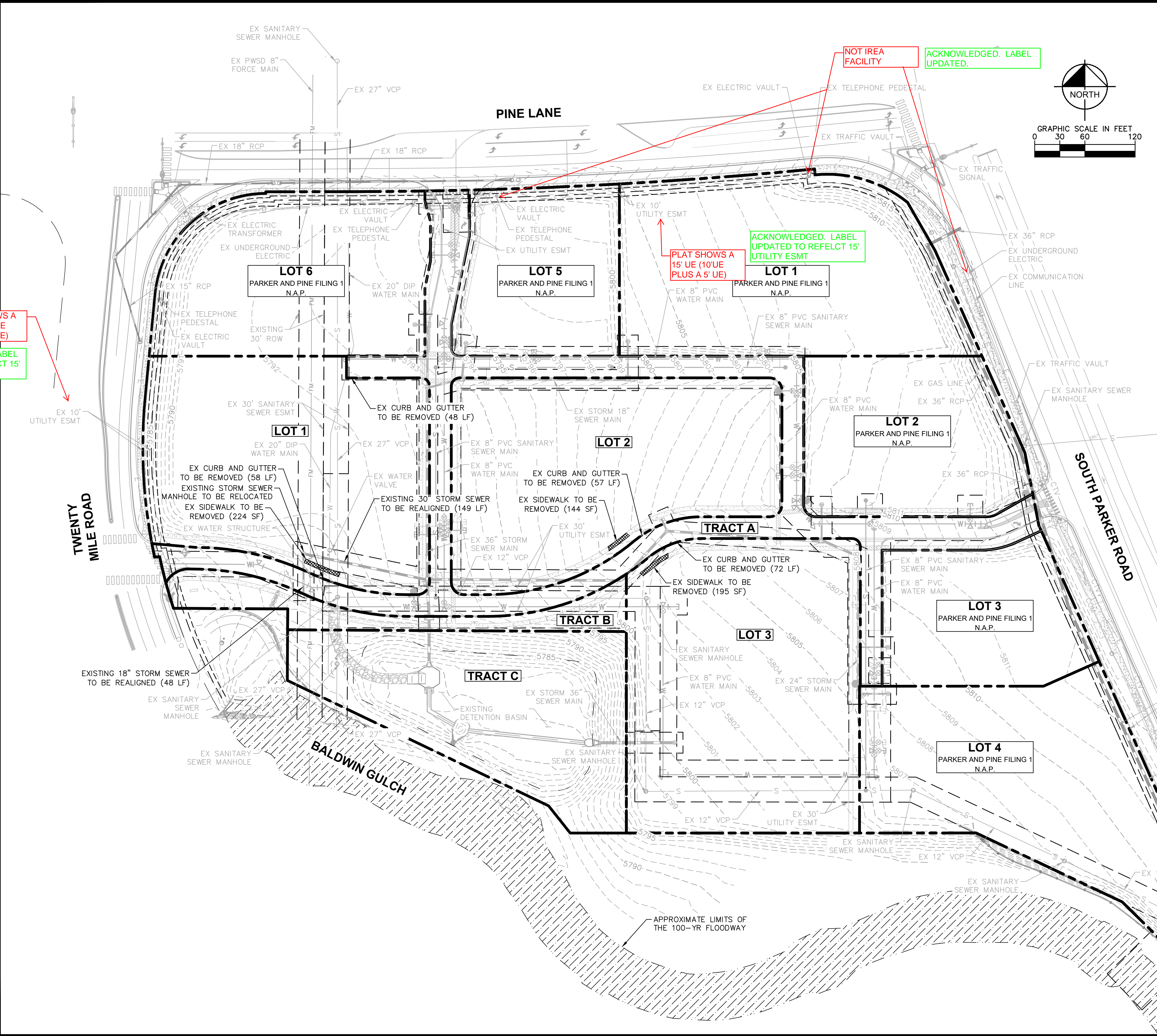


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LEGEND

---	EXISTING PROPERTY LINE
- - - -	EXISTING EASEMENT LINE
---	EXISTING STORM SEWER LINE
---	EXISTING UNDERGROUND POWER LINE
---	EXISTING FORCE PIPE
---	EXISTING WATER LINE
---	EXISTING GAS LINE
---	EXISTING TELECOMM LINE
---	EXISTING COMMUNICATIONS LINE
---	EXISTING CABLE LINE
---	EXISTING SANITARY SEWER LINE
---	EXISTING CCTV LINE
●	EXISTING SANITARY SEWER MANHOLE
●	EXISTING STORM SEWER MANHOLE
⊕	EXISTING WATER BEND
⊕	EXISTING FIRE HYDRANT
⊕	EXISTING WATER VALVE
⊕	EXISTING WATER SERVICE
⊕	EXISTING SANITARY SEWER SERVICE
⊕	EXISTING SANITARY SEWER BEND
⊕	EXISTING STORM INLET
⊕	EXISTING OUTLET STRUCTURE
▨	DEMO CURB AND GUTTER
▨	DEMO SIDEWALK

- DEMOLITION NOTES**
1. ALL EXISTING IMPROVEMENTS TO BE PROTECTED IN PLACE, UNLESS SPECIFICALLY CALLED OUT AS 'TO BE REMOVED.'
 2. UTILITIES ARE SHOWN PER ENGINEERING SERVICE COMPANY SURVEY DATED MARCH 20, 2014.

NO.	REVISION	BY	DATE	APPR

Kimley»Horn
 2020 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 08/25/20

PARKER AND PINE MULTI-FAMILY
 PARKER, CO
 SITE PLAN
 EXISTING CONDITIONS AND DEMO PLAN

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 Kimley-Horn and Associates, Inc.
 PROJECT NO.
 096481002
 DRAWING NAME
 096481002PSP_DM
02 OF 13

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PROVIDE TRANSFORMER LOCATIONS FOR EACH BUILDING
 SEE IREA BUILDER HANDBOOK FOR CLEARANCE AND
 METERING REQUIREMENTS

ACKNOWLEDGED.
 TRANSFORM LOCATIONS
 ADDED TO PLANS.

PLAT SHOWS A 15' UE (10' UE
 PLUS A 5' UE)

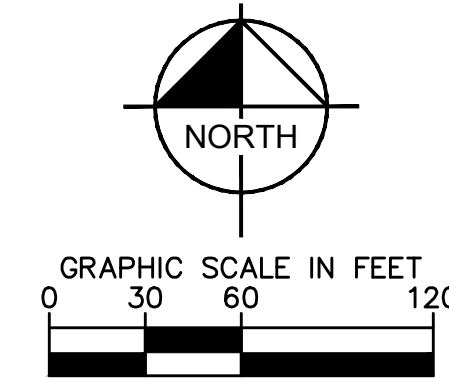
ACKNOWLEDGED. LABEL
 UPDATED TO REFLECT 15'
 UTILITY ESMT

RETAINING WALL
 MAY NOT
 ENCR OACH INTO
 15' UE

ACKNOWLEDGED.
 PROPOSED RETAINING
 WALL ADJUSTED.

LEGEND

- PROPERTY LINE
- ⊙ NUMBER OF PARKING SPACES
- ⊕ ACCESSIBLE PARKING SPACES
- ⊞ PROPOSED ELECTRICAL TRANSFORMER
- ▨ LANDSCAPED AREA
- ▒ STANDARD DUTY ASPHALT PAVING
- ▓ COLORED CONCRETE
- ▒ HEAVY DUTY CONCRETE
- ▒ PROPOSED GRAVEL PATHWAY
- PROPOSED EASEMENT
- EXISTING EASEMENT
- PROPOSED CURB AND GUTTER



KEY NOTES

- 1 PROPOSED ADA ACCESSIBLE SIDEWALK RAMP
- 2 PROPOSED ACCESSIBLE RAMP W/ 36" DEEP DETECTABLE WARNING
- 3 PROPOSED 5' WIDE PEDESTRIAN CONNECTION.
- 4 PROPOSED MONUMENT SIGN.
- 5 PROPOSED PRIVATE STAIRWAY. WIDTH PER PLAN
- 6 EXISTING FIRE HYDRANT.
- 7 PROPOSED TRASH ENCLOSURE.
- 8 PROPOSED ADA PARKING STALLS.
- 9 EXISTING 8' CONCRETE SIDEWALK.
- 10 PROPOSED 5' CONCRETE SIDEWALK.
- 11 PROPOSED STANDARD DUTY ASPHALT PAVING.
- 12 DETACHED GARAGE. PARKING COUNT PER PLAN.
- 13 PROPOSED STANDARD 9'X18' PARKING STALL
- 14 PROPOSED STANDARD CURB AND GUTTER
- 15 PROPOSED 6 STALL BICYCLE PARKING
- 16 PROPOSED RETAINING WALL
- 17 PROPOSED ISLAND ADJACENT 10'X18' PARKING STALL
- 18 PROPOSED STOP SIGN R-1
- 19 PROPOSED STOP BAR

NOTES:

1. ALL LIGHTING ON-SITE, EXTERIOR, UNROOFED LIGHTING SHALL CONFORM TO THE TOWN'S LIGHTING STANDARDS.
2. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM A PUBLIC RIGHT OF WAY.
3. LOCATION OF TRASH RECEPTACLES SHALL BE SCREENED BY A SOLID SCREEN FENCE SURROUNDING AT LEAST 3 SIDES OF THE CONTAINER.

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 Denver, Colorado 80237 (303) 228-2300

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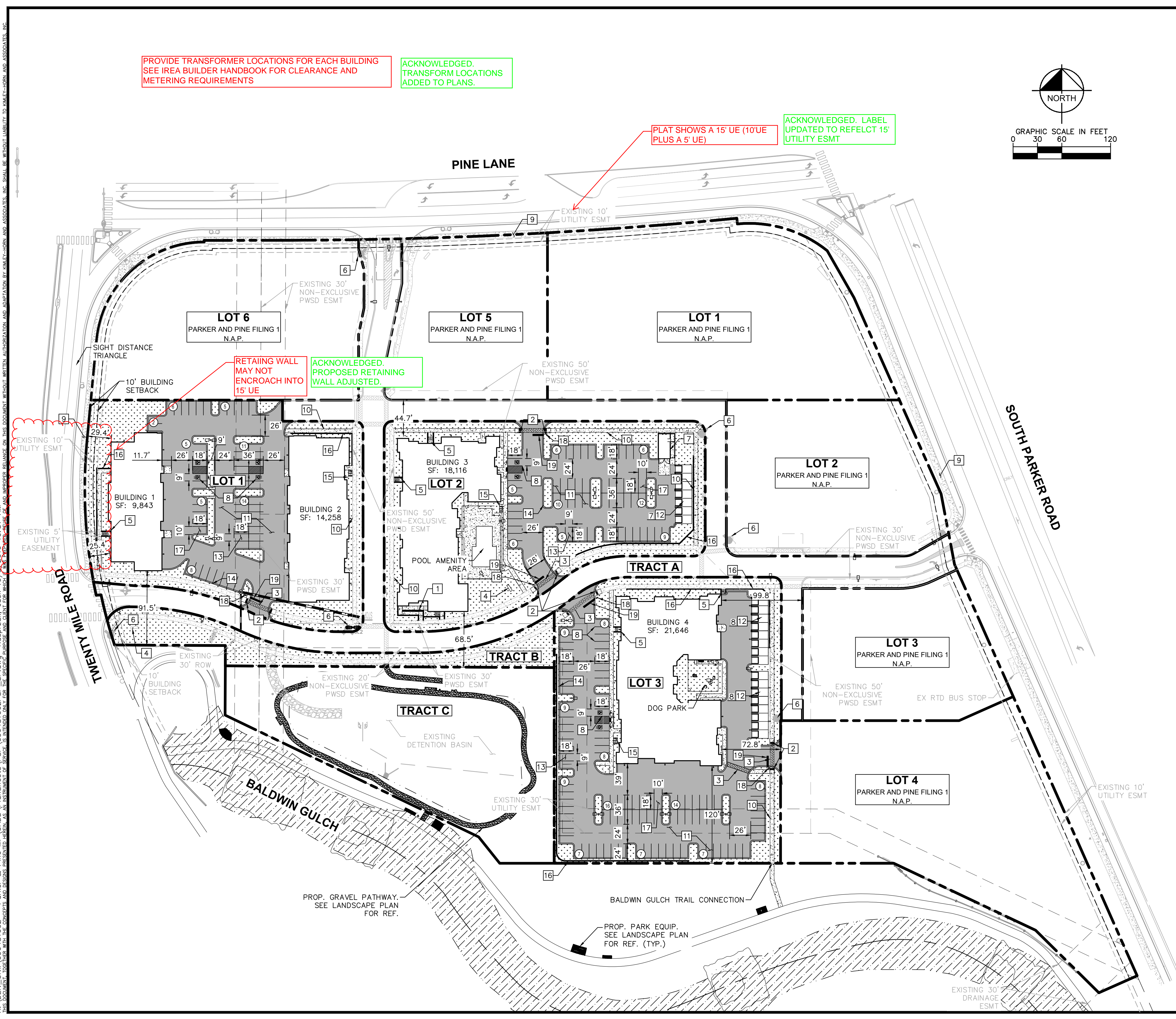
PARKER AND PINE MULTI-FAMILY
 PARKER, CO
 SITE PLAN
OVERALL SITE PLAN

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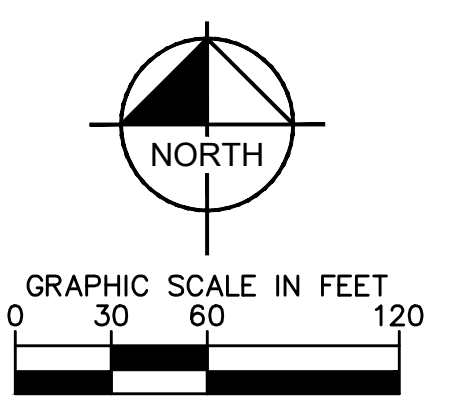
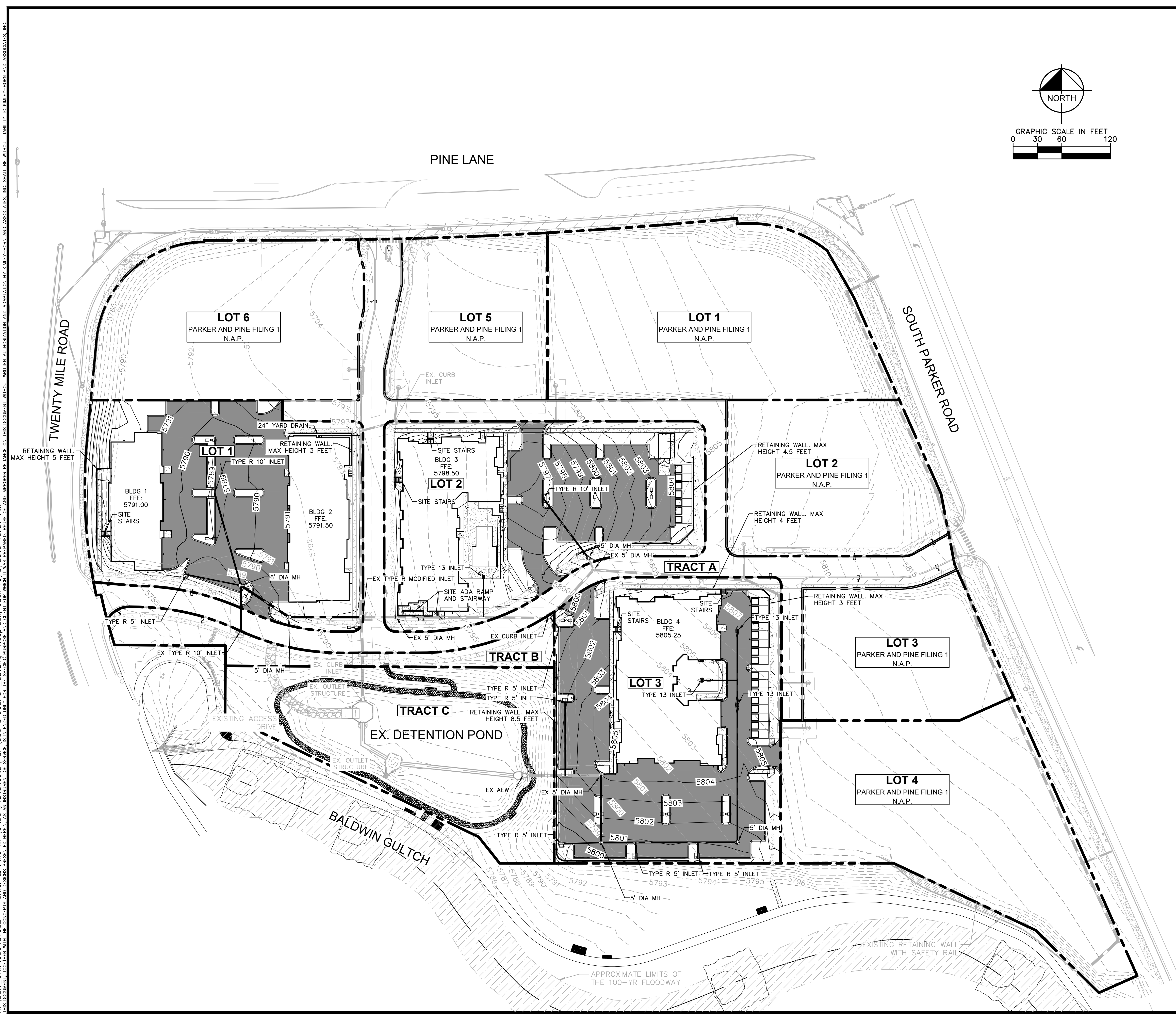
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LEGEND

	EXISTING PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	PROPOSED STORM INLET

BENCHMARK
 A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN. CULVERT, 25 FEET WEST OF THE WEST EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.
 ELEVATION = 5734.25 FEET (NAVD 1988), AS PUBLISHED BY DOUGLAS COUNTY.

NOTE:
 1. BUILDING ROOF DRAINS TO DISCHARGE ON GRADE.

NO.	REVISION	BY	DATE	APPR.

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 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

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 CHECKED BY: DLS
 DATE: 08/25/20

PARKER AND PINE MULTI-FAMILY
 PARKER, CO
 SITE PLAN
OVERALL GRADING PLAN

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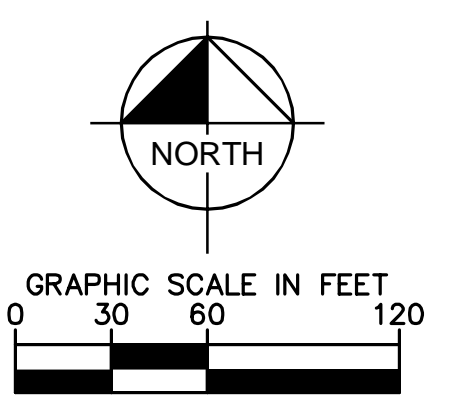
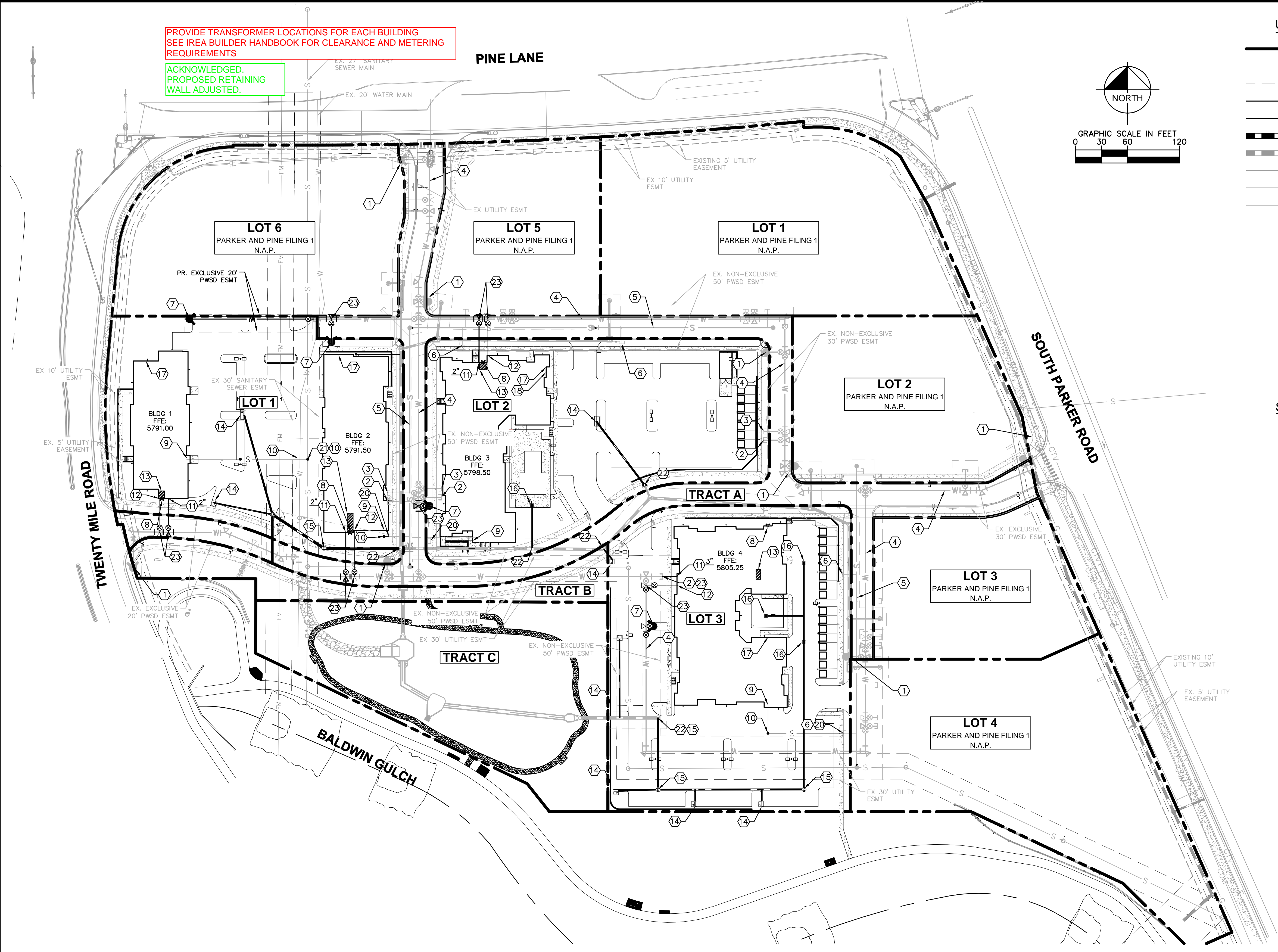
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PROVIDE TRANSFORMER LOCATIONS FOR EACH BUILDING
 SEE IREA BUILDER HANDBOOK FOR CLEARANCE AND METERING
 REQUIREMENTS

ACKNOWLEDGED.
 PROPOSED RETAINING
 WALL ADJUSTED.



UTILITY LEGEND

- EXISTING PROPERTY LINE
- - - EXISTING EASEMENT
- - - PROPOSED EASEMENT
- S --- PROPOSED SANITARY SEWER LINE
- W --- PROPOSED WATER LINE
- PROPOSED STORM DRAINAGE LINE
- EXISTING STORM DRAINAGE LINE
- G --- EXISTING GAS LINE
- W --- EXISTING WATER LINE
- S --- EXISTING SANITARY SEWER LINE
- E --- EXISTING ELECTRIC LINE
- ⊕ PROPOSED FIRE HYDRANT W/ BOLLARDS
- ⊗ PROPOSED METER
- ⊕ ⊖ PROPOSED WATER VALVE
- ⊕ ⊖ PROPOSED TEE / BEND
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE W/ FLOW ARROWS

SITE KEYNOTES

- ① EXISTING FIRE HYDRANT
- ② EXISTING 8" STUB W/TEMP BLOW-OFF
- ③ EXISTING 6" FIRE SERVICE W/TEMP BLOW-OFF
- ④ EXISTING 8" WATER MAIN
- ⑤ EXISTING 8" SEWER MAIN
- ⑥ EXISTING 6" SEWER STUB
- ⑦ PROPOSED FIRE HYDRANT WITH 6" GATE VALVE
- ⑧ PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
- ⑨ PROPOSED 6" SANITARY SEWER BUILDING POINT OF CONNECTION (P.O.C.)
- ⑩ PROPOSED SANITARY SEWER CLEANOUT
- ⑪ PROPOSED DOMESTIC WATER SERVICE BUILDING P.O.C. SIZE PER PLAN
- ⑫ PROPOSED 6" FIRE SERVICE BUILDING P.O.C.
- ⑬ PROPOSED FIRE RISER ROOM
- ⑭ PROPOSED CURB INLET
- ⑮ PROPOSED STORM MANHOLE
- ⑯ PROPOSED AREA INLET
- ⑰ PROPOSED BUILDING ELECTRIC METER LOCATION
- ⑱ PROPOSED BUILDING GAS METER LOCATION
- ⑲ EXISTING PWS 8" FORCE MAIN
- ⑳ CONNECT TO EXISTING SANITARY SEWER STUB
- ㉑ CONNECT TO EXISTING SANITARY SEWER MAIN PER PWS STANDARDS.
- ㉒ TIE INTO EXISTING STORM SEWER SYSTEM
- ㉓ CONNECT TO EXISTING WATER MAIN PER PWS STANDARDS

FIRE CODE REVIEW BLOCK

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATIONS OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

FIRE CODE OFFICIAL OR DESIGNATED REPRESENTATIVE _____ DATE _____

(NOTE - UNDERGROUND FORE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENTS OF NFPA 24 WHEN SUBMITTING FOR REVIEW)

NO.	REVISION	BY	DATE	APPR.

Kimley»Horn

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 4582 South Uteer Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 08/25/20

PARKER AND PINE MULTI-FAMILY
 PARKER, CO
 SITE PLAN
 OVERALL UTILITY PLAN

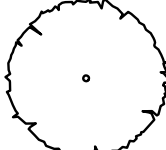

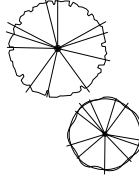



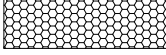


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PROVIDE TRANSFORMER LOCATIONS FOR EACH BUILDING
SEE IREA BUILDER HANDBOOK FOR CLEARANCE
AND METERING REQUIREMENTS

ACKNOWLEDGED.
PROPOSED RETAINING
WALL ADJUSTED.

LANDSCAPE PLAN LEGEND:

-  - DECIDUOUS CANOPY TREES
-  - ORNAMENTAL TREES
-  - EVERGREEN TREES
-  - DECIDUOUS SHRUBS
-  - LOW/SPREADING SHRUBS
-  - PERENNIALS
-  - ORNAMENTAL GRASSES
-  - KEN-TEX BLUEGRASS SOD (HIGH WATER USE)
-  - EXISTING KEN-TEX BLUEGRASS SOD & TOWN OF PARKER SEED MIX 3

REFERENCE SHEET 07 OF 08 FOR
COMPLETE PLANT SCHEDULE,
TABULATIONS & NOTES.
REFERENCE SHEET 08 OF 08 FOR
LANDSCAPE DETAILS.

NO.	REVISION	BY	DATE	APPR.

THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS
BLVD., GREENWOOD, IN 46143 317-866-7923



DESIGNED BY: NAS
DRAWN BY: NAS
CHECKED BY: TGC
DATE: 08/21/20

PARKER AND PINE MULTI-FAMILY
PARKER, CO
PRELIMINARY SITE PLAN
LANDSCAPE PLAN

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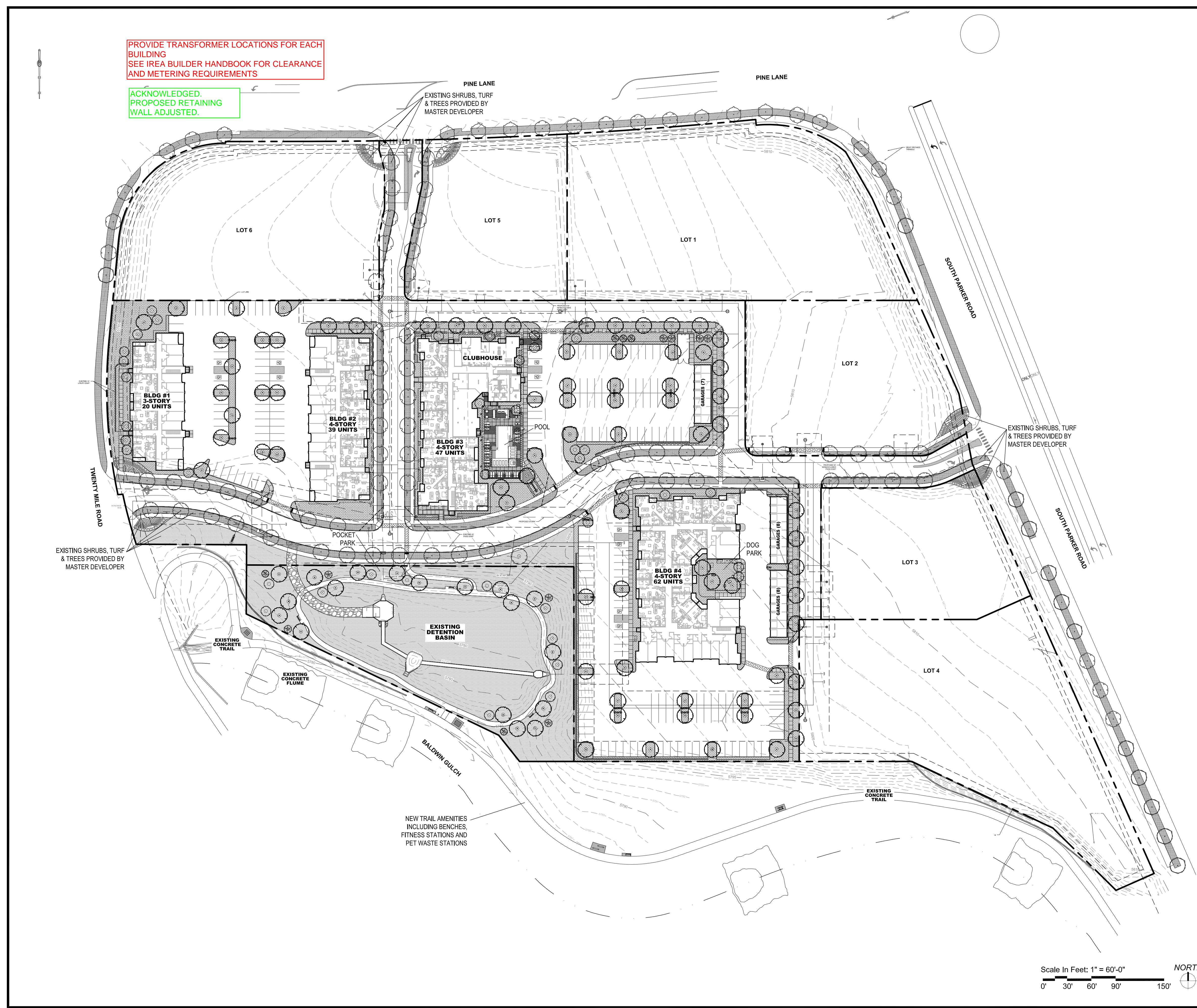
Nicholas Allen Smith
Registered Landscape Architect of the
State of COLORADO
Registration Number: 1436

**NOT FOR
CONSTRUCTION**

PROJECT NO.
096502001

DRAWING NAME
LANDSCAPE PLAN

06 OF 13



Scale In Feet: 1" = 60'-0"
0' 30' 60' 90' 150'

NORTH

