



Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

MEMORANDUM

TO: Tasha Bolivar, Galloway and Company
FROM: Amber Wood Hicken, Planner I
DATE: 5/25/23
SUBJECT: Parker and Pine F1 AMD 1 – Subdivision Replat, SUB22-063
Review Comments 02

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER: Amber Wood Hicken

EMAIL: ahicken@parkeronline.org

PHONE: 303.805.3338

GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:
[Parker 2035 Master Plan](#)
[Development Design Standards](#)
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**
6. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKiT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not refer the application out with this naming convention.
Example: "02" or "Second Submittal"

7. **Prairie Dog Management:** The Town’s current land development ordinance section 13.10.250 - Prairie Dog Management requires applicants/developers to make a good faith effort to have any prairie dogs on site relocated. Documentation of this effort will be a condition of the land use application approval/site development and a certificate of compliance will be required prior to issuance of the grading permit. If relocation of the prairie dogs is not available, humane extermination may be considered. Prairie Dog management should begin as early as possible during the review process. Please coordinate with staff.

Site Plan and Project Details

1. Please see the attached redlines for all comments.

Comment Addressed: Yes No

Response:

OUTSIDE REFERRAL AGENCY COMMENTS

The following agencies have “Advisory Comments” or “Revisions Required” listed in eTRAKiT:

- Fire Life Safety
- Aztec

Please keep an eye out in eTRAKiT for the following reviews:

- Construction plans – civil
- Plat – civil
- Traffic impact study

These comments are available on eTRAKiT. Please address accordingly.

Comment(s) Addressed: Yes No

Response:

Property Owner

Date

Project Representative

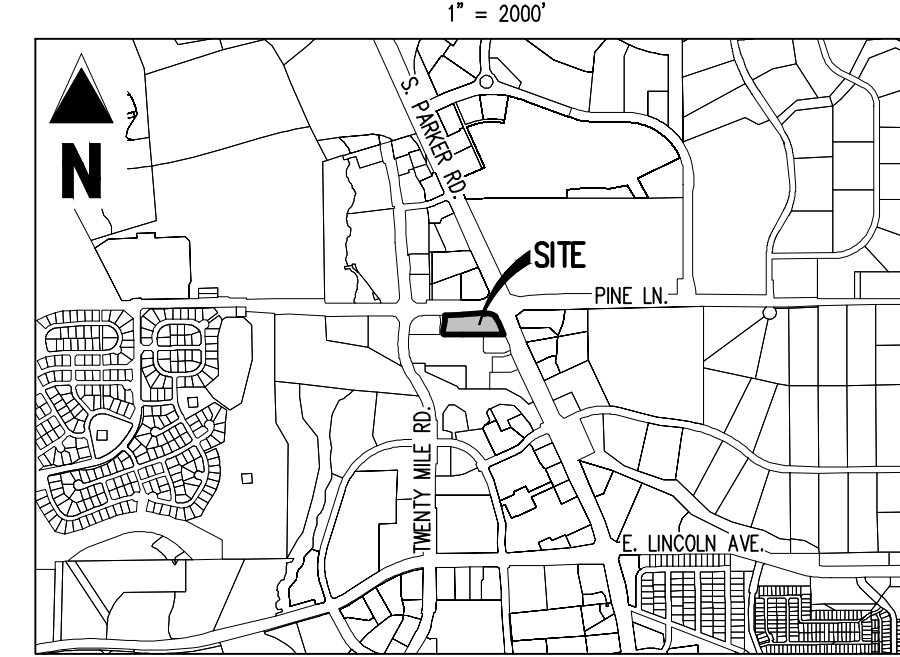
Date

PARKER AND PINE FILING 1, AMENDMENT NO. 1

A REPLAT OF LOT 1 AND LOT 5, PARKER AND PINE FILING NO. 1
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, T6S, R66W OF THE 6TH P.M.
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
 2.74 ACRES, 2 NON-RESIDENTIAL LOTS
 2.75 ACRES, 2 LOTS

Should be 2.74 acres

VICINITY MAP



LAND USE TABLE

LOT	AREA	USE
5-A	1.07 AC.	COMMERCIAL DEVELOPMENT
1-A	1.67 AC.	COMMERCIAL DEVELOPMENT

TITLE VERIFICATION

WE, FIRST AMERICAN TITLE INSURANCE COMPANY, A QUALIFIED TITLE INSURANCE COMPANY, DO HEREBY CERTIFY THAT I/WE HAVE EXAMINED THE TITLE OF ALL LAND PLATTED HEREON AND THAT TITLE TO SUCH LAND IS IN THE DEDICATOR(S) FREE AND CLEAR OF ALL LIENS, TAXES AND ENCUMBRANCES, EXCEPT AS FOLLOWS:

FIRST AMERICAN TITLE INSURANCE COMPANY DATE _____

NOTARY:

STATE OF _____ }
 COUNTY OF _____ } SS

THE FORGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME

THIS _____ DAY OF _____, 20____

BY _____ OF FIRST AMERICAN TITLE INSURANCE COMPANY.

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES _____

Please add the following note:

2.NO CERTIFICATES OF OCCUPANCY, TEMPORARY OR OTHERWISE WILL BE ISSUED UNTIL ALL PUBLIC IMPROVEMENTS AND NECESSARY ONSITE IMPROVEMENTS ARE COMPLETED AND ACCEPTED IN WRITING BY THE TOWN.

LEGAL DESCRIPTION

LOT 1 AND LOT 5, PARKER AND PINE FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO.

PURPOSE STATEMENT

THE PURPOSE OF THIS REPLAT IS TO ADJUST A THE LOT LINE BETWEEN LOTS 1 AND 5, PARKER AND PINE FILING NO. 1.

GENERAL NOTES

- FIELD WORK WAS COMPLETED ON: MARCH 30, 2021.
- ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST BEARS N001751°E, MONUMENTED BY THE SOUTHWEST CORNER OF SAID SECTION 10, BEING A 3-1/4 INCH ALUMINUM CAP STAMPED "LS 19003", AND MONUMENTED BY THE WEST QUARTER CORNER OF SAID SECTION 10, BEING A 3-1/4 INCH ALUMINUM CAP STAMPED "PLS 22561", AS SHOWN HEREON.
- ALL LINEAL MEASUREMENTS SHOWN ARE GROUND DISTANCES AND U.S. SURVEY FEET.
- CAUTION: THE SURVEYOR PREPARING THIS MAP WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THIS MAP. ALL CHANGES TO THIS EXHIBIT MUST BE APPROVED IN WRITING BY THE SURVEYOR IN CHARGE.
- NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON. C.R.S. 13-80-105(3)(A).
- THIS MAP DOES NOT REPRESENT A TITLE SEARCH BY GALLOWAY & COMPANY, INC. TO DETERMINE OWNERSHIP OF THIS TRACT. VERIFY THE DESCRIPTION SHOWN. VERIFY THE COMPATIBILITY OF THIS DESCRIPTION WITH THAT OF ADJACENT TRACTS OR VERIFY EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHT OF WAY OR TITLE THEREOF, GALLOWAY & COMPANY, INC. RELIED UPON THE INFORMATION TITLE COMMITMENT PROVIDED BY CLIENT AND PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. NC5-1056107-SAI, AMENDMENT #1, WITH A COMMITMENT DATE OF MARCH 7, 2023 AT 5:00 PM.
- NO CERTIFICATES OF OCCUPANCY, TEMPORARY OR OTHERWISE SHALL BE ISSUED FOR A LOT UNTIL THE LANDSCAPING IS INSTALLED ON SUCH LOT AND APPROVED BY THE TOWN OR AS OTHERWISE ALLOWED IN THE LAND DEVELOPMENT CODE.
- PRIVATE ACCESS DRIVES/ROADWAYS MUST BE CONSTRUCTED ON A LOT PRIOR TO THE ISSUANCE OF TEMPORARY CERTIFICATE OF OCCUPANCY AND/OR CERTIFICATE OF OCCUPANCY FOR ANY DEVELOPMENT OCCURRING ON ANY SUCH INDIVIDUAL LOT SHOWN HEREIN.
- PER THE FEMA FLOOD INSURANCE RATE MAPS (FIRM), MAP NO. 0803500067, HAVING AN MAP REVISED DATE OF MARCH 16, 2016, INDICATES THE SUBJECT PROPERTY TO BE DESIGNATED AS ZONE X (OUTSIDE 0.2% CHANCE OF FLOOD). THIS SURVEY MAKES THIS STATEMENT BY GRAPHIC PLOTTING ONLY. THE SURVEYOR RECOMMENDS A FLOOD STUDY IF MORE INFORMATION IS REQUIRED.
- THIS PLAT IS SUBJECT TO A PERPETUAL, NON-EXCLUSIVE CROSS PARKING EASEMENT FOR THE SHARED USE OF ALL PARKING SPACES SITUATED WITH THE PROPERTY SHOWN HEREIN. THE OWNERS OF EACH LOT SHALL KEEP AND MAINTAIN THE PARKING SPACES CONTAINED WITHIN THEIR RESPECTIVE LOT IN A COMMERCIALLY REASONABLE CONDITION AND STATE OF REPAIR.
- AN ACCESS EASEMENT IS HEREBY GRANTED OVER ALL PRIVATE ENTRANCES AND INTERNAL ROADWAYS WITHIN THE DEVELOPMENT FOR THE BENEFIT OF ALL CURRENT AND FUTURE OWNERS OF THIS PROPERTY FOR INGRESS, EGRESS AND TRAFFIC CIRCULATION. SHOULD THIS PROPERTY BE SUBDIVIDED INTO ADDITIONAL LOTS, ALL SUCH LOTS SHALL HAVE THE RIGHT TO USE ALL SUCH ENTRANCES AND ROADWAYS FOR ACCESS PURPOSES.
- WITHIN THE SIGHT TRIANGLES, AS SHOWN, LIMITED LANDSCAPING SHALL BE ALLOWED BUT NO SOLID STRUCTURES OR TREES WILL BE PERMITTED. SOLID STRUCTURES SHALL INCLUDE, BUT NOT BE LIMITED TO, FENCES, MAILBOXES, AND UTILITY BOXES. LANDSCAPING WITHIN THE SIGHT TRIANGLES WILL BE LIMITED TO SHRUBS AND PLANTINGS THAT AT MATURITY WILL BE NO TALLER THAN TWO FEET. LANDSCAPING WITHIN THE SIGHT TRIANGLE SHALL BE MAINTAINED BY THE PROPERTY OWNER OR APPROPRIATE ASSOCIATION.
- THE 10' CORE ELECTRIC EASEMENT SHOWN HEREON IS DEDICATED TO REPLACE AND REDEFINE THE BLANKET EASEMENT DESCRIBED IN INSTRUMENT RECORDED AT RECEPTION NUMBER 2021112495.

TOWN COUNCIL CERTIFICATE

LOTS 1 AND 5, PARKER AND PINE FILING 1, ARE HEREWIT AMENDED BY THIS PLAT WHICH IS HEREBY APPROVED BY THE TOWN COUNCIL, AND / OR, WHERE APPLICABLE, THE PLANNING DIRECTOR AND DIRECTOR OF ENGINEERING OF THE TOWN OF PARKER, COLORADO, FOR FILING IN THE OFFICE OF THE DOUGLAS COUNTY CLERK AND RECORDER, SUBJECT TO ALL COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED AGAINST AND APPURTENANT TO THE ORIGINAL PLAT RECORDED IN THE OFFICE OF THE DOUGLAS COUNTY CLERK AND RECORDER, RECEPTION # 2020059999.

ALL EXPENSES INCURRED WITH RESPECT TO IMPROVEMENTS FOR ALL UTILITY SERVICES, PAVING, GRADING, CURBS, GUTTER, SIDEWALKS, ROAD LIGHTING, ROAD SIGNS, FLOOD PROTECTION DEVICES, DRAINAGE STRUCTURES AND ALL OTHER IMPROVEMENTS THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER AND NOT THE TOWN OF PARKER. THE TOWN SHALL ONLY ACCEPT MAINTENANCE OF THE ROADWAY IMPROVEMENTS AFTER CONSTRUCTION HAS BEEN COMPLETED, AND AFTER THE WARRANTY PERIOD, IN ACCORDANCE WITH TOWN REGULATIONS.

THIS ACCEPTANCE DOES NOT GUARANTEE THAT THE SOIL CONDITIONS, SUBSURFACE GEOLOGY, GROUNDWATER CONDITIONS OR FLOODING CONDITIONS OF ANY LOT SHOWN HEREON ARE SUCH THAT A BUILDING PERMIT WILL BE ISSUED.

MAYOR _____ DATE _____
 ATTEST: TOWN CLERK _____ DATE _____

Please change signature blocks back to originals as this will be processed administratively

Community development director, public works director

CLERK AND RECORDER'S CERTIFICATE

STATE OF COLORADO }
 COUNTY OF DOUGLAS } SS

I HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORD IN MY OFFICE ON THIS _____ DAY OF _____, 20____ AT _____ O'CLOCK ____M.

RECEPTION NUMBER: _____

COUNTY CLERK AND RECORDER

SURVEYOR'S CERTIFICATE

I, BRIAN J. DENNIS, A PROFESSIONAL LAND SURVEYOR LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY OF PARKER AND PINE FILING 1, AMENDMENT NO. 1, WAS MADE BY ME OR DIRECTLY UNDER MY SUPERVISION ON OR ABOUT THE 30TH DAY OF MARCH, 2021, AND THAT THE SURVEY IS BASED UPON MY KNOWLEDGE, INFORMATION AND BELIEF THAT ALL MONUMENTS EXIST AS SHOWN HEREON; IT HAS BEEN PREPARED IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE, THAT MATHEMATICAL CLOSURE ERRORS ARE LESS THAN 1:50,000 (SECOND ORDER); AND THAT SAID PLAT HAS BEEN PREPARED IN FULL COMPLIANCE WITH ALL APPLICABLE LAWS OF THE STATE OF COLORADO DEALING WITH MONUMENTS, SUBDIVISIONS OR SURVEYING OF LAND AND ALL APPLICABLE PROVISIONS, WITHIN MY CONTROL, OF THE TOWN SUBDIVISION REGULATIONS. THIS SURVEY IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED, AND THE ACCOMPANYING PLAT ACCURATELY AND PROPERLY SHOWS SAID MINOR DEVELOPMENT PLAT AND THE SURVEY THEREOF.

I ATTEST THE ABOVE ON THIS _____ DAY OF _____, 20____

BRIAN J. DENNIS, P.L.S. #38069
 FOR AND ON BEHALF OF
 GALLOWAY & COMPANY, INC.

DEDICATION STATEMENT

THE UNDERSIGNED, BEING ALL THE OWNERS, MORTGAGEES, BENEFICIARIES OF DEEDS OF TRUST AND HOLDERS OF OTHER INTERESTS OF THE LANDS DESCRIBED HEREIN, HAVE LAID OUT, SUBDIVIDED AND PLATTED SAID LANDS INTO LOTS AND EASEMENTS, AS SHOWN HEREON UNDER THE NAME AND SUBDIVISION OF "PARKER AND PINE FILING 1, AMENDMENT NO. 1".

THE NEW UTILITY EASEMENTS AS SHOWN HEREON ARE HEREBY DEDICATED FOR PUBLIC UTILITIES AND OTHER PURPOSES AS SHOWN HEREON. THE ENTITIES ARE RESPONSIBLE FOR PROVIDING THE UTILITY SERVICES FOR WHICH THE EASEMENTS ARE ESTABLISHED ARE HEREBY GRANTED THE PERPETUAL RIGHT OF INGRESS AND EGRESS FROM AND TO ADJACENT PROPERTIES FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF UTILITY LINES AND RELATED FACILITIES. THE OWNERS OF THE LANDS DESCRIBED HEREIN ARE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF DRAINAGE EASEMENTS SHOWN HEREON AND RELATED FACILITIES, AS PROVIDED IN THE STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL, AS AMENDED. THE UNDERSIGNED GRANTS THE TOWN OF PARKER A PERPETUAL RIGHT OF INGRESS AND EGRESS FROM AND TO ADJACENT PROPERTY TO MAINTAIN, OPERATE AND RECONSTRUCT THE DRAINAGE EASEMENTS AND RELATED FACILITIES COVERED BY CHAPTER 4.08 OF THE PARKER MUNICIPAL CODE AS AMENDED; AND TO MAINTAIN, OPERATE AND RECONSTRUCT THE DRAINAGE EASEMENTS AND RELATED FACILITIES NOT COVERED BY CHAPTER 4.08 OF THE PARKER MUNICIPAL CODE AS AMENDED, WHEN THE OWNER(S) FAIL TO ADEQUATELY MAINTAIN SUCH DRAINAGE EASEMENTS AND RELATED FACILITIES, WHICH MAINTENANCE, OPERATION AND RECONSTRUCTION SHALL BE AT THE COST OF THE OWNER(S). DRAINAGE AND DETENTION EASEMENTS AS SHOWN HEREON ARE HEREBY DEDICATED TO THE TOWN. THE TOWN IS HEREBY GRANTED THE PERPETUAL RIGHT OF INGRESS AND EGRESS FROM AND TO THE ADJACENT PROPERTIES FOR CONSTRUCTION, REPAIR, MAINTENANCE, OPERATION AND REPLACEMENT OF STORM SEWERS AND DRAINAGE FACILITIES. THE UNDERSIGNED GRANTS TO THE TOWN A SIGHT EASEMENT(S) AS SHOWN HEREON WITHIN THE SUBDIVISION TO MAINTAIN ADEQUATE SIGHT DISTANCE AT ALL ROADWAY INTERSECTIONS AS PROVIDED BY THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AS AMENDED. THE TOWN IS HEREBY GRANTED THE PERPETUAL RIGHT OF INGRESS AND EGRESS ACROSS ALL LOTS AND TRACTS WITHIN THE SUBDIVISION TO REMOVE ANY OBSTRUCTION TO THE PROPER SITE DISTANCE, INCLUDING, BUT NOT LIMITED TO, ANY STRUCTURE, FENCE, UTILITY BOX, RAISED MEDIAN AND LANDSCAPING, AT THE SOLE COST AND EXPENSE OF THE OWNER OF THE LOT AND/OR TRACT UPON WHICH SUCH OBSTRUCTION IS SITUATED. THE OWNERS OR ADJACENT PROPERTY OWNERS OF THE LANDS ARE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SIGHT EASEMENTS SHOWN HEREON. WHEN THE OWNER(S) OR ADJACENT OWNERS FAIL TO ADEQUATELY MAINTAIN SUCH SIGHT EASEMENTS, THE MAINTENANCE, OPERATION AND RECONSTRUCTION SHALL BE AT THE COST OF THE OWNER(S).

ACKNOWLEDGEMENT

THE UNDERSIGNED, BEING ALL THE OWNERS, MORTGAGEES, BENEFICIARIES OF DEEDS OF TRUST AND HOLDERS OF OTHER INTERESTS OF THE LANDS DESCRIBED HEREIN, HEREBY ACKNOWLEDGE THAT ANY SUBDIVISION APPROVAL OBTAINED BY THE TOWN OF PARKER DOES NOT OVIATE SAID UNDERSIGNED'S NEED OR RESPONSIBILITY TO COMPLY WITH THE REQUIREMENTS OF THE ENDANGERED SPECIES ACT OF 1973, 16 U.S.C. §1 531, ET SEQ., AS AMENDED, OR WITH ANY OTHER APPLICABLE FEDERAL, STATE OR LOCAL LAWS OR REGULATIONS.

OWNER

EVT PARKER COLORADO LLC

BY: _____
 NAME

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____, 20____, BY

_____ AS _____
 NAME TITLE

OF EVT PARKER COLORADO LLC

WITNESS MY HAND AND OFFICIAL SEAL

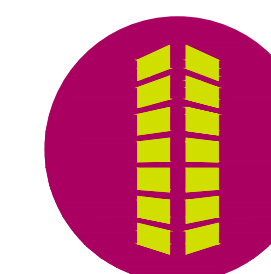
NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

Please add the following new language required in all plats:

No improvements that conflict with or interfere with construction, maintenance or access to utilities shall be placed within the utility easements. Prohibited improvements include, but are not limited to, permanent structures, buildings, counter-tops, decks, stairs, window wells, air conditioning units, retaining walls/components and other objects that may interfere with the utility facilities or access, use and maintenance thereof. Prohibited improvements may be removed by the entities responsible for providing the utility services. The owners of the property subject to or adjacent to the utility easements shown herein are responsible for the maintenance and operation of such areas, which does not include utility lines and related facilities. When the owner(s) or adjacent owners fail to adequately maintain such utility easements, including the removal of prohibited improvements, the maintenance, operation, reconstruction and removal shall be at the cost of the owner(s).

#	Date	Issue / Description	Init.
1	02.03.22	Update Notes on Cover Sheet	RCE
2	12.19.22	Added Easements	EMV
3	03.24.23	Addressed City comments	EMV
4	05.17.23	Added sight easement	EMV
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-



Galloway

1155 Kelly Johnson Blvd., Suite 305
 Colorado Springs, CO 80920
 719.900.7220 • GallowayUS.com

Project No: INC000014.10

Drawn By: EMV

Checked By: BJD

Date: 11/30/23

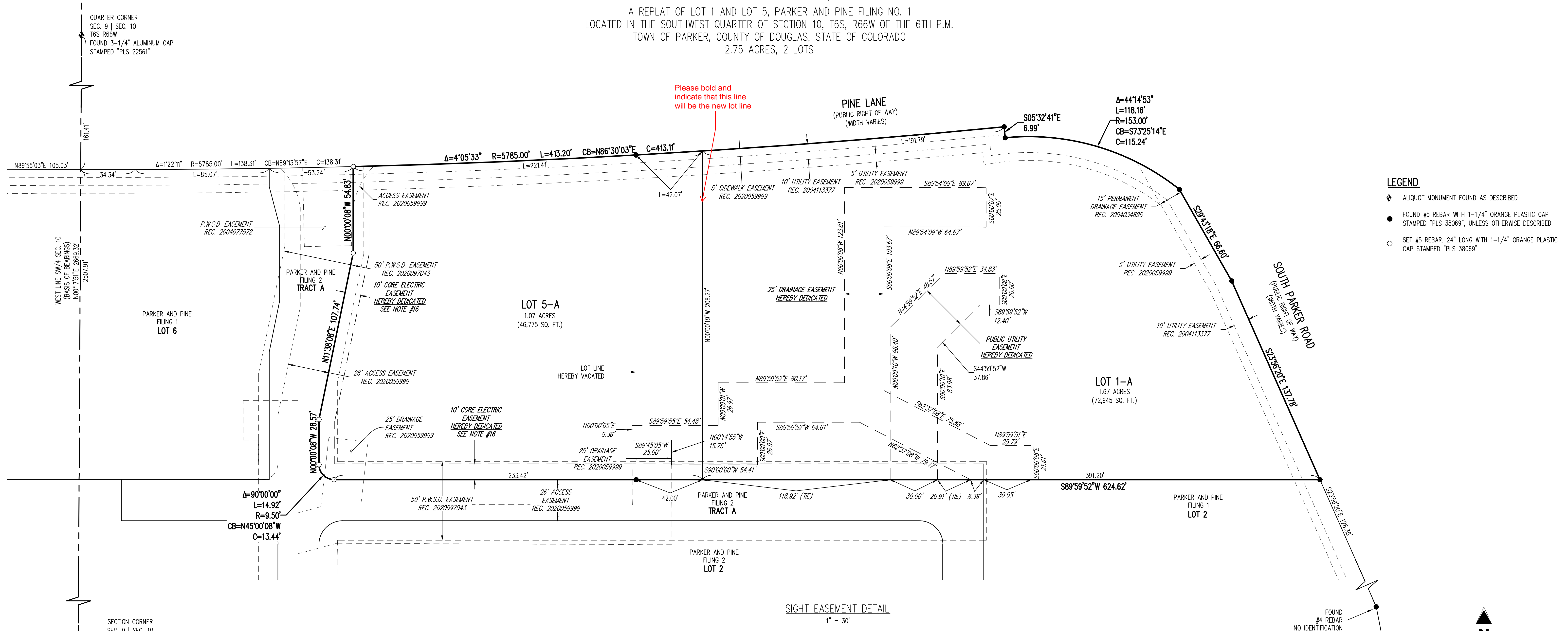
1

SHEET 1 OF 2

PARKER AND PINE FILING 1, AMENDMENT NO. 1

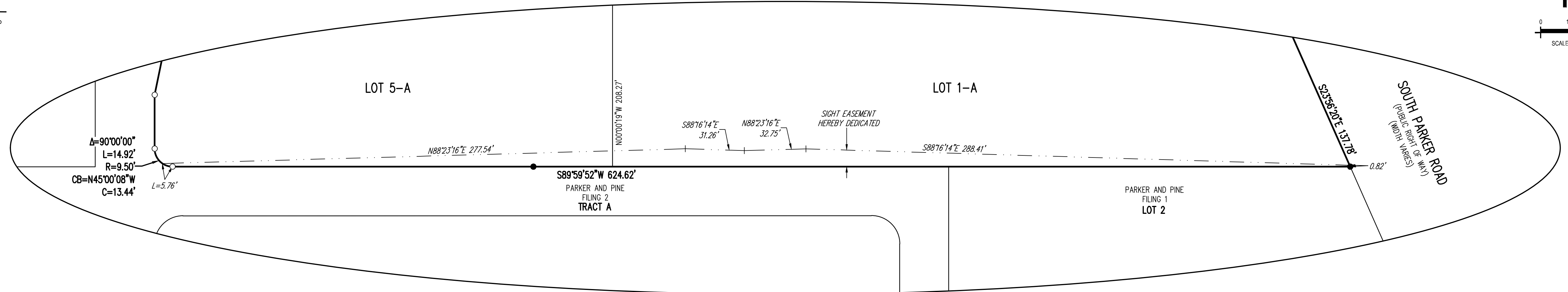
A REPLAT OF LOT 1 AND LOT 5, PARKER AND PINE FILING NO. 1
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, T6S, R66W OF THE 6TH P.M.
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
 2.75 ACRES, 2 LOTS

Please bold and indicate that this line will be the new lot line

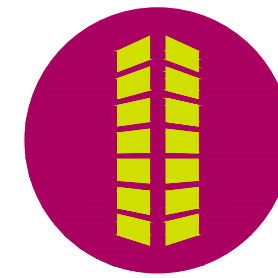


- LEGEND**
- ◆ ALIQUOT MONUMENT FOUND AS DESCRIBED
 - FOUND #5 REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "PLS 38069", UNLESS OTHERWISE DESCRIBED
 - SET #5 REBAR, 24" LONG WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "PLS 38069"

SIGHT EASEMENT DETAIL
 1" = 30'



#	Date	Issue / Description	Int.
1	02.03.22	Update Notes on Cover Sheet	RCE
2	12.19.22	Added Easements	EMV
3	03.24.23	Addressed City comments	EMV
4	05.17.23	Added sight easement	EMV
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-



Galloway
 1155 Kelly Johnson Blvd., Suite 305
 Colorado Springs, CO 80920
 719.900.7220 • GallowayUS.com

Project No: INC000014.10
 Drawn By: EMV
 Checked By: BJD
 Date: 11/30/23

2
 SHEET 2 OF 2



Project Reviews Town of Parker

Project Number: SUB22-063

Description: **Parker & Pine F1 AMD 1**

Applied: **12/21/2022**

Approved:

Site Address: **Parker & Pine F1 AMD 1**

Closed:

Expired:

City, State Zip Code: **PARKER, CO**

Status: **UNDER REVIEW 2**

Applicant: **Galloway and Company**

Parent Project: **SUB18-020**

Owner: **EVT Parker Colorado, LLC**

Contractor: **<NONE>**

Details:

The applicant, Galloway, is proposing to amend the lot line between Lots 1 and 5 of Parker and Pine Filing No. 1. The site is located at the southwest corner of Parker Road and Pine Lane.

LIST OF REVIEWS						
SENT DATE	RETURNED DATE	DUE DATE	TYPE	CONTACT	STATUS	REMARKS
Review Group: ALL						
12/28/2022	2/8/2023	1/5/2023	COMPLETENESS REVIEW	Amber Wood Hicken	COMPLETED	
Notes:						
Review Group: AUTO						
12/21/2022			ENGINEERING ADMINISTRATIVE	Tom Williams		
Notes:						
12/21/2022	12/27/2022	1/9/2023	LAND USE COMPLETENESS REVIEW	Alex Mestdagh	COMPLETED	
Notes:						
Review Group: FP 1ST 20						
2/8/2023	3/2/2023	3/8/2023	AZTEC CONSULTANTS INC 20	Dean Cates	REVISIONS REQUIRED	
Notes:						



PARKER
COLORADO

Project Reviews Town of Parker



2/8/2023	2/28/2023	3/8/2023	BUILDING 20	Randy Capra	ADVISORY COMMENTS	See notes and response please
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Notes:

We highly encourage a Building pre-application meeting before applying for the permit to discuss construction type, occupancy, allowable areas, MEP's, energy, structural, fire, etc.... Please visit our website for all plan submittal requires: Plan Review | Town of Parker - Official Website (parkeronline.org), and our most current code adoptions.

Building and/or Fire Life Safety permit application will not be accepted/reviewed until the associated site plan is approved or otherwise discussed. All plans submitted for Building's review must meet the 2021 I-Codes, the 2020 NEC, and the referenced NFPA editions noted in the applicable codes (i.e. 2021 IFC references the 2019 edition of NFPA 72) if received by December 31, 2021. NFRC certificates, interior/exterior lighting along with the mechanical and envelope compliance path must be included with the original submittal. All Fire Permit applications and inspections will be handled through the Parker Building Division. All land use applications and the associated Grading Permit must be approved/issued per Planning and Public Works prior to the Building Permit being approved/issued.

Retaining walls greater than 4' from base of footing or bottom course requires separate building permits and plans must be stamped by qualified professional. Tiered/staggered/stepped back retaining walls all require permits no matter the height of individual wall.

2/8/2023		3/8/2023	CENTURYLINK COMMUNICATIONS 20	CenturyLink		
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Notes:

2/8/2023	2/17/2023	3/8/2023	CHERRY CREEK BASIN WATER QUALITY AUTHORITY 20	Val Endyk	ADVISORY COMMENTS	See Notes
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Notes:

The Cherry Creek Basin Water Quality Authority (Authority) acknowledges notification from the Town of Parker that the proposed development plans for SUB22-063 Parker & Pine F1 AMD 1 have been or will be reviewed by the Town of Parker for compliance with the applicable Regulation 72 construction and post-construction requirements. Based on the Authority's current policy, the Authority will no longer routinely conduct a technical review and instead the Authority will defer to the Town of Parker's review and ultimate determination that the proposed development plans comply with Regulation 72.

If a technical review of the proposed development plan is needed, please contact LandUseReferral@ccbwwqa.org. The review may include consultation with the Authority's Technical Manager to address specific questions or to conduct a more detailed Land Use Review, if warranted.

2/8/2023		3/8/2023	COMCAST 20	Butch Buster		
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Notes:

2/8/2023	2/16/2023	3/8/2023	COMPREHENSIVE PLANNING 20	Mary Munekata	ADVISORY COMMENTS	Narrative does not address this replat application.
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Notes:



PARKER
COLORADO

Project Reviews Town of Parker



2/8/2023	3/7/2023	3/8/2023	CONST PLANS - ENVIRONMENTAL	Robert Seacat	REVISIONS REQUIRED	See Engineering Comments and Notes
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Notes:

SUB22-063 In-N-Out CONSTRUCTION PLANS – ENVIRONMENTAL REVIEW COMMENTS

GENERAL COMMENTS

Please note that the CBMP estimate will be reviewed with the Grading Permit after all CBMP comments have been addressed and the site plan is near approval.

1. Please add a note to all Erosion Control plan sheets stating – “THE TRUE LOCATION OF THE PORTABLE TOILET PROTECTION (PTP) MAY BE DETERMINED BY THE TOWN AND THE ECS”.
2. Show multiple Portable Toilet Protections (PTP), a site this size must have at least 3 at the Initial phase. Addition PTPs may be needed in the interim and final phases.
3. Please adjust the LOD, CF and SF on the east side of the site to include the disturbance area for the natural gas line tie in.
4. Please label and identify the ratio of all slopes that are 4:1 or greater.
5. Please include on the Initial, Interim/Final Erosion Control plan sheets the Town of Parker’s CBMP Legend of Keys/Symbols for the CBMP Details.
6. Please include within the plan set all 71 pages of the Town of Parker’s CBMP Legend, General Notes & Details.
7. Please add a callout/label to the Initial, Interim/Final Erosion Control plan sheets for all properties adjacent to the project stating, “NO WORK SHALL OCCUR IN THIS AREA.”
8. Please add the following note to the Initial and Interim/Final CBMP plan sheets: “LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE.”
9. Please add Inlet Protection (IPCOG) to the 2 existing type R inlets on the private road southwest of the site entrance.
10. Please add a note to the Initial, Interim and Final Erosion Control plan sheets stating: “ANY BULK FUEL STORAGE REQUIRES A FIRE LIFE SAFETY PERMIT FROM THE TOWN PRIOR TO INSTALLATION. CONTACT RANDY CAPRA AT RCAPRA@PARKERONLINE.ORG OR 303-805-3163.”

INITIAL CBMP PLANS

1. Please add notes to the Initial Erosion Control plan sheet stating – “THE VTC PAD FOR A CWA DOES NOT NEED TO CONFORM TO THE FORMAL VTC DETAIL”, AND “THE TRUE LOCATION OF THE CWA MAY BE DETERMINED BY THE TOWN AND ECS”.
2. Please show jersey barriers or construction fence along the sides of the VTC to assure use of the entire 50-foot pad.
3. Please show additional Debris and Trash Control (DTC) symbols in the asphalt roadways outside of the site.
11. Please provide a callout outside the perimeter controls along the public sidewalk(s) to be modified/replaced with the project that states the following: “ALL WORK WITHIN PUBLIC RIGHT-OF-WAY (ROW) WILL REQUIRE A TOWN ROW PERMIT. INITIAL AND INTERIM CBMPs FOR WORK WITHIN THE TOWN’S ROW SHALL BE COORDINATED WITH THE TOWN’S ENVIRONMENTAL INSPECTOR PRIOR TO THE BEGINNING OF ANY ROW WORK.”

INTERIM/FINAL CBMP PLANS

12. Please show Masonry Work Protection (MWP) on the plans for construction of the building.
13. Sediment Control Log (SCL) is required at back of curb and back of sidewalk immediately after installation asphalt in roadways and parking areas. Please show on plans where needed. Note: if tree lawn areas are graded to final grade, ECB may be used to cover the entire tree lawn instead of back of curb SCL.
14. Please provide and identify Erosion Control Blanket (ECB) on all slopes 4 to 1 or greater where seeding of native grass is shown.
15. Please provide and identify Surface Roughening (SR), Seeding Mulching Crimping (SMC) and Temporary Irrigation (TI) on the Interim/Final plan sheets in the native grass areas. To allow for a proper and timely establishment of native grasses, Temporary Irrigation (TI) is required over all areas where permanent native seeding is proposed. This includes, but is not limited to, detention ponds, drainage ways, park and trail areas, general open space, etc.
16. Please show additional Debris and Trash Control (DTC) symbols in the asphalt roadways outside of the site.

See Redline Plans in Trakit Attachments.

2/8/2023	3/10/2023	3/8/2023	CONSTRUCTION PLANS - CIVIL	Michael Walton	REVISIONS REQUIRED	See Engineering Memo
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Notes:



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2/8/2023		3/8/2023	CONSTRUCTION PLANS - TRAFFIC	Alisa Babler		
Notes:						
2/8/2023	2/27/2023	3/8/2023	DOUGLAS COUNTY ASSESSORS OFFICE 20	Marian Woodward	NO COMMENT	
Notes:						
2/8/2023		3/8/2023	DOUGLAS COUNTY ENGINEERING DIVISION 20	DC Referrals		
Notes:						
2/8/2023	2/28/2023	3/8/2023	DOUGLAS COUNTY PLANNING SERVICES DIVISION 20	DC Referrals	NO COMMENT	
Notes:						
2/8/2023		3/8/2023	DOUGLAS COUNTY SCHOOL DISTRICT RE1 20	Shavon Caldwell		
Notes:						
2/8/2023	3/8/2023	3/8/2023	DRAINAGE REPORT - CIVIL	Michael Walton	ADVISORY COMMENTS	See Notes
Notes: Please continue to update any calculations provided in response to the Construction Plan - Stormwater comments. Please notify Town Staff if any additional revisions to the conformance letter beyond simple updates are necessary and an additional review will be performed.						
2/8/2023	2/21/2023	3/8/2023	ECONOMIC DEVELOPMENT 20	Weldy Feazell	NO COMMENT	
Notes:						
2/8/2023	3/16/2023	3/8/2023	FINAL PLAT 20	Amber Wood Hicken	REVISIONS REQUIRED	
Notes: See Planning Comments 01						
2/8/2023	2/28/2023	3/8/2023	FIRE LIFE SAFETY 20	Randy Capra	REVISIONS REQUIRED	See Notes
Notes: As not all issues were addressed with SP21-125, a Fire Life Safety Response Ltr and redlined utility drawing have been uploaded to this application. Address all issues and provided a written response indicating acknowledgment and or location and name of attachment that would contain the modifications.						



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2/8/2023	3/10/2023	3/8/2023	FLOODPLAIN DEVELOPMENT PLAN	Michael Walton	NOT APPLICABLE	
Notes:						
2/8/2023	3/7/2023	3/8/2023	IREA 20	Brooks Kaufman	REVISIONS REQUIRED	Revisions and easement required
Notes: CORE Electric Cooperative has an existing blanket easement on the entire subdivision before it was changed to Parker and Pine Filing 1 and Filing 2 and has no defined location. CORE will require an easement to replace the existing blanket within the proposed Lot 5-A.						
2/8/2023	2/21/2023	3/8/2023	PARKER AUTHORITY FOR REINVESTMENT 20	Weldy Fezell	NO COMMENT	
Notes:						
2/8/2023	3/10/2023	3/8/2023	PLAT - CIVIL	Michael Walton	REVISIONS REQUIRED	See Engineering Memo
Notes:						
2/8/2023		3/8/2023	POLICE 20	Greg Epp		
Notes:						
2/8/2023		3/8/2023	PSCO RESIDENTIAL SUBDIVISIONS 20	Xcel Energy		
Notes:						
2/8/2023	3/6/2023	3/8/2023	PUBLIC SERVICE COMPANY OF COLORADO 20	Donna George	ADVISORY COMMENTS	please see attached
Notes: please see attached						
2/8/2023		3/8/2023	SOUTH METRO FIRE 20	South Metro Fire		
Notes:						
2/8/2023	4/7/2023	3/8/2023	TOWN OF PARKER RECREATION 20	Brett Collins	NO COMMENT	
Notes:						
2/8/2023	3/10/2023	3/8/2023	TRAFFIC IMPACT STUDY	Michael Walton	REVISIONS REQUIRED	See Engineering Memo
Notes:						



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Project Reviews Town of Parker



2/8/2023		3/8/2023	TRAFFIC IMPACT STUDY - CIVIL	Alex Mestdagh		
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Notes:

2/8/2023	3/7/2023	3/8/2023	URBAN DRAINAGE AND FLOOD CONTROL 20	UDFCD	NO COMMENT	
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Notes:

Review Group: FP 1ST 20 ADD

2/8/2023	3/6/2023	3/8/2023	PARKER WATER AND SANITATION DISTRICT 20	Robert Ramsey	ADVISORY COMMENTS	See Notes
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Notes:
Please note PWSD does not have any problem with the replat of these lot lines. PWSD is working with the Engineering firm on this project and construction plans are not approved at this time.

Review Group: FP 2ND 15

5/3/2023	5/5/2023	5/25/2023	BUILDING 15	Randy Sale	APPROVED	No bldg comments
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Notes:

5/3/2023	5/24/2023	5/25/2023	CONST PLANS - ENVIRONMENTAL 15	Robert Seacat	APPROVED	
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Notes:

5/3/2023		5/25/2023	CONSTRUCTION PLANS - CIVIL 15	Michael Walton		
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Notes:

5/3/2023		5/25/2023	FINAL PLAT 15	Amber Wood Hicken		
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Notes:

5/3/2023	5/16/2023	5/25/2023	FIRE LIFE SAFETY 15	Randy Capra	REVISIONS REQUIRED	See Notes
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Notes:
Applicant has noted "Please refer to Fire Life Safety Comment Response Letter" without actually providing a response letter. Ensure that this letter and all associated comments are addressed with third submittal for this project.

5/3/2023	5/22/2023	5/25/2023	IREA 15	Brooks Kaufman	APPROVED	
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Notes:
CORE will provide a partial release of the blanket easement by separate document upon recording of the final plat. CORE does not release the existing blanket easement until the new plat is recorded. The applicant will be required to provide the recorded plat t CORE for partial release of the existing blanket easement.



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Project Reviews Town of Parker

5/3/2023		5/25/2023	PLAT - CIVIL 15	Michael Walton		
Notes:						
5/3/2023	5/16/2023	5/25/2023	SURVEY - AZTEC 15	Dean Cates	REVISIONS REQUIRED	
Notes:						
5/3/2023		5/25/2023	TRAFFIC IMPACT STUDY 15	Alex Mestdagh		
Notes:						