



Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

MEMORANDUM

TO: Matt Janke, E5X Management
FROM: Stacey Nerger, Senior Planner
DATE: March 31, 2021
SUBJECT: Trails at Crowfoot Filing No. 16 – Final Plat
Review Comments 01

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER: Stacey Nerger

EMAIL: snerger@parkeronline.org

PHONE: 303.805.3199

GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:
[Parker 2035 Master Plan](#)
[Development Design Standards](#)
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKIT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not refer the application out with this naming convention.
6. Example: "02 Trails at Crowfoot Filing No. 16 Final Plat" or "Second Submittal Trails at Crowfoot Filing no. 16 Final Plat"

Final Plat

1. Please see the attached redlines for additional information.

Comment Addressed: Yes No

Response:

2. Prior to recordation of the plat, a deed transferring ownership to KB Homes or an updated title commitment showing ownership in KB Homes name will be required.

Comment Addressed: Yes No

Response:

3. Please change all dates on the plat to either 2021 or 20__:

Comment Addressed: Yes No

Response:

4. Please update all pages of the Plat to reflect the surrounding area. The surrounding tracts have since been platted into lots within separate filings.

Comment Addressed: Yes No

Response:

Final Landscape Plans

1. Please see the attached redlines for additional information.

Comment Addressed: Yes No

Response:

Subdivision Agreement

1. Staff will be reviewing the existing drafted Subdivision Agreement for the previous submittal for Filing 16 to determine if any additional changes are needed. An updated draft SIA will be forwarded to the property owner as soon as it is available.

Comment Addressed: Yes No

Response:

2. Please submit a landscape cost estimate for all streetscape (landscaping between the edge of curb and the sidewalk) proposed with this filing.

Comment Addressed: Yes No

Response:

3. Please submit a landscape cost estimate for all landscaping (excluding the streetscape) proposed with this filing.

Comment Addressed: Yes No

Response:

OUTSIDE REFERRAL AGENCY COMMENTS

Please address all outside referral agency comments with a written response. The following agencies have provided comments for review:

- Aztec Consultants
- Douglas County Assessor's office
- Fire Life Safety
- IREA

The following referral agencies have not submitted comments as of the date of this memo. Please continue to check TRAKiT for these comments and include responses with your resubmittal:

- Town of Parker Engineering/Public Works (Construction Documents and Drainage Plan)
- Douglas County Assessor's office
- Public Service Company of Colorado
- Plat – Civil

These comments are available on eTRAKiT. Please address accordingly.

Comment(s) Addressed: Yes No

Response:

*Staff Comments 01
SUB20-405; Trails at Crowfoot Filing No. 16
Final Plat
March 31, 2021*

Property Owner

Date

Project Representative

Date

TRAILS AT CROWFOOT FILING NO. 16

A REPLAT OF TRACT BB OF TRAILS AT CROWFOOT FILING NO. 1
 A PART OF SECTION 9, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6th PRINCIPAL MERIDIAN,
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SHEET 1 OF 8

TOTAL ACREAGE = 8.954 ACRES, 42 RESIDENTIAL LOTS, 4 TRACTS

DEDICATION STATEMENT:

THE UNDERSIGNED, BEING ALL THE OWNERS, MORTGAGEES, BENEFICIARIES OF DEEDS OF TRUST AND HOLDERS OF OTHER INTERESTS OF THE LANDS DESCRIBED HEREIN, HAVE LAID OUT, SUBDIVIDED AND PLATTED SAID LANDS INTO LOTS, TRACTS, BLOCKS, STREETS AND EASEMENTS AS SHOWN HEREON UNDER THE NAME AND SUBDIVISION OF THE TRAILS AT CROWFOOT FILING NO. 16. THE UTILITY EASEMENTS AS SHOWN HEREON ARE HEREBY DEDICATED FOR PUBLIC UTILITIES AND CABLE COMMUNICATION SYSTEMS AND OTHER PURPOSES AS SHOWN HEREON. THE ENTITIES RESPONSIBLE FOR PROVIDING THE UTILITY SERVICES FOR WHICH THE EASEMENTS ARE ESTABLISHED ARE HEREBY GRANTED THE PERPETUAL RIGHT OF INGRESS AND EGRESS FROM AND TO ADJACENT PROPERTIES FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF UTILITY LINES AND RELATED FACILITIES. THE OWNERS OF THE LANDS DESCRIBED HEREIN ARE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF DRAINAGE EASEMENTS SHOWN HEREON AND RELATED FACILITIES, AS PROVIDED IN THE STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL, AS AMENDED. THE UNDERSIGNED GRANTS THE TOWN OF PARKER A PERPETUAL RIGHT OF INGRESS AND EGRESS FROM AND TO ADJACENT PROPERTY TO MAINTAIN, OPERATE AND RECONSTRUCT THE DRAINAGE EASEMENTS AND RELATED FACILITIES COVERED BY CHAPTER 4.08 OF THE PARKER MUNICIPAL CODE, AS AMENDED; AND TO MAINTAIN, OPERATE AND RECONSTRUCT THE DRAINAGE EASEMENTS AND RELATED FACILITIES NOT COVERED BY CHAPTER 4.08 OF THE PARKER MUNICIPAL CODE AS AMENDED, WHEN THE OWNER(S) FAIL TO ADEQUATELY MAINTAIN SUCH DRAINAGE EASEMENTS AND RELATED FACILITIES, WHICH MAINTENANCE, OPERATION AND RECONSTRUCTION SHALL BE AT THE COST OF THE OWNER(S). ALL PUBLIC STREETS AND RIGHTS-OF-WAY SHOWN HEREON ARE DEDICATED AND CONVEYED TO THE TOWN OF PARKER, COLORADO, IN FEE SIMPLE ABSOLUTE, FOR PUBLIC USES AND PURPOSES. DRAINAGE AND DETENTION EASEMENTS AS SHOWN HEREON ARE HEREBY DEDICATED TO THE TOWN. THE TOWN IS HEREBY GRANTED THE PERPETUAL RIGHT OF INGRESS AND EGRESS FROM AND TO THE ADJACENT PROPERTIES FOR CONSTRUCTION, REPAIR, MAINTENANCE, OPERATION AND REPLACEMENT OF STORM SEWERS AND DRAINAGE FACILITIES. THE UNDERSIGNED GRANTS TO THE TOWN A SIGHT EASEMENT(S) AS SHOWN HEREON WITHIN THE SUBDIVISION TO MAINTAIN ADEQUATE SIGHT DISTANCE AT ALL ROADWAY INTERSECTIONS AS PROVIDED BY THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AS AMENDED. THE TOWN IS HEREBY GRANTED THE PERPETUAL RIGHT OF INGRESS AND EGRESS ACROSS ALL LOTS AND TRACTS WITHIN THE SUBDIVISION TO REMOVE ANY OBSTRUCTION TO THE PROPER SITE DISTANCE, INCLUDING, BUT NOT LIMITED TO, ANY STRUCTURE, FENCE, UTILITY BOX, RAISED MEDIAN AND LANDSCAPING, AT THE SOLE COST AND EXPENSE OF THE OWNER OF THE LOT AND/OR TRACT UPON WHICH SUCH OBSTRUCTION IS SITUATED. THE OWNERS OR ADJACENT PROPERTY OWNERS OF THE LANDS ARE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SIGHT EASEMENTS SHOWN HEREON. WHEN THE OWNER(S) OR ADJACENT OWNERS FAIL TO ADEQUATELY MAINTAIN SUCH SIGHT EASEMENTS, THE MAINTENANCE, OPERATION AND RECONSTRUCTION SHALL BE AT THE COST OF THE OWNER(S). THE UNDERSIGNED HEREBY DEDICATES SIDEWALK EASEMENTS AS SHOWN FOR PUBLIC SIDEWALK PURPOSES. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL SIDEWALK ADJACENT TO THE PROPERTY IN GOOD CONDITION AND FREE FROM ANY HAZARD. THE UNDERSIGNED GRANTS THE TOWN THE PERPETUAL RIGHTS OF INGRESS AND EGRESS UPON THE PROPERTY FOR THE OPERATION, MAINTENANCE, AND RECONSTRUCTION OF THE PUBLIC SIDEWALK WHEN THE OWNERS FAIL TO MAINTAIN SUCH PUBLIC SIDEWALK, WHICH MAINTENANCE, OPERATION AND RECONSTRUCTION SHALL BE AT THE COST OF THE OWNER(S). THE TOWN SHALL ALSO HAVE THE RIGHT TO REMOVE AN OBSTRUCTION THAT WOULD ADVERSELY AFFECT THE OPERATION AND MAINTENANCE OF THE SIDEWALK, AS DETERMINED BY THE TOWN.

ACKNOWLEDGEMENT

THE UNDERSIGNED, BEING ALL THE OWNERS, MORTGAGEES, BENEFICIARIES OF DEEDS OF TRUST AND HOLDERS OF OTHER INTERESTS OF THE LANDS DESCRIBED HEREIN, HEREBY ACKNOWLEDGE THAT ANY SUBDIVISION APPROVAL OBTAINED BY THE TOWN OF PARKER DOES NOT OBIVATE SAID UNDERSIGNED'S NEED OR RESPONSIBILITY TO COMPLY WITH THE REQUIREMENTS OF THE ENDANGERED SPECIES ACT OF 1973, 16 U.S.C. 1 531, ET SEQ., AS AMENDED OR WITH ANY OTHER APPLICABLE FEDERAL, STATE OR LOCAL LAWS OR REGULATIONS.

OWNER

KB HOME COLORADO, INC., A COLORADO CORPORATION.

SIGNATURE _____

BY: _____

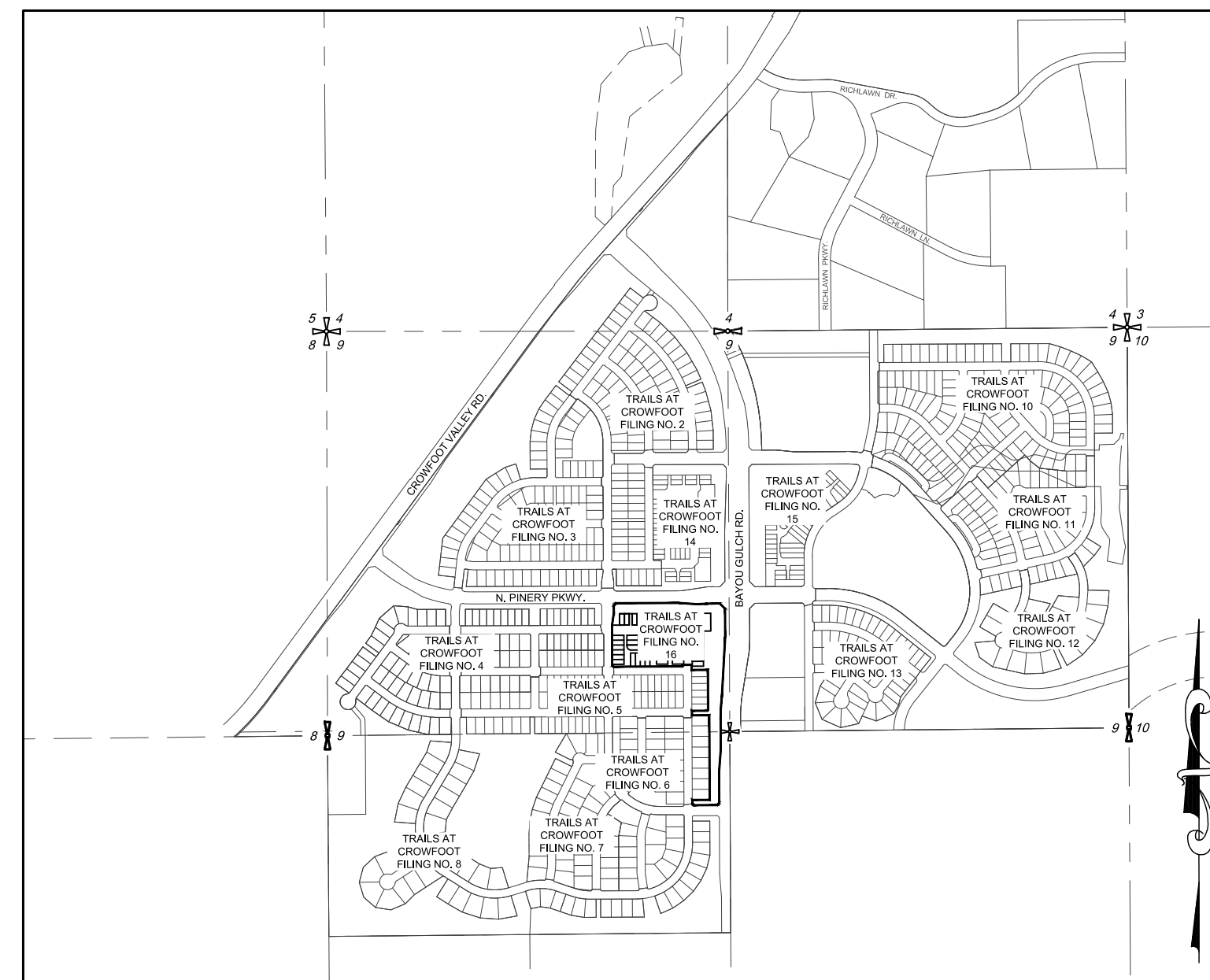
AS _____ OF KB HOME COLORADO, INC., A COLORADO CORPORATION.

SUBSCRIBED AND SWORN BEFORE ME THIS _____ DAY OF _____, 2018, BY _____ AS _____

_____ OF KB HOME COLORADO, INC., A COLORADO CORPORATION.

WITNESS MY HAND AND OFFICIAL SEAL

MY COMMISSION EXPIRES _____ NOTARY PUBLIC _____



VICINITY MAP
 SCALE: 1" = 1000'

LEGAL DESCRIPTION:

A PARCEL OF LAND BEING A PART OF SECTION 9, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TRACT BB OF TRAILS AT CROWFOOT SUBDIVISION FILING NO. 1 AS RECORDED AT RECEPTION NO. 2018065116 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO.

PLANNING COMMISSION STATEMENT:

THE PRELIMINARY PLAN FOR THIS PLAT WAS REVIEWED BY THE PLANNING COMMISSION ON _____ JULY 02 _____, 2018.

PLANNING DIRECTOR, ON BEHALF OF THE PLANNING COMMISSION _____ DATE _____

CLERK AND RECORDER'S CERTIFICATION:

STATE OF COLORADO)
)SS
 COUNTY OF DOUGLAS)

I HEREBY CERTIFY THAT THIS PLAT WAS FILED IN MY OFFICE ON THIS _____ DAY OF _____, 2018, A.D., AT _____ A.M./P.M AT RECEPTION NUMBER _____

 COUNTY CLERK AND RECORDER

TITLE VERIFICATION:

WE, COMMONWEALTH LAND TITLE INSURANCE COMPANY, A QUALIFIED TITLE INSURANCE COMPANY, DO HEREBY CERTIFY THAT WE HAVE EXAMINED THE TITLE OF ALL LAND PLATTED HERON AND THAT TITLE TO SUCH LAND IS IN THE DEDICATOR(S) FREE AND CLEAR OF ALL LIENS, TAXES AND ENCUMBRANCES EXCEPT FOR THOSE ITEMS SHOWN IN TITLE COMMITMENT NO. H0513965-023-CNX-CN.

SIGNATURE _____

BY: _____

_____ OF COMMONWEALTH LAND TITLE INSURANCE COMPANY.

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2018, BY _____

AS _____ COMMONWEALTH LAND TITLE INSURANCE COMPANY.

WITNESS MY HAND AND OFFICIAL SEAL

MY COMMISSION EXPIRES _____ NOTARY PUBLIC _____

APPROVAL OF TOWN COUNCIL:

THIS PLAT WAS APPROVED BY TOWN COUNCIL AND/OR, WHERE APPLICABLE, THE PLANNING DIRECTOR AND DIRECTOR OF ENGINEERING OF THE TOWN OF PARKER, COLORADO, ON THE _____ DAY OF _____, 2018, FOR FILING. THE DEDICATIONS ARE HEREBY ACCEPTED.

ALL EXPENSES INCURRED WITH RESPECT TO IMPROVEMENTS FOR ALL UTILITY SERVICES, PAVING, GRADING, CURBS, GUTTER, SIDEWALKS, ROAD LIGHTING, ROAD SIGNS, FLOOD PROTECTION DEVICES, DRAINAGE STRUCTURES, AND ALL OTHER IMPROVEMENTS THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER AND NOT THE TOWN OF PARKER. THE TOWN SHALL ONLY ACCEPT MAINTENANCE OF THE ROADWAY IMPROVEMENTS AFTER CONSTRUCTION HAS BEEN COMPLETED, AND AFTER THE WARRANTY PERIOD, IN ACCORDANCE WITH TOWN REGULATIONS.

THIS ACCEPTANCE DOES NOT GUARANTEE THAT THE SOIL CONDITIONS, SUBSURFACE GEOLOGY, GROUNDWATER CONDITIONS OR FLOODING CONDITIONS OF ANY LOT SHOWN HEREON ARE SUCH THAT A BUILDING PERMIT WILL BE ISSUED.

PLANNING DIRECTOR, TOWN OF PARKER _____

DIRECTOR OF ENGINEERING, TOWN OF PARKER _____

SURVEYOR'S CERTIFICATION:

I, WILLIAM F. HESSELBACH, JR., A PROFESSIONAL LAND SURVEYOR LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY OF TRAILS AT CROWFOOT FILING NO. 16 WAS MADE BY ME OR DIRECTLY UNDER MY SUPERVISION ON OR ABOUT THE _____ DAY OF _____, 2018, AND THAT THE SURVEY IS BASED UPON MY KNOWLEDGE, INFORMATION AND BELIEF THAT ALL MONUMENTS EXIST AS SHOWN HEREON; IT HAS BEEN PREPARED IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE, THAT MATHEMATICAL CLOSURE ERRORS ARE LESS THAN 1:50,000 (SECOND ORDER); AND THAT SAID PLAT HAS BEEN PREPARED IN FULL COMPLIANCE WITH ALL APPLICABLE LAWS OF THE STATE OF COLORADO DEALING WITH MONUMENTS, SUBDIVISIONS OR SURVEYING OF LAND AND ALL PROVISIONS, WITHIN MY CONTROL, OF THE TOWN SUBDIVISION REGULATIONS. THIS SURVEY IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED, AND THE ACCOMPANYING PLAT ACCURATELY AND PROPERLY SHOWS SAID MINOR DEVELOPMENT PLAT AND THE SURVEY THEREOF.

I ATTEST THE ABOVE ON THIS _____ DAY OF _____, 2018.

WILLIAM F. HESSELBACH, JR., PLS NO. 25369
 FOR AND ON BEHALF OF CVL CONSULTANTS OF COLORADO, INC.
 10333 E. DRY CREEK ROAD, SUITE 240
 ENGLEWOOD, CO 80112
 (720)-249-3542

Change all dates to 2021

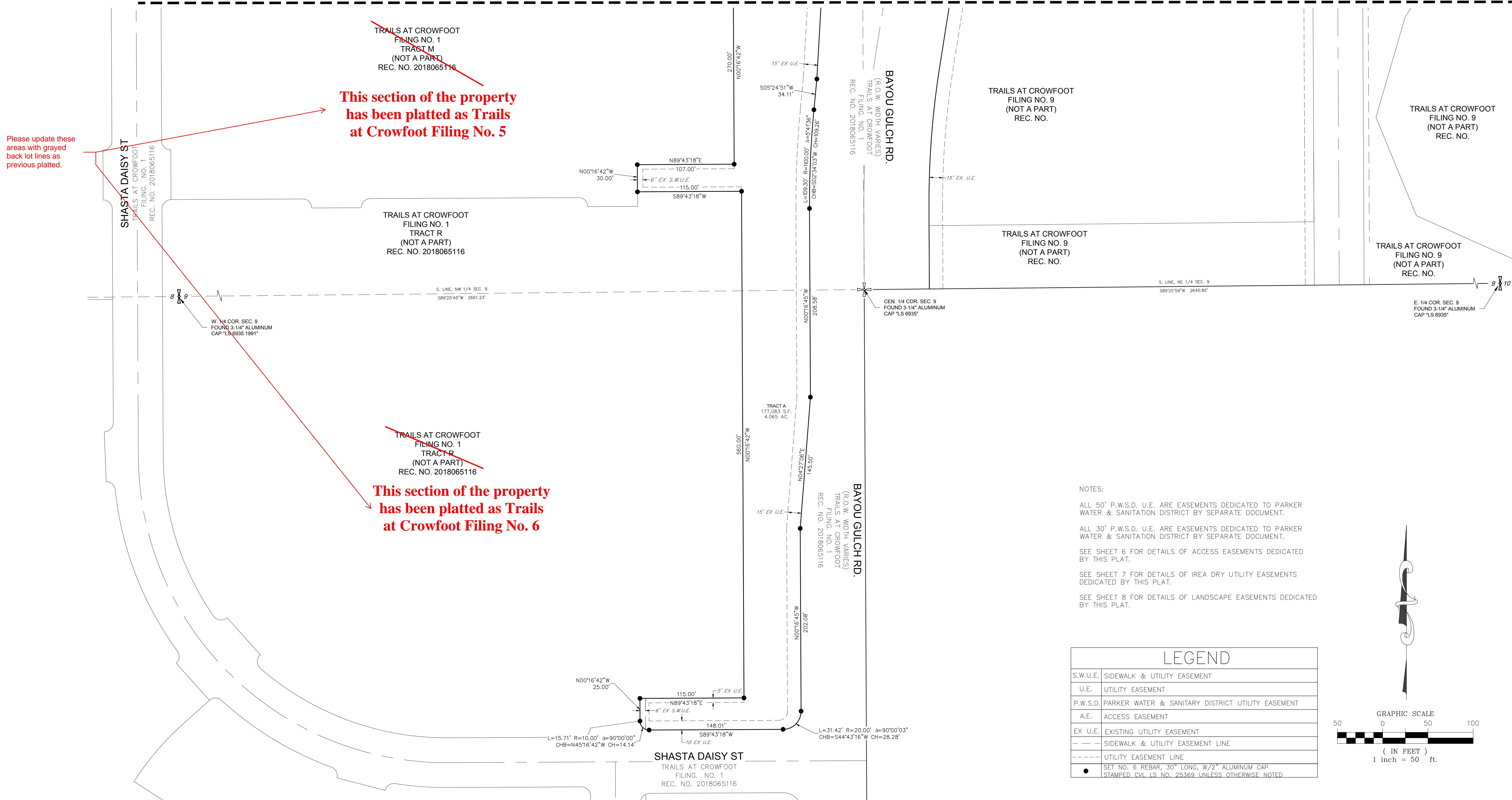
ENGINEER/SURVEYOR

CVL Consultants
 of Colorado, Inc.
 10333 E. Dry Creek Rd., Suite 240
 Englewood, CO 80112
 Tel: (720) 482-9526 / Fax: (720) 482-9546

TRAILS AT CROWFOOT FILING NO. 16

A REPLAT OF TRACT BB OF TRAILS AT CROWFOOT FILING NO. 1
 A PART OF SECTION 9, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6th PRINCIPAL MERIDIAN,
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
 SHEET 5 OF 8
 TOTAL ACREAGE = 8.954 ACRES, 42 RESIDENTIAL LOTS, 4 TRACTS

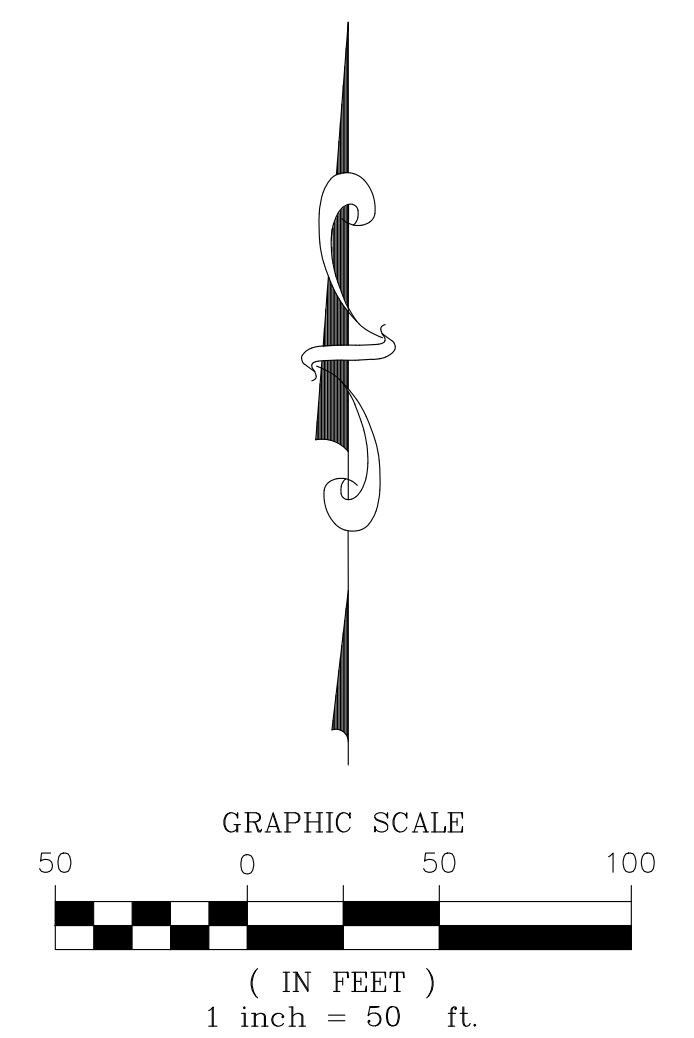
MATCHLINE - SEE SHEET 4



NOTES:

- ALL 50' P.W.S.D. U.E. ARE EASEMENTS DEDICATED TO PARKER WATER & SANITATION DISTRICT BY SEPARATE DOCUMENT.
- ALL 30' P.W.S.D. U.E. ARE EASEMENTS DEDICATED TO PARKER WATER & SANITATION DISTRICT BY SEPARATE DOCUMENT.
- SEE SHEET 6 FOR DETAILS OF ACCESS EASEMENTS DEDICATED BY THIS PLAT.
- SEE SHEET 7 FOR DETAILS OF IREA DRY UTILITY EASEMENTS DEDICATED BY THIS PLAT.
- SEE SHEET 8 FOR DETAILS OF LANDSCAPE EASEMENTS DEDICATED BY THIS PLAT.

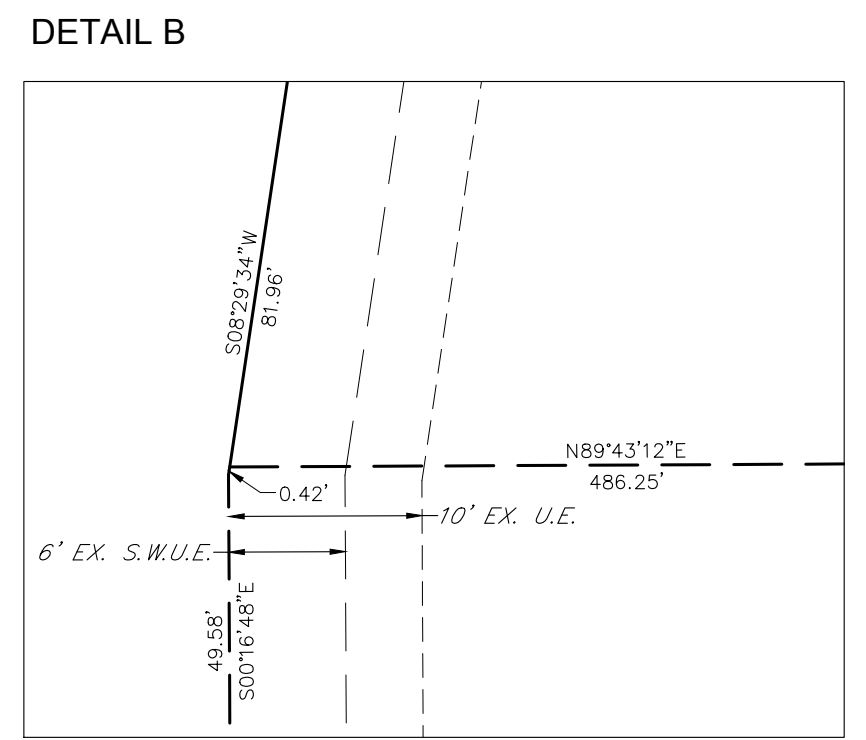
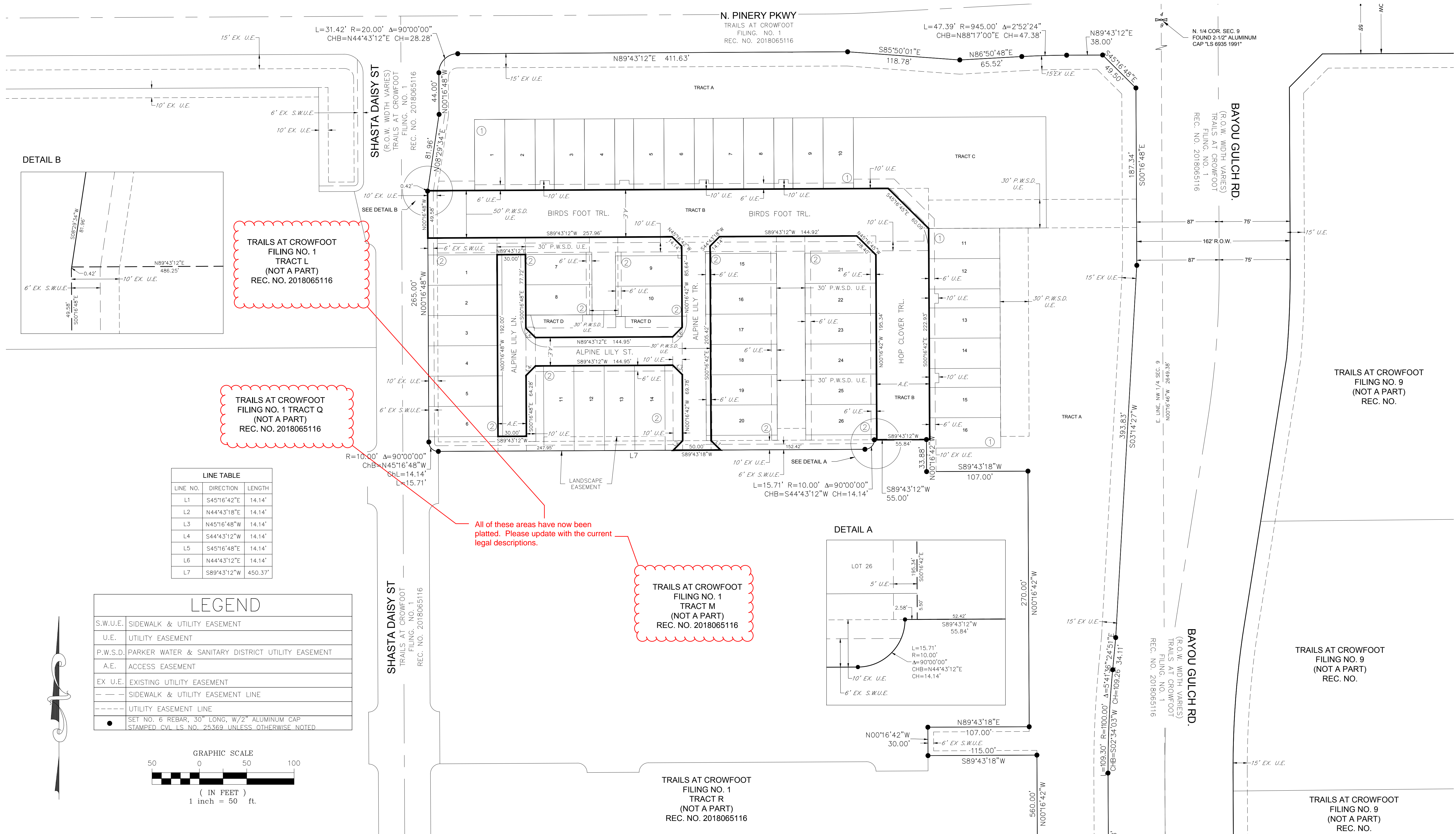
LEGEND	
S.W.U.E.	SIDEWALK & UTILITY EASEMENT
U.E.	UTILITY EASEMENT
P.W.S.D.	PARKER WATER & SANITARY DISTRICT UTILITY EASEMENT
A.E.	ACCESS EASEMENT
EX. U.E.	EXISTING UTILITY EASEMENT
---	SIDEWALK & UTILITY EASEMENT LINE
----	UTILITY EASEMENT LINE
●	SET NO. 6 REBAR, 30" LONG, W/2" ALUMINUM CAP STAMPED C.V.L. LS NO. 25369 UNLESS OTHERWISE NOTED



TRAILS AT CROWFOOT FILING NO. 16

A REPLAT OF TRACT BB OF TRAILS AT CROWFOOT FILING NO. 1
 A PART OF SECTION 9, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6th PRINCIPAL MERIDIAN,
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
 SHEET 6 OF 8

TOTAL ACREAGE = 8.954 ACRES, 42 RESIDENTIAL LOTS, 4 TRACTS
 ACCESS EASEMENTS



TRAILS AT CROWFOOT FILING NO. 1 TRACT L (NOT A PART) REC. NO. 2018065116

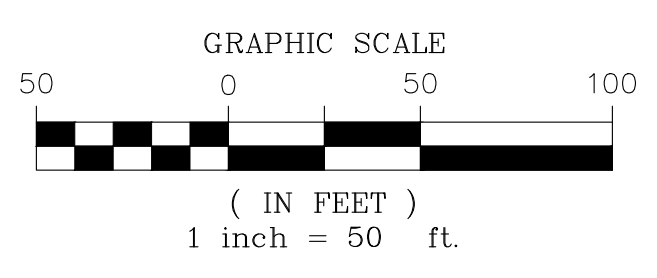
TRAILS AT CROWFOOT FILING NO. 1 TRACT Q (NOT A PART) REC. NO. 2018065116

TRAILS AT CROWFOOT FILING NO. 1 TRACT M (NOT A PART) REC. NO. 2018065116

All of these areas have now been platted. Please update with the current legal descriptions.

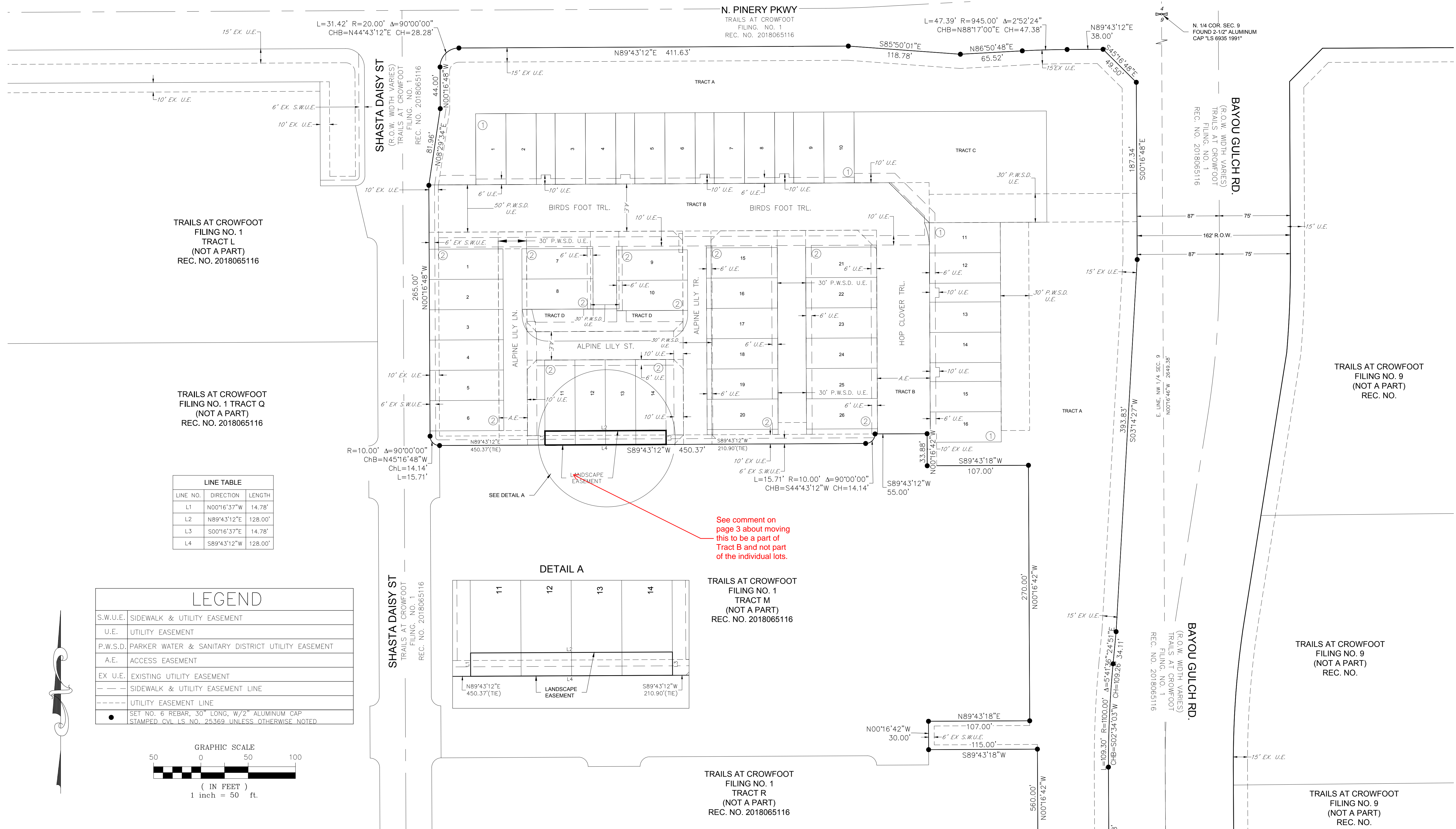
LINE NO.	DIRECTION	LENGTH
L1	S45°16'42"E	14.14'
L2	N44°43'18"E	14.14'
L3	N45°16'48"W	14.14'
L4	S44°43'12"W	14.14'
L5	S45°16'48"E	14.14'
L6	N44°43'12"E	14.14'
L7	S89°43'12"W	450.37'

LEGEND	
S.W.U.E.	SIDEWALK & UTILITY EASEMENT
U.E.	UTILITY EASEMENT
P.W.S.D.	PARKER WATER & SANITARY DISTRICT UTILITY EASEMENT
A.E.	ACCESS EASEMENT
EX U.E.	EXISTING UTILITY EASEMENT
- - -	SIDEWALK & UTILITY EASEMENT LINE
- - - -	UTILITY EASEMENT LINE
●	SET NO. 6 REBAR, 30" LONG, W/2" ALUMINUM CAP STAMPED CVL. L.S. NO. 25369 UNLESS OTHERWISE NOTED



TRAILS AT CROWFOOT FILING NO. 16

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 SHEET 8 OF 8
 TOTAL ACREAGE = 8.954 ACRES, 42 RESIDENTIAL LOTS, 4 TRACTS
 LANDSCAPE EASEMENTS

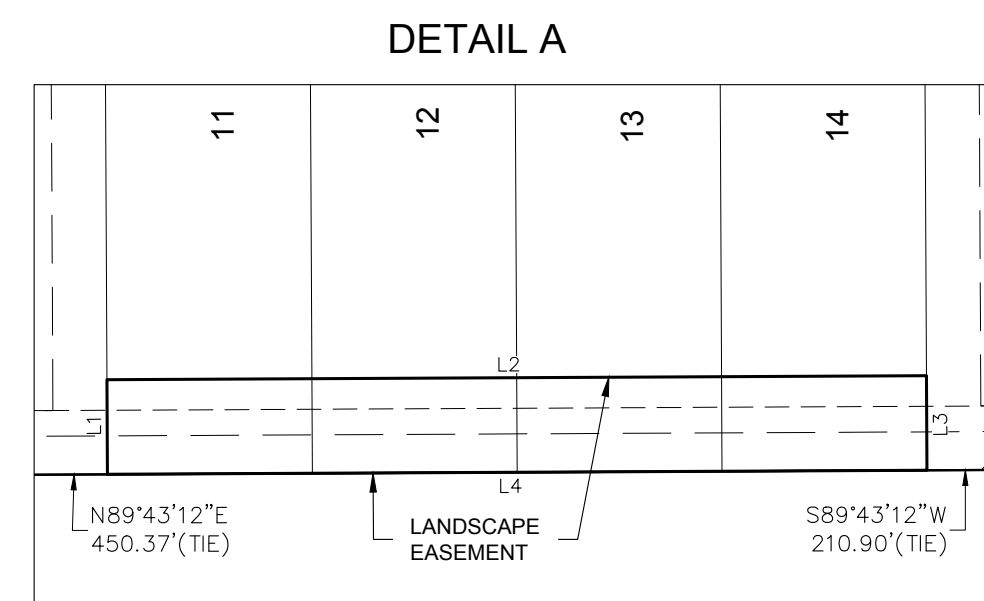
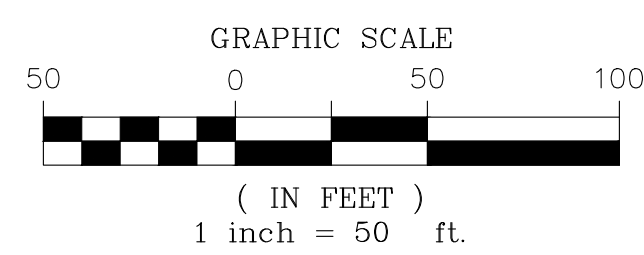


TRAILS AT CROWFOOT
 FILING NO. 1
 TRACT L
 (NOT A PART)
 REC. NO. 2018065116

TRAILS AT CROWFOOT
 FILING NO. 1 TRACT Q
 (NOT A PART)
 REC. NO. 2018065116

LINE NO.	DIRECTION	LENGTH
L1	N00°16'37"W	14.78'
L2	N89°43'12"E	128.00'
L3	S00°16'37"E	14.78'
L4	S89°43'12"W	128.00'

LEGEND	
S.W.U.E.	SIDEWALK & UTILITY EASEMENT
U.E.	UTILITY EASEMENT
P.W.S.D.	PARKER WATER & SANITARY DISTRICT UTILITY EASEMENT
A.E.	ACCESS EASEMENT
EX U.E.	EXISTING UTILITY EASEMENT
- - -	SIDEWALK & UTILITY EASEMENT LINE
- - - -	UTILITY EASEMENT LINE
●	SET NO. 6 REBAR, 30" LONG, W/2" ALUMINUM CAP STAMPED CVL L.S. NO. 25369 UNLESS OTHERWISE NOTED



TRAILS AT CROWFOOT
 FILING NO. 1
 TRACT M
 (NOT A PART)
 REC. NO. 2018065116

TRAILS AT CROWFOOT
 FILING NO. 1
 TRACT R
 (NOT A PART)
 REC. NO. 2018065116

See comment on
 page 3 about moving
 this to be a part of
 Tract B and not part
 of the individual lots.

ENGINEER/SURVEYOR

CVL Consultants of Colorado, Inc.
 10333 E. Dry Creek Rd., Suite 240
 Englewood, CO 80112
 Tel: (720) 482-9526 / Fax: (720) 482-9546

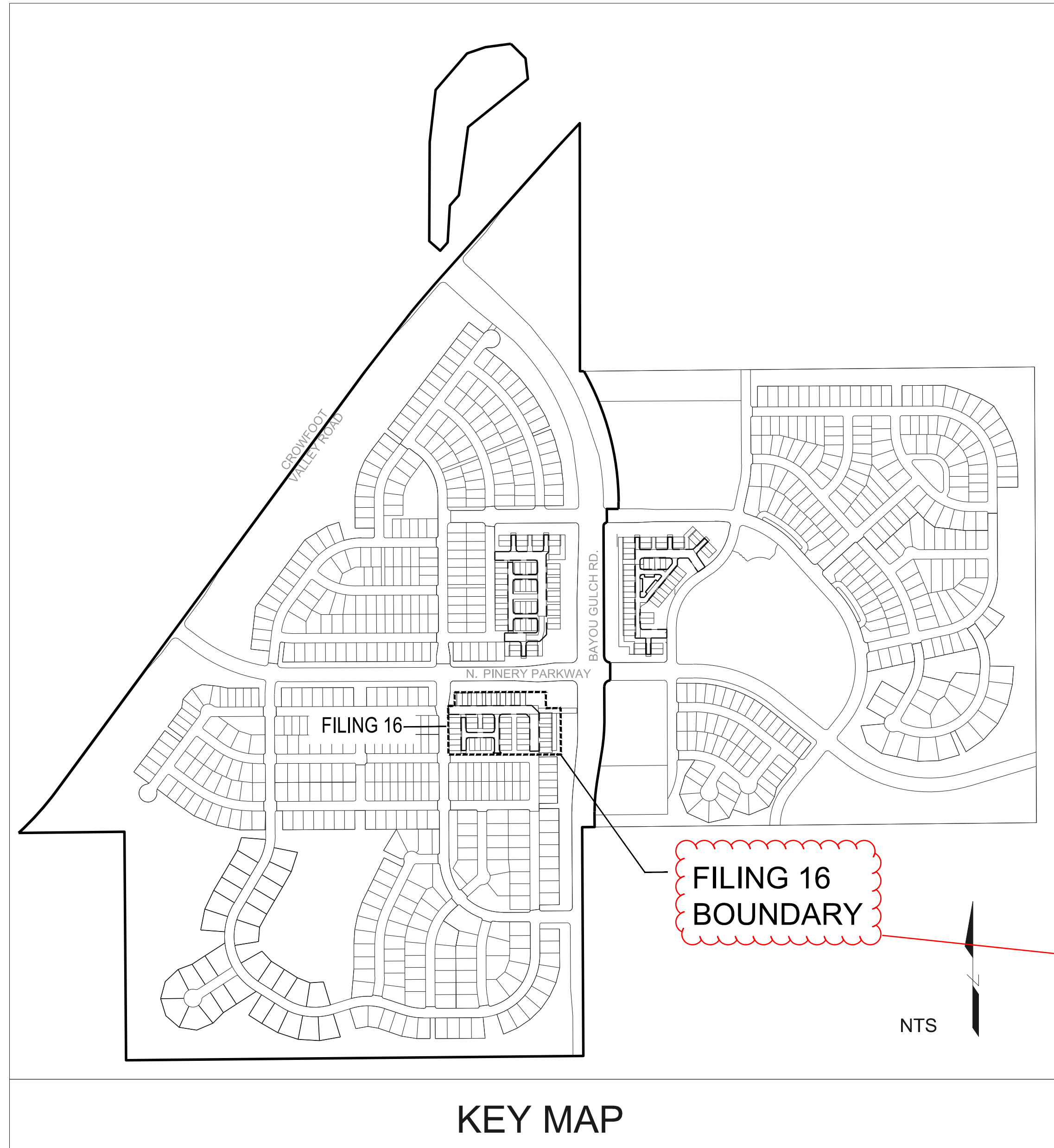
TRAILS AT CROWFOOT AMENDMENT NO.1

LANDSCAPE PLANS

FILING 16, MIXED USE

Change title to:
Trails at Crowfoot Filing No. 16
Final Landscape Plans

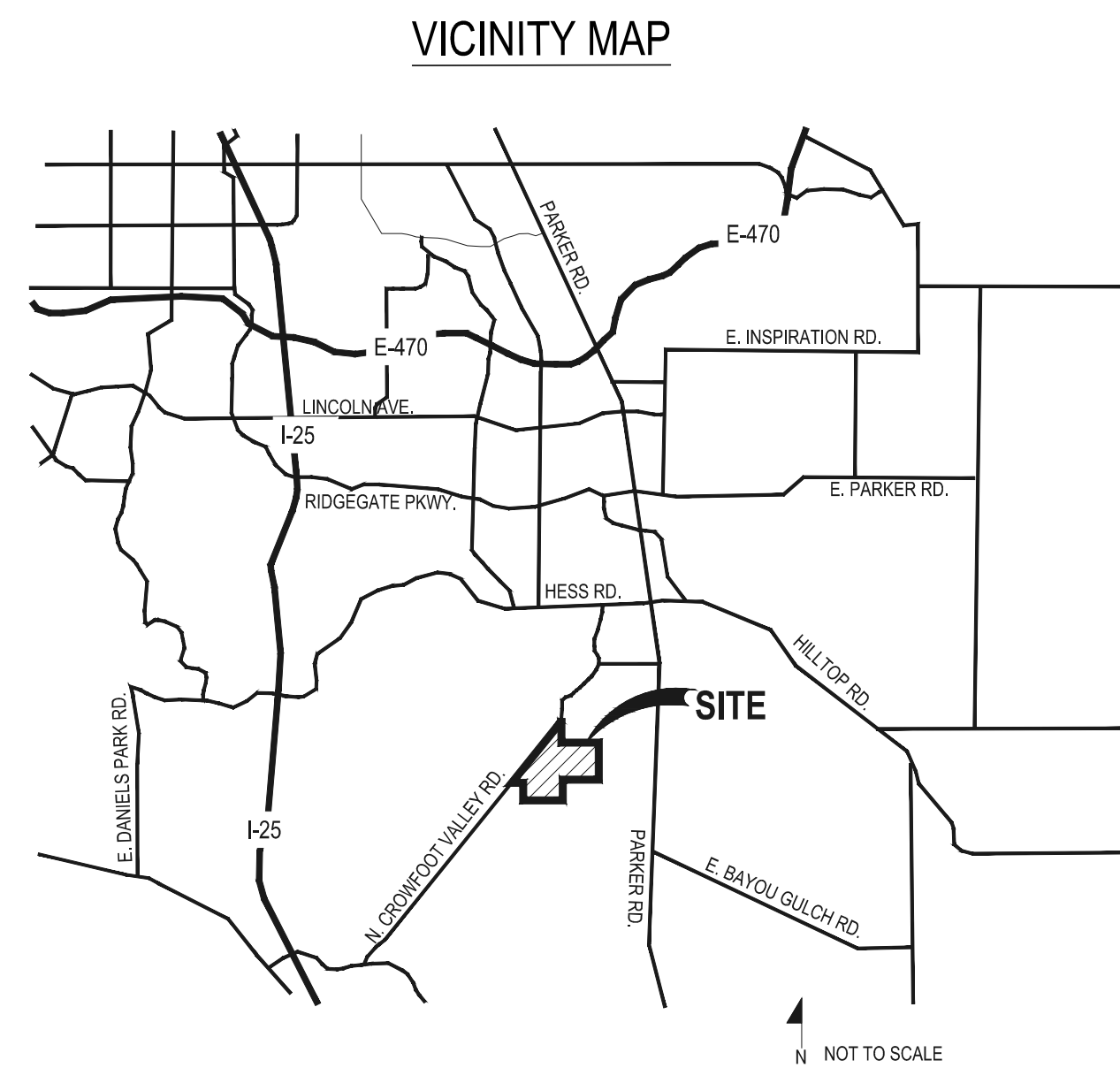
Add number of lots,
square feet and
acreage and number
of pages



Please include the entire Filing 16 boundary - including the area along Bayou Gulch Rd. For the area along bayou Gulch Rd. you will add a note that states that the landscaping in this location will be installed as part of Filing No. 1.

GENERAL NOTES

- DRAWINGS ARE INTENDED TO BE PRINTED ON 24 X 36 PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
- VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.
- THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.
- IF A GEOTECHNICAL SOILS REPORT IS NOT AVAILABLE AT THE TIME OF CONSTRUCTION, PCS GROUP, INC. RECOMMENDS A REPORT BE AUTHORIZED BY THE OWNER AND THAT ALL RECOMMENDATIONS OF THE REPORT ARE FOLLOWED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID. IF THE OWNER ELECTS TO PROVIDE A GEOTECHNICAL REPORT, THE CONTRACTOR SHALL REVIEW THE REPORT AND SUBMIT AN APPROPRIATE CHANGE ORDER TO THE OWNER'S REPRESENTATIVE IF ADDITIONAL COSTS ARE REQUESTED.
- CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
- CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-CONFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES AND REGULATORY AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
- UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
- ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE WORK AREA LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
- SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS. NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
- COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEAN OUT AREAS WITH OWNER'S REPRESENTATIVE.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCKPILES CONCRETE IN THE STORM SEWER IS PROHIBITED.
- THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
- CONTRACTOR SHALL MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
- THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.

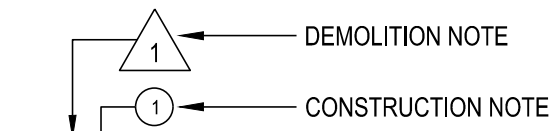


KEY MAP

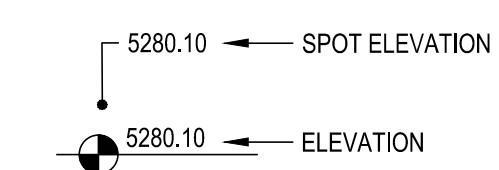
SYMBOLS & ABBREVIATIONS

- | | | |
|-----------------------------|--------------------------|-----------------------------------|
| AC. = ACRE | EXP. = EXPANSION | O.C. = ON CENTER |
| APPROXIMATE = APPROX. | E.W. = EACH WAY | O.D. = OUTSIDE DIAMETER |
| B&B = BALL AND BURLAP | F.F. = FINISH FLOOR | P.O.B. = POINT OF BEGINNING |
| BOC = BACK OF CURB | F.G. = FINISH GRADE | P.O.C. = POINT OF CONNECTION |
| B.M. = BENCH MARK | FIN. = FINISH | P.V.C. = POLYVINYL CHLORIDE |
| BLDG. = BUILDING | F.H. = FIRE HYDRANT | PIPE |
| B.S. = BOTTOM OF STAIR | FL = FLOW LINE | PL = PROPERTY LINE |
| B.W. = BOTTOM OF WALL | FTG. = FOOTING | R = RADIUS |
| CAL. = CALIPER | FT. = FEET | R.C.P. = REINFORCED CONCRETE PIPE |
| C.B. = CATCH BASIN | GA. = GAUGE | CONCRETE PIPE |
| CL. CATCH BASIN CENTER LINE | GALV. = GALVANIZED | R.O.W. = RIGHT OF WAY |
| C.O. = CLEANOUT | H.W. = HEAD WALL | REQD. = REQUIRED |
| COL. = COLUMN | H.P. = HIGH POINT | REINF. = REINFORCED |
| CONC. = CONCRETE | HT. = HEIGHT | SHT. = SHEET |
| CONT. = CONTINUOUS | HORIZ. = HORIZON | SPEC. = SPECIFICATIONS |
| CONTR. = CONTRACTOR | I.D. = INNER DIAMETER | SQ. = SQUARE |
| C.F. = CUBIC FEET | IN. = INCH | S.F. = SQUARE FEET |
| C.Y. = CUBIC YARD | IN.V. = INVERT | S.V. = SQUARE YARD |
| DET. = DETAIL | L.P. = LOW POINT | S.S. = STAINLESS STEEL |
| DIM. = DIMENSION | L.F. = LINEAR FEET | T.C. = TOP OF CURB |
| DIA. = DIAMETER | MAX. = MAXIMUM | T.S. = TOP OF STAIR |
| DWG. = DRAWING | M.H. = MAN HOLE | T.W. = TOP OF WALL |
| EA. = EACH | MIN. = MINIMUM | TYP. = TYPICAL |
| ELEV. = ELEVATION | MISC. = MISCELLANEOUS | VERT. = VERTICAL |
| EXIST. = EXISTING | N.I.C. = NOT IN CONTRACT | W/O = WITH OUT |
| E.P. = EDGE OF PAVING | N.T.S. = NOT TO SCALE | W.W.M. = WOVEN WIRE MESH |

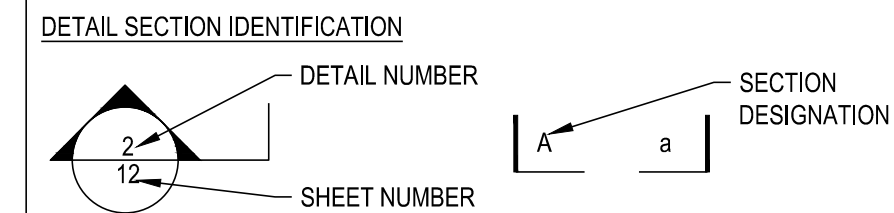
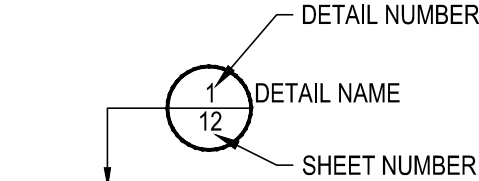
NOTE IDENTIFICATION



ELEVATION IDENTIFICATION



DETAIL IDENTIFICATION



Sheet Number	Sheet Title
L0.0	LANDSCAPE COVER SHEET
L0.1	LANDSCAPE NOTES & PLANT SCHEDULE
L1.0	LANDSCAPE PLAN
L1.1	LAYOUT, GRADING & MATERIAL ENLARGEMENT
L2.0	LANDSCAPE DETAILS
L2.1	LANDSCAPE DETAILS
IR1.0	IRRIGATION LEGEND AND NOTES
IR1.1	IRRIGATION PLAN
IR2.1	IRRIGATION DETAILS

OWNER / DEVELOPER PLANNER / LANDSCAPE ARCHITECT CIVIL ENGINEER

ESX MANAGEMENT
7353 SOUTH ALTON WAY
CENTENNIAL, CO 80112



pcs group inc. www.pcsgroupco.com
#3, B-180 Independence plaza
1007 14th street, denver co 80265
1.303.531.4905, f.303.531.4908



10333 E. DRY CREEK RD. #240
ENGLEWOOD, CO 80112
720-482-9526

Prepared For

ESX MANAGEMENT
7353 SOUTH ALTON WAY
CENTENNIAL, CO 80112

Land Planning



pcs group inc. www.pcsgroupco.com
#3, B-180 Independence plaza
1007 14th street, denver co 80265
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Engineering



10333 E. DRY CREEK RD. #240
ENGLEWOOD, CO 80112
720-482-9526

TRAILS AT CROWFOOT
FILING 16 LANDSCAPE PLANS
PARKER, COLORADO

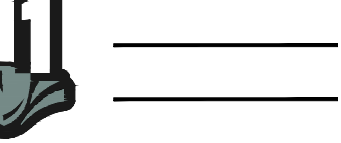
Drawn by: BEM_GG_JWD

Checked by: PCS STAFF

Submittal Date: 06.20.2018

Date: 09.26.2018

Know what's below. Call before you dig.



Sheet Name

LANDSCAPE COVER SHEET

Sheet Number

L0.0

FILING 16 PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME
AE	1	ACER PLATANOIDES 'EMERALD QUEEN'	EMERALD QUEEN MAPLE
HAC	11	CELTIS OCCIDENTALIS	COMMON HACKBERRY
GI	8	GLEDITSIA TRIACANTHOS 'IMPERIAL'	IMPERIAL HONEYLOCUST
GK	3	GYMNOCLADUS DIOICA	KENTUCKY COFFEE TREE
QB	21	QUERCUS BICOLOR	SWAMP WHITE OAK
OR	1	QUERCUS RUBRA	RED OAK
RAL	3	TILIA AMERICANA 'REDMOND'	REDMOND AMERICAN LINDEN
TG2	5	TILIA CORDATA 'GLENLEVEN'	GLENLEVEN LITTLELEAF LINDEN
TG	7	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN

EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME
PSP	8	PINUS FLEXILIS	LIMBER PINE
PN	6	PINUS NIGRA	AUSTRIAN BLACK PINE
PPI	10	PINUS PONDEROSA	PONDEROSA PINE

ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME
AH	20	ACER TATARICUM 'HOT WINGS'	HOT WINGS TATARIAN MAPLE
WKH	14	CRATAEGUS VIRIDIS 'WINTER KING'	'WINTER KING' HAWTHORN
SC	10	MALUS X 'SPRING SNOW'	SPRING SNOW CRAB APPLE

ANNUALS/PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME
EP	19	ECHINACEA PURPUREA	PURPLE CONEFLOWER
BES	61	RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM'	BLACK-EYED SUSAN
SP	16	SCABIOSA CAUCASICA 'PERFECTA BLUE'	PINCUSHION FLOWER

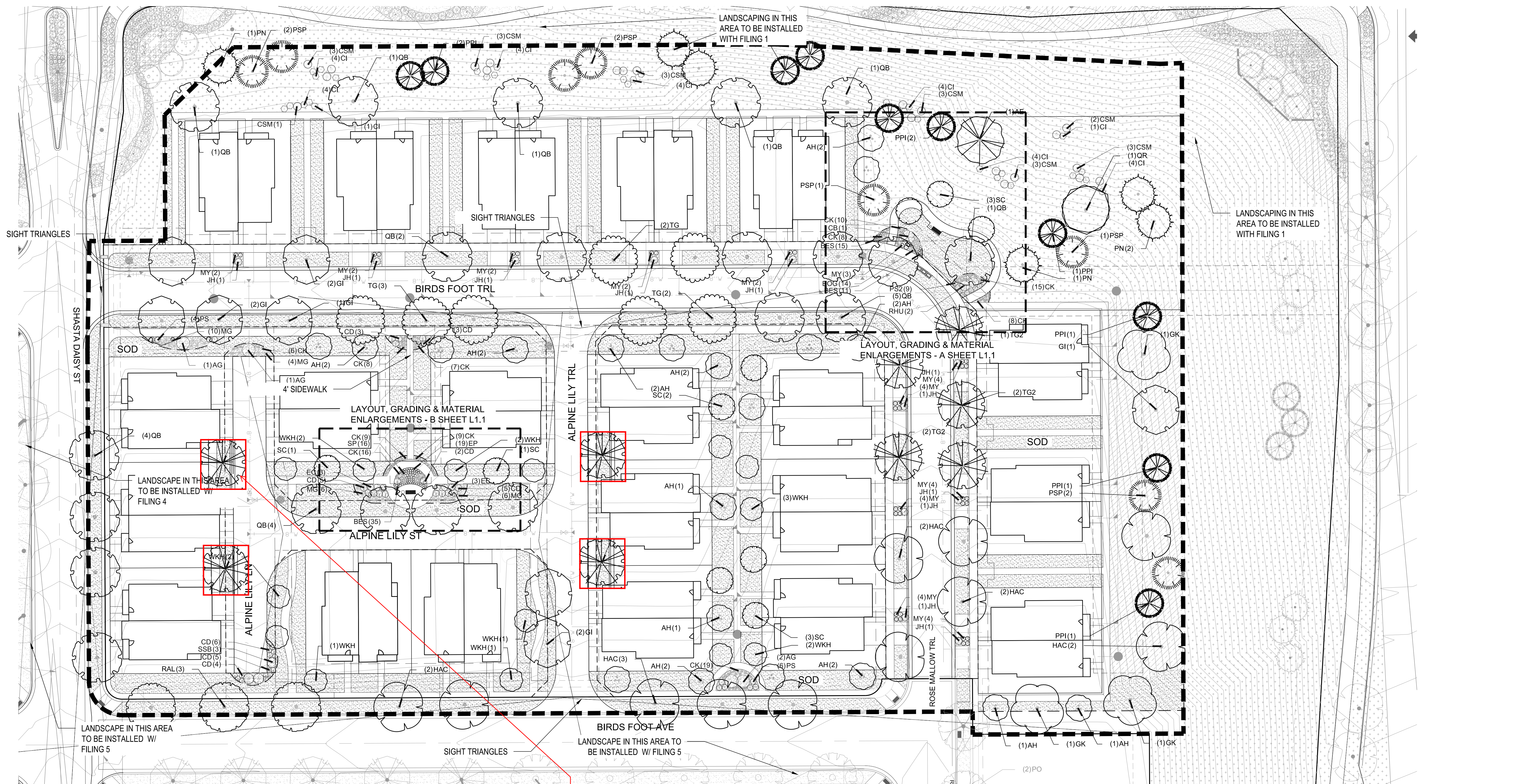
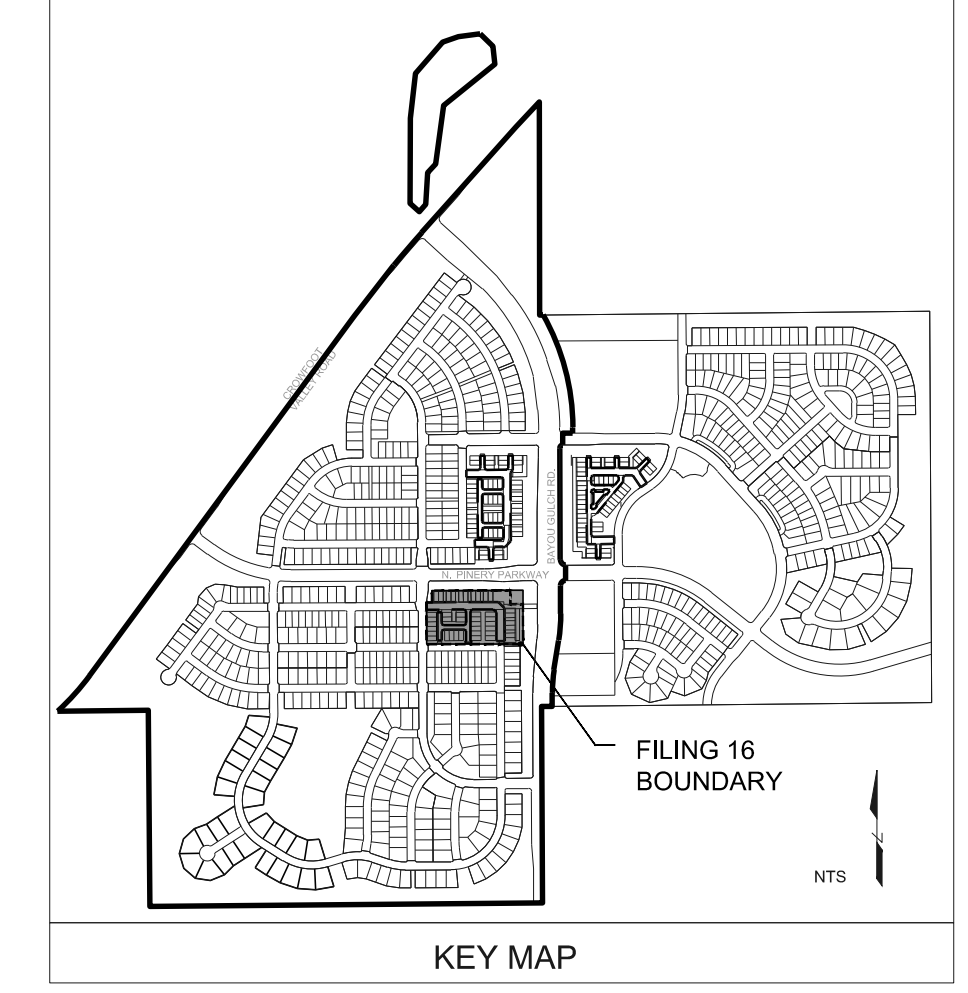
DECIDUOUS SHRUBS	QTY	BOTANICAL NAME	COMMON NAME
SSB	3	AMELANCHIER ALNFOLIA 'REGENT'	AMELANCHIER 'REGENT'
AG	4	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	'AUTUMN BRILLIANCE' SERVICEBERRY
CD	33	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT'	LITTLE LEAF MOUNTAIN MAHOAGANY
CI	30	CERCOCARPUS INTRICATUS	RED TWIG DOGWOOD
CB	1	CORNUS SERICEA 'BAILEY'	ROCKY MOUNTAIN PENSTEMON
PS2	9	PENSTEMON STRICTUS	GRO-LOW FRAGRANT SUMAC
RHU	2	RHUS AROMATICA 'GRO-LOW'	

EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME
CSM	21	CYTISUS SCOPARIUS 'MOONLIGHT'	MOONLIGHT BROOM
EC	6	EUNYMIUS FORTUNEI 'COLORATA'	PURPLE-LEAF WINTER CREEPER
JH	11	JUNIPERUS HORIZONTALIS 'HUGHES'	HUGHES JUNIPER
PS	10	PINUS MUGO 'SLOWMOUND'	MUGO PINE

ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME
CK	115	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS
BOG	14	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS
MG	26	MISCANTHUS SINENSIS 'GRACILLIMUS'	MAIDEN GRASS
MY	37	MISCANTHUS SINENSIS 'YAKU JIMA'	YAKU JIMA DWARF MAIDEN GRASS

GROUND COVERS	QTY	BOTANICAL NAME
[Pattern]	44,818 SF	ENVIROTURF RE: LANDSCAPE NOTES
[Pattern]	2,368 SF	ROCK MULCH GREY, 4" DIA. COBBLE 4" DEPTH, RE: LDSCP NOTES
[Pattern]	420 SF	ROCK MULCH TAN, 4" DIA. COBBLE 4" DEPTH, RE: LDSCP NOTES
[Pattern]	10,017 SF	SEED MIX 1 TOWN OF PARKER - SEED MIX 1, RE: LANDSCAPE NOTES

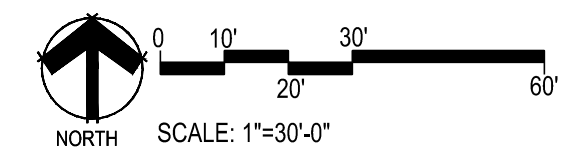
- NOTES:
- LANDSCAPE MATERIAL AND TREES IN TREE LAWNS ADJACENT TO LOTS ARE RESPONSIBILITY OF HOME BUILDER. STREET TREE LOCATIONS ARE NOT FINAL AND MAY CHANGE BASED UPON DRIVEWAY LOCATION.
 - NO FENCES OR STRUCTURES WILL BE ALLOWED WITHIN SIGHT TRIANGLES.
 - SHRUBS & PERENNIALS WITHIN SIGHT TRIANGLES WILL BE NO HIGHER THAN 2'.
 - MAILBOX CLUSTER LOCATIONS ARE CONCEPTUAL ONLY. FINAL LOCATIONS TO BE DETERMINED BY POSTMASTER.
 - ALL FENCING TO BE INSTALLED AS PART OF FILING 1 OR 9.



1 LANDSCAPE PLAN-FILING 16

SCALE: 1"=30'-0"

Please add these 4 trees to these areas to help meet the streetscape requirements on these interior lots.



Prepared For
ESX MANAGEMENT
 7353 SOUTH ALTON WAY
 CENTENNIAL, CO 80112

Land Planning
 pcs group inc. www.pcsgroupco.com
 #3-3480 Independence plaza
 1007 16th street, denver, co 80265
 1.303.531.4905 . 1.303.531.4908

Engineering
CVL
 CONSULTANTS
 10333 E. DRY CREEK RD. #240
 ENGLEWOOD, CO 80112
 720-482-9526

TRAILS AT CROWFOOT
 FILING 16 LANDSCAPE PLANS
 PARKER, COLORADO

Drawn by: BEM, GG, JWD
 Checked by: PCS STAFF
 Submittal Date: 06.20.2018
 Date: 09.26.2018

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Sheet Name
LANDSCAPE PLAN

Sheet Number
L1.0

Y:\HSS\PROJECTS\LANDSCAPE_ARCHITECTURE\CURRENT DWGS\HSS-LDSCP PLANS - FILING-16_CDS.DWG
 Saturday, June 23, 2018