

TRAILS AT CROWFOOT FILING NO. 16

A REPLAT OF TRACT BB OF TRAILS AT CROWFOOT FILING NO. 1
 A PART OF SECTION 9, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6th PRINCIPAL MERIDIAN,
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
 SHEET 2 OF 8
 TOTAL ACREAGE = 8.954 ACRES, 42 RESIDENTIAL LOTS, 4 TRACTS

NOTES:

- NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE (3) YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN (10) YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACTS ANY PUBLIC LAND SURVEY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
- THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY CVL, A WESTWOOD TEAM TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS-OF-WAY AND TITLE OF RECORD, CVL, A WESTWOOD TEAM RELIED UPON COMMITMENT FOR TITLE INSURANCE, COMMITMENT NO. 450-H0627242-023-CN4, AMENDMENT 1, ISSUED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY AND HAVING AN EFFECTIVE DATE OF MARCH 30, 2021.
- BASIS OF BEARINGS: THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 9 BEING MONUMENTED AT THE NORTHEAST CORNER OF SAID SECTION 9 BY A 2-3/8" DIAMETER ALUMINUM PIPE WITH A 3-1/4" ALUMINUM CAP STAMPED LS 23053 WHENCE THE EAST QUARTER CORNER OF SAID SECTION 9 BEING MONUMENTED BY A 2-1/2" ALUMINUM CAP STAMPED LS 6935 IS ASSUMED TO BEAR SOUTH 00°15'06" EAST, 2648.70 FEET.
- WITHIN ALL SIGHT TRIANGLES, LIMITED LANDSCAPING SHALL BE ALLOWED BUT NOT SOLID STRUCTURES. SOLID STRUCTURES SHALL INCLUDE, BUT NOT BE LIMITED TO, FENCES AND UTILITY BOXES. LANDSCAPING WITHIN THE INTERSECTION SIGHT DISTANCE TRIANGLES WILL BE LIMITED TO SHRUBS AND PLANTING THAT AT MATURITY WILL BE NO TALLER THAN TWO (2) FEET. TREES PLANTED WITHIN THE SIGHT DISTANCE TRIANGLE WILL NOT BE ALLOWED. LANDSCAPING WITHIN THE SIGHT DISTANCE TRIANGLE AREA SHALL BE MAINTAINED BY THE PROPERTY OWNER OR APPROPRIATE ASSOCIATION.
- THOSE PORTIONS OF REAL PROPERTY WHICH ARE LABELED AS SIDEWALK & UTILITY EASEMENTS AND AS UTILITY EASEMENTS ON THIS PLAT ARE FOR THE INSTALLATION AND MAINTENANCE OF UTILITIES, INCLUDED, BUT NOT LIMITED TO, ELECTRIC LINES, GAS LINES, TELEPHONE LINES, TOGETHER WITH WITH A PERPETUAL RIGHT OF INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES; SAID EASEMENTS AND RIGHT ARE TO BE UTILIZED IN A RESPONSIBLE AND PRUDENT MANNER.
- THE LINEAL UNIT USED IN THE PREPARATION OF THIS PLAT IS THE U.S. SURVEY FOOT AS DEFINED BY THE UNITED STATES DEPARTMENT OF COMMERCE, NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY.
- ACCESS EASEMENT ARE HEREBY GRANTED OVER ALL PRIVATE ENTRANCES AND INTERNAL ROADWAYS WITHIN THE DEVELOPMENT FOR THE BENEFIT OF ALL CURRENT AND FUTURE OWNERS OF THESE PROPERTIES FOR INGRESS, EGRESS AND TRAFFIC CIRCULATION. SHOULD PROPERTIES BE FURTHER SUBDIVIDED INTO ADDITIONAL LOTS, ALL SUCH LOTS SHALL HAVE THE RIGHT TO USE ALL SUCH ENTRANCES AND ROADWAYS FOR PUBLIC ACCESS PURPOSES.
- NO CERTIFICATES OF OCCUPANCY, TEMPORARY OR OTHERWISE WILL BE ISSUED UNTIL ALL PUBLIC IMPROVEMENTS AND NECESSARY ONSITE IMPROVEMENTS ARE COMPLETED AND ACCEPTED IN WRITING BY THE TOWN.
- NO CERTIFICATES OF OCCUPANCY, TEMPORARY OR OTHERWISE SHALL BE ISSUED UNTIL THE LANDSCAPING IS INSTALLED AND APPROVED BY THE TOWN OR AS OTHERWISE ALLOWED IN THE LAND DEVELOPMENT CODE.
- PRIVATE ACCESS DRIVES/ROADWAYS MUST BE CONSTRUCTED PRIOR TO THE ISSUANCE OF TEMPORARY CERTIFICATE OF OCCUPANCY AND/OR CERTIFICATE OF OCCUPANCY FOR ANY DEVELOPMENT OCCURRING ON PROPERTY SHOWN HEREIN.
- TRACTS A, B, C, AND D WILL BE CONVEYED TO THE HOA VIA A SEPARATE DOCUMENT.
- THE LANDSCAPE EASEMENT DETAILED ON SHEET 8 WILL BE MAINTAINED BY THE HOA AND SHALL BE LANDSCAPED ACCORDING TO THE APPROVED LANDSCAPE PLANS FOR THE TRAILS AT CROWFOOT FILING NO. 16.
- THE HOA/METRO DISTRICT WILL BE RESPONSIBLE FOR ALL STREETScape ADJACENT TO PARKS AND OPEN SPACE PROPERTIES.
- THERE ARE A TOTAL OF 42 LOTS AND 4 TRACTS IN THE TRAILS AT CROWFOOT SUBDIVISION FILING NO. 16.

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TRACT SUMMARY TABLE					
TRACT	SQ. FT.	AREA	USE	OWNERSHIP	MAINTENANCE
A	177,083 S.F.	4.065 AC	OPEN SPACE / UTILITIES/ ACCESS	H.O.A.	H.O.A.
B	82,755 S.F.	1.900 AC	OPEN SPACE / UTILITIES/ ACCESS	H.O.A.	H.O.A.
C	21,435 S.F.	0.492 AC	PARK SPACE / UTILITIES	H.O.A.	H.O.A.
D	5,442 S.F.	0.125 AC	PARK SPACE / UTILITIES	H.O.A.	H.O.A.

LAND USE SUMMARY CHART			
TYPE	SQ. FT.	AREA	% OF TOTAL AREA
SINGLE FAMILY RESIDENTIAL LOTS	103,313 S.F.	2.372 AC.	26.49%
PARK LAND	26,877 S.F.	0.617 AC.	6.89%
OPEN SPACE AREAS	259,838 S.F.	5.965 AC.	66.62%
TOTAL	390,028 S.F.	8.954 AC.	100%

FILING 16 MIN, MAX, AND AVERAGE LOT SIZE		
TYPE	SQ. FT.	AREA
MINIMUM LOT SIZE	2,400 S.F.	0.055 AC.
MAXIMUM LOT SIZE	2,873 S.F.	0.066 AC.
AVERAGE LOT SIZE	2,460 S.F.	0.056 AC.

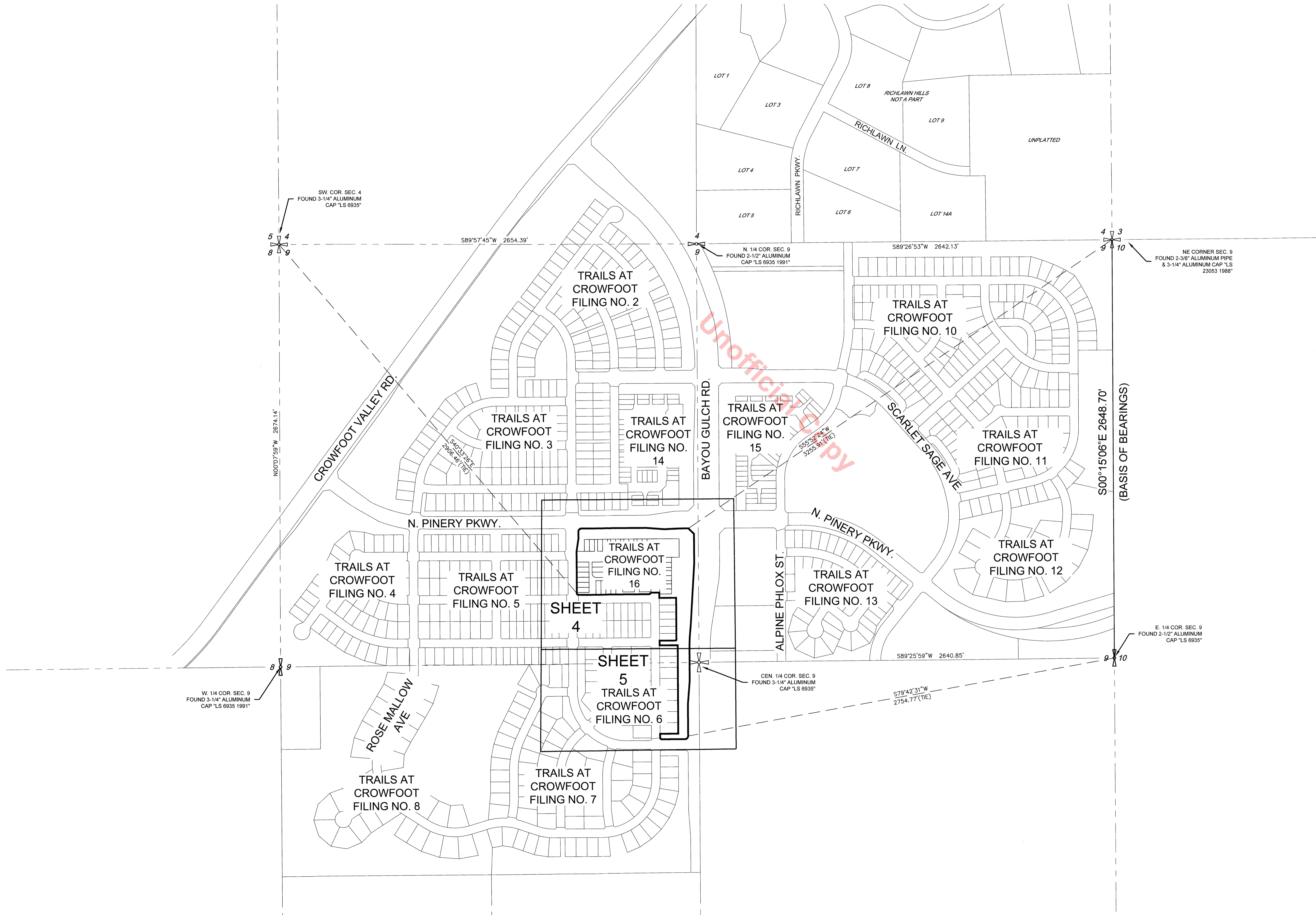


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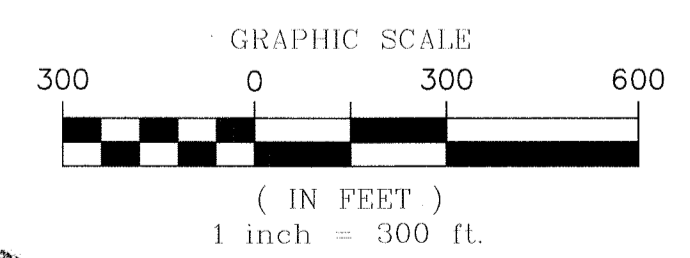
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A PART OF SECTION 9, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6th PRINCIPAL MERIDIAN,
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SHEET 3 OF 8

TOTAL ACREAGE = 8.954 ACRES, 42 RESIDENTIAL LOTS, 4 TRACTS



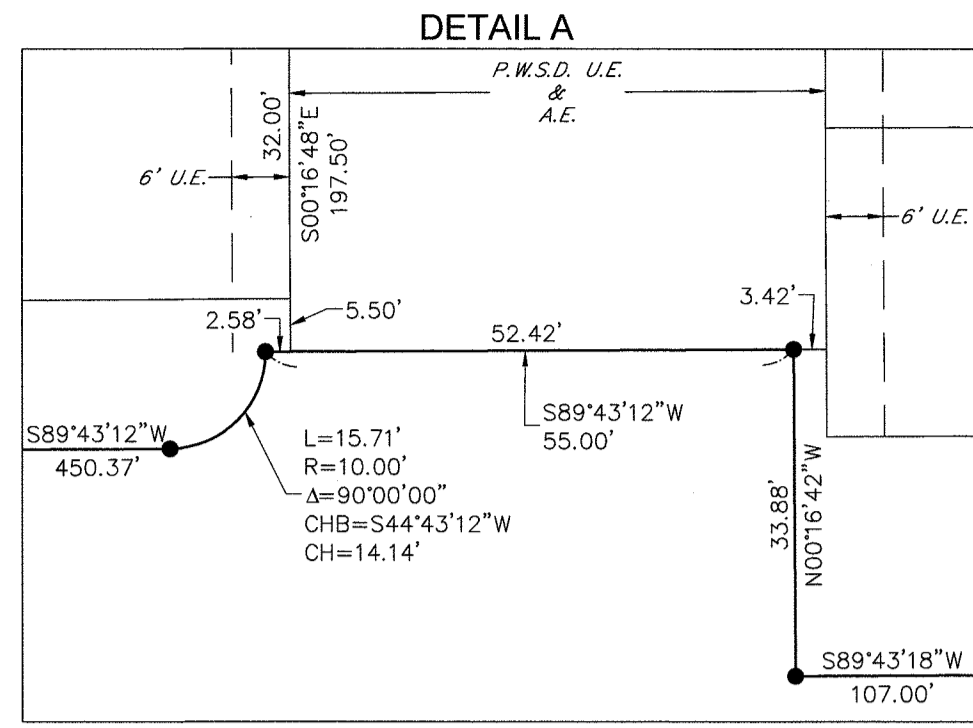
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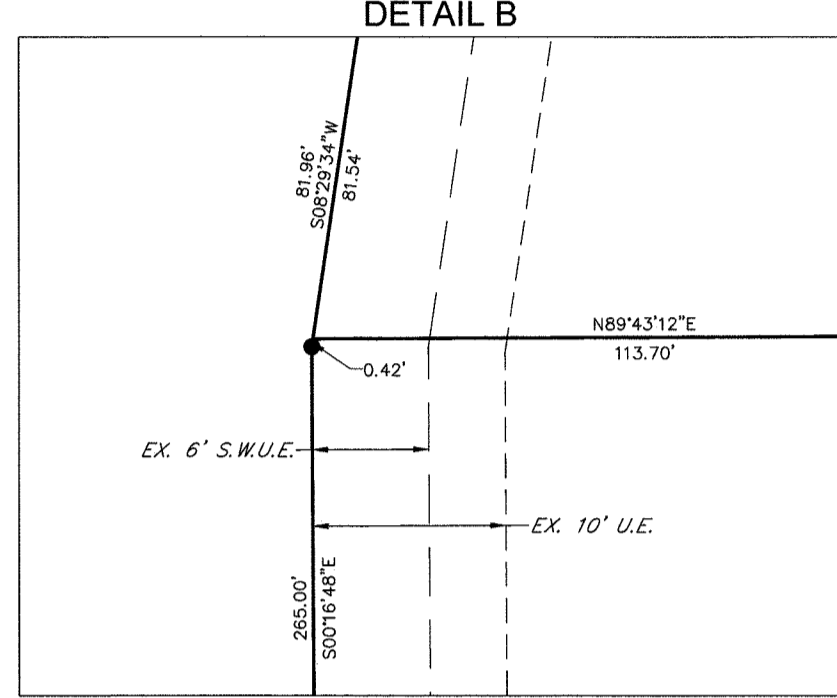
CML 10333 E. Dry Creek Rd.
Suite 240
Englewood, CO 80112
Tel: 720-482-9552
www.cvlinc.net
westwoodps.com

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 SHEET 4 OF 8
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SCALE: 1" = 20'



SCALE: 1" = 10'

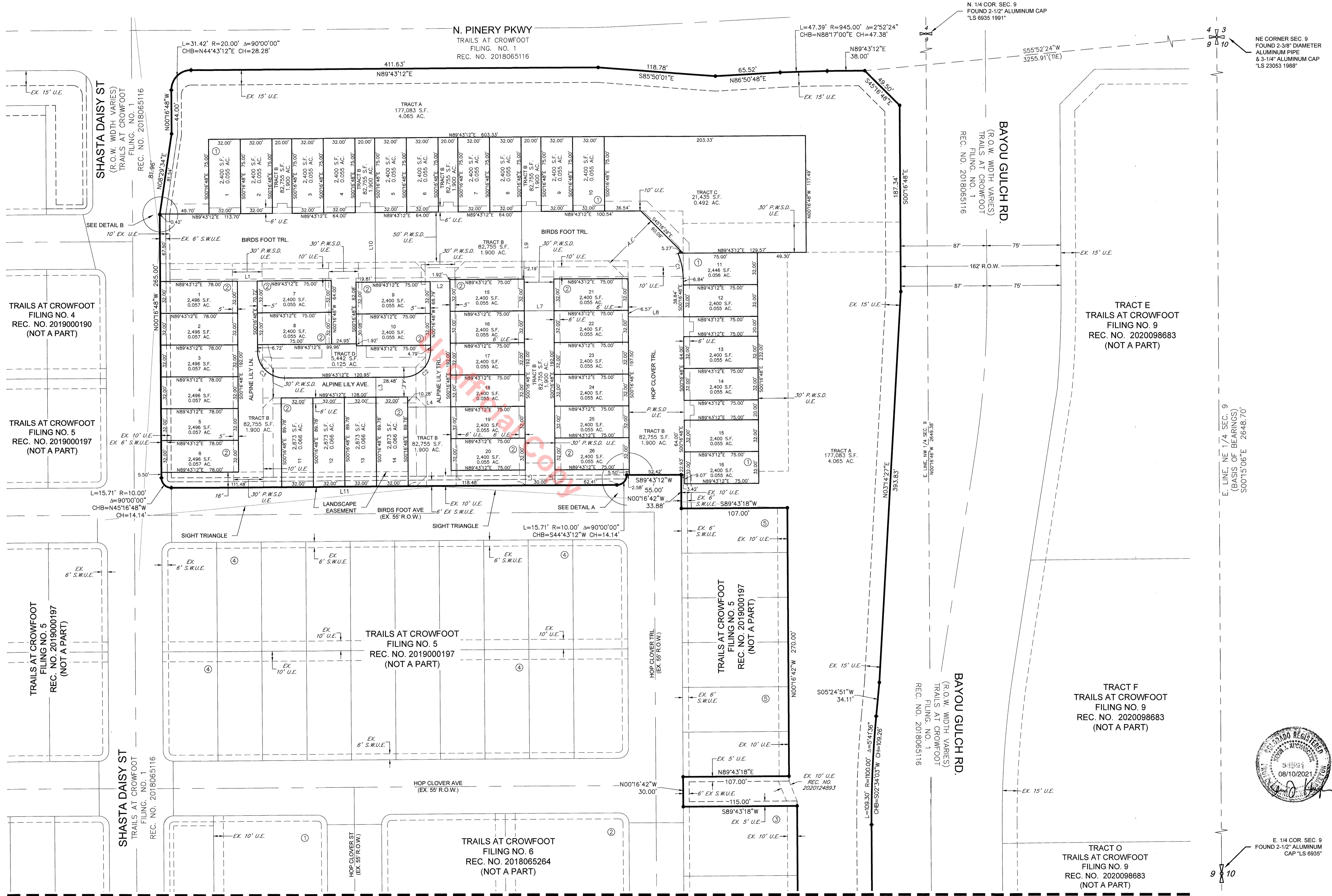
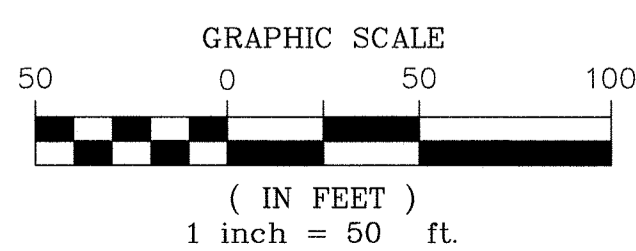
NOTES:

- ALL 50' P.W.S.D. U.E. ARE EASEMENTS DEDICATED TO PARKER WATER & SANITATION DISTRICT BY SEPARATE DOCUMENT.
- ALL 30' P.W.S.D. U.E. ARE EASEMENTS DEDICATED TO PARKER WATER & SANITATION DISTRICT BY SEPARATE DOCUMENT.
- SEE SHEET 6 FOR DETAILS OF ACCESS EASEMENTS DEDICATED BY THIS PLAT.
- SEE SHEET 7 FOR DETAILS OF IREA DRY UTILITY EASEMENTS DEDICATED BY THIS PLAT.
- SEE SHEET 8 FOR DETAILS OF LANDSCAPE EASEMENTS DEDICATED BY THIS PLAT.

LINE TABLE			LINE TABLE		
LINE NO.	DIRECTION	LENGTH	LINE NO.	DIRECTION	LENGTH
L1	N89°43'12"E	20.00'	L7	N89°43'12"E	30.00'
L2	S89°43'12"W	20.00'	L8	N89°43'12"E	55.84'
L3	S00°16'48"E	20.00'	L9	S00°16'48"E	67.92'
L4	N89°43'12"E	43.48'	L10	N00°16'48"W	69.84'
L5	N00°16'48"W	15.50'	L11	S89°43'12"W	450.37'
L6	N00°16'48"W	15.50'			

CURVE TABLE				
CURVE NO.	RADIUS	DELTA	LENGTH	CHORD LENGTH
C1	69.00'	21°28'05"	25.85'	N12°06'16"W 30.00'
C2	27.00'	89°59'53"	42.41'	S44°43'20"W 38.19'
C3	27.00'	89°59'54"	42.41'	N45°16'48"W 38.18'

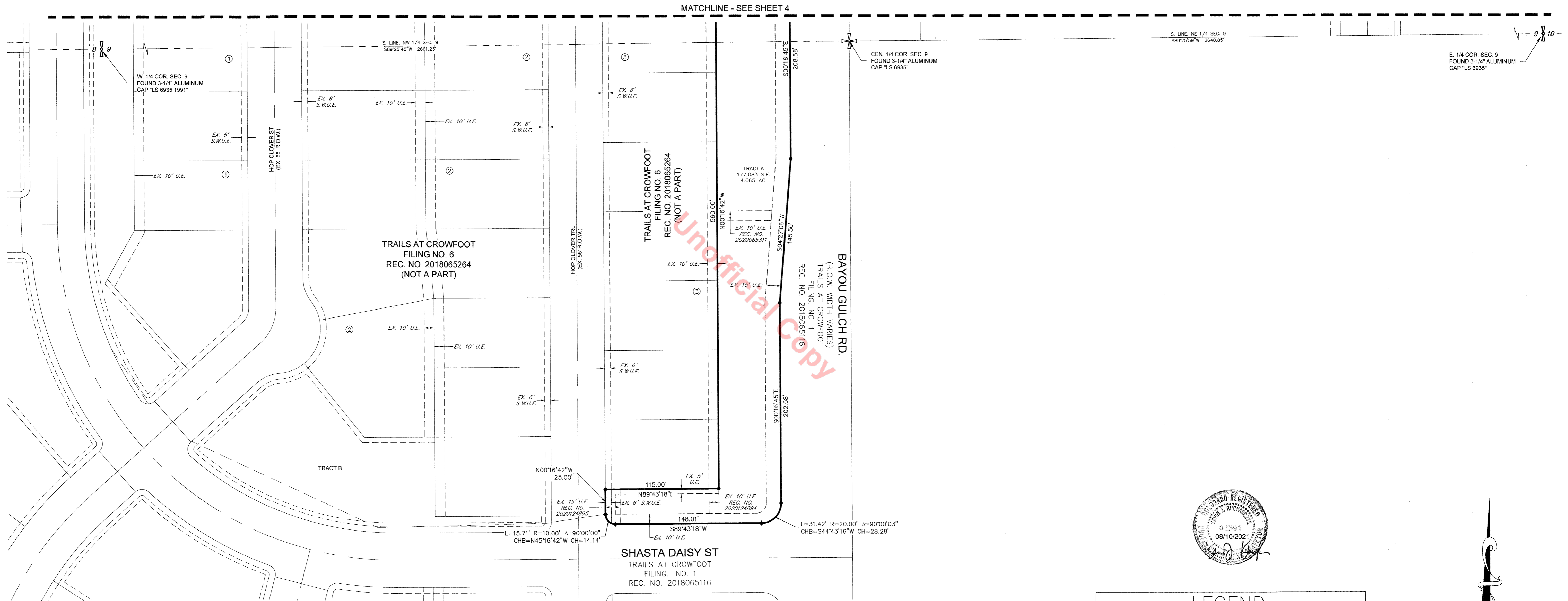
LEGEND	
	FOUND SECTION CORNER AS DESCRIBED
	SET NO. 5 REBAR, 30" LONG, 1-1/4" RED PLASTIC CAP STAMPED CVL PLS. NO. 34591 (UNLESS OTHERWISE NOTED)
	BLOCK NUMBER
	R.O.W. RIGHT-OF-WAY
	S.W.U.E. SIDEWALK & UTILITY EASEMENT
	U.E. UTILITY EASEMENT
	EX. EXISTING
	A.E. ACCESS EASEMENT
	P.W.S.D. PARKER WATER & SANITARY DISTRICT UTILITY EASEMENT
	S.W.U.E. SIDEWALK & UTILITY EASEMENT LINE
	U.E. UTILITY EASEMENT LINE
	ROAD CENTERLINE
	SECTION LINE



E. 1/4 COR. SEC. 9
 FOUND 2-1/2" ALUMINUM
 CAP 'LS 6935'

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 SHEET 5 OF 8
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LEGEND	
	FOUND SECTION CORNER AS DESCRIBED
	SET NO. 5 REBAR, 30" LONG, 1-1/4" RED PLASTIC CAP STAMPED CVL PLS NO. 34591 (UNLESS OTHERWISE NOTED)
	BLOCK NUMBER
R.O.W.	RIGHT-OF-WAY
S.W.U.E.	SIDEWALK & UTILITY EASEMENT
U.E.	UTILITY EASEMENT
EX.	EXISTING
A.E.	ACCESS EASEMENT
P.W.S.D.	PARKER WATER & SANITARY DISTRICT UTILITY EASEMENT
---	SIDEWALK & UTILITY EASEMENT LINE
---	UTILITY EASEMENT LINE
---	ROAD CENTERLINE
---	SECTION LINE

NOTES:

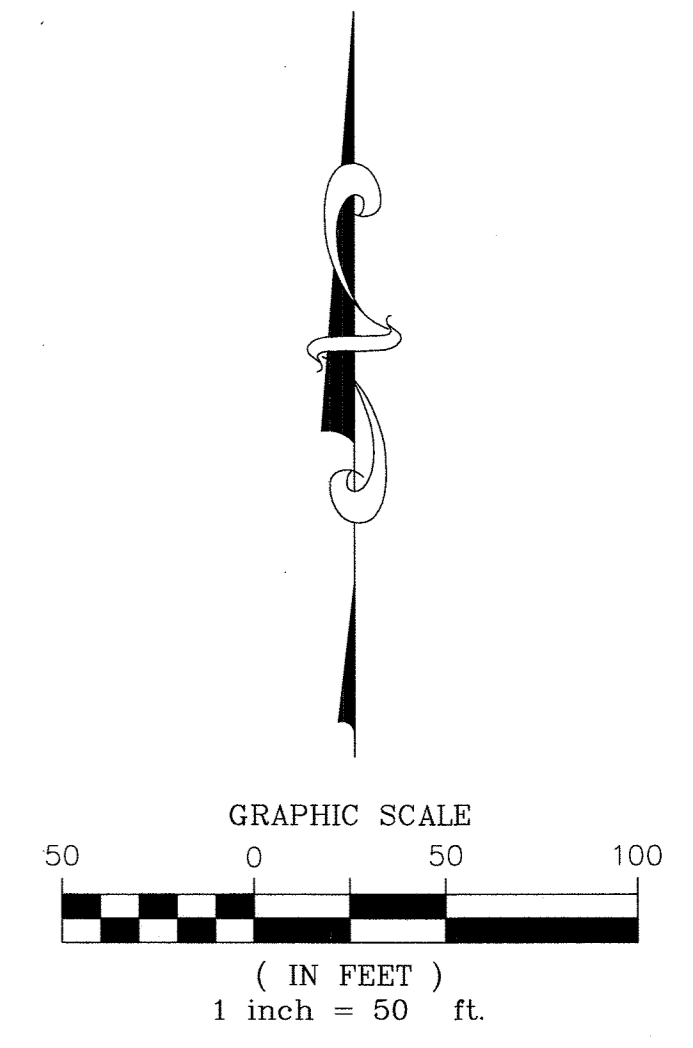
ALL 50' P.W.S.D. U.E. ARE EASEMENTS DEDICATED TO PARKER WATER & SANITATION DISTRICT BY SEPARATE DOCUMENT.

ALL 30' P.W.S.D. U.E. ARE EASEMENTS DEDICATED TO PARKER WATER & SANITATION DISTRICT BY SEPARATE DOCUMENT.

SEE SHEET 6 FOR DETAILS OF ACCESS EASEMENTS DEDICATED BY THIS PLAT.

SEE SHEET 7 FOR DETAILS OF IREA DRY UTILITY EASEMENTS DEDICATED BY THIS PLAT.

SEE SHEET 8 FOR DETAILS OF LANDSCAPE EASEMENTS DEDICATED BY THIS PLAT.



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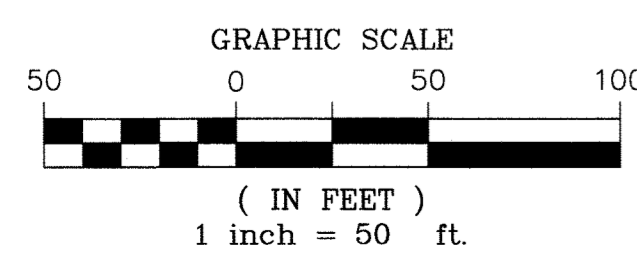
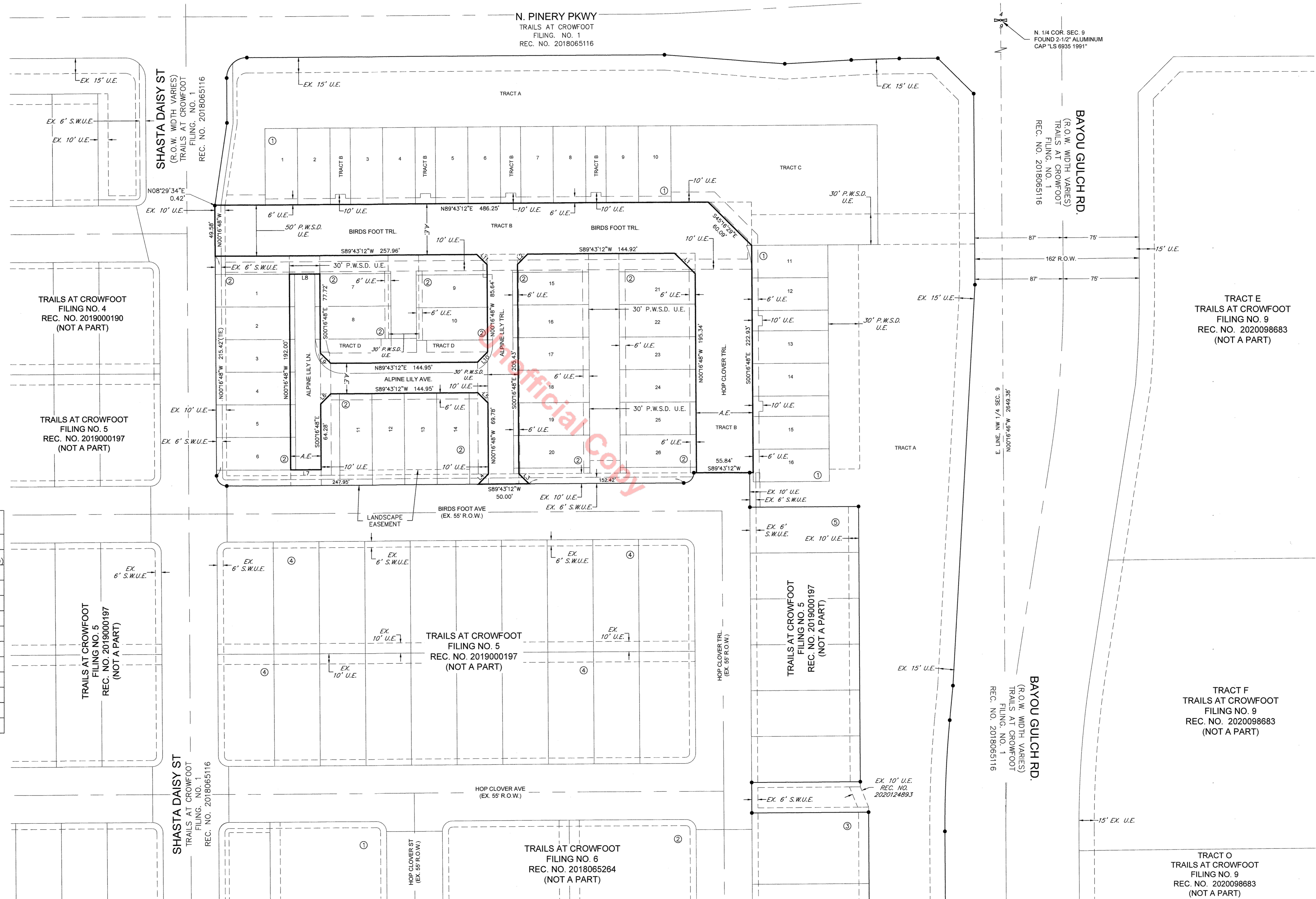
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SHEET 6 OF 8

TOTAL ACREAGE = 8.954 ACRES, 42 RESIDENTIAL LOTS, 4 TRACTS
 ACCESS EASEMENTS

LINE NO.	DIRECTION	LENGTH
L1	N45°16'29"W	28.40'
L2	S44°43'18"W	14.14'
L3	S45°16'42"E	14.13'
L4	N44°44'27"E	14.15'
L5	N45°16'48"W	14.15'
L6	S44°43'12"W	14.14'
L7	S89°43'12"W	30.00'
L8	N89°43'12"E	30.00'
L9	S45°16'48"E	14.14'
L10	N44°43'26"E	14.15'
L11	N45°16'42"W	14.14'

LEGEND	
	FOUND SECTION CORNER AS DESCRIBED
	SET NO. 5 REBAR, 30" LONG, 1-1/4" RED PLASTIC STAMPED CVL PLS. NO. 34591 (UNLESS OTHERWISE CAPED)
	BLOCK NUMBER
	R.O.W. RIGHT-OF-WAY
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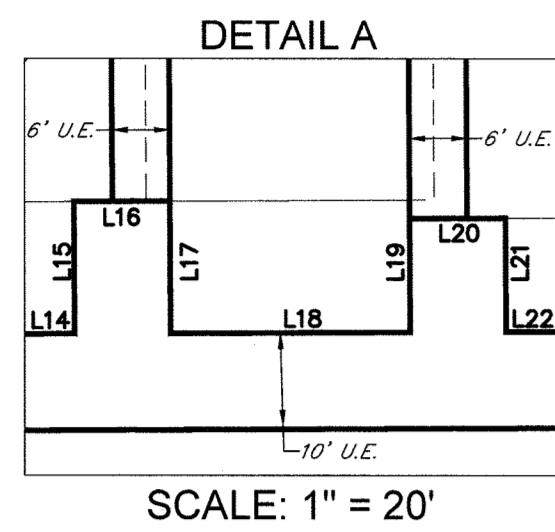


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SHEET 7 OF 8

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 AREA EASEMENTS

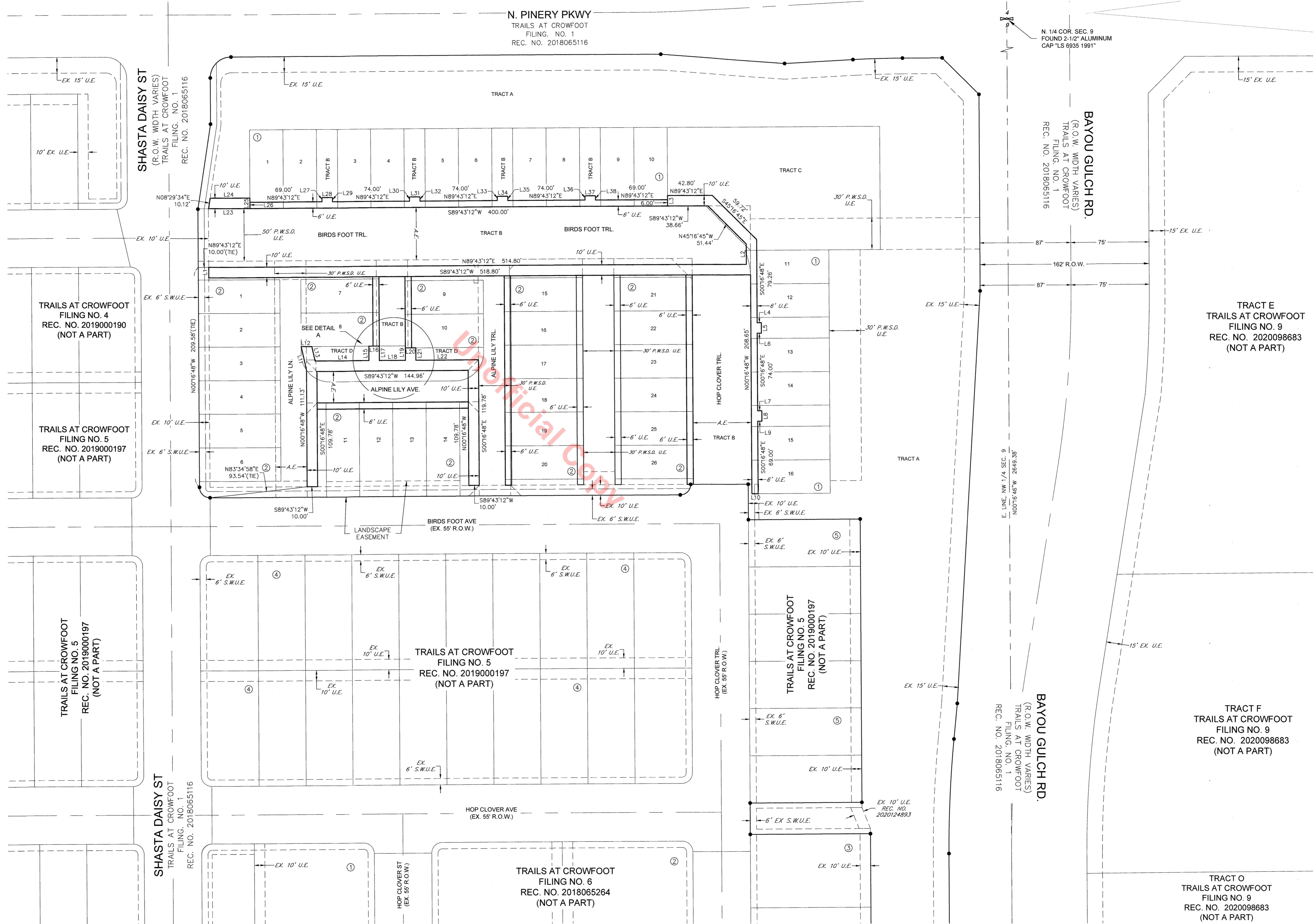
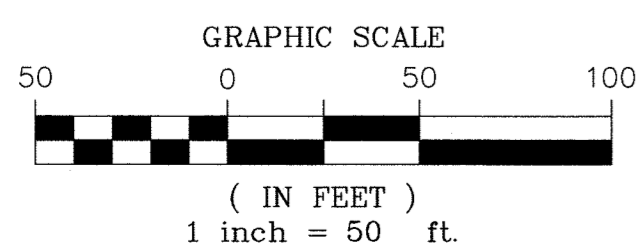


SCALE: 1" = 20'

LINE NO.	DIRECTION	LENGTH
L1	N00°16'48"W	10.00'
L2	N00°16'48"W	19.47'
L3	N00°16'48"W	10.00'
L4	S89°43'12"W	4.00'
L5	N00°16'48"W	10.00'
L6	N89°43'12"E	4.00'
L7	S89°43'12"W	4.00'
L8	N00°16'48"W	10.00'
L9	N89°43'12"E	4.00'
L10	S89°43'12"W	6.00'
L11	S12°52'44"E	22.92'
L12	S89°43'12"W	10.25'
L13	N12°52'44"W	14.05'
L14	S89°43'12"W	51.69'
L15	S00°16'48"E	13.72'
L16	S89°43'12"W	10.00'
L17	N00°16'48"W	13.72'
L18	S89°43'12"W	24.95'
L19	S00°16'48"E	11.79'

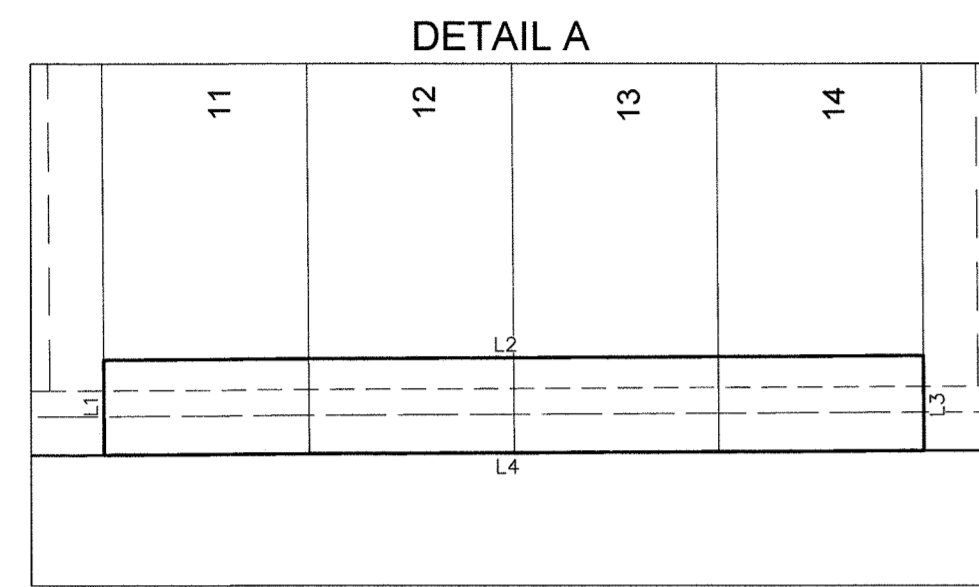
LINE NO.	DIRECTION	LENGTH
L20	S89°43'12"W	10.00'
L21	N00°16'48"W	11.79'
L22	S89°43'12"W	60.00'
L23	N89°43'12"E	39.58'
L24	S89°43'12"W	38.04'
L25	S00°16'48"E	10.00'
L26	S00°16'48"E	6.00'
L27	N00°16'48"W	4.00'
L28	N89°43'12"E	10.00'
L29	S00°16'48"E	4.00'
L30	N00°16'48"W	4.00'
L31	N89°43'12"E	10.00'
L32	S00°16'48"E	4.00'
L33	N00°16'48"W	4.00'
L34	N89°43'12"E	10.00'
L35	S00°16'48"E	4.00'
L36	N00°16'48"W	4.00'
L37	N89°43'12"E	10.00'
L38	S00°16'48"E	4.00'

LEGEND	
	FOUND SECTION CORNER AS DESCRIBED
	SET NO. 5 REBAR, 30" LONG, 1-1/4" RED PLASTIC CAP STAMPED C.V.L. PLS. NO. 34591 (UNLESS OTHERWISE NOTED)
	BLOCK NUMBER
	R.O.W. RIGHT-OF-WAY
	S.W.U.E. SIDEWALK & UTILITY EASEMENT
	U.E. UTILITY EASEMENT
	EX. EXISTING
	A.E. ACCESS EASEMENT
	P.W.S.D. PARKER WATER & SANITARY DISTRICT UTILITY EASEMENT
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 LANDSCAPE EASEMENTS



SCALE: 1" = 30'

LINE TABLE		
LINE NO.	DIRECTION	LENGTH
L1	N00°16'48"W	14.78'
L2	N89°43'12"E	128.00'
L3	S00°16'48"E	14.78'
L4	S89°43'12"W	128.00'

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