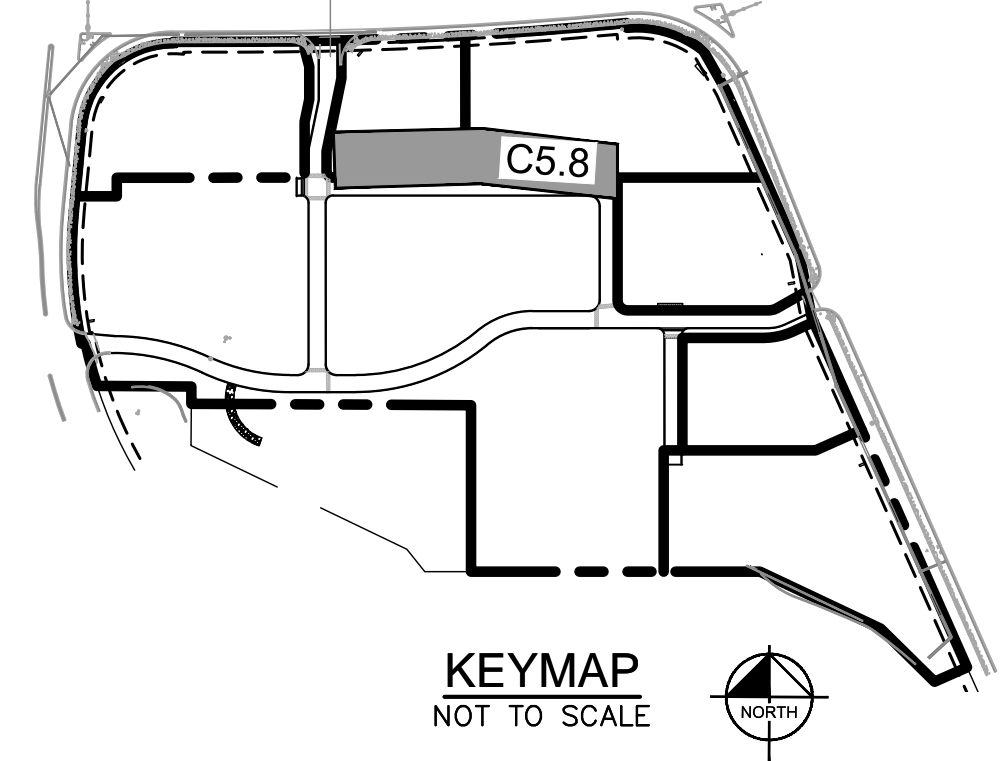
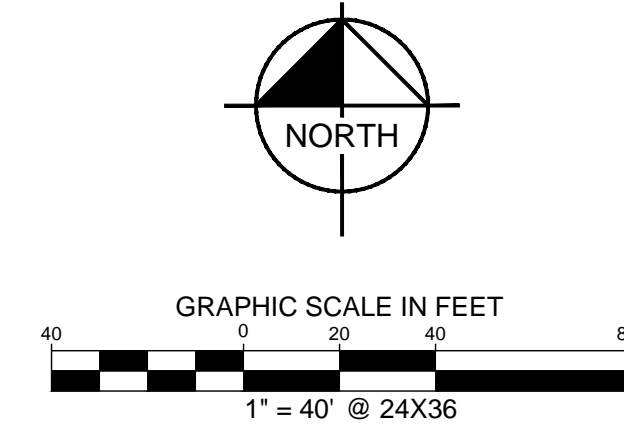
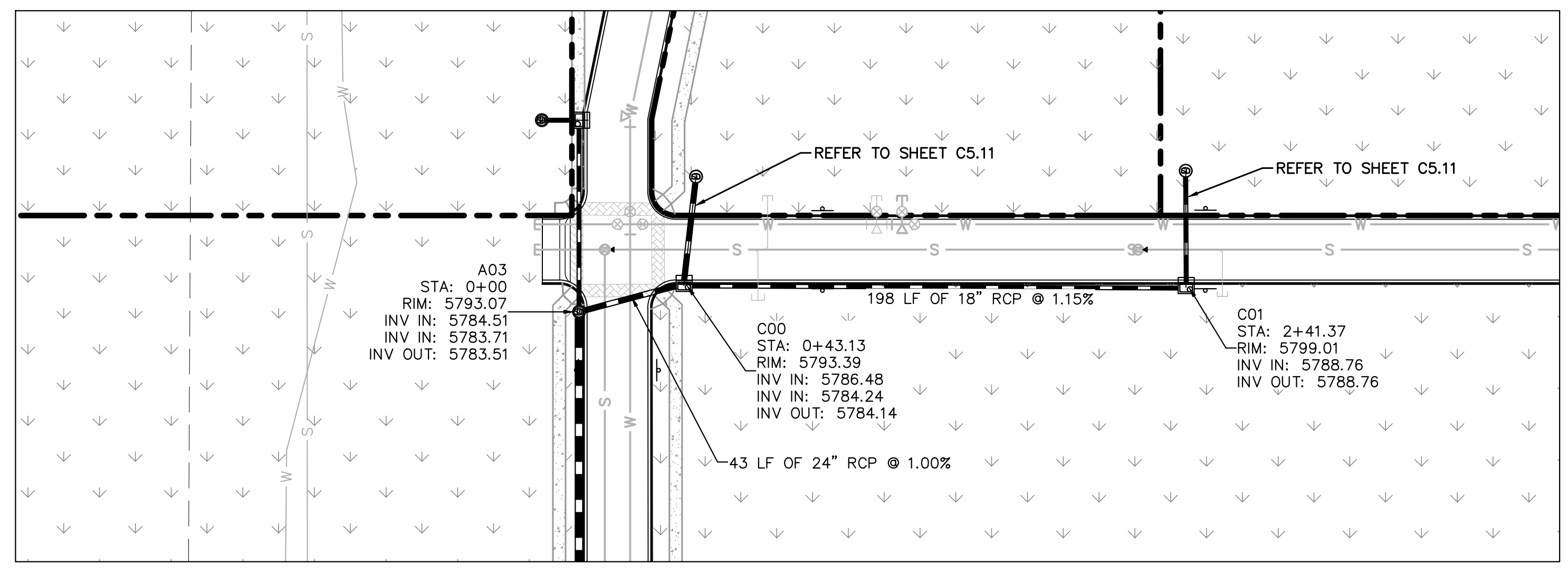
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STORM-B PLAN AND PROFILE

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 Kimley-Horn and Associates, Inc.

PROJECT NO.
 096502001
 DRAWING NAME
 096502001ST
C5.7



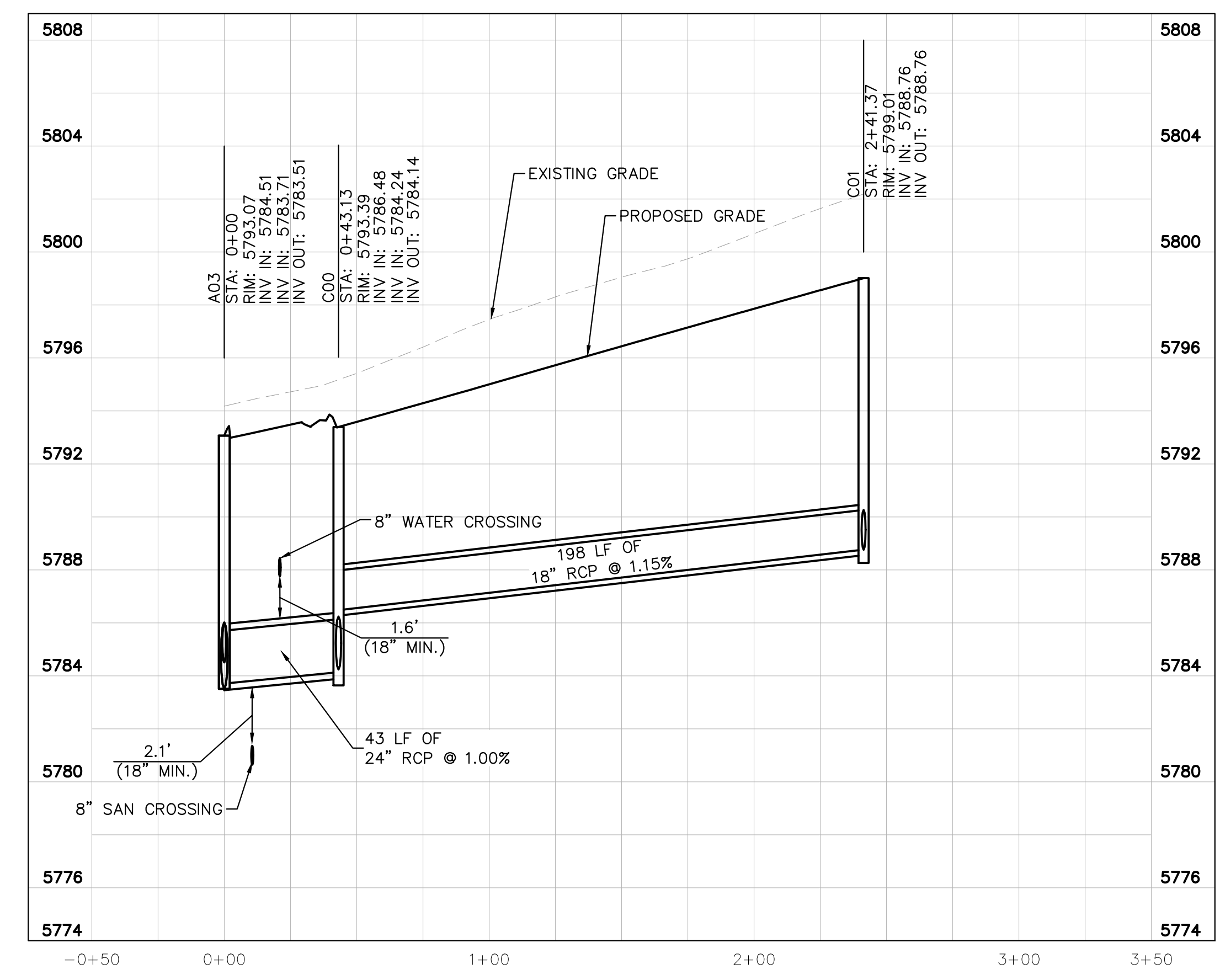
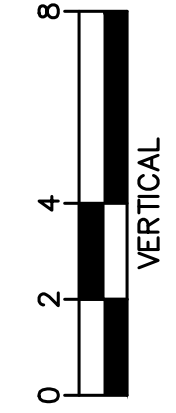
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LEGEND

- PROPERTY LINE
- PROPOSED STORM SEWER
- PROPOSED STORM INLET
- ⊙ PROPOSED STORM MANHOLE

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B08	TYPE R 10' INLET	N: 11907.6200 E: 50652.4644
B08.1	5' DIA MANHOLE	N: 11907.6120 E: 50685.9988
C00	TYPE R 5' INLET	N: 12284.8966 E: 50176.9060
C00.1	5' DIA MANHOLE	N: 12326.5470 E: 50181.6014
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C01.1	5' DIA MANHOLE	N: 12328.8687 E: 50374.9646
D00	OUTLET	N: 11849.1405 E: 50322.3179
D01	5' DIA MANHOLE	N: 11849.2713 E: 50430.9191



STORM LINE C PROFILE [STA 5+00 TO 10+00]

HORIZONTAL SCALE: 1"=40'
 VERTICAL SCALE: 1"=4'

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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

NO.	REVISION	BY	DATE	APPR

Kimley»Horn
 2019 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: ECZ
 CHECKED BY: DLS
 DATE: 11/14/19

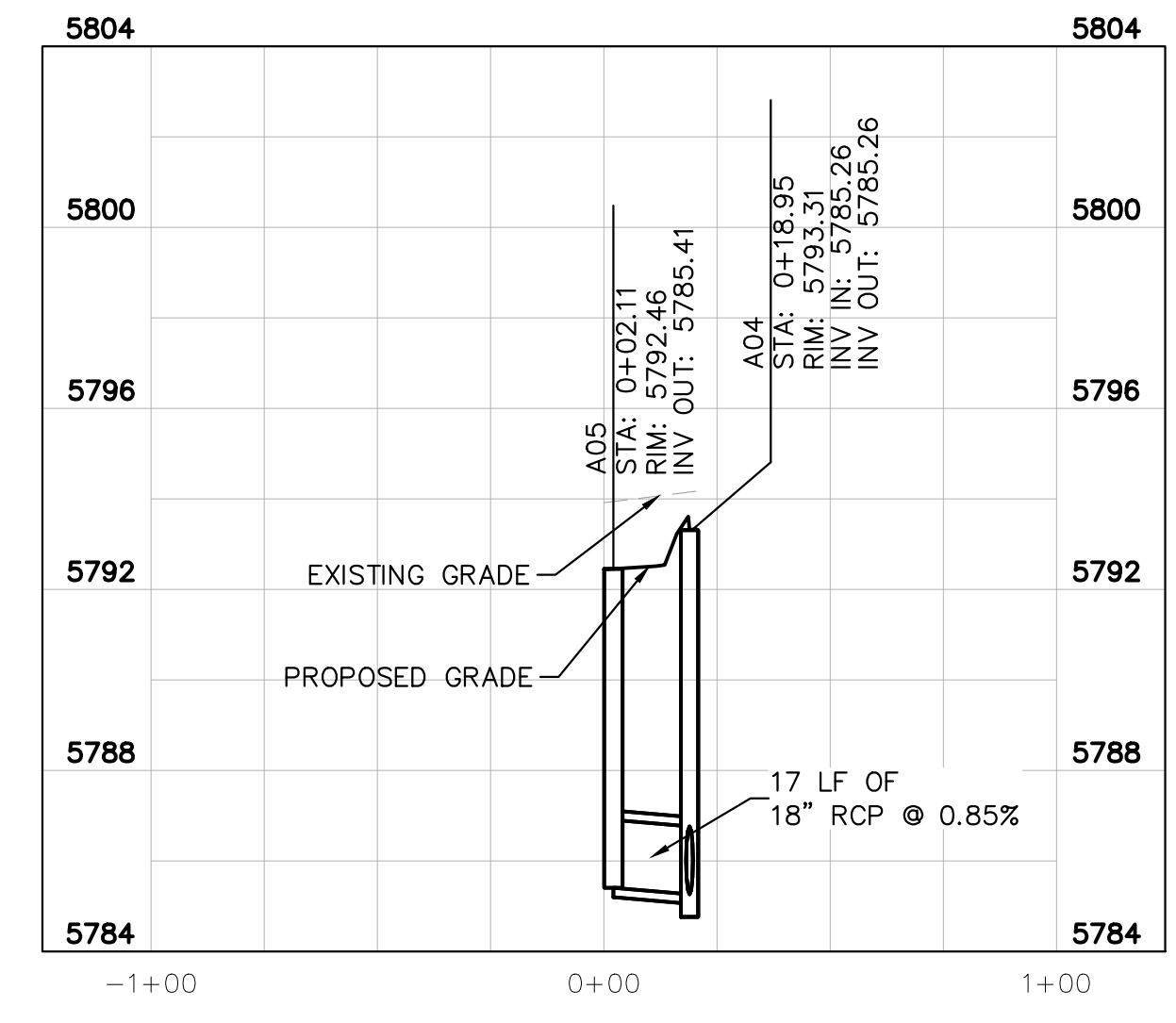
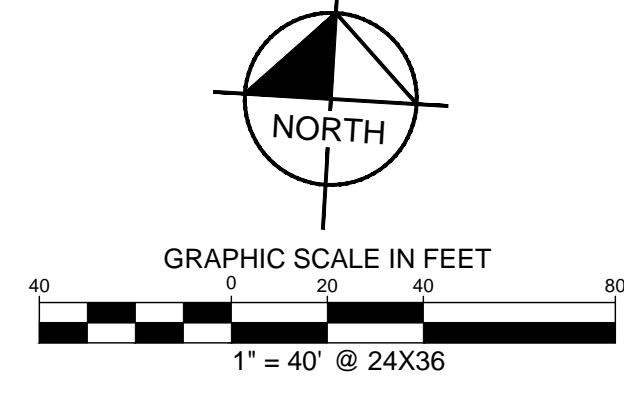
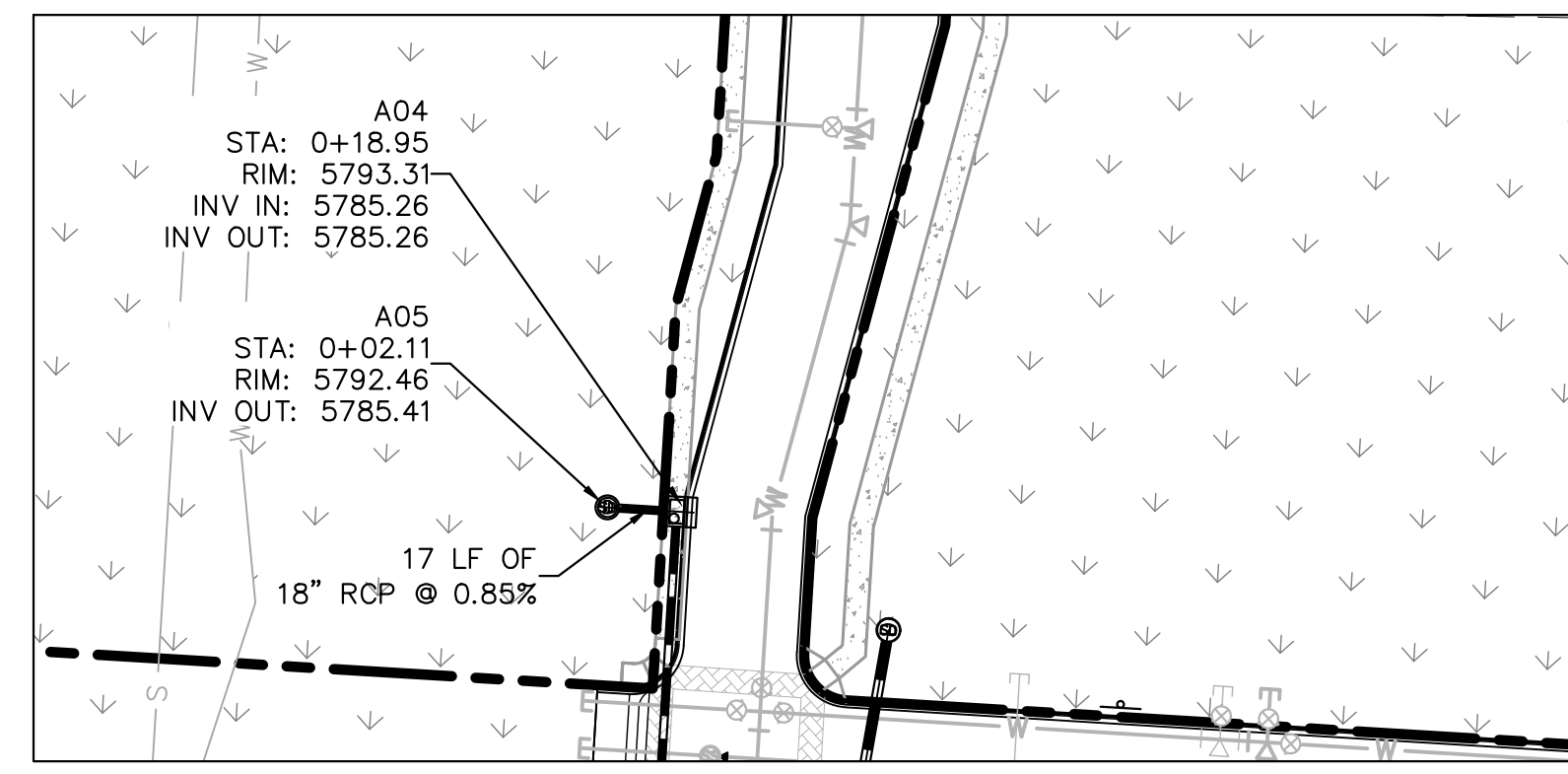
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 PARKER, CO
 CONSTRUCTION DOCUMENTS
STORM-C PLAN AND PROFILE

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PROJECT NO.
 096502001
 DRAWING NAME
 096502001ST
C5.8

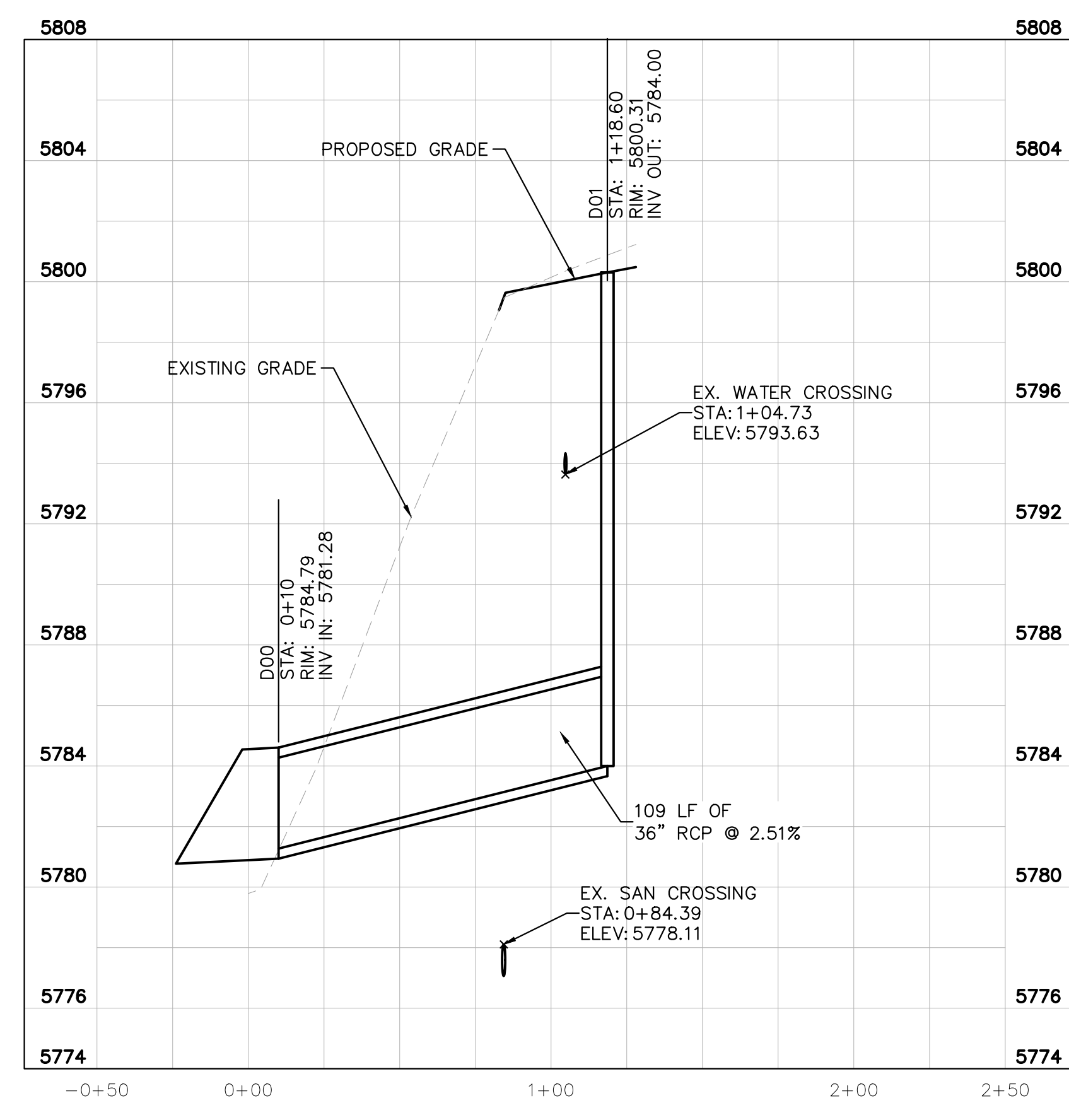
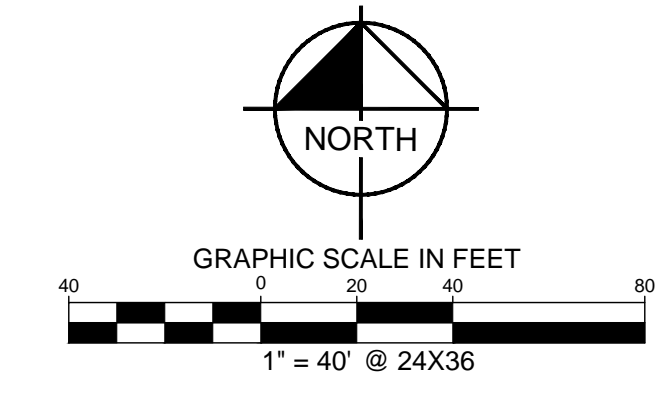
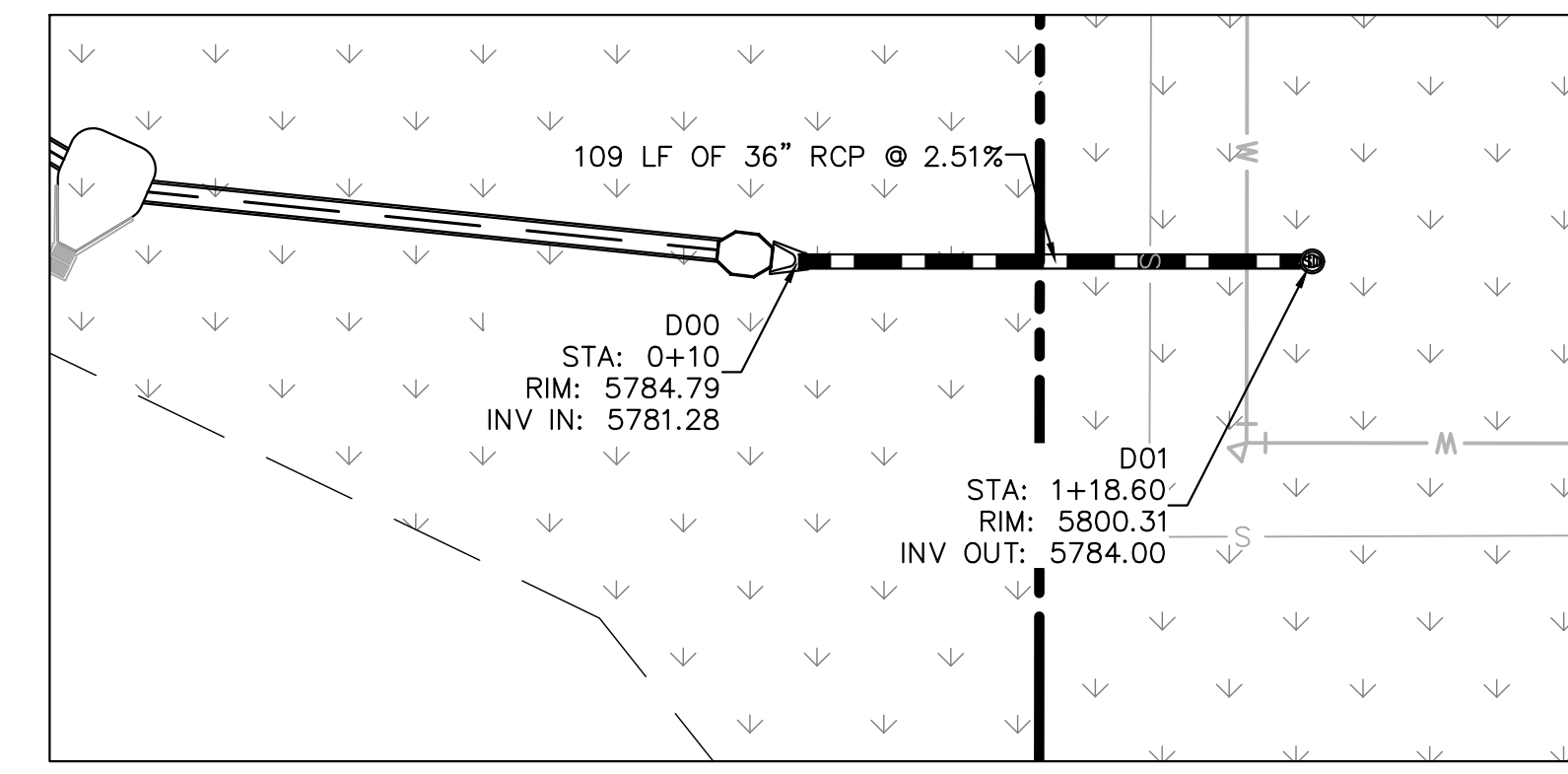


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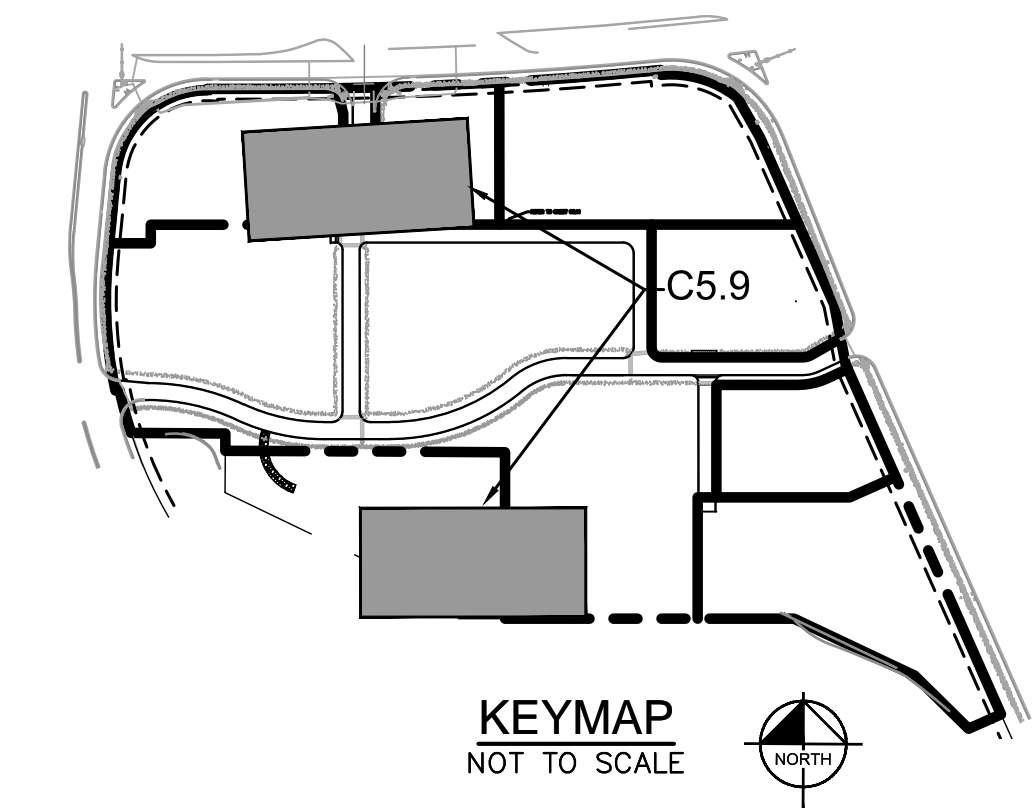
STORM LATERAL A.1 PROFILE
 [STA 0+00 TO 0+25]

HORIZONTAL SCALE: 1"=40'
 VERTICAL SCALE: 1"=4'



STORM LATERAL D PROFILE
 [STA -0+50 TO 1+50]

HORIZONTAL SCALE: 1"=40'
 VERTICAL SCALE: 1"=4'



- LEGEND**
- PROPERTY LINE
 - PROPOSED STORM SEWER
 - PROPOSED STORM INLET
 - PROPOSED STORM MANHOLE

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Kimley»Horn
 2019 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: ECZ
 CHECKED BY: DLS
 DATE: 11/14/19

PARKER & PINE
 PARKER, CO
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STORM-A LATERALS PLAN AND PROFILE

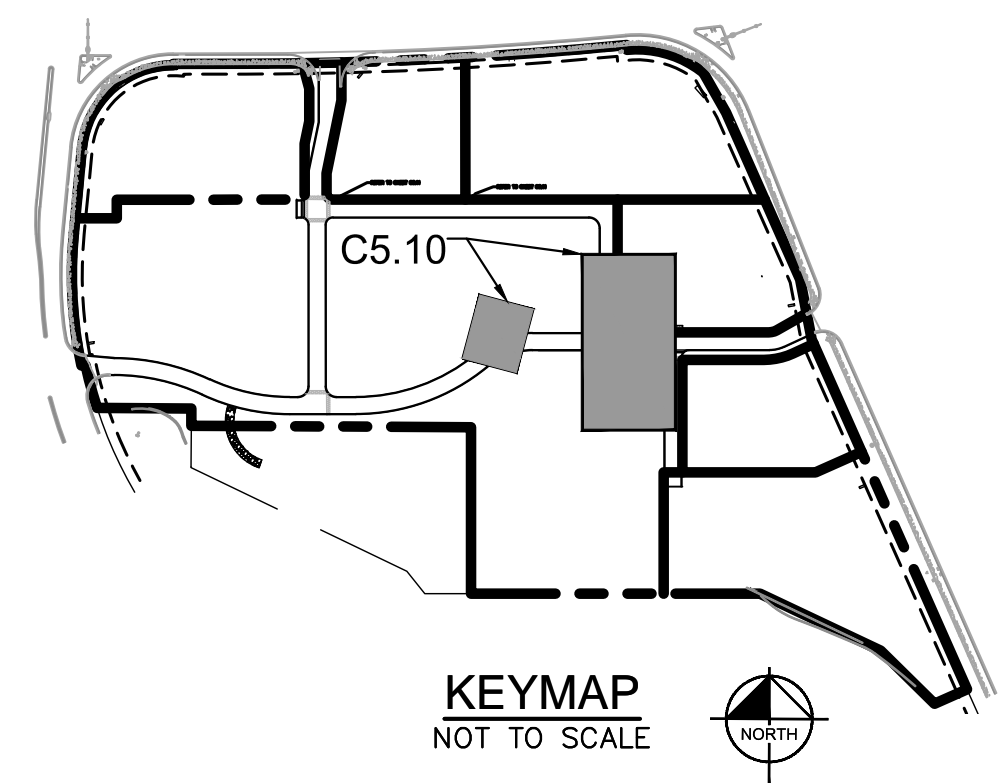
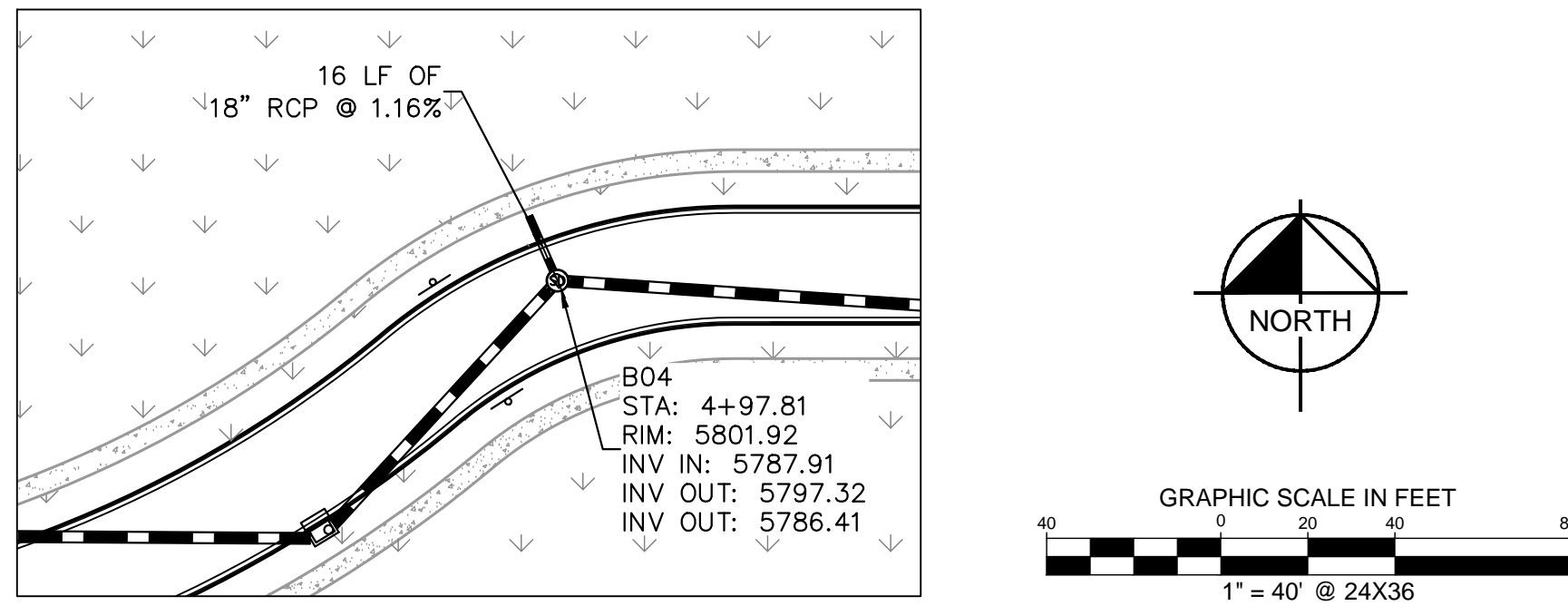
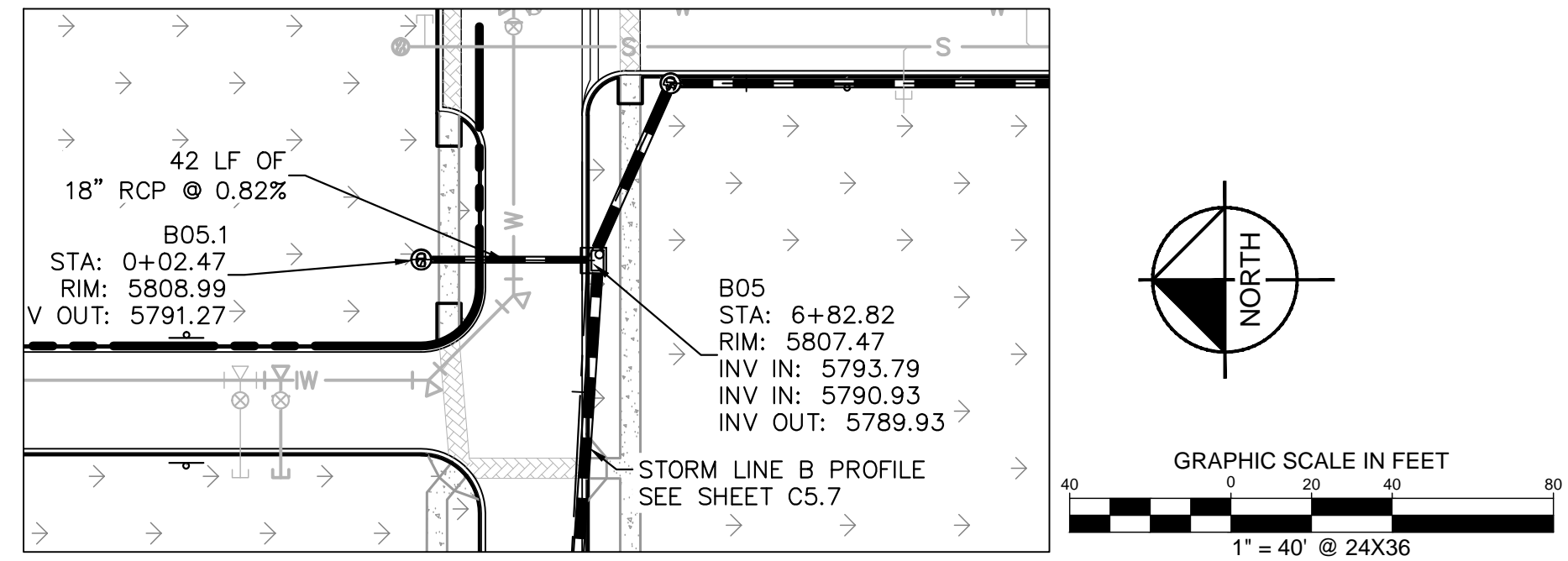
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 Kimley-Horn and Associates, Inc.

PROJECT NO.
 096502001

 DRAWING NAME
 096502001ST

C5.9

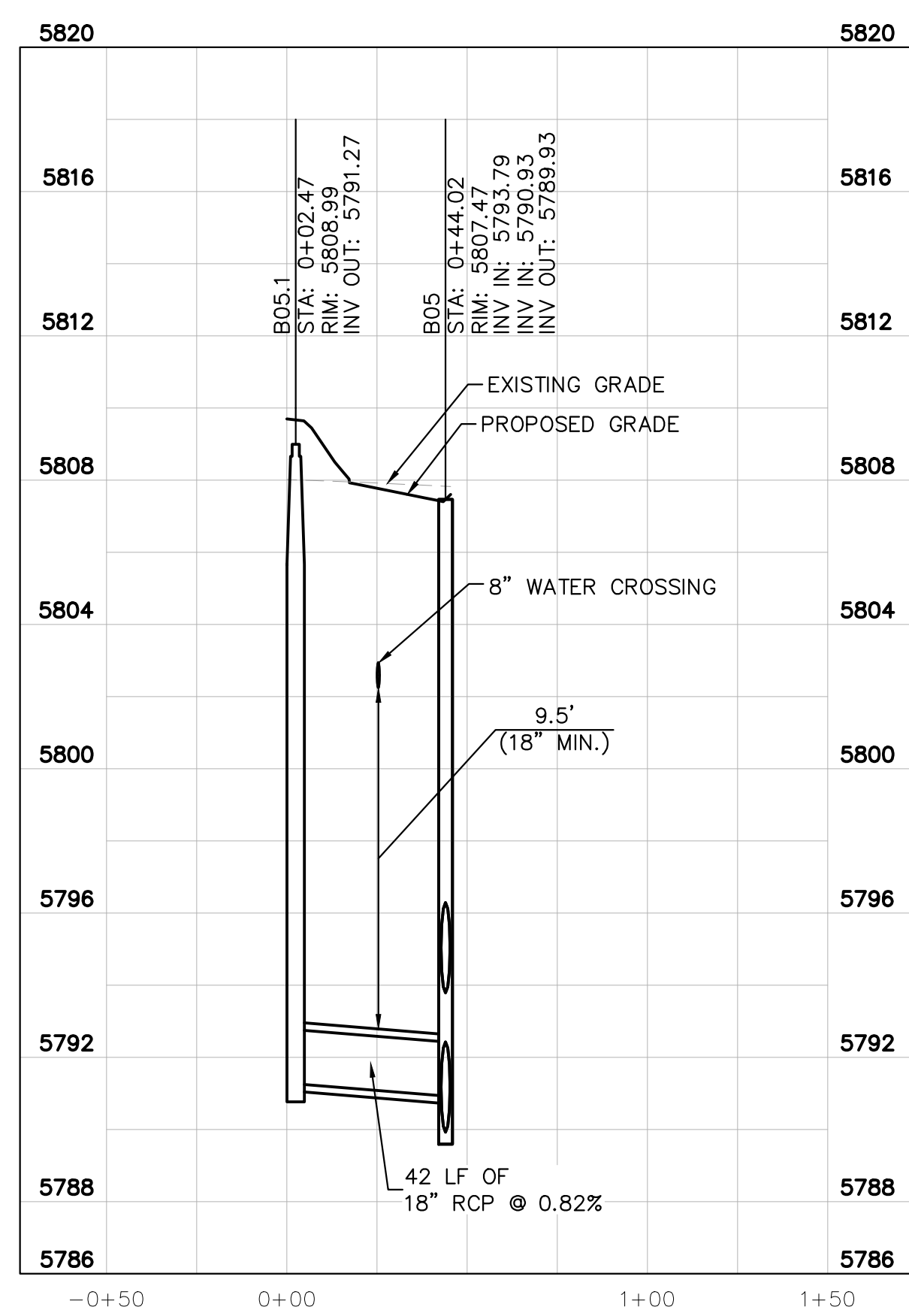
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LEGEND

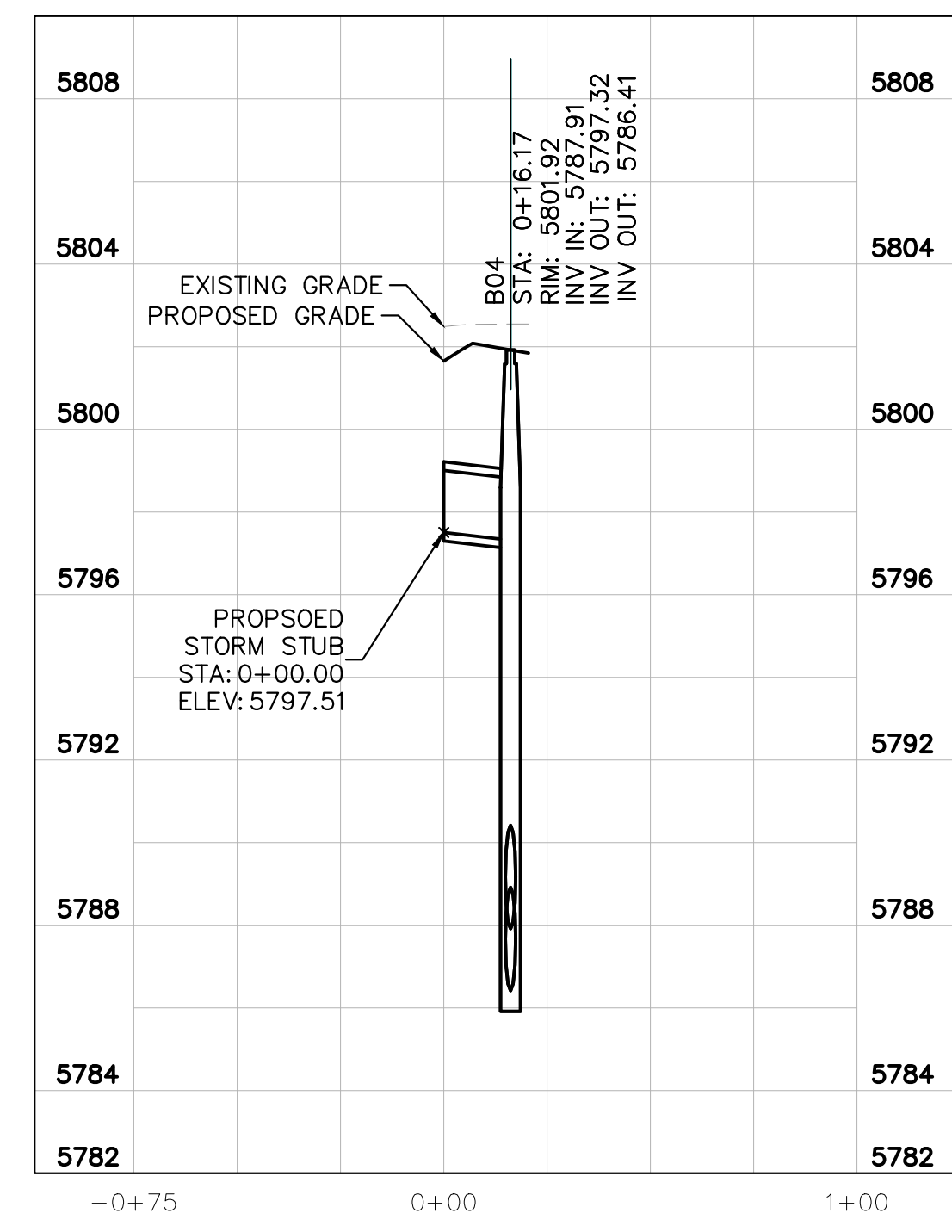
- PROPERTY LINE
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A05	5' DIA MANHOLE	N: 12348.8235 E: 50120.7393
B00	TYPE R 10' INLET	N: 12026.8637 E: 49987.5740
B01	5' DIA MANHOLE	N: 12060.7173 E: 50001.3228
B02	5' DIA MANHOLE	N: 12044.1939 E: 50178.4126
B03	TYPE R 5' INLET	N: 12046.5109 E: 50366.5611
B04	5' DIA MANHOLE	N: 12102.1929 E: 50421.7791
B05	TYPE R 5' INLET	N: 12092.1007 E: 50606.3725
B05.1	5' DIA MANHOLE	N: 12133.6552 E: 50606.5543
B06	5' DIA MANHOLE	N: 12071.7851 E: 50650.2930
B07	5' DIA MANHOLE	N: 11963.3147 E: 50650.2930
B07.1	5' DIA MANHOLE	N: 11963.3062 E: 50685.9988
B08	TYPE R 10' INLET	N: 11907.6200 E: 50652.4644
B08.1	5' DIA MANHOLE	N: 11907.6120 E: 50685.9988
C00	TYPE R 5' INLET	N: 12284.8966 E: 50176.9060
C00.1	5' DIA MANHOLE	N: 12326.5470 E: 50181.6014
C01	TYPE R 5' MANHOLE	N: 12284.2299 E: 50375.1453
C01.1	5' DIA MANHOLE	N: 12328.8687 E: 50374.9646
D00	OUTLET	N: 11849.1405 E: 50322.3179
D01	5' DIA MANHOLE	N: 11849.2713 E: 50430.9191



STORM LATERAL B.1 PROFILE
[STA 0+00 TO 1+00]

HORIZONTAL SCALE: 1"=40'
VERTICAL SCALE: 1"=4'



STORM LATERAL B.4 PROFILE
[STA 0+00 TO 1+00]

HORIZONTAL SCALE: 1"=40'
VERTICAL SCALE: 1"=4'

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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____



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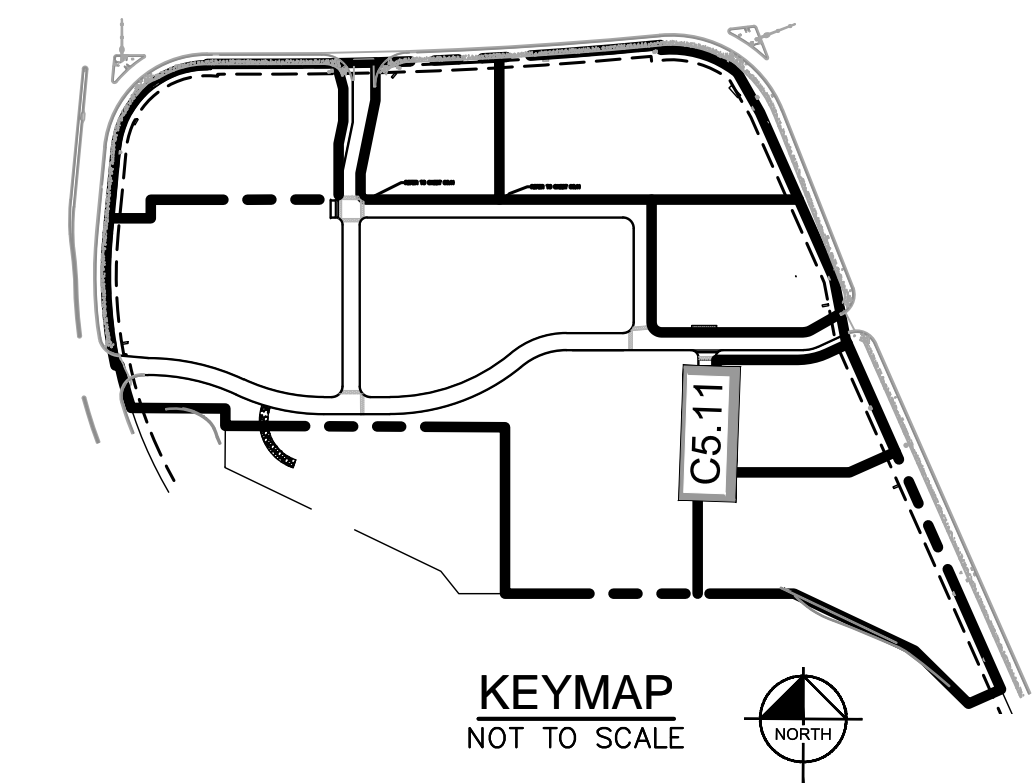
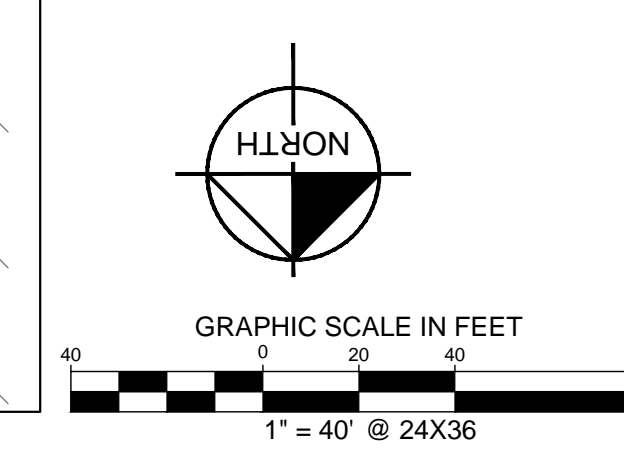
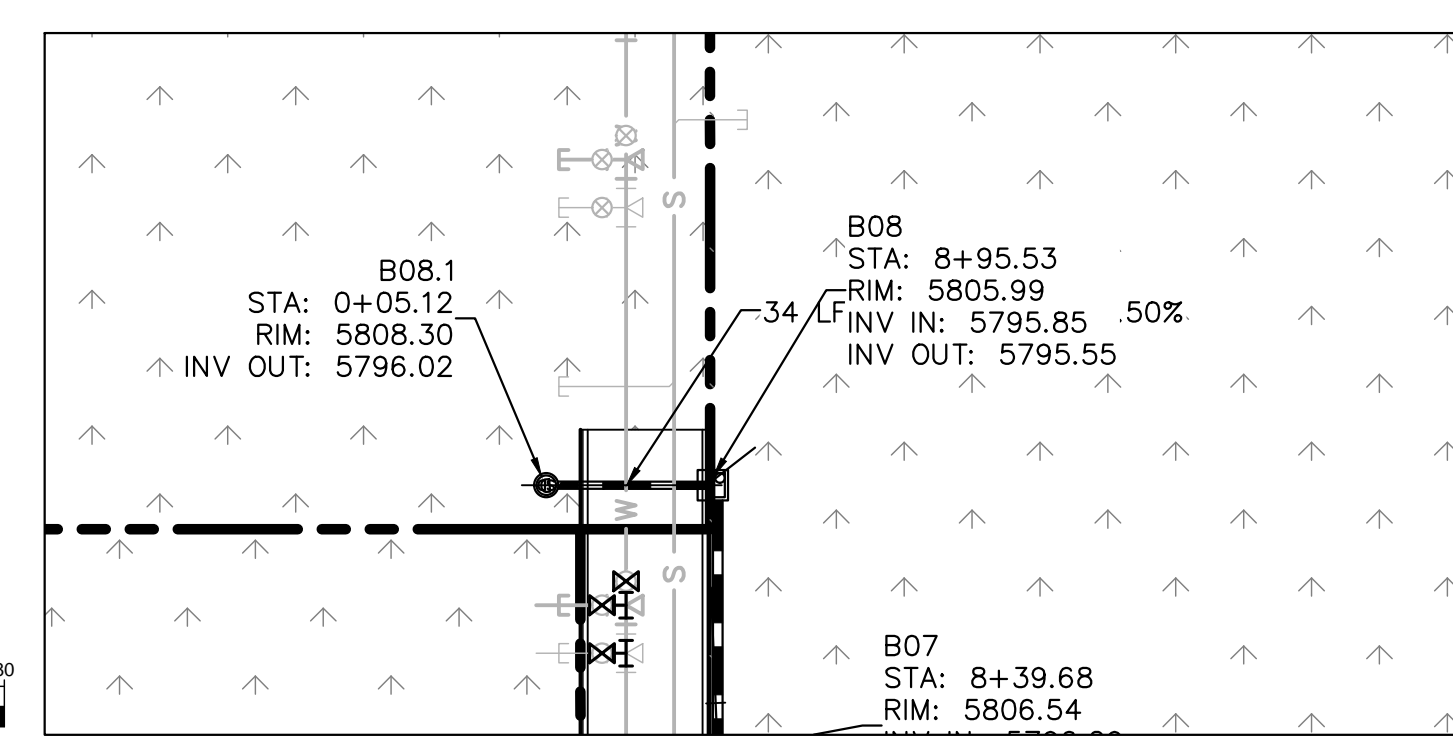
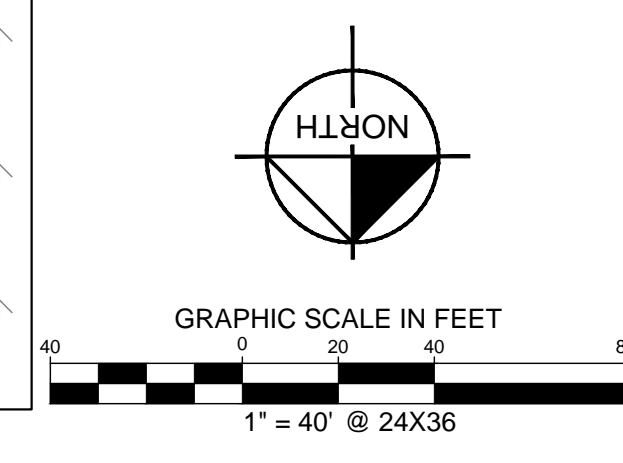
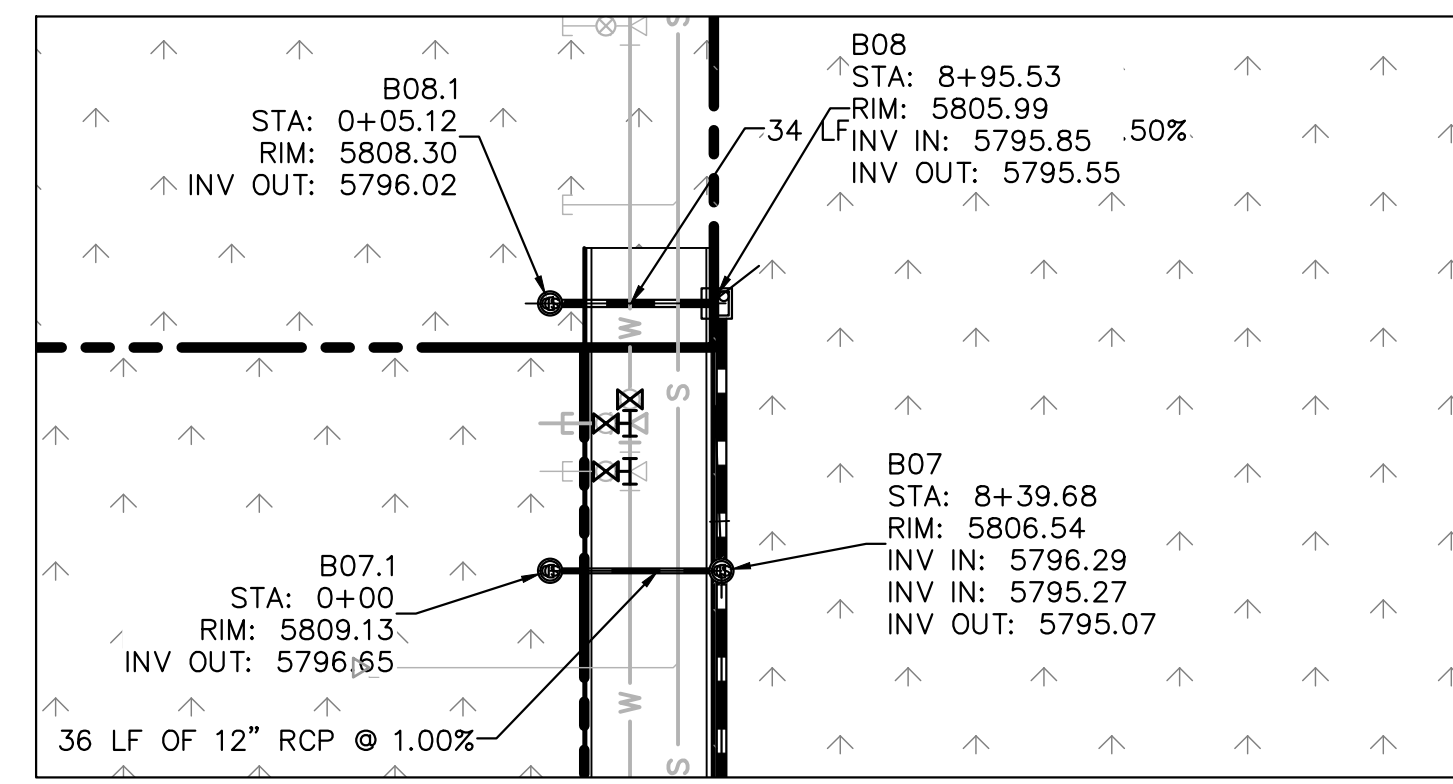
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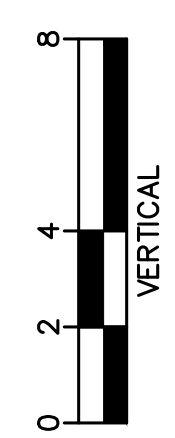
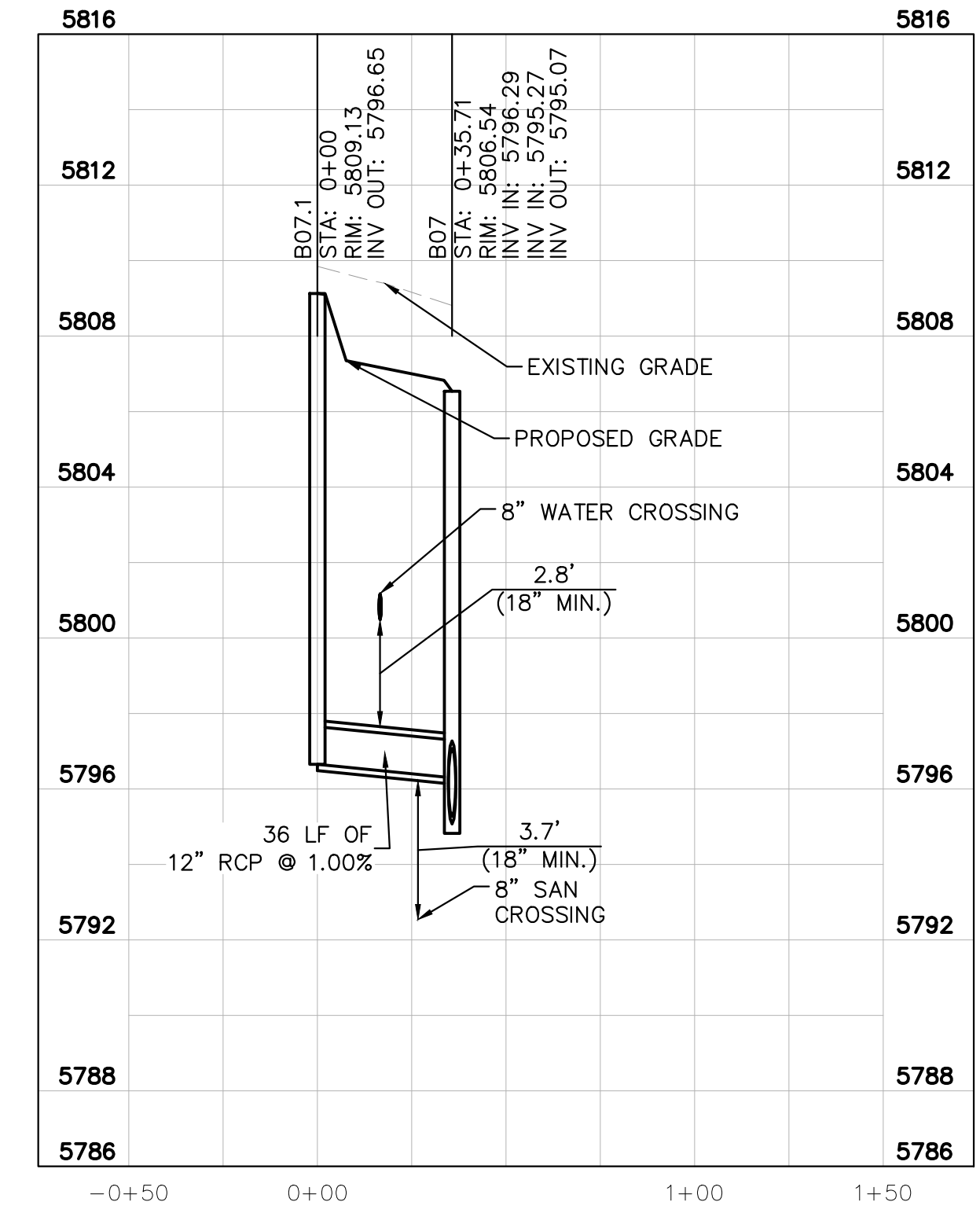
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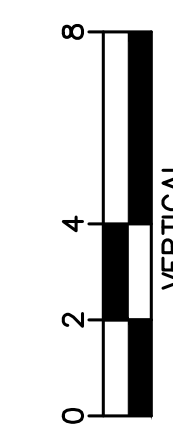
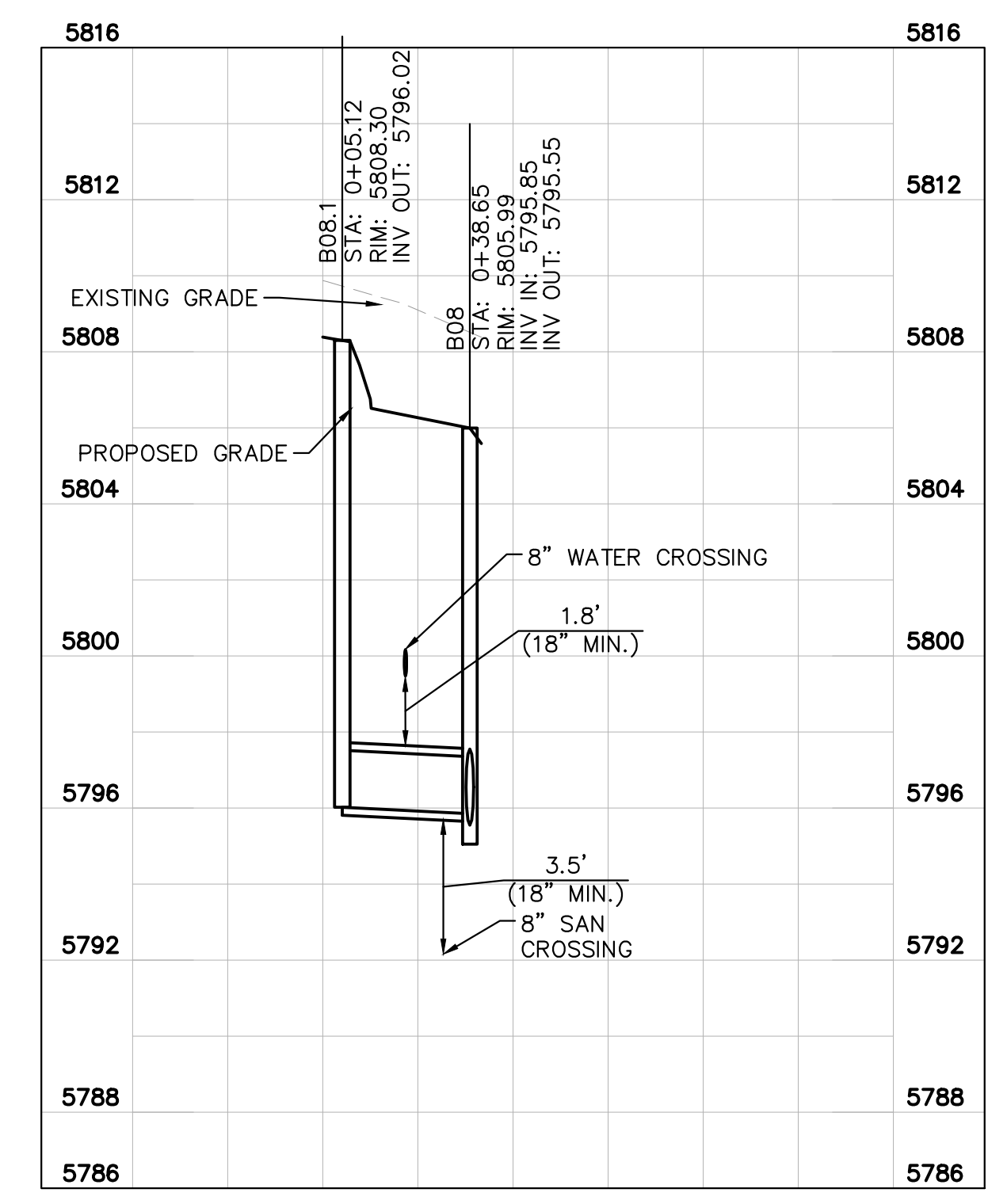
- LEGEND**
- PROPERTY LINE
 - PROPOSED STORM SEWER
 - PROPOSED STORM INLET
 - PROPOSED STORM MANHOLE

STRUCTURE NAME:	DESCRIPTION:	LOCATION:
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D01	5' DIA MANHOLE	N: 11849.2713 E: 50430.9191



STORM LATERAL B.2 PROFILE
[STA 0+00 TO 1+50]

HORIZONTAL SCALE: 1"=40'
VERTICAL SCALE: 1"=4'



STORM LATERAL B.3 PROFILE
[STA 0+00 TO 2+00]

HORIZONTAL SCALE: 1"=40'
VERTICAL SCALE: 1"=4'

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 TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE



NO.	REVISION	BY	DATE

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 Denver, Colorado 80237 (303) 228-2300

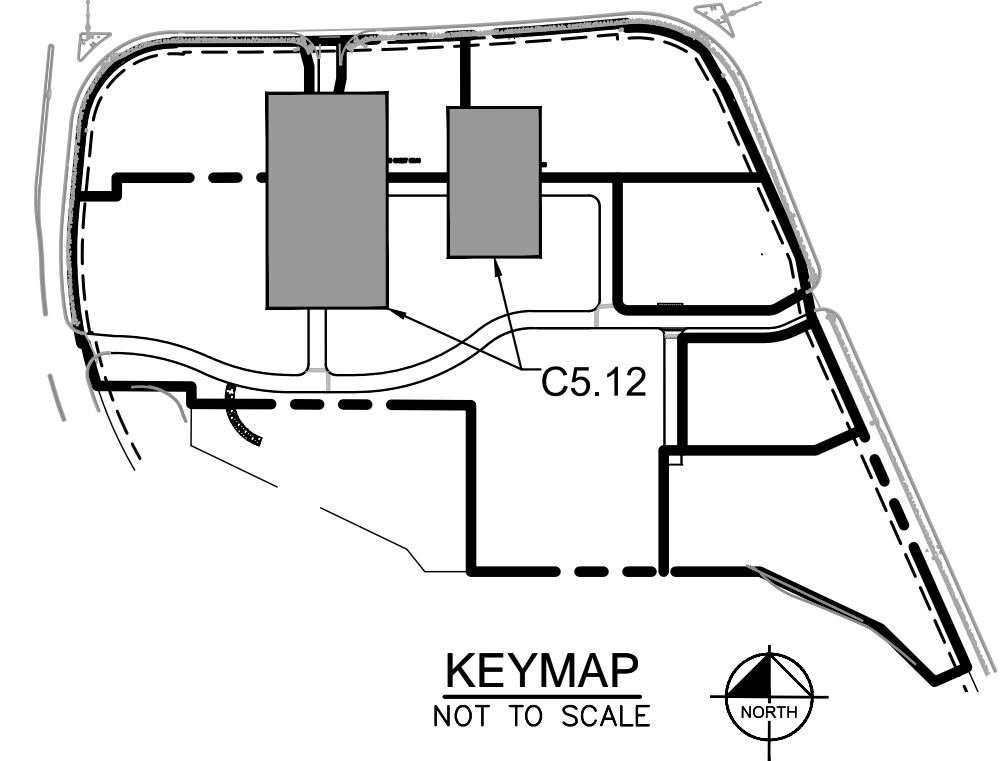
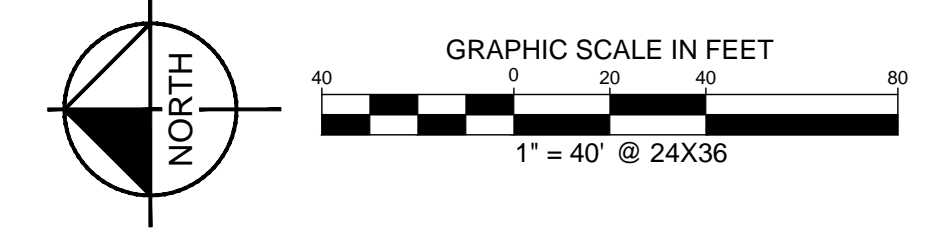
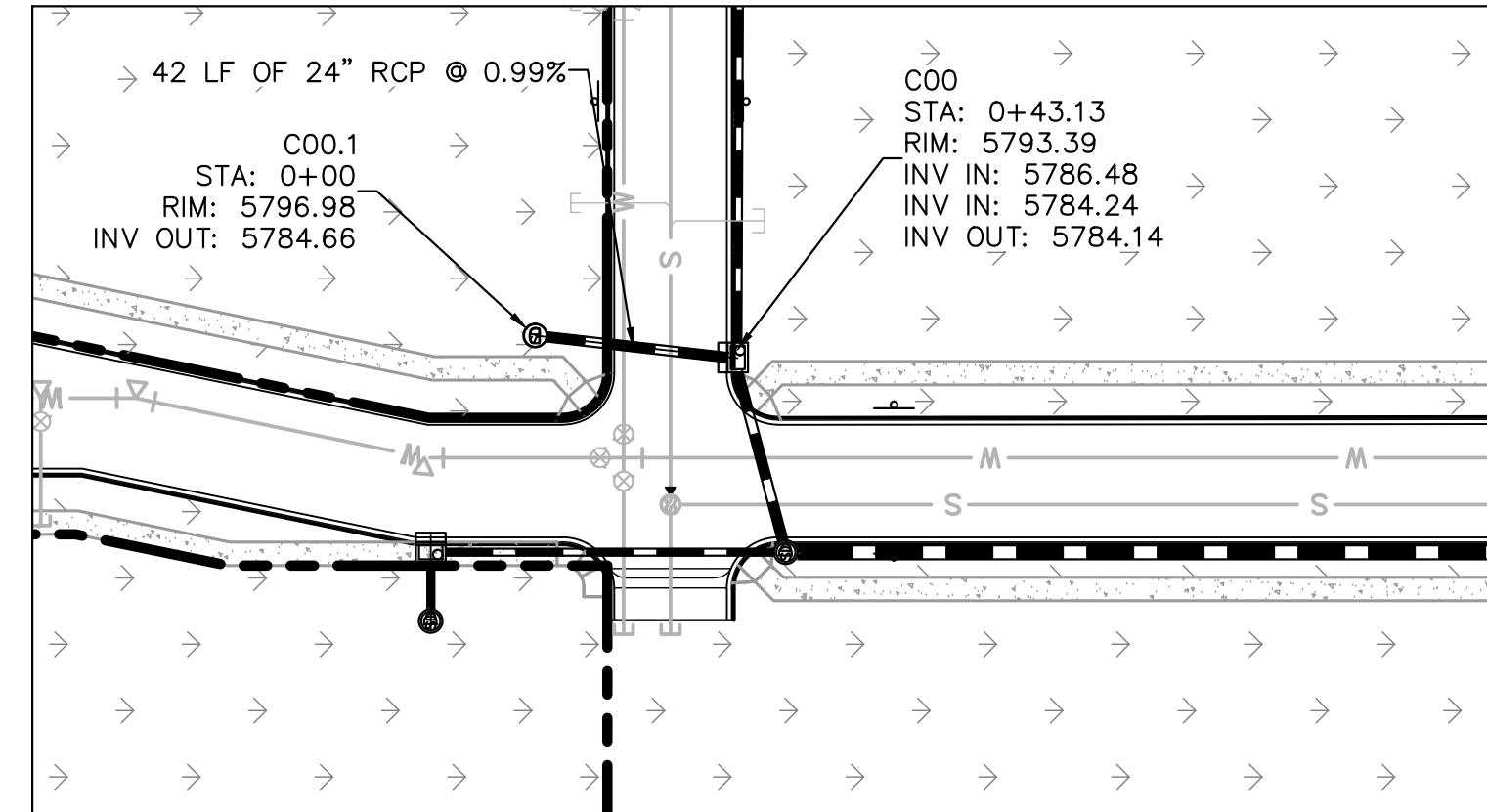
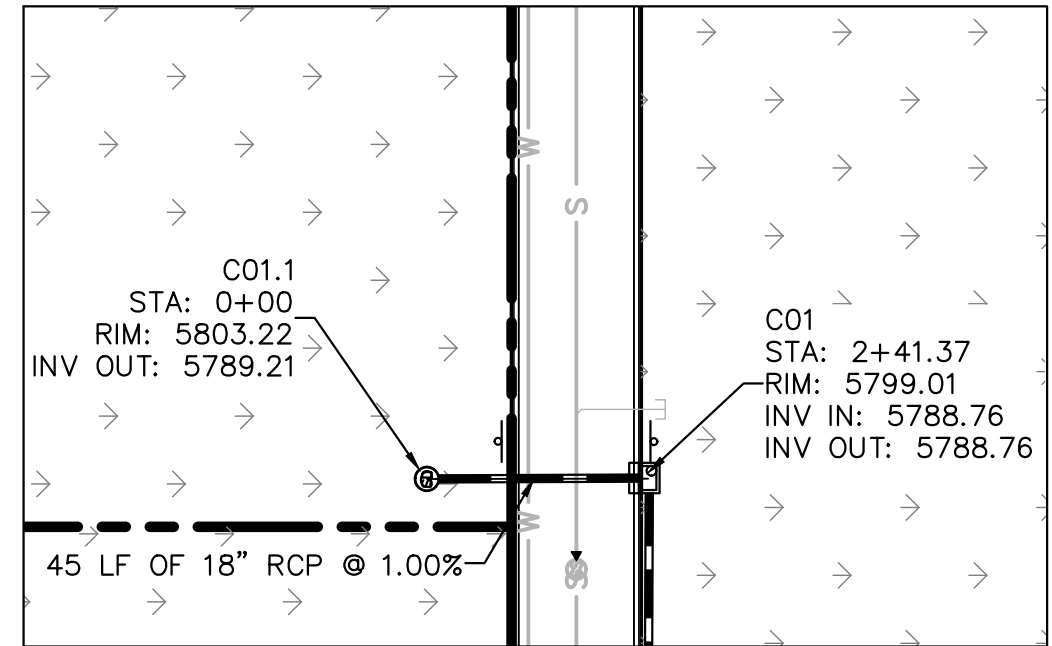
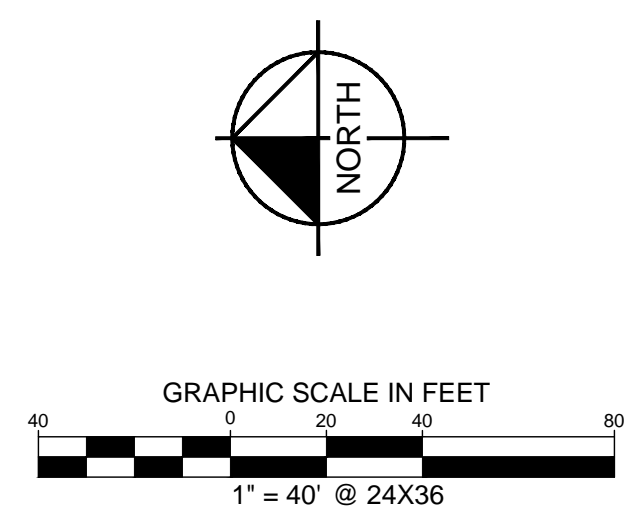
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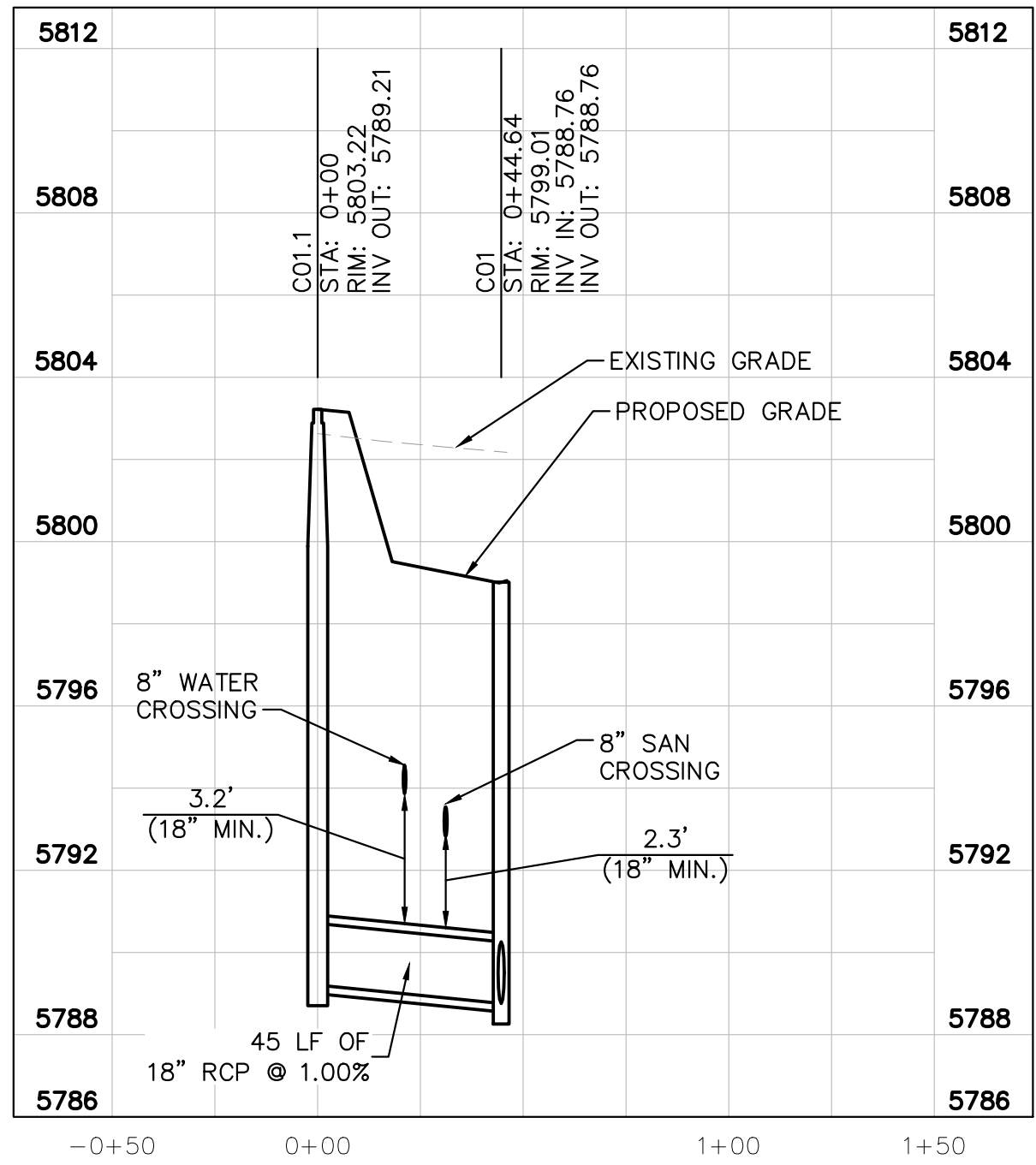
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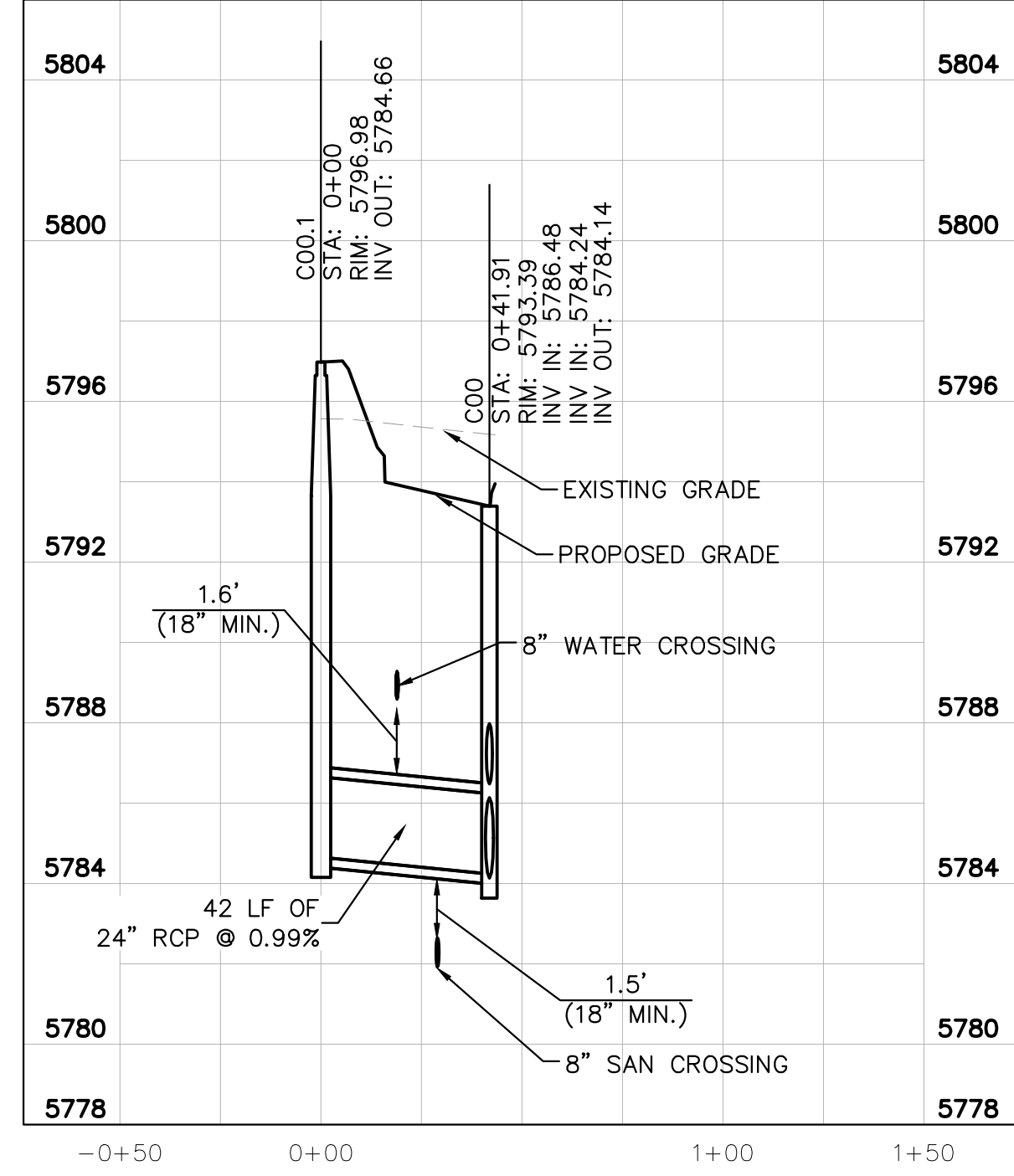
- LEGEND**
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STORM LATERAL C.2 PROFILE
[STA 0+00 TO 1+00]

HORIZONTAL SCALE: 1"=40'
VERTICAL SCALE: 1"=4'



STORM LATERAL C.1 PROFILE
[STA 0+00 TO 1+00]

HORIZONTAL SCALE: 1"=40'
VERTICAL SCALE: 1"=4'

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REVISION
BY
DATE

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4582 South Ulster Street, Suite 1500
Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: ECZ
 CHECKED BY: DLS
 DATE: 11/14/19

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PROJECT NO.
096502001
 DRAWING NAME
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GENERAL NOTES

1. SINCE ALL PIPE ENTRIES INTO THE BASE ARE VERTICAL, THE DIMENSIONS SHOWN ARE TYPICAL ACTUAL DIMENSIONS AND QUANTITIES FOR CONCRETE AND REINFORCEMENT SHALL BE AS REQUIRED IN THE WORK.
2. THE PRECAST FLAT TOP MAY BE USED ON ANY MANHOLE, THE ECCENTRIC CONE MAY BE USED WHEN THE MANHOLE "H" HEIGHT IS AT LEAST 8 FT.
3. THE MANHOLE RING FRAME SHALL BE SET IN A BED OF GROUT. THE FRAME SHALL BE CONCREDED WITH A CONCRETE GROUT IN UNPAVED AREA OR A CONCRETE COLLAR IN PAVED AREA. SEE DETAILS ON SHEETS 2 AND 3.
4. DESIGN OF BOX BASE IS BASED ON STRAIGHT RISE OF PIPE OR CHANGE IN DIRECTION OF LESS THAN 45° SLOPE. DESIGN IS REQUIRED FOR 45° OR GREATER.
5. PRECAST MANHOLES AND REINFORCEMENT SHALL CONFORM TO AASHTO M 198 (ASTM C 478).
6. CAST-IN-PLACE MANHOLES SHALL BE CLASS B CONCRETE.
7. STEPS SHALL BE REQUIRED WHEN THE MANHOLE DEPTH EXCEEDS 3 FT. 6 IN. AND SHALL CONFORM TO AASHTO M 199.
8. ALL REINFORCING STEEL SHALL BE GRADE 60 AND TYPICALLY COATED. VERTICAL STEEL SHALL BE PLACED AT CENTERLINE OF WALL. ALL BARS SHALL HAVE A 2 IN. MINIMUM CLEARANCE.
9. ALL PIPE ENTRIES INTO THE BASE OF MANHOLE SHALL BE CONNECTED BY OVER CHANNELIZATION UNLESS FOR PIPE SIZE, SHAPE, ALGUE, AND DIRECTION OF FLOW DETAILS SHOWN ARE TYPICAL FOR INSTALLATIONS WITH ALL SHEETS OF SAME RELATIVE ELEVATION FOR EXCESSIVE ELEVATION DIFFERENCE BETWEEN INVERTS SPECIAL BASE CHANNEL DETAILS WILL BE SHOWN ON THE PLANS.
10. FLOW CHANNELS AND INVERTS SHALL BE FORMED BY SHAPING WITH CLASS B CONCRETE OR APPROVED GROUT.
11. STEPS SHALL BE SET 2 FT. MINIMUM BEYOND OUTSIDE WALL SURFACE OF MANHOLE AND BE SATISFACTORILY PLUGGED.
12. THE SLOPE OF THE MANHOLE COVER SHALL MATCH THE ADJACENT PAVEMENT OR FINISH GRADE SURFACE.
13. WHEN FINAL GRADE IS PAVEMENT SURFACE, RECESS MANHOLE RING AND COVER 1/4" MIN. TO 1/2" MAX.

QUANTITIES FOR CONCRETE MANHOLE BOX BASE

MARK	SIZE	TYPE	WT. (LBS)	QTY	FORMULAS
401	4	I	0.668	1	401 BAR LENGTH = 32" + 2W + 1.0
402	4	III	0.668	1	402 BAR LENGTH = 1.0 + 2W
501	5	I	1.043	1	501 BAR LENGTH = 24" + 1.0 + 2W
502	5	II	1.043	1	502 NUMBER BARS REQ'D = 3 + (24W/L + 4) / 5'
503	5	III	1.043	1	503 NUMBER BARS REQ'D = 2 + (24W/L + 4) / 5'
100	11	I	5.313	1	100 BAR LENGTH = 21" + 1.0 + 2W
103	11	I	5.313	1	103 BAR LENGTH = 21" + 1.0 + 2W

PRECAST MANHOLE BASES NOTES

1. THE BASE SHALL BE FORMED MONOLITHICALLY WITH BOTTOM RISER SECTION.
2. PRECAST MANHOLE BASES SHALL FIT THE CONDITIONS AND LOCATIONS FOR WHICH THEY ARE INTENDED WITHOUT ANY FIELD MODIFICATIONS. ANY MANHOLE BASE WHICH REQUIRES FIELD CUTTING OR MODIFICATION IN ORDER TO FIT THE LOCATION INTENDED WILL BE REJECTED BY THE ENGINEER AND REMOVED AND REPLACED BY THE CONTRACTOR AT HIS COST TO THE PROJECT.
3. PRECAST MANHOLE BASES SHALL BE BEDDED ON AN APPROVED GRANULAR BEDDING MATERIAL AS SHOWN ABOVE.

Computer File Information

Creation Date: 07/24/12	Revision: DD	Colorado Department of Transportation	STANDARD PLAN NO.
Last Modification Date: 07/24/12	Revision: LTA	4301 East Arkansas Avenue Denver, Colorado 80222 Phone: (303) 757-8623 Fax: (303) 757-8820	M-604-20
Project Development Branch	DD/LTA	Project Development Branch	Sheet No. 1 of 3

T-BASE MANHOLES NOTES

1. THE T-BASE SECTION SHALL BE SHOP-FABRICATED FOR DELIVERY TO THE CONSTRUCTION SITE AS A COMPLETE UNIT.
2. THESE DETAILS SHOW ONLY THE CONCEPTUAL AND STANDARD DIMENSIONAL REQUIREMENTS FOR TYPICAL MANHOLES. THE CONTRACTOR SHALL FURNISH DETAILED SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. THE DETAILS SHOWN HEREIN APPLY TO 48 IN. AND GREATER CONCRETE PIPES.
3. EXCEPT FOR CLASS OF PIPE, SPECIFICATIONS FOR THE MANHOLE SHALL BE THE SAME AS THOSE REQUIRED FOR THE ADJOINING PIPE.
4. THE T-BASE SECTION SHALL MAINTAIN ITS INTERNAL SHAPE AND FLOW AREA GROUTING OR FILLING SHALL BE APPLIED SO AS TO NOT DISTURB THE NORMAL FLOW OR REDUCE THE AREA.

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GENERAL NOTES

1. ON ROADWAY CURVES WITH A RADIUS OF 1500 FT. OR LESS, CURBS AND GUTTERS ARE TO BE PLACED IN THE ARC OF THE CURVE UNLESS OTHERWISE NOTED BY THE PLANS. A MAXIMUM CHORD LENGTH OF 30 FT. MAY BE USED WHEN THE CURVE RADIUS IS GREATER THAN 1500 FT.
2. CONCRETE SHALL BE CLASS B.
3. PROFILE GRADE OF CURBS AND GUTTERS SHALL BE LOCATED AT THE FLOW LINE.
4. CURB TYPE 4 (MOUNTABLE) MAY BE USED IN LIEU OF CURB AND GUTTER TYPE 2 (SECTION B) AND 3 (SECTION C) UNLESS OTHERWISE SPECIFIED ON THE PLANS.
5. GUTTER CROSS SLOPES MAY BE ADJUSTED TO FACILITATE DRAINAGE FOR PROFILE GRADES AS SHOWN ON THE PLANS.
6. THICKNESS OF CURB AND GUTTER SECTION SHALL MATCH CONCRETE PAVEMENT THICKNESS IF SHOWN ON THE PLANS. CURB AND GUTTER SHALL BE CLASS B CONCRETE IF PLACED MONOLITHICALLY WITH CONCRETE PAVEMENT.
7. INCREASE SIDEWALK THICKNESS TO 6 IN. AT LOCATIONS SHOWN ON THE PLANS.
8. MINIMUM SIDEWALK WIDTH IS 4 FT.
9. EXPANSION JOINTS SHALL BE INSTALLED WHEN ADJUTING EXISTING CONCRETE OR FIXED STRUCTURE. EXPANSION JOINT MATERIAL SHALL BE 1/2" IN THICK AND SHALL EXTEND THE FULL DEPTH OF CONTACT SURFACE.
10. GUTTER CROSS SLOPES SHALL BE 1/4" IN 10 FT. WHEN DRAINING AWAY FROM CURB AND 1/8" IN 10 FT. WHEN DRAINING TOWARD CURB WITH EXCEPT TO IMMEDIATELY ADJACENT TO CURB RAMPS - SEE STANDARD PLAN M-608-5 FOR SLOPE REQUIREMENTS.
11. WHEN TIE BARS ARE REQUIRED, THE GUTTER THICKNESS SHALL BE INCREASED TO THE PAVEMENT THICKNESS TO BARS SHALL BE PROVIDED AT 48" CENTERING TO AASHTO M 204 AND SPACED AT 2 FT. INTERVALS. THEY SHALL BE INSERTED 1/2" AND 1/2" LENGTH INTO THE GUTTER.
12. THIS AREA SHALL BE FORMED MONOLITHICALLY WITH CURB AND GUTTER AND PAD FOR AS "CONCRETE PAVEMENT".
13. FLOW LINE LOCATION WILL BE ESTABLISHED BY 1/2" SHOWN ON PLANS.

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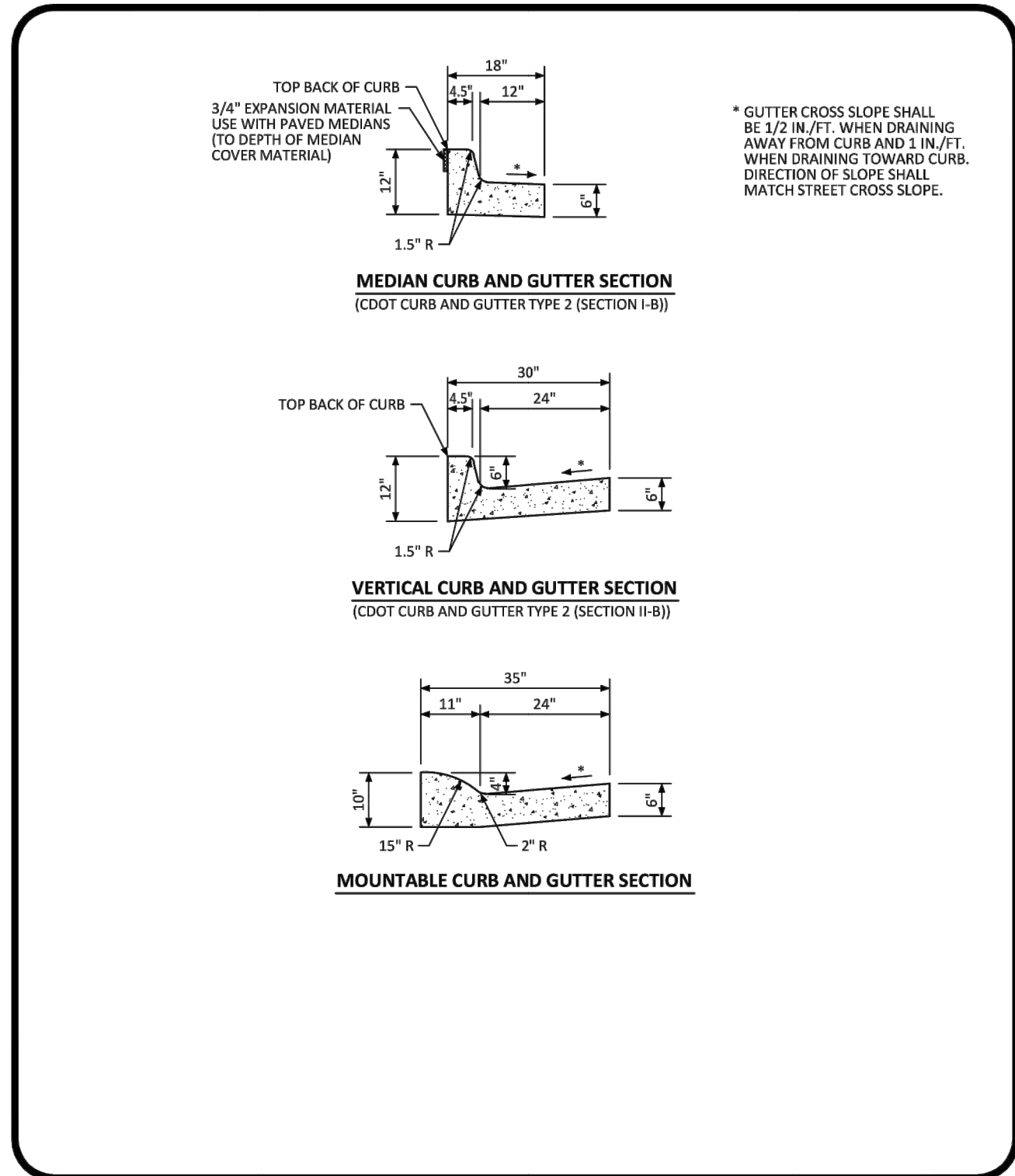
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 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: ECZ
 CHECKED BY: DLS
 DATE: 11/14/19

PARKER & PINE
 PARKER, CO
 CONSTRUCTION DOCUMENTS
 DETAILS

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Kimley-Horn
 Kimley-Horn and Associates, Inc.
 PROJECT NO.
 096502001
 DRAWING NAME
 096502001PW-DT
 C6.0

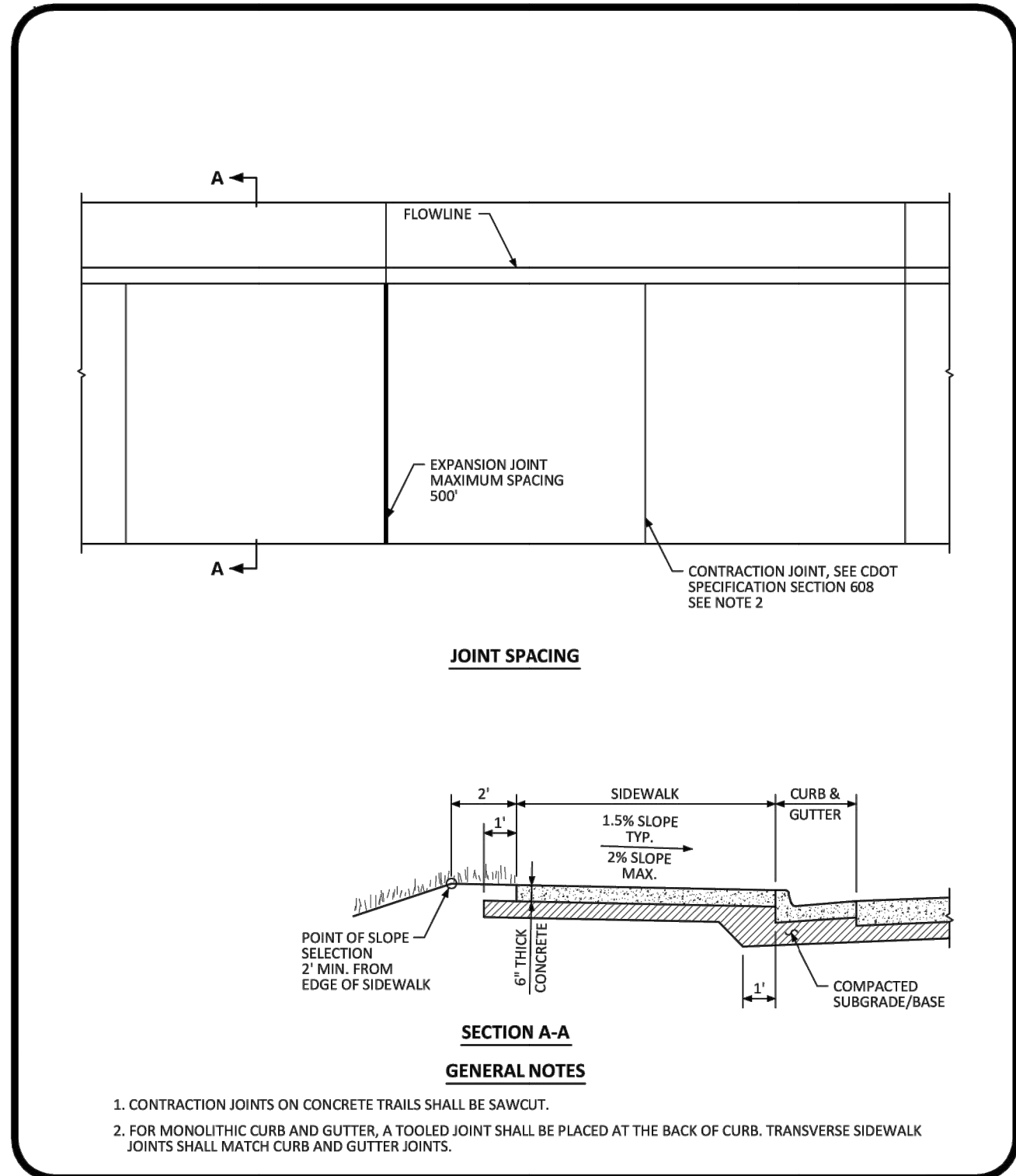


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CURB, GUTTER, AND SIDEWALK SECTIONS STANDARD DETAIL

DATE AUGUST 2014

DETAIL 3 OF 1

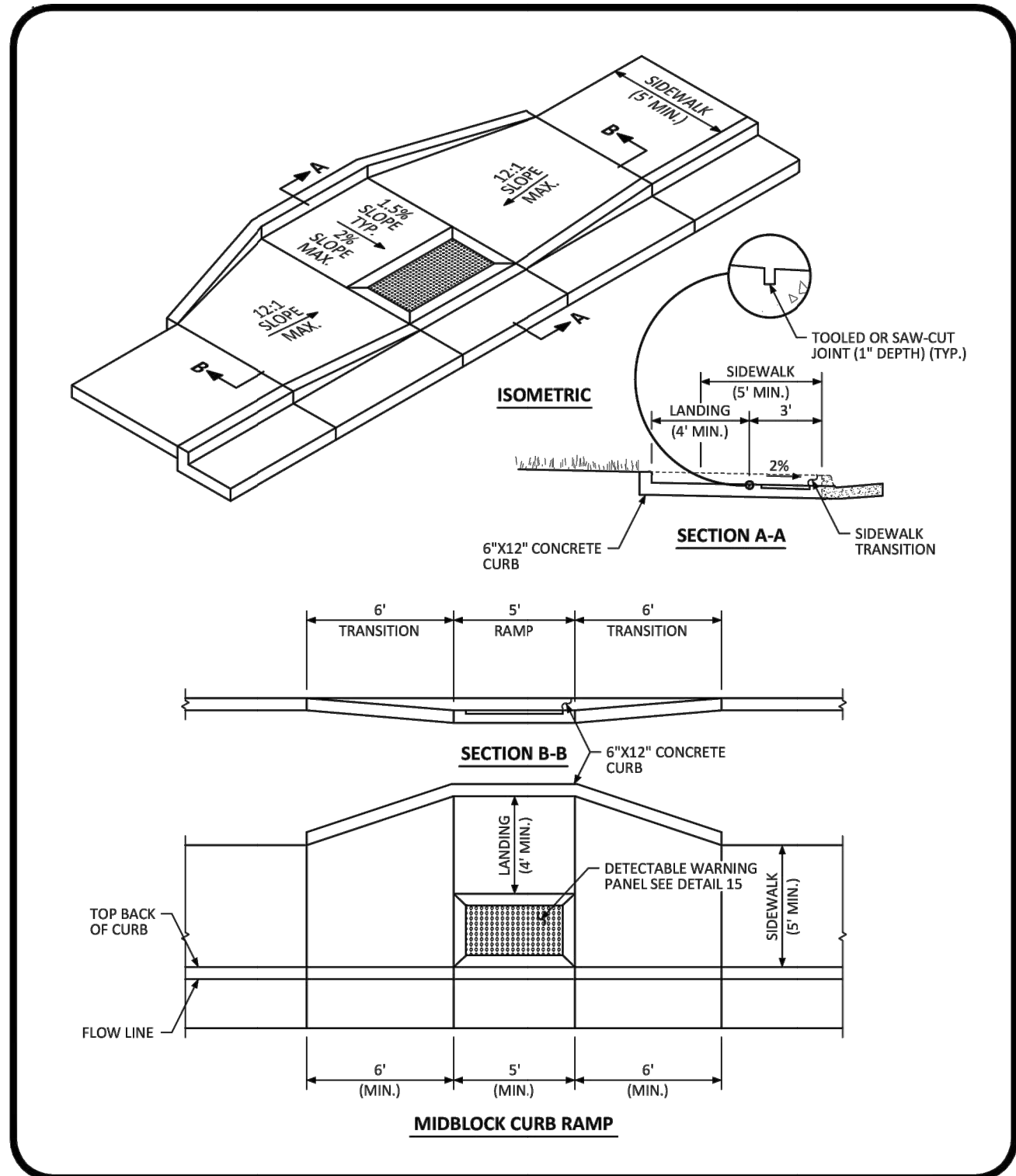


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ATTACHED SIDEWALK STANDARD DETAIL

DATE AUGUST 2014

DETAIL 4 OF 2

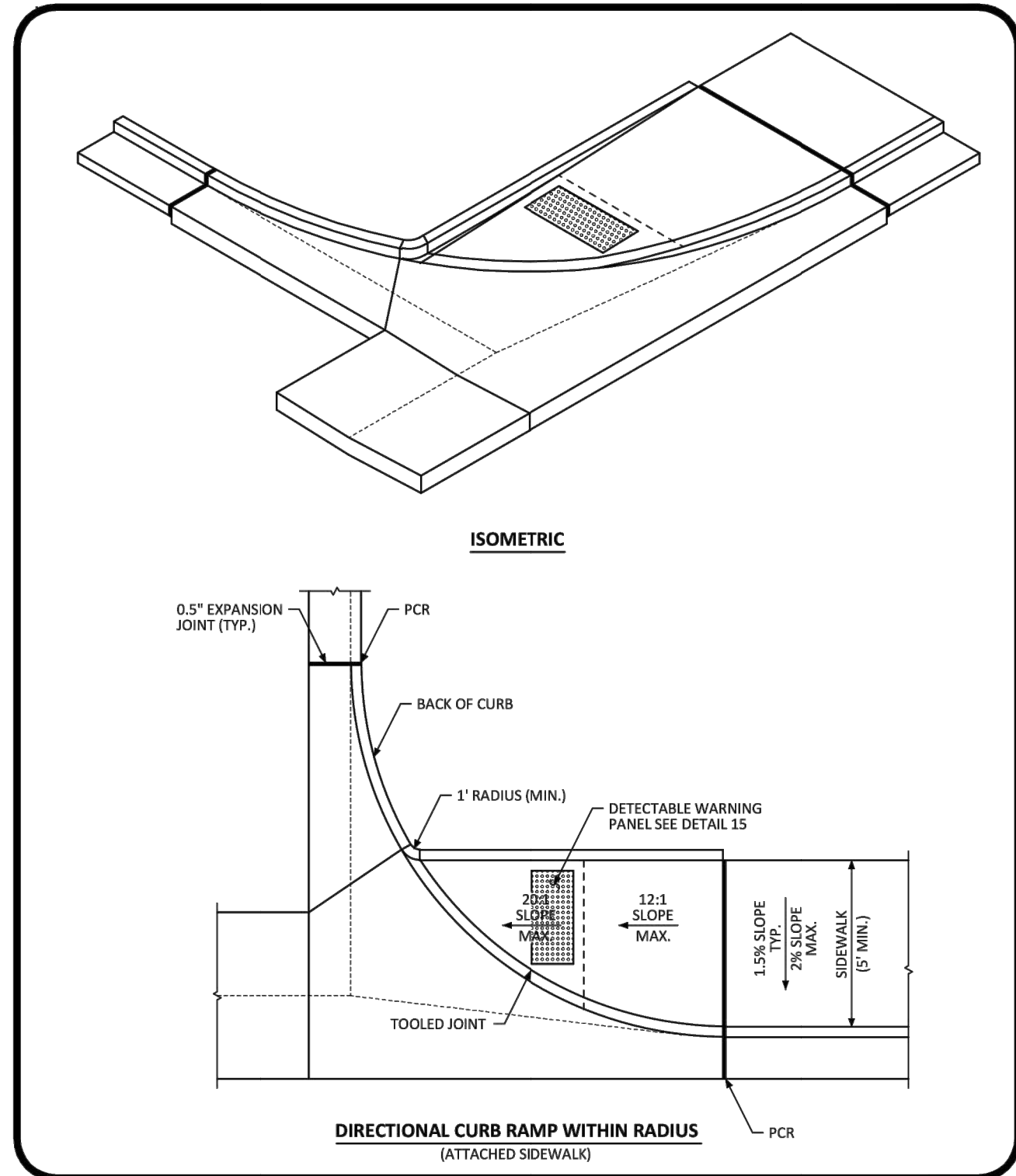


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MIDBLOCK CURB RAMP LAYOUT STANDARD DETAIL

DATE AUGUST 2014

DETAIL 17 OF 2

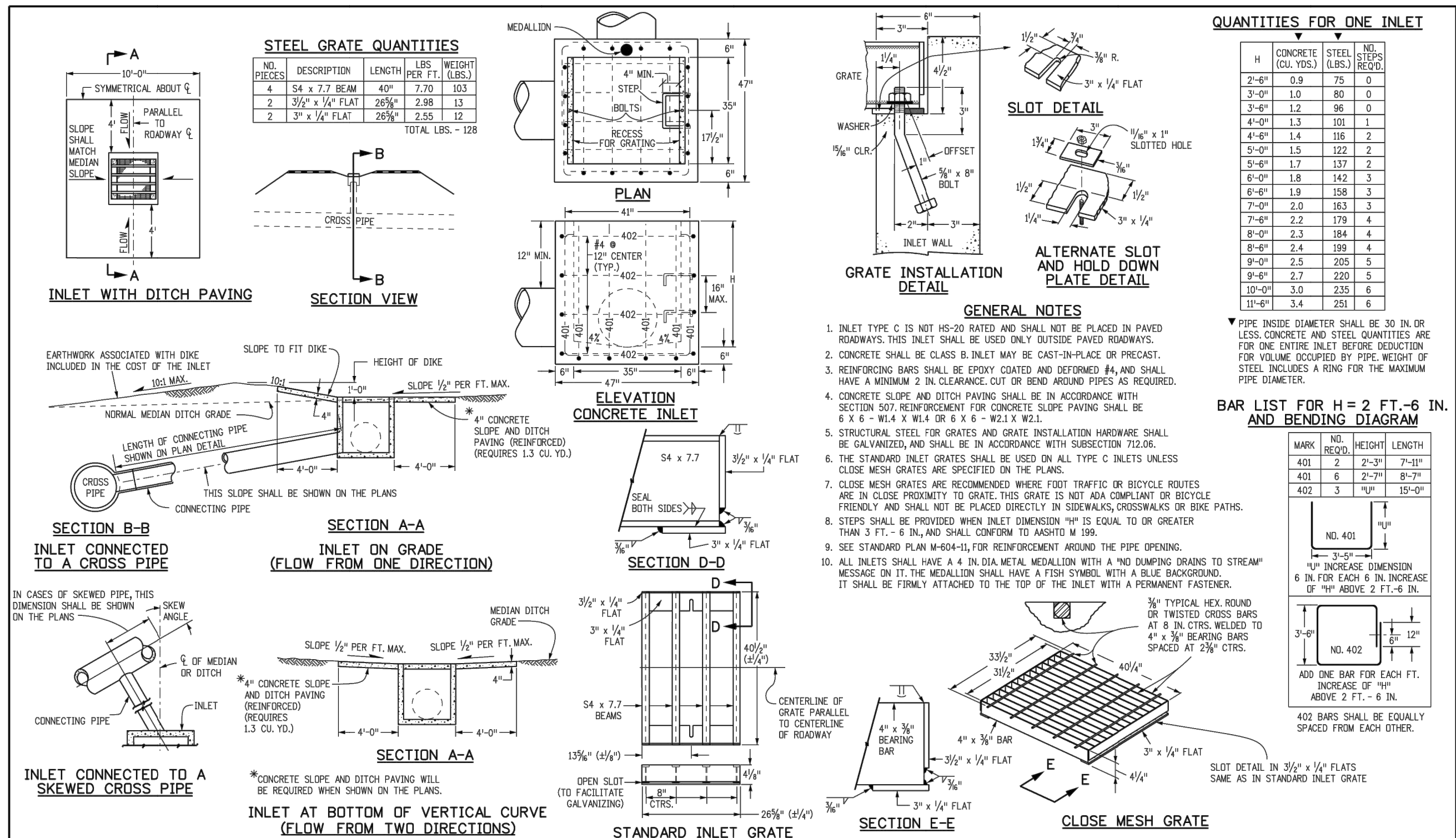


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DIRECTIONAL CURB RAMP WITHIN RADIUS LAYOUT STANDARD DETAIL

DATE AUGUST 2014

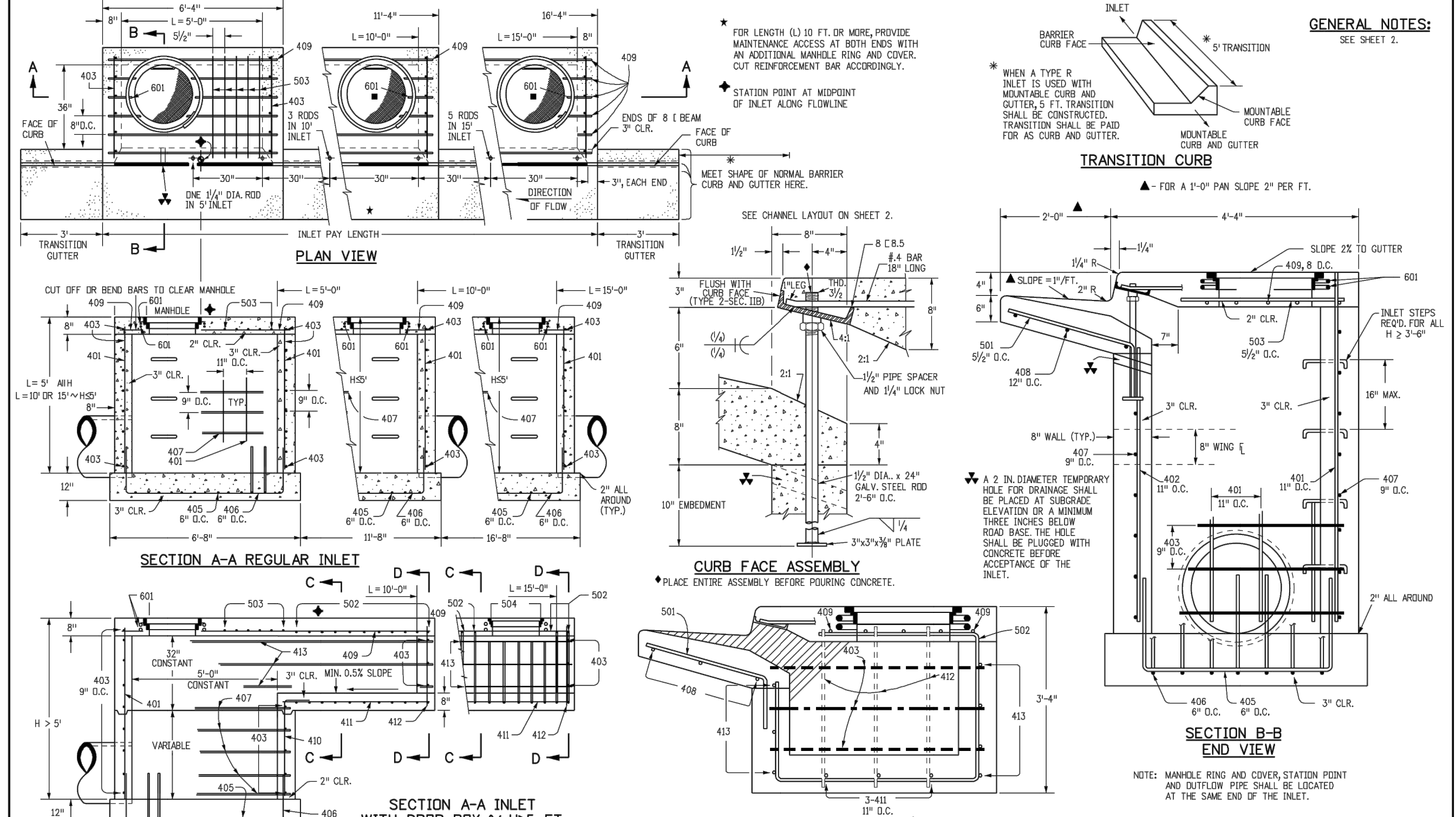
DETAIL 18 OF 2



INLET, TYPE C

STANDARD PLAN NO. M-604-10

Sheet No. 1 of 1



CURB INLET TYPE R

STANDARD PLAN NO. M-604-12

Sheet No. 1 of 2

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NO.	REVISION	BY	DATE

Kimley»Horn

2019 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 728-2300

DESIGNED BY: DLS
 DRAWN BY: ECZ
 CHECKED BY: DLS
 DATE: 11/14/19

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 PARKER, CO
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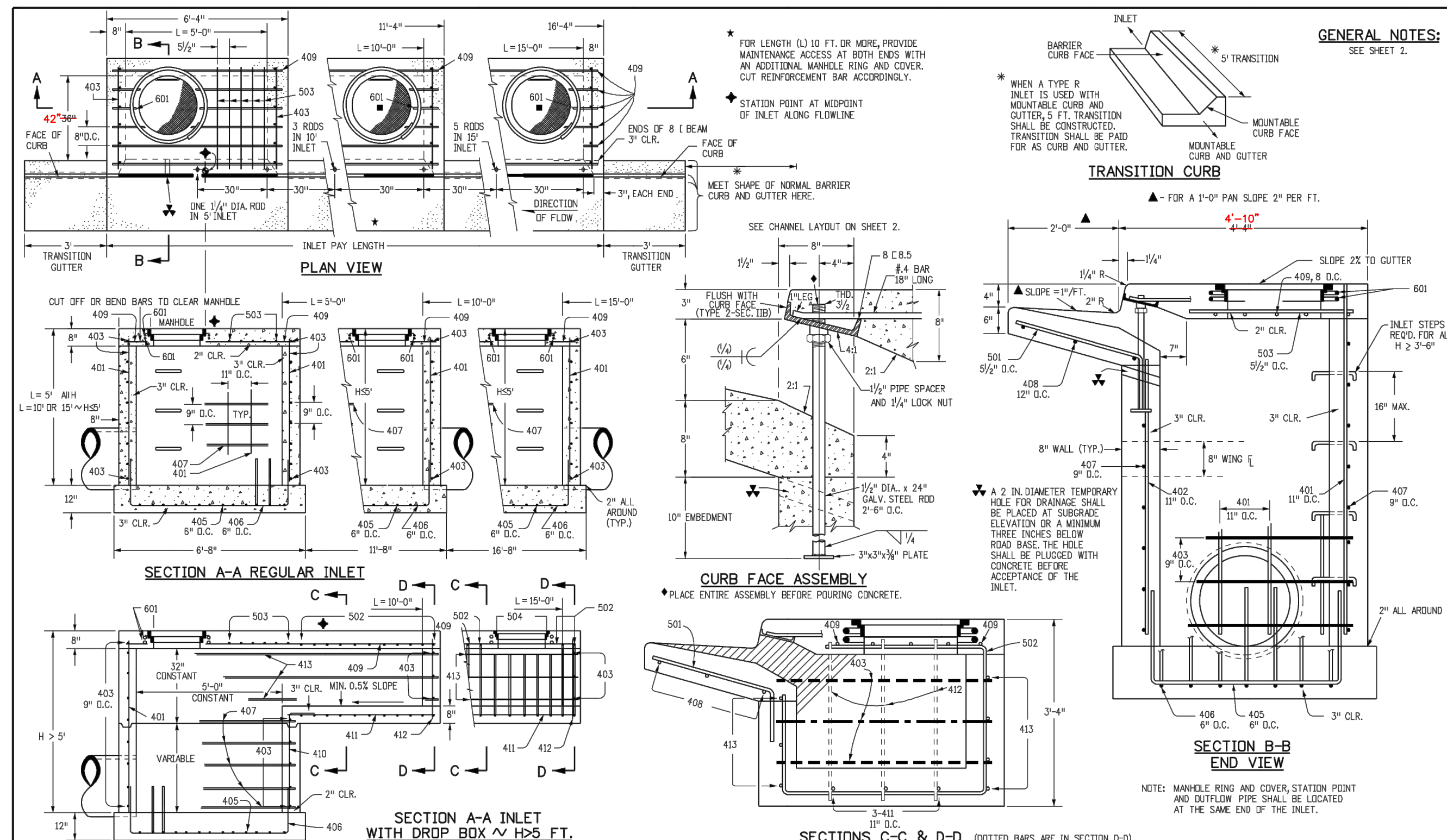
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 095602001

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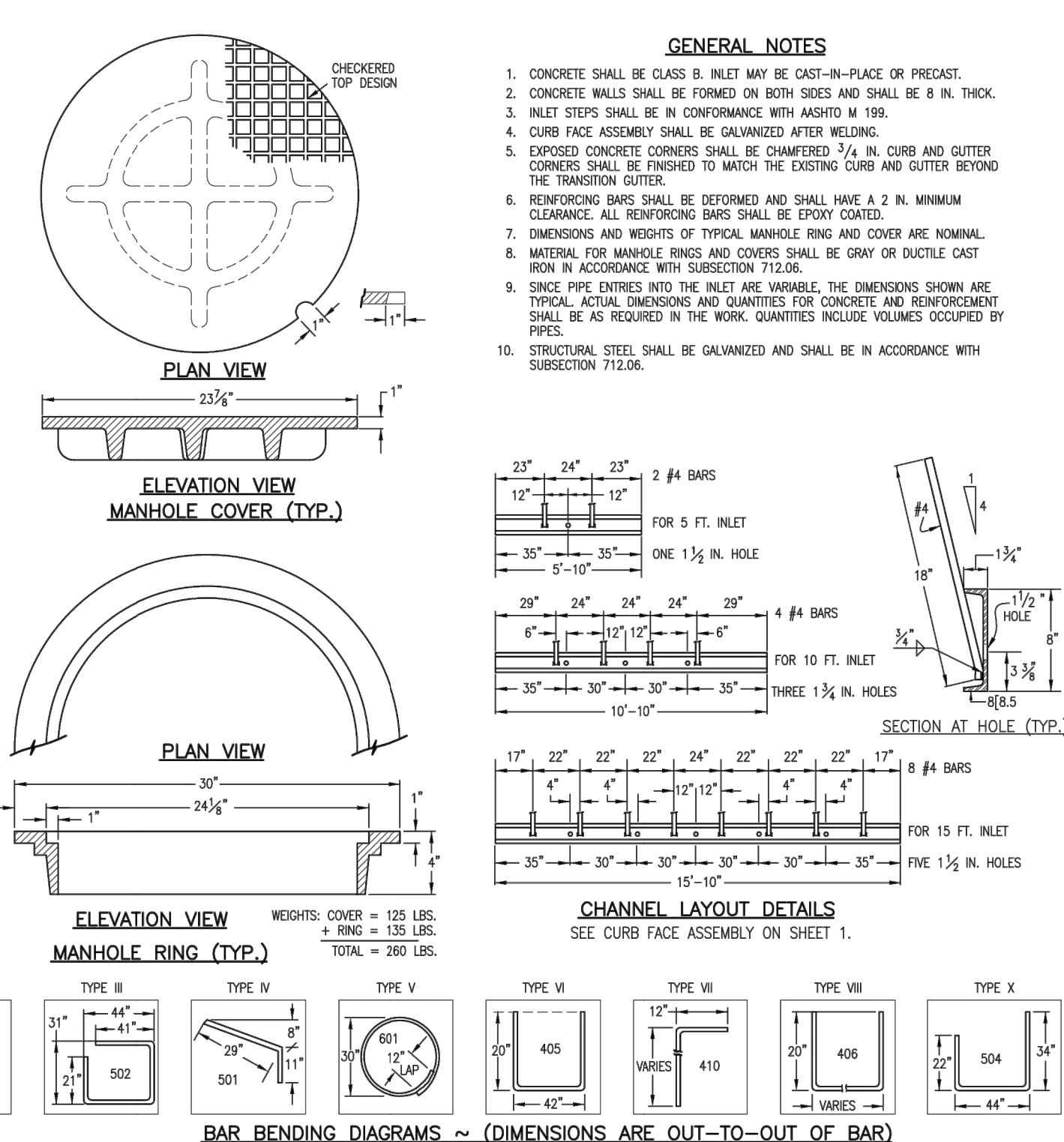
Computer File Information		Sheet Revisions		Colorado Department of Transportation		MODIFIED CURB INLET TYPE R		STANDARD PLAN NO.	
Creation Date: 07/04/12	Initials: DD	Date:	Comments:	4201 East Arkansas Avenue	Denver, Colorado 80222			M-604-12	
Last Modification Date: 07/04/12	Initials: LTA			Phone: (303) 757-9822	Fax: (303) 757-9820			Sheet No. 1 of 2	
Full Path: www.coloradodot.info/business/designsupport/				Project Development Branch	DD/LTA	Issued By: Project Development Branch July 4, 2012			
Drawing File Name: 6040120202.dwg									
CAD Ver: MicroStation V8	Scale: Not to Scale	Units: English							

MARK	BAR #	O.C. SIZE	SPACING	TYPE	ALL INLETS							
					L = 5 FT.		L = 10 FT.		L = 15 FT.			
					NO. REVD.	LENGTH	NO. REVD.	LENGTH	NO. REVD.	LENGTH	NO. REVD.	LENGTH
401	4	1 1/2"	11"	II	15	7	21	10	26	11	11	11
402	4	1 1/2"	11"	II	7	13	13	18	7	7	7	7
403	4	9"	9"	II	4	4	4	4	4	4	4	4
405	4	6"	8"	M	11	6	21	6	31	11	6	11
406	4	6"	8"	VI	7	8	7	13	7	8	7	8
407	4	9"	9"	II	5	5	5	5	5	5	5	5
408	4	12"	11"	II	3	6	3	11	3	11	3	16
409	4	8"	8"	II	6	6	6	6	6	6	6	6
410	4	11"	11"	VI	3	3	3	3	3	3	3	3
411	4	11"	11"	II	3	3	3	3	3	3	3	3
412	4	11"	11"	II	3	3	3	3	3	3	3	3
413	4	9"	9"	II	7	7	7	7	7	7	7	7
501	5	3 1/2"	11"	IV	11	3	22	3	33	22	3	3
502	5	3 1/2"	11"	II	11	3	22	3	33	22	3	3
503	5	3 1/2"	11"	II	5	3	16	3	27	3	6	3
504	5	3 1/2"	11"	IX	5	3	16	3	27	3	6	3
601	6	3 1/2"	11"	V	2	2	2	2	2	2	2	2
602	6	3 1/2"	11"	V	2	2	2	2	2	2	2	2
603	6	3 1/2"	11"	V	2	2	2	2	2	2	2	2
604	6	3 1/2"	11"	V	2	2	2	2	2	2	2	2

TABLE ONE ~ BAR LIST FOR CURB INLETS, TYPE "R"

TYPE	LENGTH	REGULAR		DROP BOX		L = 5 FT.		L = 10 FT.		L = 15 FT.	
		CONC. STEEL	STEEL	CONC. STEEL	STEEL	CONC. STEEL	STEEL	CONC. STEEL	STEEL	CONC. STEEL	STEEL
3'-0"	2'-8"	1	7	10	7	3.2	285	5.3	497	7.4	706
3'-0"	3'-2"	10	7	10	7	3.4	305	5.7	529	7.9	747
4'-0"	3'-8"	12	9	12	9	3.7	326	6.0	559	8.4	786
4'-0"	4'-2"	12	9	12	9	3.9	334	6.4	571	8.8	803
5'-0"	4'-8"	14	11	14	11	4.1	354	6.7	602	9.3	844
5'-0"	5'-2"	16	13	16	13	4.4	375	7.0	607	7.4	850
5'-0"	5'-6"	16	13	16	13	4.6	382	7.2	616	7.6	860
6'-0"	5'-2"	18	15	18	15	4.8	402	7.4	637	7.8	880
7'-0"	6'-8"	20	17	19	10	5.0	423	7.6	654	8.0	897
7'-0"	7'-2"	20	17	20	10	5.3	430	7.8	664	8.3	907
8'-0"	7'-8"	22	19	22	12	5.5	451	8.0	684	8.5	927
8'-0"	8'-2"	24	21	23	14	5.7	471	8.2	702	8.7	944
9'-0"	8'-8"	24	21	24	14	6.0	479	8.4	711	9.0	954
9'-0"	9'-2"	26	23	26	16	6.2	499	8.6	732	9.2	974
10'-0"	9'-8"	28	25	27	18	6.4	520	8.8	749	9.4	992
10'-0"	10'-2"	28	25	28	18	6.7	527	9.0	759	9.7	1001
11'-0"	10'-8"	30	27	30	20	6.9	547	9.2	779	9.9	1022

TABLE TWO ~ BARS AND QUANTITIES VARIABLE WITH "H"



Computer File Information		Sheet Revisions		Colorado Department of Transportation		MODIFIED CURB INLET TYPE R		STANDARD PLAN NO.	
Creation Date: 07/04/06	Initials: SJR	Date:	Comments:	4201 East Arkansas Avenue	Denver, Colorado 80222			M-604-12	
Last Modification Date: 07/04/06	Initials: LTA			Phone: (303) 757-9822	Fax: (303) 757-9820			Sheet No. 2 of 2	
Full Path: www.dot.state.co.us/DesignSupport/				Project Development Branch	SRJ/LTA	Issued By: Project Development Branch on July 04, 2006			
Drawing File Name: 6040120202.dwg									
CAD Ver: MicroStation V8	Scale: Not to Scale	Units: English							

NO.	REVISION	BY	DATE

Kimley-Horn
 2019 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 728-2300

DESIGNED BY: DLS
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 096502001
 DRAWING NAME
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