



Your kind of place.

Memorandum

To: Stacey Nerger, Senior Planner

Date: February 15, 2023

From: Alex Mestdagh, P.E., Engineering Services Manager
Robert Seacat, Stormwater Permit Coordinator

Cc: Tom Williams, P.E., Director of Engineering/Public Works
Michael Walton, P.E., Senior Development Review Engineer

Subject: Lincoln Professional Park MDP – 5th Review

The Engineering Department has reviewed the documents submitted with this application. The submittal consisted of the following documents:

<u>Document</u>	<u>Date Received</u>
Construction Plans	January 2023
Final Plat	January 2023
Drainage Report	January 2023
Landscaping Plans	January 2023

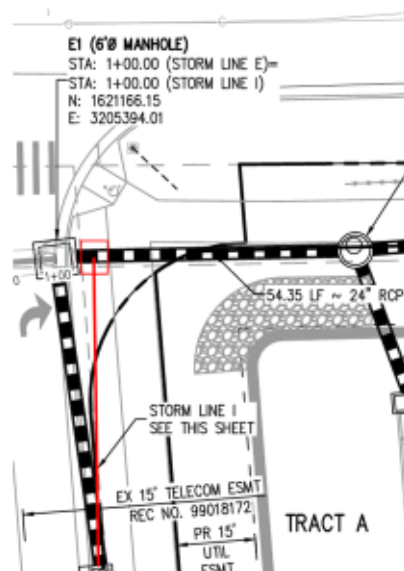
This site is generally located west of Crowfoot Valley Road and south of future Stroh Road, west of the existing Looking Glass development.

Construction Plans

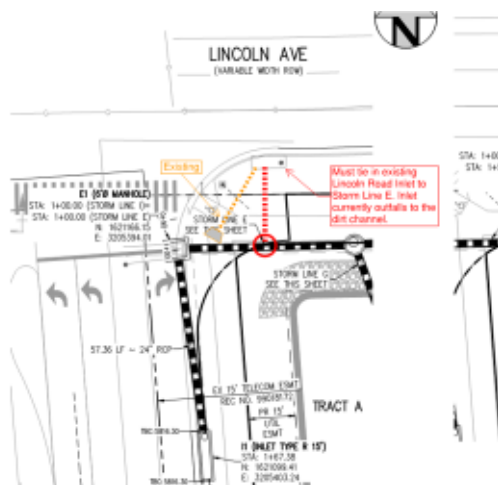
1. The vertical design at the intersection of Road A and Dransfeldt needs to be clearly provided on the plans. Please explicitly show on the profile how the Road A profile ties into the cross slope of Dransfeldt Road, including the cross pan. On the intersection detail sheet, provide the longitudinal slope of Dransfeldt that the cross-slope of Road A will match, and ensure that the cross-slope transition is calculated and shown in the plan in accordance with Town Detail 31.
2. Please discuss with Town Staff any necessary outreach/coordination with the adjacent businesses regarding the reconstruction of the Lowe's driveway

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3. Please discuss the proposed curb ramp styles at the Dransfeldt intersections with Town staff. These should all be directional rather than diagonal, as a pedestrian crossing of Dransfeldt will not be permitted here.
4. Confirm that Manhole E1 cannot be moved into the tree lawn as shown below to avoid conflicts with the curb and gutter.

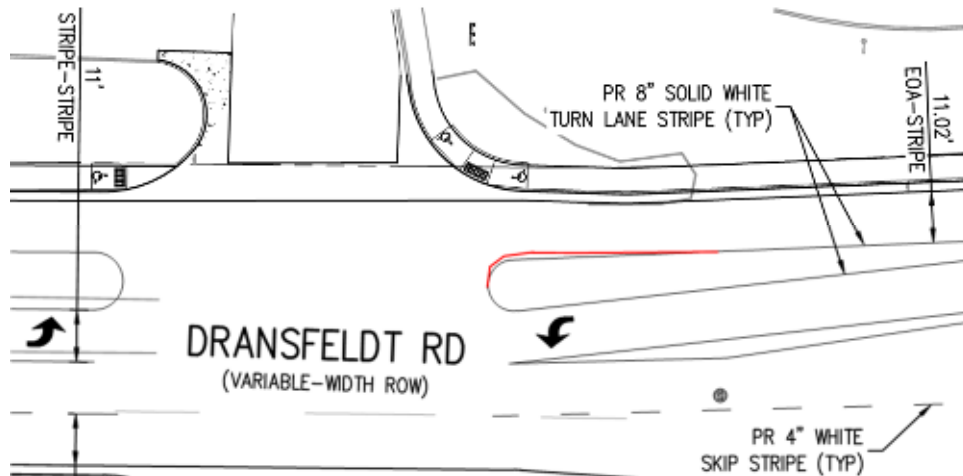


5. The existing inlet on Lincoln Avenue that currently outlets to the existing swale must be tied into the proposed system (see below). This tie-in should be coordinated to maximize the separation from the proposed signal pole (minimum of five feet).



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6. The revised trickle configuration appears acceptable; however, additional modifications/clarifications to the outlet structure are needed to adhere to Town Criteria. Please discuss with Town Staff.
7. Engineering Staff will support the requested variance for retaining walls around the pond. However, revisions to the request letter are necessary to fully address the Town's variance criteria. Please discuss with Staff.
8. Slightly angle southbound striping for Dransfeldt at the Lowe's entrance to match the flowline and avoid a "jog" through the intersection:



9. Provide cross-sections and cross-slope labels for the Dransfeldt widening (see 6/10/22 comment memo).
10. The proposed cross-slopes shown for the Dransfeldt widening will require revision. Cross-slopes should match the normal crown of the roadway (2%) – or at a minimum any necessary grade breaks should be minimized. The 6%-7% cross-slopes shown are too steep – please discuss with Town Staff.
11. Please fully detail the Dransfeldt/Lincoln intersection detail. Show all existing grades that are to be matched, and provide additional proposed cross slope/grade callouts to clearly show the design intent and demonstrate that the grading will tie-in smoothly.
12. Fully detail the signing and striping plan with all information needed for layout/installation, specifically:

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- Stationing/lengths/locations of striping changes or breaks
- Radii or other curve information

13. Show the second existing R3-7R sign on northbound Dransfeldt (near the Lincoln intersection) as being removed and reset as well.

14. Any remaining signal comments will be provided directly to the engineer shortly.

An attempt has been made to identify all of the items that do not meet the Town of Parker's design criteria; however, it remains the developer's responsibility to ensure that all criteria are met.

If you have any questions regarding the comments please do not hesitate to contact the Engineering Department at (303) 840-9546.