

# IN-N-OUT BURGER

# IN-N-OUT BURGER AT PARKER & PINE

PARKER & PINE FILING NO. 1, LOT 1, LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
S PARKER ROAD & PINE LANE, ARVADA COLORADO

## CONSTRUCTION DOCUMENTS

### PROJECT CONTACTS:

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### GENERAL CONSTRUCTION NOTES

- 1. REQUIREMENTS SHOWN ON SITE PLAN SHALL GOVERN. DRAWINGS AND SPECIFICATIONS SHOWING OTHERWISE NOTWITHSTANDING. CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE OWNERS REP. PRIOR TO BID.
- 2. NO WORK IS TO BEGIN UNTIL ALL PERMITS HAVE BEEN OBTAINED.
- 3. CONTRACTOR TO PROVIDE ALL EQUIPMENT AND PERSONNEL REQUIRED FOR FINAL CHECKOUT OF ALL FACILITIES BY OWNERS REPRESENTATIVE.
- 4. ENTIRE INSTALLATION SHALL MEET ALL APPLICABLE CODES.
- 5. VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE.
- 6. ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL DIRT APPROVED BY ENGINEER COMPLIANT TO THE RECOMMENDATIONS OF THE APPROVED GEOTECHNICAL REPORT.
- 7. SET PROPERTY CORNER PINS IN CONCRETE. IF PROPERTY CORNERS ARE DESTROYED BY CONTRACTOR, THE CONTRACTOR SHALL BEAR THE EXPENSE OF RELOCATING CORNERS BY A REGISTERED SURVEYOR.
- 8. THIS DESIGN IS BASED ON THE GEOTECHNICAL REPORT MP04L-19-CO-02305-02 DATED APRIL 30, 2019 BY UNITED CONSULTING. A COPY OF THIS REPORT SHOULD BE ON-SITE AT ALL TIMES.
- 9. GENERAL CONTRACTOR SHALL RECEIVE, UNLOAD, STORE AND UNCRATE ALL EQUIPMENT FURNISHED BY THE OWNER AND SHIPPED TO THE SITE. SEE SPECIFICATIONS FOR EQUIPMENT FURNISHED BY OWNER.
- 10. GENERAL CONTRACTOR TO REFER TO STANDARD DETAILS INCLUDED IN THE SPECIFICATIONS FOR INSTALLING EQUIPMENT, INCLUDING PRODUCT DISPENSERS AND REMOTE READ-OUT EQUIPMENT.
- 11. GENERAL CONTRACTOR TO PERFORM GENERAL YARD AND BUILDING CLEAN-UP AT COMPLETION OF WORK.
- 12. SEE THE SITE SURVEY FOR SURVEY INFORMATION & LEGAL DESCRIPTION.
- 13. ALL TOP OF CURB GRADES ARE 4" HIGHER THAN FINISH GRADES SHOWN ON DRIVE UNLESS OTHERWISE NOTED.
- 14. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ONSITE SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION. REFER TO EROSION CONTROL PLANS AND DETAILS FOR ADDITIONAL INFORMATION.
- 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE, AND AVAILABLE TO THE CITY, ITS AGENTS, OWNER OR GALLOWAY AT ALL TIMES. DIMENSIONS SHALL BE ANNOTATED ON AS-BUILT RECORD DRAWINGS. AS-BUILT DRAWINGS ARE REQUIRED PRIOR TO ISSUANCE OF FINAL PAYMENT. AS BUILT DRAWINGS WILL BE SUPPLIED TO OWNER AND CITY/TOWN PRIOR TO FINAL PAYMENT.
- 16. GRADING/UTILITY CONTRACTOR TO COMPLETE GRADING BELOW FINISHED GRADE IN ACCORDANCE WITH PAVING RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED FOR THIS SITE, SHOWN TO TOLERANCE OF ± 0.1" IN ALL PAVING AREAS.
- 17. GENERAL CONTRACTOR TO PROVIDE BARRICADE PROTECTION WITH FLASHING LIGHTS AROUND ALL FOOTINGS, EXCAVATIONS AND ALL OFFSITE WORK.
- 18. CONTRACTOR RESPONSIBLE FOR ALL WORK NECESSARY FOR FINAL ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY, INCLUDING BUT NOT LIMITED TO AS-BUILT DRAWINGS, INSPECTIONS, TESTING REPORTS AND CERTIFICATIONS.
- 19. SURVEYOR TO OBTAIN ADJACENT FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL. DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

### STORM DRAINAGE INFRASTRUCTURE NOTES

- 1. ALL STORM DRAINAGE IMPROVEMENTS ARE SUBJECT TO COMPLIANCE WITH THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, M & S STANDARDS, AND ALL STANDARD SPECIAL PROVISIONS CURRENTLY USED BY CDOT, WITH THE MODIFICATIONS SET FORTH IN THE TOWN OF PARKER'S STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL (SDEDM), AS AMENDED.
- 2. THE CONTRACTOR SHALL COMPLY WITH THE COLORADO WATER QUALITY CONTROL ACT (TITLE 25, ARTICLE 8 CRS), THE PROTECTION OF FISHING STREAMS TITLE 33, ARTICLE 5, CRS), THE "CLEAN WATER ACT" (33 USC 1344), CHERRY CREEK RESERVOIR CONTROL REGULATION NO. 72 (5 CCR 1002-72), THE REGULATION PROMULGATED, CERTIFICATION OR PERMITS ISSUES, AND THE REQUIREMENTS PRESENTED IN THE SDEDM REVISION TO SECTION 107 AND THE CONSTRUCTION BMP PLAN. IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND WATER QUALITY CONTROL LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, OR STATE AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- 3. INSPECTIONS: CONSTRUCTION SHALL NOT BEGIN UNTIL A GRADING PERMIT HAS BEEN ISSUED FOR THE PROJECT. THE CONTRACTOR SHALL NOTIFY THE TOWN OF PARKER ENGINEERING DEPARTMENT (PUBLIC WORKS) TO SCHEDULE INSPECTIONS A MINIMUM OF 48 HOURS PRIOR TO THE CONSTRUCTION OF ALL DRAINAGE INFRASTRUCTURE (STORM SEWERS, INLETS, MANHOLES, ENERGY DISSIPATORS, RIPRAP, GROUNDED BOLLARDS, DETENTION POND OUTLET STRUCTURES, FOREBAYS, TRICKLE CHANNELS, ETC). FAILURE TO NOTIFY THE ENGINEERING DEPARTMENT FOR INSPECTIONS MAY RESULT IN NON-ACCEPTANCE OF THE INFRASTRUCTURE BY THE TOWN. URBAN DRAINAGE AND FLOOD CONTROL DISTRICT MUST ALSO BE NOTIFIED IN A SIMILAR MANNER FOR ALL MAINTENANCE ELOGIBLE DRAINAGE INFRASTRUCTURES (CONSULT WITH STORMWATER ENGINEERING DIVISION).
- 4. STRUCTURAL BACKFILL (CDOT CLASS 1) SHALL BE COMPACTED TO CONFORM TO CDOT STANDARD SPECIFICATION 203.03. STRUCTURAL BACKFILL (CDOT CLASS 2) SHALL CONFORM TO CDOT STANDARD SPECIFICATION 203.07. AT THE CONTRACTOR'S OPTION, STRUCTURAL BACKFILL (SQUEEZE) MEETING THE GRADATION REQUIREMENTS CONTAINED IN REVISION OF SECTION 206 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDEDM, MAY BE SUBSTITUTED FOR STRUCTURE BACKFILL (CLASS 1) OR CLASS 2) FOR BACKFILLING OF CULVERT PIPES, STORM SEWER PIPES, MANHOLES AND INLET STRUCTURES; HOWEVER, THE TOP 2 FEET BELOW SUBGRADE ELEVATION SHALL BE THE REQUIRED EMBAKMENT MATERIAL.
- 5. ALL EXCAVATIONS SHALL MEET OSHA REQUIREMENTS.
- 6. TESTING: PROBATIONARY ACCEPTANCE OF STORM DRAINAGE IMPROVEMENTS WILL BE CONTINGENT UPON SATISFACTORY TESTING RESULTS. IN ALL CASES WHERE TESTS INDICATE COMPACTION LESS THAN THAT REQUIRED BY TOWN SPECIFICATIONS, ADDITIONAL COMPACTION AND TESTS WILL BE REQUIRED UNTIL THE SPECIFICATIONS ARE MET. FREQUENCY OF TESTING WILL BE AS FOLLOWS: 1 TEST FOR SUBGRADE AND 1 TEST FOR BACKFILL AT EVERY ABOVE GROUND APPURTENANCE (MANHOLES, INLETS, ETC) 1 TEST EVERY 200 LF OF MAINLINE TRENCH EVERY 1 FOOT OF BACKFILL LIFT AND WITHIN 1 FOOT FROM ALL STRUCTURES.
- 7. ALLOWABLE STORM SEWER CONDUIT MATERIAL WITHIN THE TOWN OF PARKER SHALL BE LIMITED TO REINFORCED CONCRETE PIPE (RCP) CONFORMING TO CDOT STANDARD SPECIFICATION 706.02.
- 8. ALL RCP JOINTS SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM C443. RUBBER GASKETS SHALL BE USED ON ALL PIPE JOINTS CONFORMING TO ASTM C443. ALL RCP SECTIONS SHALL BE JOINED IN SUCH A MANNER THAT THE ENDS ARE FULLY ENTERED AND THE INNER SURFACES ARE REASONABLE FLUSH. AVERAGE JOINT GAP THAT EXCEEDS 3/8 INCH SHALL BE FILLED WITH AN APPROVED FLEXIBLE PLASTIC SEALANT.
- 9. JOINT RESTRAINTS AND TOE-WALLS, CONFORMING TO CDOT M&S STANDARD PLAN NO. M-601-11 SHALL BE USED ON ALL RCP FLARED END SECTION OUTFALLS.
- 10. EPOXY COATED REBAR SHALL BE USED AS REINFORCING STEEL ON ALL STORM INLETS AND STRUCTURES. REFERENCE CDOT M&S STANDARD PLAN NO. M-604-10, 11, 12, AND 13.
- 11. CDOT CLASS D CONCRETE SHALL BE USED FOR ALL CONCRETE STRUCTURES.
- 12. PRE-CAST INLETS AND MANHOLE BASES SHALL NOT BE USED WITHIN THE TOWN OF PARKER RIGHT-OF-WAY, WITH THE EXCEPTION OF CDOT TYPE C AND D INLETS.
- 13. TWO- (2) MANHOLE ACCESS POINTS ARE REQUIRED ON ALL TYPE "B" CURBS INLETS GREATER THAN OR EQUAL TO 10" (10) FEET IN LENGTH AS PRESENTED IN CDOT M&S STANDARD PLAN NO. M-604-12.
- 14. ALL GROUTING (BOULDERS, RIPRAP) SHALL BE IN ACCORDANCE WITH THE REVISION OF SECTION 506 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDEDM.
- 15. ALL BOULDERS AND RIPRAP SHALL BE SELECTED AND PLACED IN ACCORDANCE WITH THE REVISION OF SECTION 506 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDEDM.
- 16. CONTRACTOR SHALL REFER TO THE TOWN OF PARKER'S CONSTRUCTION BEST MANAGEMENT PRACTICES DETAILS AND NOTES FOR ALL REQUIREMENTS RELATING TO RE-VEGETATION, SEDIMENT AND EROSION CONTROL REQUIREMENTS FOR CONSTRUCTION ACTIVITIES.
- 17. PIPE BELLS SHALL NOT BE CAST INTO MANHOLE BASES OR INLETS.

### GENERAL NOTES

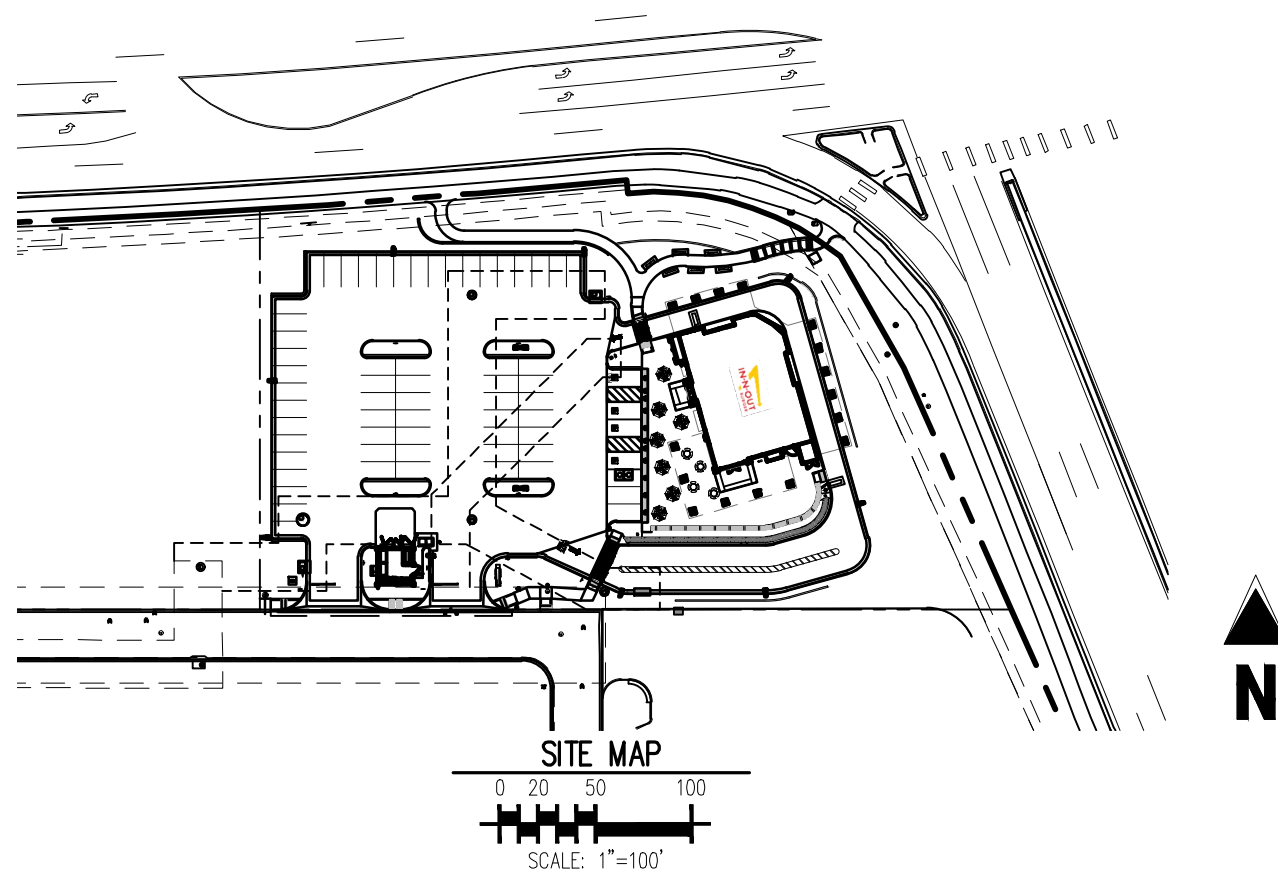
- A. CONTRACTOR SHALL BE RESPONSIBLE FOR RAZING AND REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- B. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- C. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- D. SAFETY NOTICE TO CONTRACTOR: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- E. ALL CONSTRUCTION WITHIN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT MAINTENANCE ENGINEER.
- F. ALL SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE RELEVANT UTILITY COMPANY OR REGULATORY AUTHORITY, AND THE SPECIFICATIONS FOR THE CONSTRUCTION OF THE EXISTING IMPROVEMENTS WHICH ARE BEING ALTERED OR REPLACED. CONTRACTOR SHALL CONTACT THE ENGINEER FOR SPECIFICATION SECTIONS FOR ITEMS SUCH AS LANDSCAPING AND IRRIGATION THAT ARE AFFECTED BY THE WORK BUT NOT COMPLETELY DETAILED OR SPECIFIED ON THESE PLANS.

### NOTES TO CONTRACTOR

- A. THE CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD WITH THE DATE WHEN CONSTRUCTION IS TO BEGIN.
- B. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION STAKING AND LAYOUT.
- C. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE ENGINEER OF RECORD OF ANY DEVIATIONS DURING CONSTRUCTION AND SHALL REPORT THEM IMMEDIATELY.
- D. CONTRACTOR IS REQUIRED TO KEEP REDLINE AS-BUILTS AND TO PROVIDE THOSE TO MURPHY UPON COMPLETION.
- E. CONTRACTOR IS RESPONSIBLE FOR UNDERSTANDING THE AS-BUILT AND CERTIFICATE OF OCCUPANCY (C.O.) REQUIREMENTS FOR THE ISSUING AUTHORITY.
- F. IF AN ELEVATION CERTIFICATE OR AS-BUILT SURVEY IS REQUIRED BY THE ISSUING AUTHORITY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THE SCHEDULING OF THE SURVEY WITH THE CIVIL CONSULTANT PRIOR TO DEADLINE FOR OBTAINING THE C.O. AND AFTER NECESSARY COMPLETED WORK TO BE SHOWN ON SURVEY. THE AS-BUILT SURVEY FOR THE PROJECT IS THE RESPONSIBILITY OF THE CONTRACTOR.



VICINITY MAP  
SCALE: 1"=1000'



SITE MAP  
SCALE: 1"=100'

| Sheet List Table |             |                           |
|------------------|-------------|---------------------------|
| SHEET NUMBER     | SHEET COUNT | SHEET TITLE               |
| C0.0             | 1           | COVER SHEET               |
| C0.1             | 2           | CONSTRUCTION NOTES        |
| C1.0             | 3           | SITE PLAN                 |
| C1.1             | 4           | HORIZONTAL CONTROL PLAN   |
| C1.2             | 5           | SIGNAGE & STRIPING PLAN   |
| C1.3             | 6           | SITE DETAILS              |
| C1.4             | 7           | SITE DETAILS              |
| C1.5             | 8           | SITE DETAILS              |
| C2.0             | 9           | GRADING PLAN              |
| C2.1             | 10          | GRADING DETAILS           |
| C2.2             | 11          | GRADING DETAILS           |
| C2.3             | 12          | RETAINING WALL DETAILS    |
| C2.4             | 13          | CMP PLAN INITIAL          |
| C2.5             | 14          | CMP PLAN INTERM AND FINAL |
| C2.6             | 15          | CMP DETAILS               |
| C2.7             | 16          | CMP DETAILS               |
| C2.8             | 17          | CMP DETAILS               |
| C2.9             | 18          | CMP DETAILS               |
| C2.10            | 19          | CMP DETAILS               |
| C3.0             | 20          | STORM PLAN & PROFILE      |
| C3.1             | 21          | STORM PLAN & PROFILE      |
| C3.2             | 22          | STORM PLAN & PROFILE      |
| C3.3             | 23          | ROOF DRAIN PLAN           |
| C3.4             | 24          | STORM DETAILS             |
| C3.5             | 25          | STORM DETAILS             |
| C4.0             | 26          | LANDSCAPE PLAN            |
| C4.1             | 27          | LANDSCAPE NOTES           |
| C4.2             | 28          | LANDSCAPE DETAILS         |

### SIGHT DISTANCE CERTIFICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED SUBDIVISION, PARKER & PINE FILING NO. 1, LOT 1, IS DESIGNED IN ACCORDANCE WITH THE TOWN OF PARKER SIGHT DISTANCE CRITERIA AND WITH AASHTO POLICY ON GEOMETRIC DESIGN OF HIGHWAY AND STREETS.

(REGISTERED PROFESSIONAL ENGINEER) (LICENSE NO.) (DATE)

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS, ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORTS, FINAL DEVELOPMENT PLANS, SPECIAL REVIEWS, GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

### AGENCY APPROVALS

| AGENCY                                 | DATE       |
|--|------------|
| BUILDING PERMIT – TOWN OF PARKER       | xx/xx/2023 |
| PWSO – TOWN OF PARKER                  | xx/xx/2023 |
| FIRE REVIEW – TOWN OF PARKER           | xx/xx/2023 |
| HEALTH DEPARTMENT – TOWN OF PARKER     | xx/xx/2023 |
| SITE PLAN SUBMITTAL – TOWN OF PARKER   | xx/xx/2023 |
| STATE UNDERGROUND STORAGE TANKS PERMIT | xx/xx/2023 |
| APEN PERMIT                            | xx/xx/2023 |
| STATE STORMWATER PERMIT                | xx/xx/2023 |
| CMPM – TOWN OF PARKER                  | xx/xx/2023 |


### LEGAL DESCRIPTION

LOT 1, PARKER & PINE FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO  
A 3,900 SF FAST FOOD RESTAURANT WITH DRIVE-THRU.  
CURRENT ZONING:  
ZONING FOR THIS PROPERTY IS PD (PARKER AND PINE PLANNED DEVELOPMENT – COMMERCIAL).  
ELEVATION = 5734.25 FEET (NAVD 88) PUBLISHED BY DOUGLAS COUNTY

### BASIS OF BEARING

BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST BEARS N001°75'1"E, MONUMENTED BY THE SOUTHWEST CORNER OF SAID SECTION 10, BEING A 3-1/4 INCH ALUMINUM CAP STAMPED "LS 19003", AND MONUMENTED BY THE WEST QUARTER CORNER OF SAID SECTION 10, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 225617", AS SHOWN HEREON.

### CAUTION – NOTICE TO CONTRACTOR

- 1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.  Know what's below. Call before you dig.
- 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



5500 Greenwood Plaza Blvd., Suite 200  
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GallowayUS.com

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NOT FOR BIDDING  
NOT FOR CONSTRUCTION

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IN-N-OUT BURGER  
CONSTRUCTION DOCUMENTS  
PARKER & PINE FILING NO. 1, LOT 1  
PARKER, CO 80134

| #  | Date       | Issue / Description | Init. |
|----|------------|---------------------|-------|
| 1  | 12/21/2022 | 1ST CD SUBMITTAL    | PJD   |
| 2  |            |                     |       |
| 3  |            |                     |       |
| 4  |            |                     |       |
| 5  |            |                     |       |
| 6  |            |                     |       |
| 7  |            |                     |       |
| 8  |            |                     |       |
| 9  |            |                     |       |
| 10 |            |                     |       |

Project No: INC00001420  
Drawn By: JNE  
Checked By: PJD  
Date: 12/21/2022

### COVER SHEET

C0.0  
Sheet 1 of 28



**PRELIMINARY**  
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**IN-N-OUT BURGER**  
CONSTRUCTION DOCUMENTS  
PARKER & PINE FILING NO. 1, LOT 1  
PARKER, CO 80134

# Date Issue / Description Init.  
12/21/2022 1ST CD SUBMITTAL PJD

Project No: INC000014-20  
Drawn By: JNE  
Checked By: PJD  
Date: 12/21/2022

**SITE PLAN**

**C1.0**  
Sheet 3 of 28



**IN-N-OUT BURGER PARKING SPACE DETAILED SUMMARY TABLE**

| DESCRIPTION   | REQUIRED | PROPOSED  |
|---|----------|-----------|
| 1. STANDARD SPACE (1 PER 100 SF NLA)                      | 37       | 61        |
| 2. ACCESSIBLE SPACE                                       | -        | 4 (2 VAN) |
| 3. TOTAL  | 39       | 65        |
| 4. IN-N-OUT BURGER DRIVE THRU VEHICLE QUEUE               | -        | 24        |
| 5. SHORT-TERM BICYCLE PARKING WITHIN DESIGNATED BIKE RACK | 2        | 2         |

**SITE LEGEND**

- PROPERTY LINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- EXISTING EASEMENT
- PROPOSED SAWCUT LINE
- PROPOSED ACCESSIBLE ROUTE
- PROPOSED STANDARD CONCRETE PAVEMENT
- PROPOSED 5" HEAVY DUTY CONCRETE-COLORED BLACK
- PROPOSED HEAVY-DUTY CONCRETE PAVEMENT
- PROPOSED 7" HEAVY DUTY CONCRETE PAD-COLORED BLACK
- PROPOSED ASPHALT PAVEMENT
- EXISTING CURB AND GUTTER
- EXISTING SIGN TO REMAIN
- EXISTING BOLLARD TO REMAIN
- EXISTING FIBER OPTIC BOX TO REMAIN
- EXISTING FIBER OPTIC PEDESTAL TO REMAIN
- EXISTING FIBER OPTIC MANHOLE TO REMAIN
- EXISTING SANITARY SEWER MANHOLE TO REMAIN
- EXISTING SANITARY SEWER CLEANOUT TO REMAIN
- EXISTING STORM SEWER MANHOLE TO REMAIN
- EXISTING WATER VALVE TO REMAIN
- EXISTING WATER VALVE TO REMAIN
- EXISTING ELECTRIC PEDESTAL TO REMAIN
- EXISTING ELECTRIC BOX TO REMAIN
- PROPOSED REMOTE FDC
- PROPOSED FIRE HYDRANT
- PARKING COUNT
- SURVEY MONUMENT

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES. SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD, REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY OR CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

**LEGAL DESCRIPTION**  
LOT 1, PARKER & PINE FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO

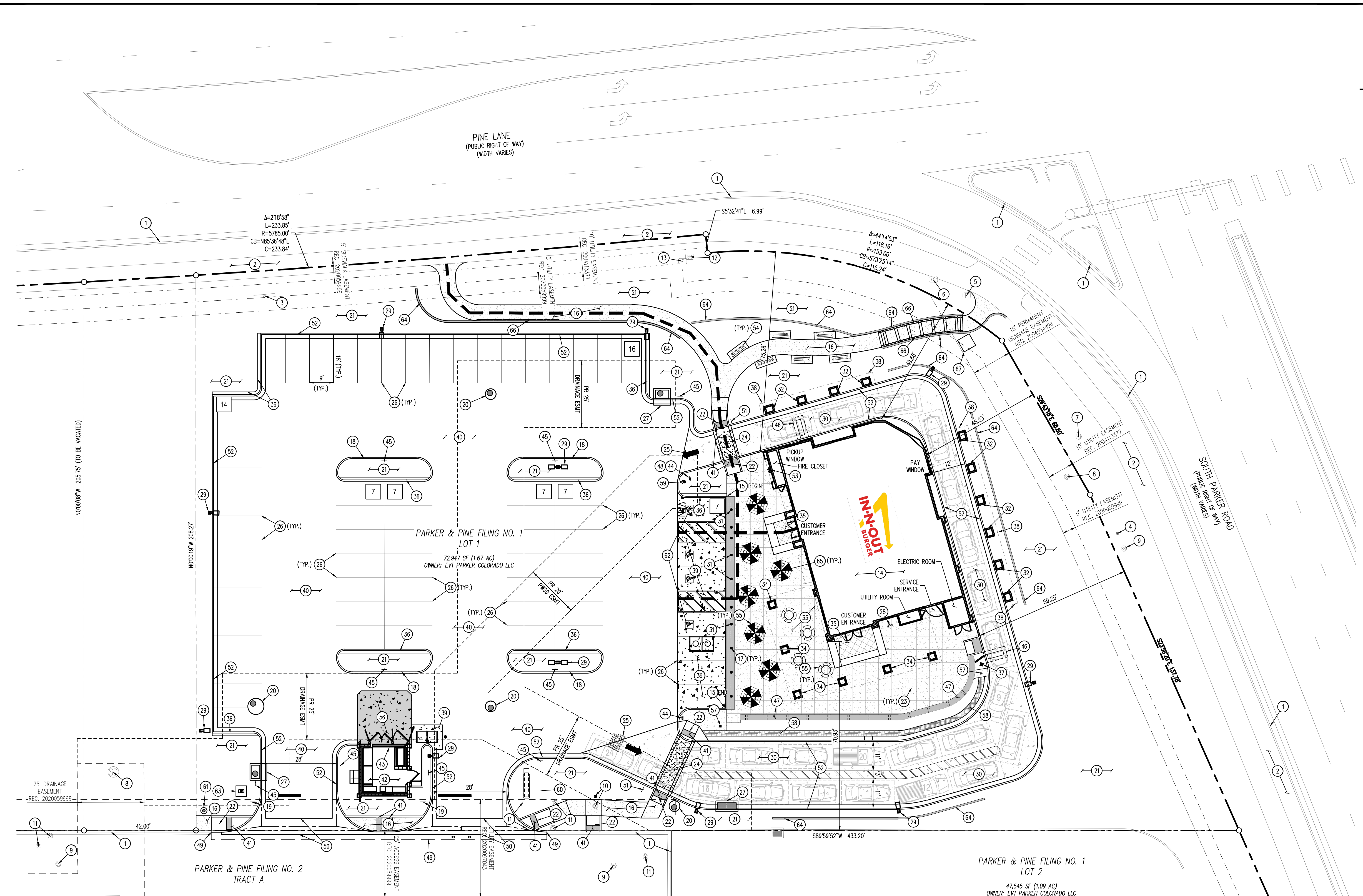
**BENCHMARK**  
PUBLISHED BENCHMARK: ELEVATIONS ARE BASED ON A DOUGLAS COUNTY CONTROL MONUMENT, STATION NAME: CRAIN, BEING A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN CULVERT, 25 FEET WEST OF THE EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.

ELEVATION = 5734.25 FEET (NAVD 88) PUBLISHED BY DOUGLAS COUNTY

**BASIS OF BEARING**  
BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST BEARS N001°17'51"E, MONUMENTED BY THE SOUTHWEST CORNER OF SAID SECTION 10, BEING A 3-1/4" ALUMINUM CAP STAMPED "LS 19003", AND MONUMENTED BY THE WEST QUARTER CORNER OF SAID SECTION 10, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 22561", AS SHOWN HEREON.

**CAUTION - NOTICE TO CONTRACTOR**

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



**SCHEDULE**

- EXISTING CURB AND GUTTER TO REMAIN
- EXISTING SIDEWALK TO REMAIN
- EXISTING SIGN TO REMAIN
- EXISTING BOLLARD TO REMAIN
- EXISTING FIBER OPTIC BOX TO REMAIN
- EXISTING FIBER OPTIC PEDESTAL TO REMAIN
- EXISTING FIBER OPTIC MANHOLE TO REMAIN
- EXISTING STORM DRAIN MANHOLE TO REMAIN
- EXISTING SANITARY SEWER MANHOLE TO REMAIN
- EXISTING SANITARY SEWER CLEANOUT TO BE REMOVED AND REPLACED
- EXISTING WATER VALVE TO REMAIN
- EXISTING ELECTRIC PEDESTAL TO REMAIN
- EXISTING ELECTRIC BOX TO REMAIN
- PROPOSED 3,879 SF IN-N-OUT BURGER RESTAURANT, REF BUILDING PLANS
- PROPOSED 0" CONCRETE CURB (REF DET 24, SHT C1.4)
- PROPOSED 6" THICK 4,000 PSI REINFORCED ON-SITE CONCRETE SIDEWALK OVER 6" MINIMUM THICK 95% COMPACTED CLASS 2 AGGREGATE BASE OVER 12" MINIMUM THICK SUBGRADE SOIL MOISTURE CONDITIONED TO AT LEAST OPTIMUM MOISTURE CONTENT COMPACTED TO AT LEAST 95% OF ITS MAXIMUM DENSITY. REINFORCEMENT TO CONSIST OF NO. 3 REBAR AT 18" O.C. EACH WAY AT MID-HEIGHT OF SLAB

- PROPOSED WHITE DECORATIVE BOLLARD (REF DET 2, SHT C1.3)
- PROPOSED PRIVATE 6" PLANTER CURB (REF DET 24, SHT C1.4)
- PROPOSED "STOP" SIGN, MUTCD R1-1
- PROPOSED STORM SEWER MANHOLE (REF STORM SEWER PLANS)
- PROPOSED LANDSCAPED AREA (REF LANDSCAPE PLAN)
- PROPOSED ADA RAMP WITH DETECTABLE WARNING
- PROPOSED CONCRETE SAWCUT JOINT (REF DET 9, SHT C1.3)
- PROPOSED COLORED CONCRETE CROSSWALK (REF DET 27, SHT C1.5)
- PROPOSED DIRECTIONAL MARKING (REF DET 5, SHT C1.3)
- PROPOSED 9'X18" STANDARD PARKING STALL W/4" SOLID WHITE STRIPING (REF DET 26, SHT C1.4)
- PROPOSED STORM SEWER INLET; REF STORM SEWER PLANS
- PROPOSED BICYCLE RACK
- PROPOSED SITE LIGHTS (REF PHOTOMETRIC PLAN SHT PH1.0)
- PROPOSED MIN 6" THICK 4,000 PSI REINFORCED HEAVY-DUTY CONCRETE OVER 6" MINIMUM THICK 95% COMPACTED CLASS 2 AGGREGATE BASE OVER 12" MINIMUM THICK SUBGRADE SOIL MOISTURE CONDITIONED TO AT LEAST OPTIMUM MOISTURE CONTENT COMPACTED TO AT LEAST 95% OF ITS MAXIMUM DENSITY. REINFORCEMENT TO CONSIST OF NO. 3 REBAR AT 18" O.C. EACH WAY AT MID-HEIGHT OF SLAB (REF DET 16, SHT C1.4) REFER TO GEOTECHNICAL REPORT FOR PAVEMENT SPECIFICATIONS
- PROPOSED ADA SIGNAGE W/ PAINTED WHITE POLE (REF DET 3, SHT C1.3)
- PROPOSED DRIVE THRU CANOPY COLUMN (REF ARCHITECTURAL PLANS)

- PROPOSED OUTDOOR SEATING AREA (REF ARCHITECTURAL PLANS)
- PROPOSED OUTDOOR SEATING CANOPY COLUMN (REF ARCHITECTURAL PLANS)
- PROPOSED DECORATIVE CONCRETE JOINT PATTERN AT CUSTOMER ENTRY (REF DET 18 & 19, SHT C1.4)
- PROPOSED 6" PLANTER CURB W/ 12" SIDEWALK (REF DET 25, SHT C1.4)
- PROPOSED IN-N-OUT MENU BOARD AND SPEAKER BOX
- PROPOSED IN-N-OUT DRIVE THRU CANOPY (REF ARCHITECTURAL PLANS)
- PROPOSED HEAVY-DUTY CONCRETE PAVED COLORED JET BLACK PER DAVIS COLORS #860 (LIQUID DOSE RATE: 9 LBS PER 94 LB SACK OF CEMENT) FOR PARKING LOT - MIN 4" THICK 4,000 PSI REINFORCED HEAVY-DUTY CONCRETE OVER 6" MINIMUM THICK 95% COMPACTED CLASS 2 AGGREGATE BASE OVER 12" MINIMUM THICK SUBGRADE SOIL MOISTURE CONDITIONED TO AT LEAST OPTIMUM MOISTURE CONTENT COMPACTED TO AT LEAST 95% OF ITS MAXIMUM DENSITY. REINFORCEMENT TO CONSIST OF NO. 3 REBAR AT 18" O.C. EACH WAY AT MID-HEIGHT OF SLAB (REF GEOTECHNICAL REPORT FOR SPECIFICATIONS) (REF DET 16, SHT C1.4)
- PROPOSED ASPHALT PAVEMENT - 4.5" THICK OVER 6" MINIMUM THICK 95% COMPACTED CLASS 2 AGGREGATE BASE OVER 12" MINIMUM THICK SUBGRADE SOIL MOISTURE CONDITIONED TO AT LEAST OPTIMUM MOISTURE CONTENT COMPACTED TO AT LEAST 95% OF ITS MAXIMUM DENSITY. REINFORCEMENT TO CONSIST OF NO. 3 REBAR AT 18" O.C. EACH WAY AT MID-HEIGHT OF SLAB (REF GEOTECHNICAL REPORT FOR SPECIFICATIONS) (REF DET 22, SHT C1.4)
- INSTALL 3" WIDE ADA ACCESSIBLE TRUNCATED DOMES DETECTABLE WARNING STRIP. CONTRACTOR TO PROVIDE SAMPLE TO BUILDING INSPECTOR FOR APPROVAL PRIOR TO INSTALLATION. (REF DET 15, SHT C1.4)
- PROPOSED CONCRETE BLOCK TRASH ENCLOSURE, ROOF COVERED TRASH, RECYCLE BIN, TRASH COMPACTOR AND STORAGE CONTAINER ENCLOSURE, NOT SUBJECT TO STORM WATER RUNOFF, PER DETS SHOWN ON THE ARCHITECTURAL BUILDING PLANS.
- PROPOSED 12" WIDE BY 13" LONG CONCRETE TRENCH DRAIN AT THE SPECIFIED ELEVATIONS SHOWN ON SHT C2.1. INSTALL TRAFFIC RATED GRATE SECURED TO PROTECT AGAINST THEFT PER PLUMBING PLANS. TRENCH DRAIN NOT SUBJECT TO STORM WATER RUN-OFF.
- PROPOSED IN-N-OUT DRIVE THRU SIGNAGE

- PROPOSED FIRE LANE SIGN (REF DET 7, SHT C1.3)
- PROPOSED VEHICLE DETECTOR LOOP. INSTALL (2) LOOPS, 12" FROM FACE OF CURB; FIRST LOOP TO BE 2" BELOW TOP OF PAVEMENT, SECOND LOOP TO BE 1" BELOW THE FIRST. NO REBAR WITHIN 12" OF LOOPS
- PROPOSED SEAT WALL (REF DET 12, SHT C1.3)
- PROPOSED "THANK YOU" SIGN
- PROPOSED SAWCUT EXISTING ASPHALT PAVEMENT
- PROPOSED 6" CONCRETE CROSSSPAN (REF DET 17, SHT C1.4)
- PROPOSED "PEDESTRIAN CROSSING" SIGN
- PROPOSED PRIVATE 6" CURB W/ 18" GUTTER (REF DET 20, SHT C1.4)
- PROPOSED FIRE DEPARTMENT CONNECTION
- PROPOSED BENCH SEATING (REF LANDSCAPE ARCHITECTURAL PLANS)
- PROPOSED COVERED SEATING TABLE (REF ARCHITECTURAL PLANS)
- PROPOSED HEAVY-DUTY CONCRETE PAD COLORED JET BLACK PER DAVIS COLORS #860 (LIQUID DOSE RATE: 9 LBS PER 94 LB SACK OF CEMENT) IN FRONT OF TRASH ENCLOSURE - MIN 7" THICK 4,000 PSI REINFORCED HEAVY-DUTY CONCRETE OVER 6" MINIMUM THICK 95% COMPACTED CLASS 2 AGGREGATE BASE OVER 12" MINIMUM THICK SUBGRADE SOIL MOISTURE CONDITIONED TO AT LEAST OPTIMUM MOISTURE CONTENT COMPACTED TO AT LEAST 95% OF ITS MAXIMUM DENSITY. REINFORCEMENT TO CONSIST OF NO. 3 REBAR AT 18" O.C. EACH WAY AT MID-HEIGHT OF SLAB (PER GEOTECHNICAL RECOMMENDATIONS. REFER TO GEOTECHNICAL REPORT FOR FURTHER PAVEMENT SPECIFICATIONS)
- PROPOSED CONCRETE PAD WITH UMBRELLA
- PROPOSED ASSOCIATE WALKWAY (REF DET 14, SHT C1.3)
- PROPOSED FIRE HYDRANT

- PROPOSED MONUMENT SIGN
- PROPOSED 1" IRRIGATION TAP & METER
- PROPOSED 9'X18" ADA PARKING STALL AND PAINTED ACCESS AISLE WITH 4" SOLID BLUE STRIPING 2" O.C. @ 45° ANGLE (REF DET 6, SHT C1.3 AND DET 26, SHT C1.4)
- EXISTING ELECTRIC TRANSFORMER ON CONCRETE PAD TO REMAIN
- PROPOSED RETAINING WALL
- PROPOSED SEATING TABLE WITH UMBRELLA
- PROPOSED HANDRAILS
- PROPOSED PUBLIC ART AREA







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NOT FOR CONSTRUCTION

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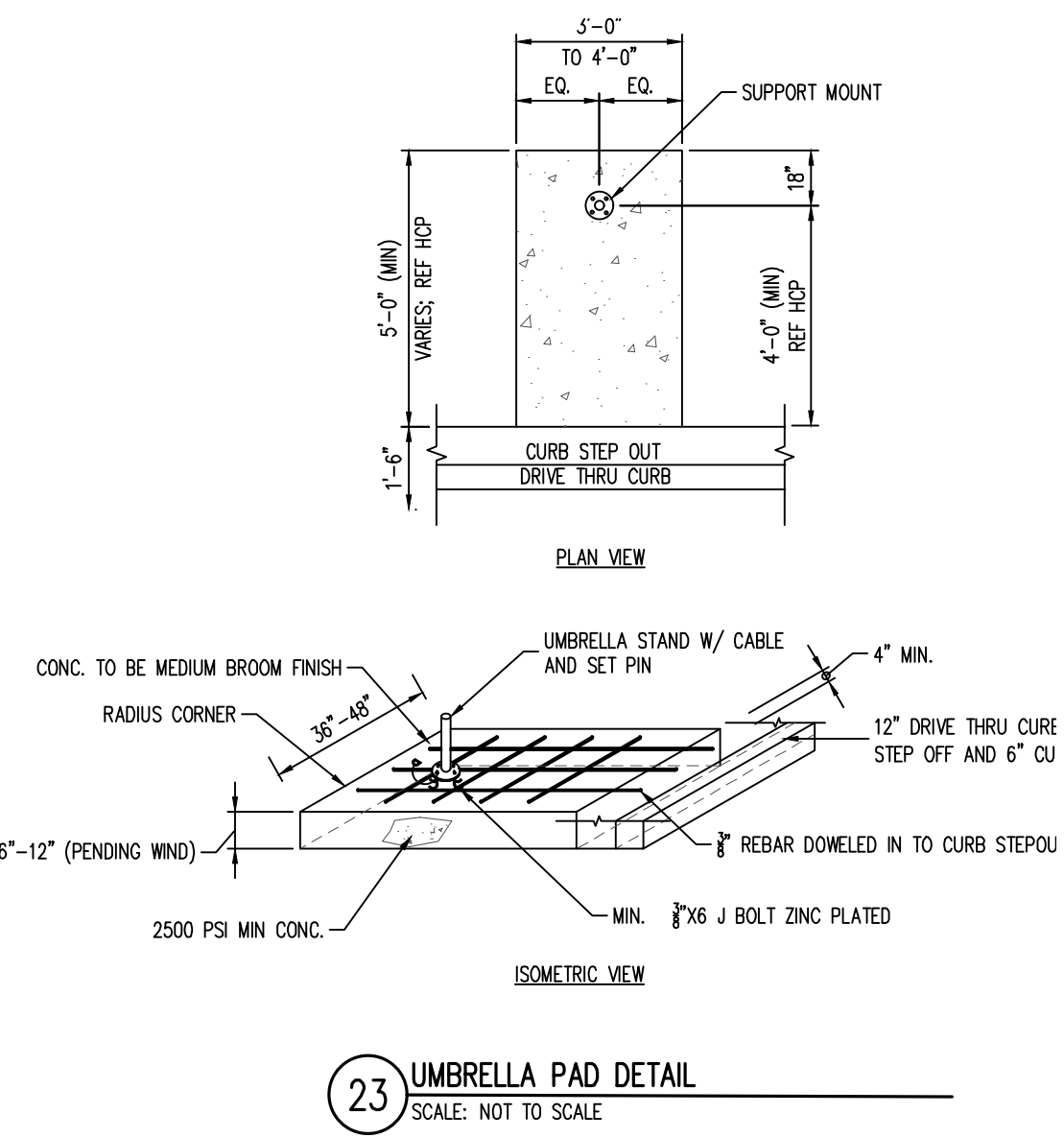
**IN-N-OUT BURGER**  
CONSTRUCTION DOCUMENTS  
PARKER & PINE FILING NO. 1, LOT 1  
PARKER, CO 80134

| # | Date       | Issue / Description | Init. |
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| 1 | 12/21/2022 | 1ST CD SUBMITTAL    | PJD   |

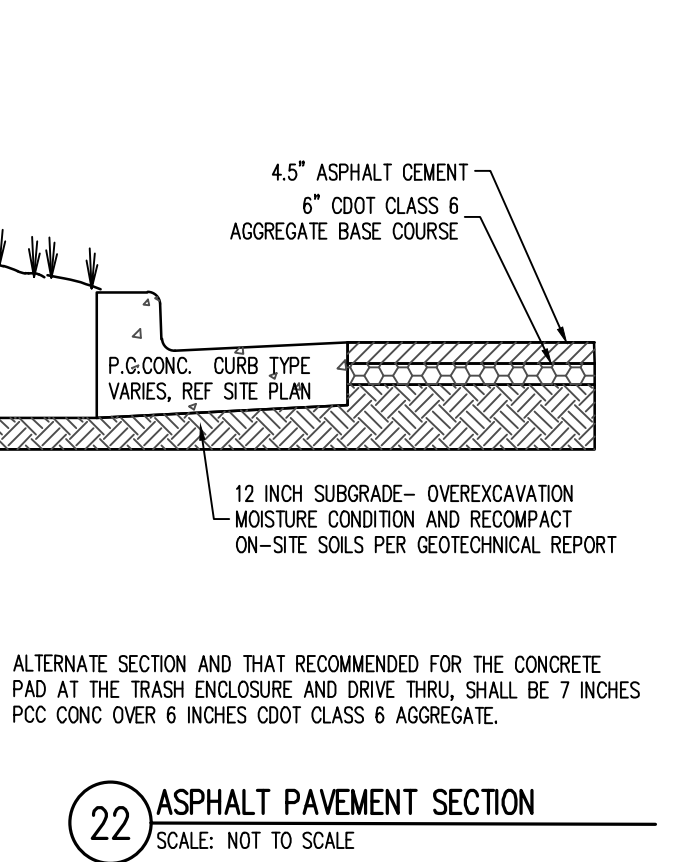
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|-------------|-------------|
| Project No: | IN000014.20 |
| Drawn By:   | JNE         |
| Checked By: | PJD         |
| Date:       | 12/21/2022  |

**SITE DETAILS**

**C1.4**  
Sheet 7 of 28

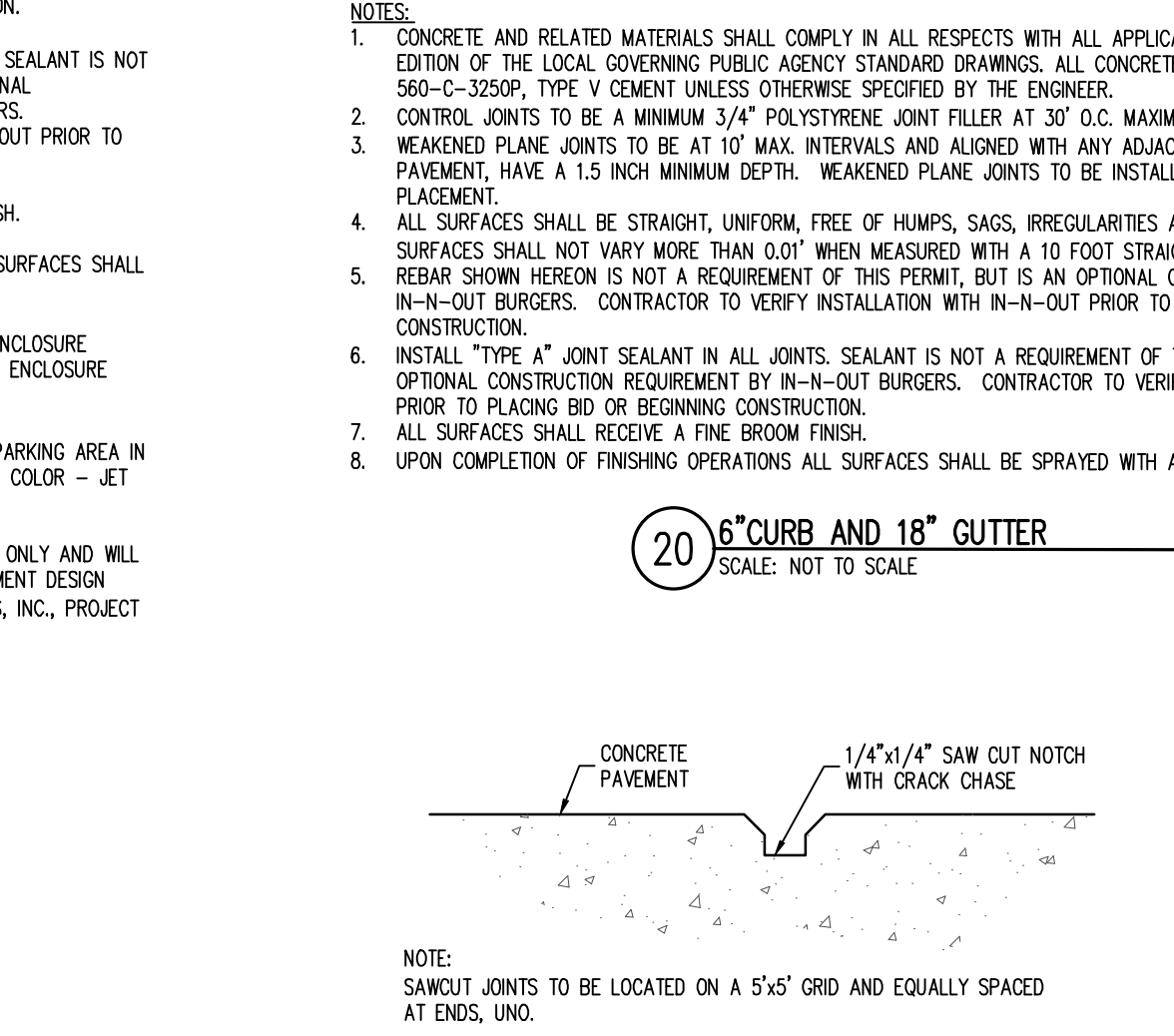
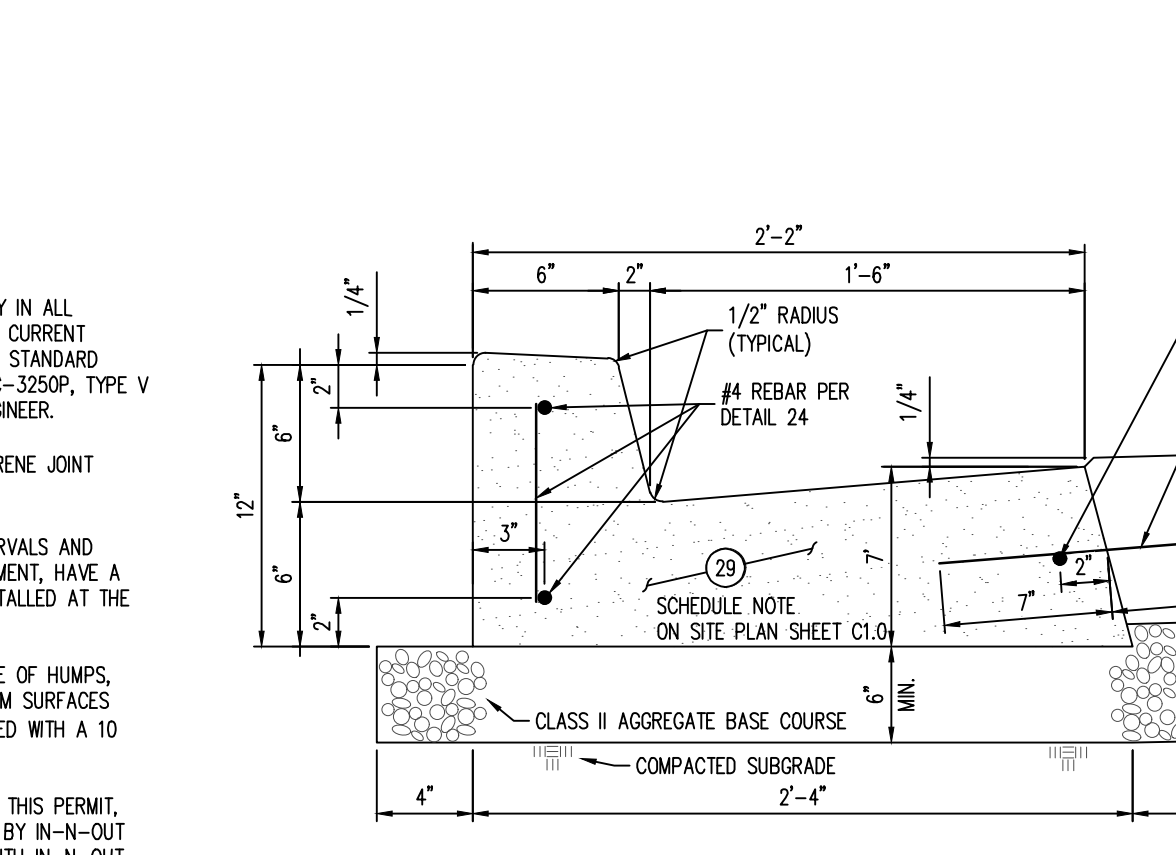
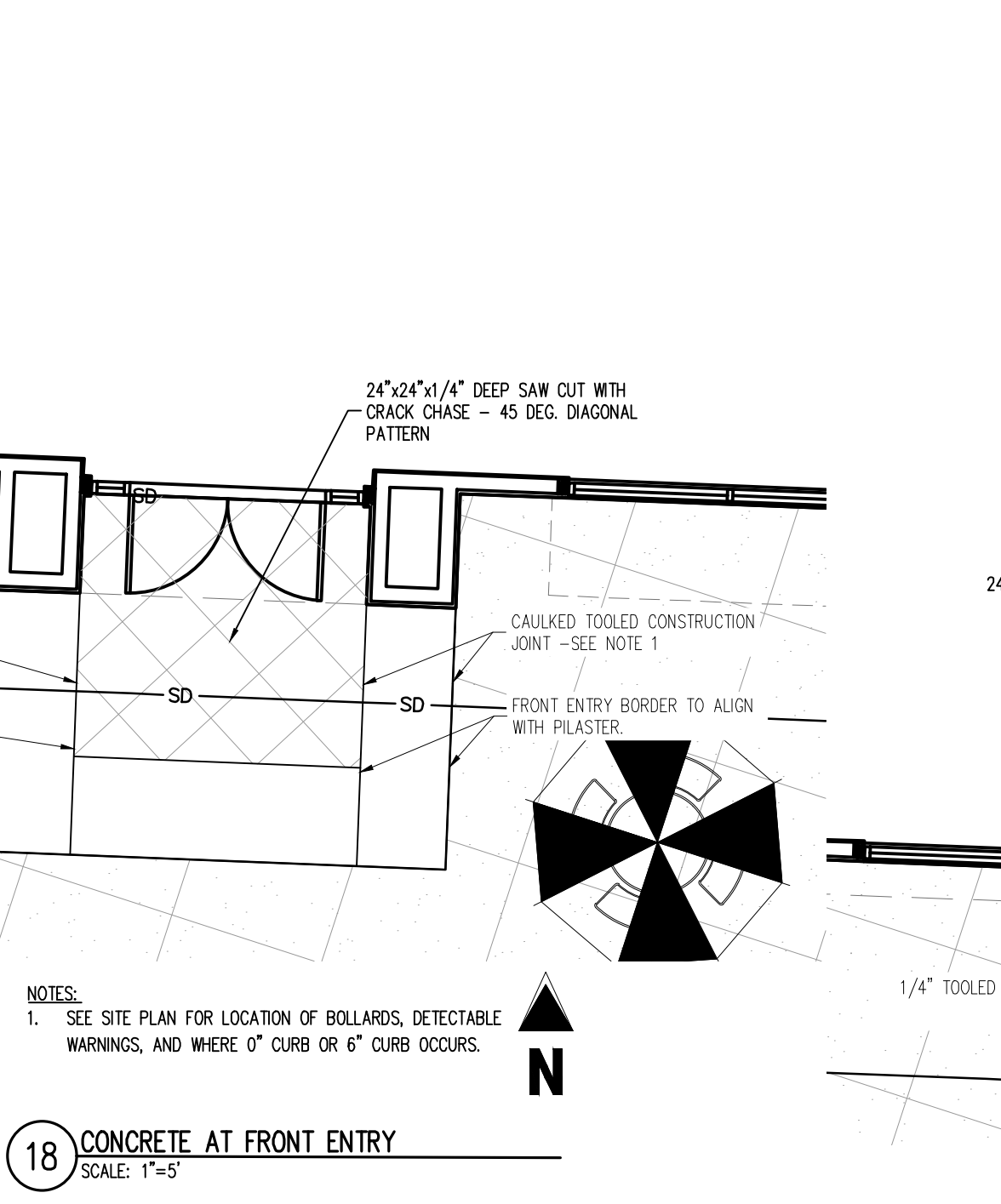
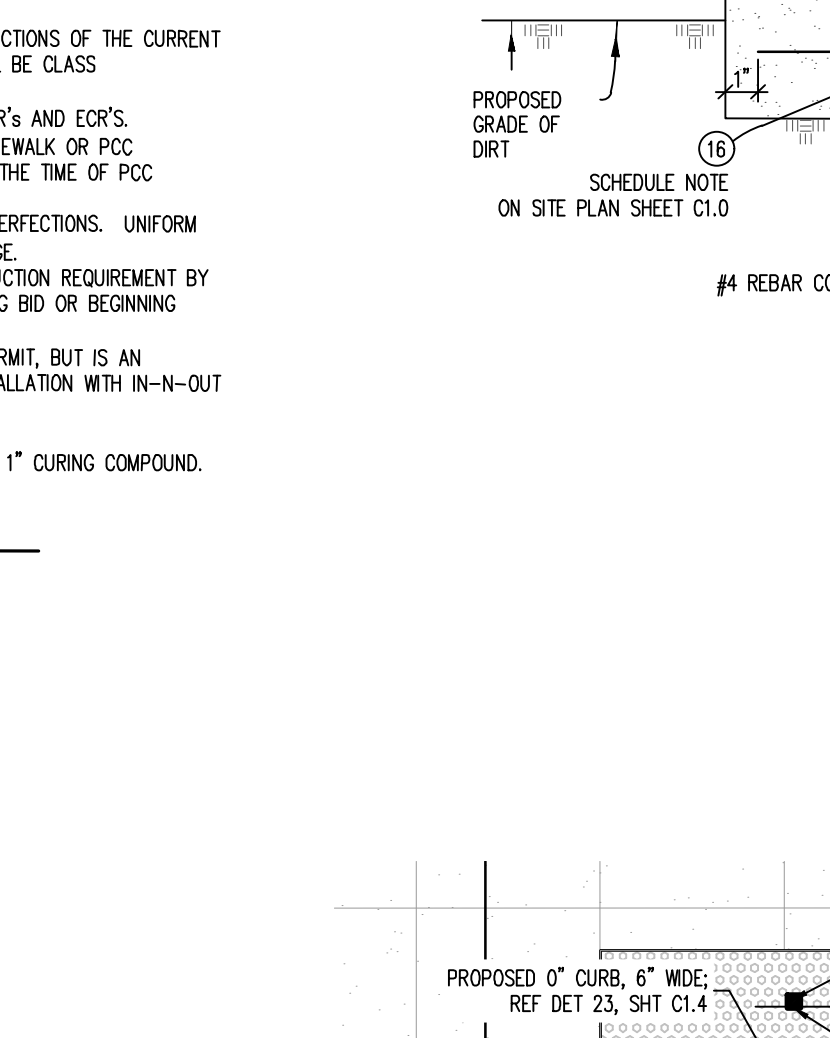
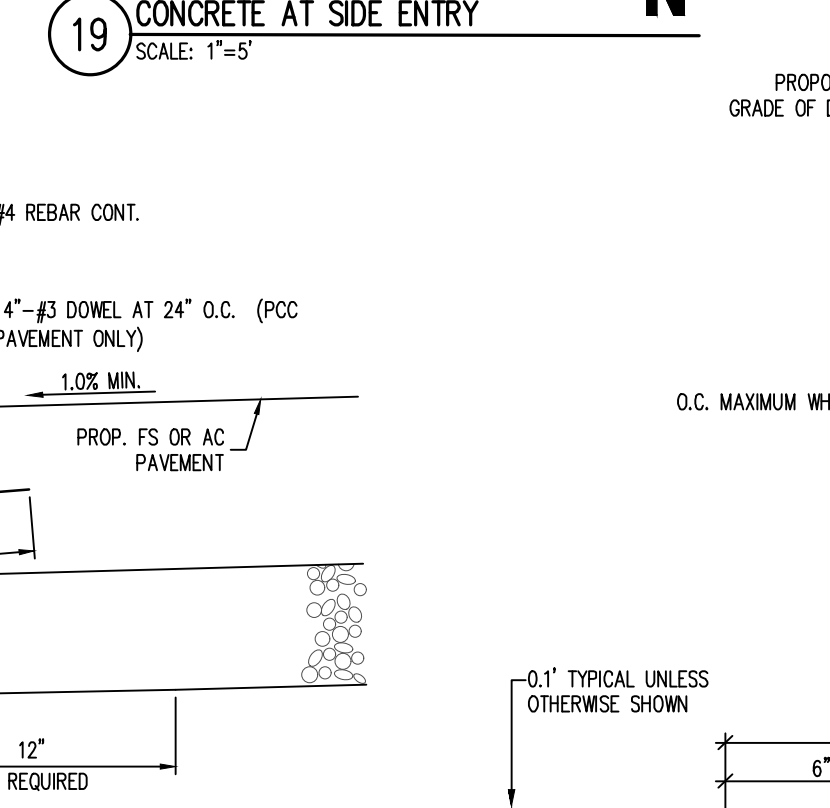
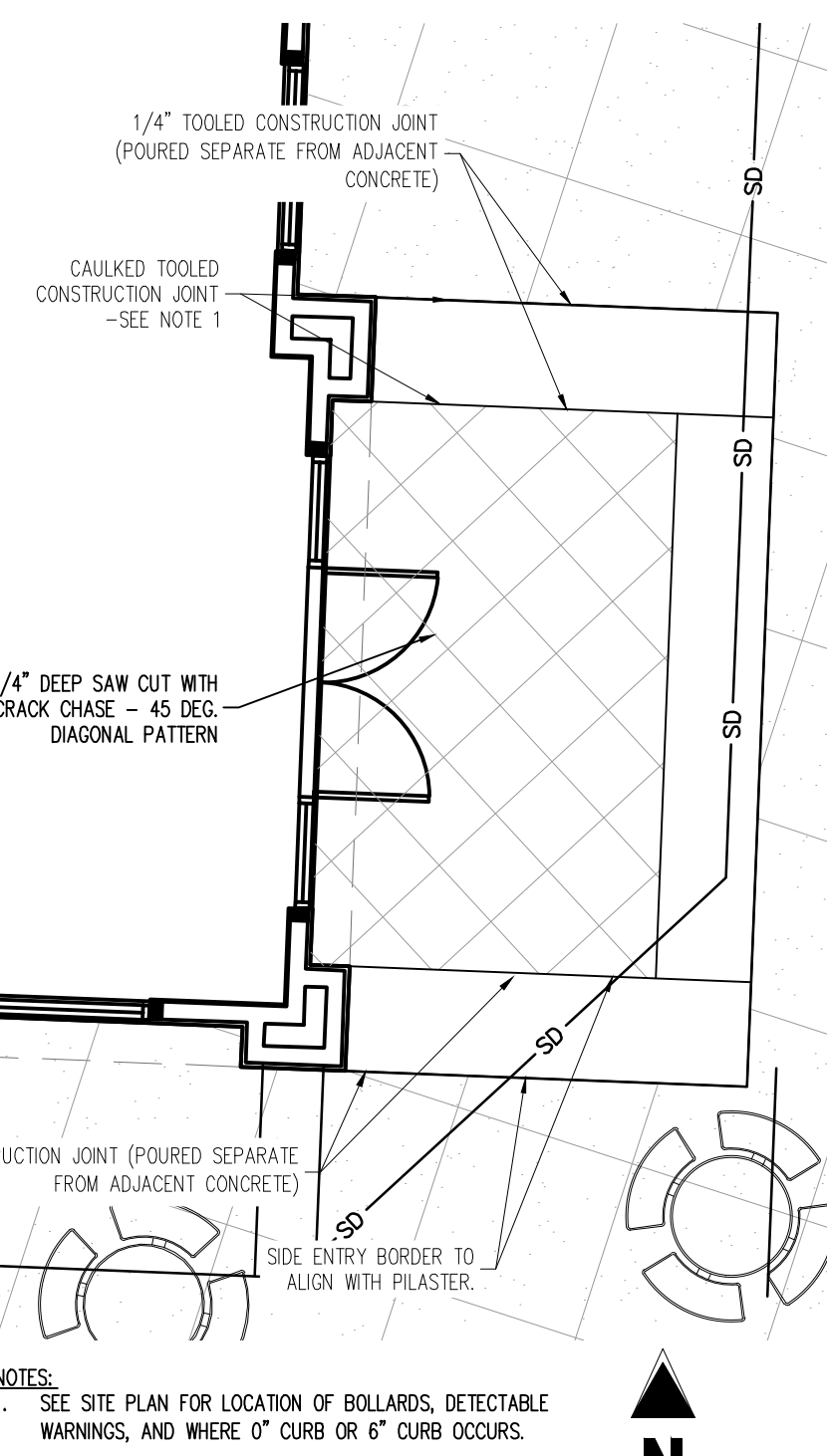
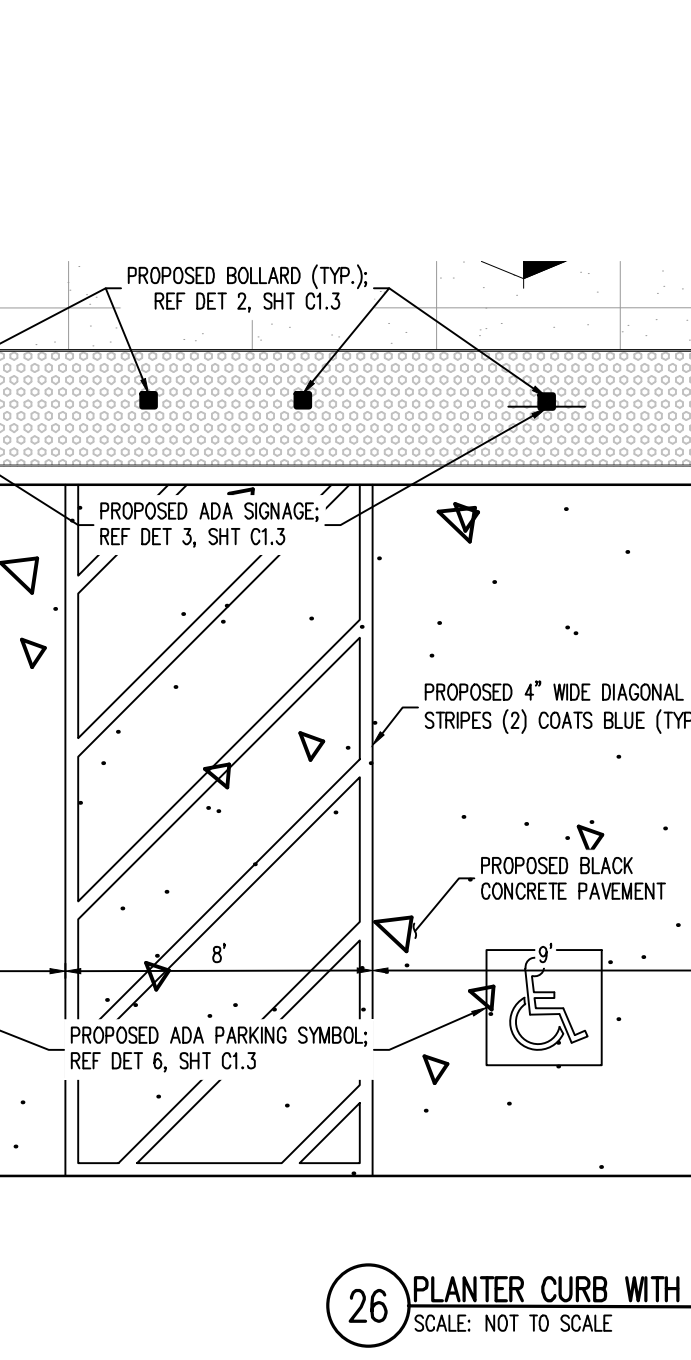
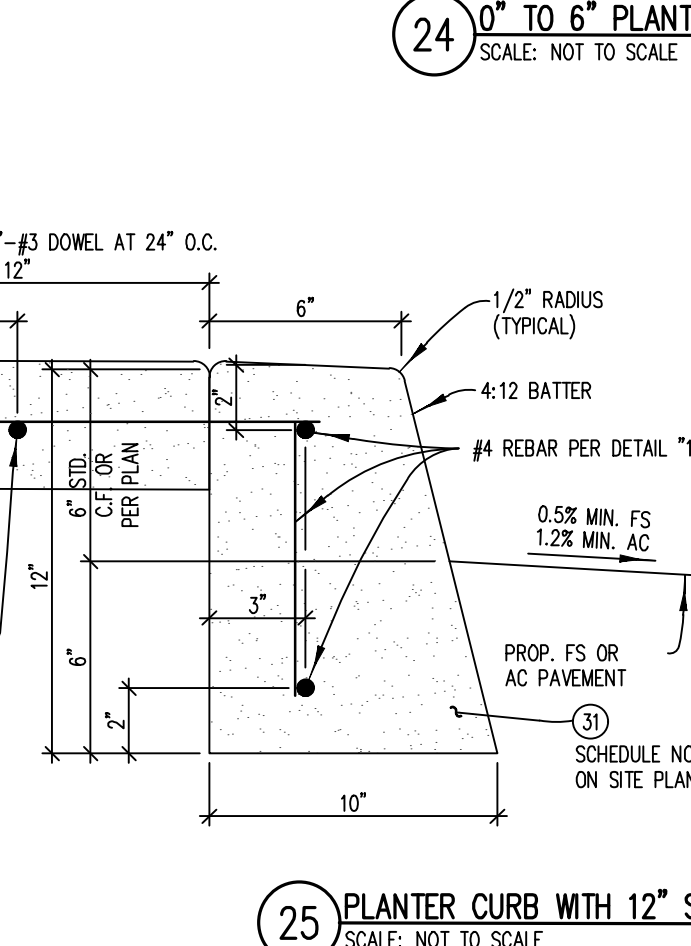
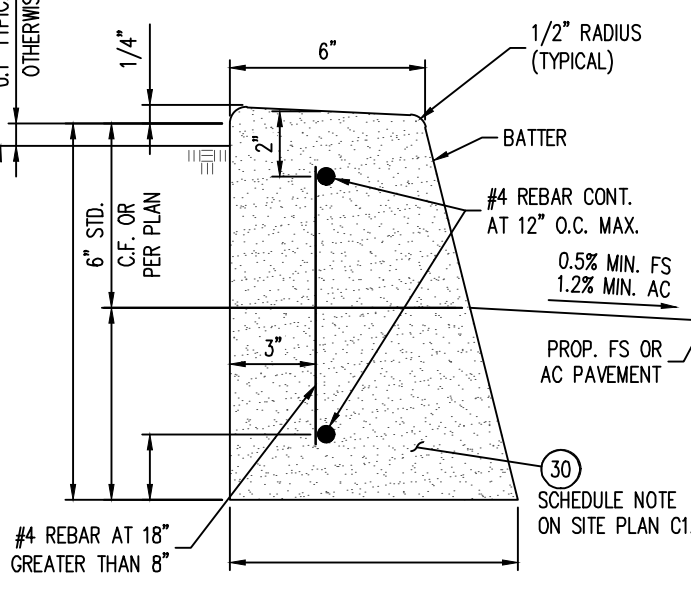


- 23 UMBRELLA PAD DETAIL**  
SCALE: NOT TO SCALE
- NOTES:
- CONCRETE AND RELATED MATERIALS SHALL COMPLY IN ALL RESPECTS WITH ALL APPLICABLE SECTIONS OF THE CURRENT EDITION OF THE LOCAL GOVERNING PUBLIC AGENCY STANDARD DRAWINGS. ALL CONCRETE SHALL BE CLASS 560-C-3250P, TYPE V CEMENT UNLESS OTHERWISE SPECIFIED BY THE ENGINEER.
  - CONTROL JOINTS TO BE A MINIMUM 3/4" POLYSTYRENE JOINT FILLER AT 30' O.C. MAXIMUM, BOR'S AND ECR'S.
  - WEAKENED PLANE JOINTS TO BE AT 10' MAX. INTERVALS AND ALIGNED WITH ANY ADJACENT SIDEWALK OR PCC PAVEMENT. WEAKENED PLANE JOINTS TO BE INSTALLED AT THE TIME OF PCC PLACEMENT.
  - 4" THICK C.A.B. SHALL BE USED WHEN ADJACENT TO SIDEWALK AND PCC PAVEMENT.
  - WHEN USING VARIABLE CURB FACE HEIGHT OF BETWEEN 0" AND 6" C.F. HOLD 4:12 BATTER AND 6" HEIGHT BELOW THE PAVEMENT FINISHED SURFACE.
  - ALL SURFACES SHALL BE STRAIGHT, UNIFORM, FREE OF HUMPS, SAGS, IRREGULARITIES AND IMPERFECTIONS. UNIFORM SURFACES SHALL NOT VARY MORE THAN 0.01" WHEN MEASURED WITH A 10 FOOT STRAIGHT EDGE.
  - REBAR SHOWN HEREON IS NOT A REQUIREMENT OF THIS PERMIT, BUT IS AN OPTIONAL CONSTRUCTION REQUIREMENT BY IN-N-OUT BURGERS. CONTRACTOR TO VERIFY INSTALLATION WITH IN-N-OUT PRIOR TO PLACING BID OR BEGINNING CONSTRUCTION.
  - INSTALL "TYPE A" JOINT SEALANT IN ALL JOINTS. SEALANT IS NOT A REQUIREMENT OF THIS PERMIT, BUT IS AN OPTIONAL CONSTRUCTION REQUIREMENT BY IN-N-OUT BURGERS. CONTRACTOR TO VERIFY INSTALLATION WITH IN-N-OUT PRIOR TO PLACING BID OR BEGINNING CONSTRUCTION.
  - ALL SURFACES SHALL RECEIVE A FINE BROOM FINISH.
  - UPON COMPLETION OF FINISHING OPERATIONS ALL SURFACES SHALL BE SPRAYED WITH A "TYPE 1" CURING COMPOUND.

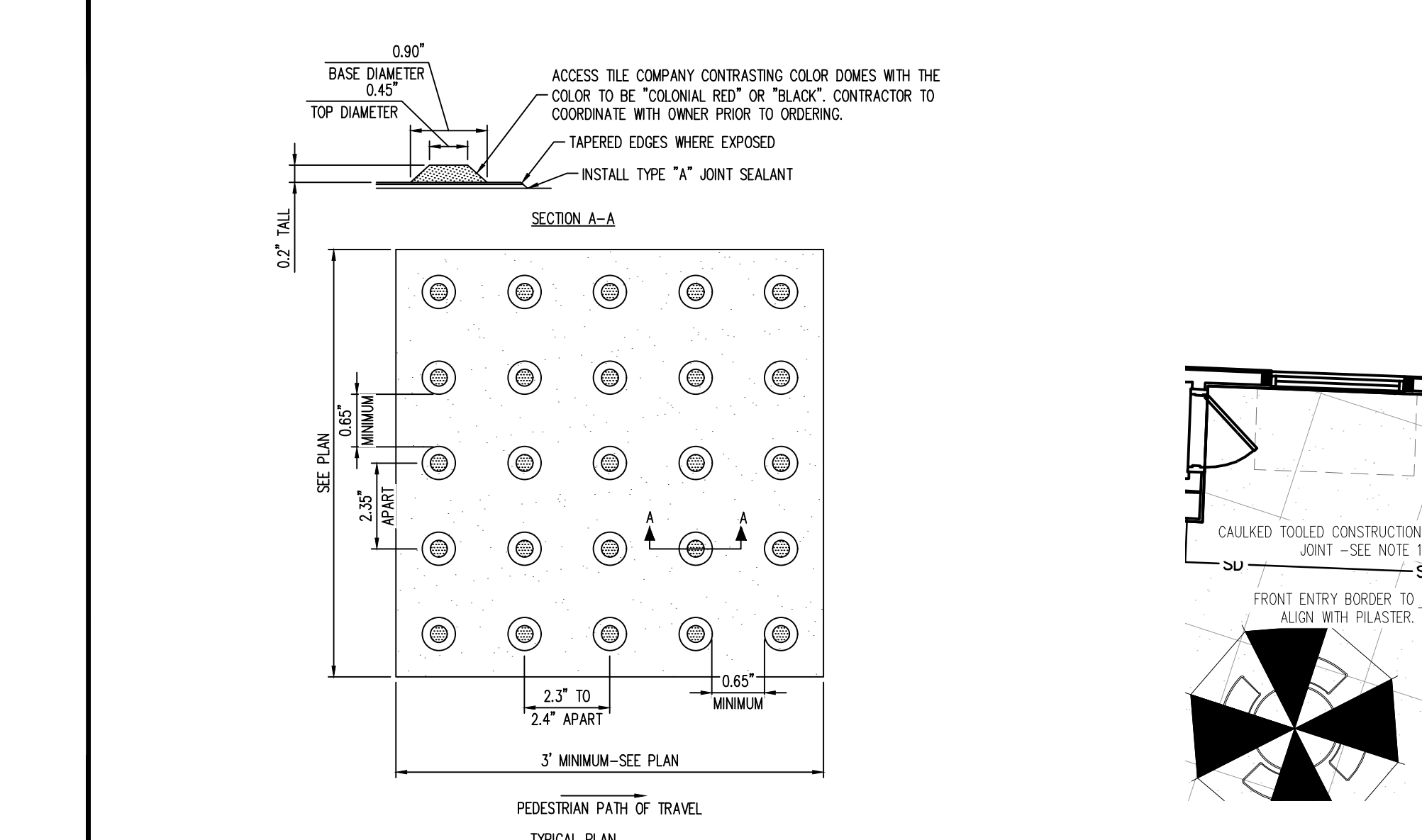


**22 ASPHALT PAVEMENT SECTION**  
SCALE: NOT TO SCALE

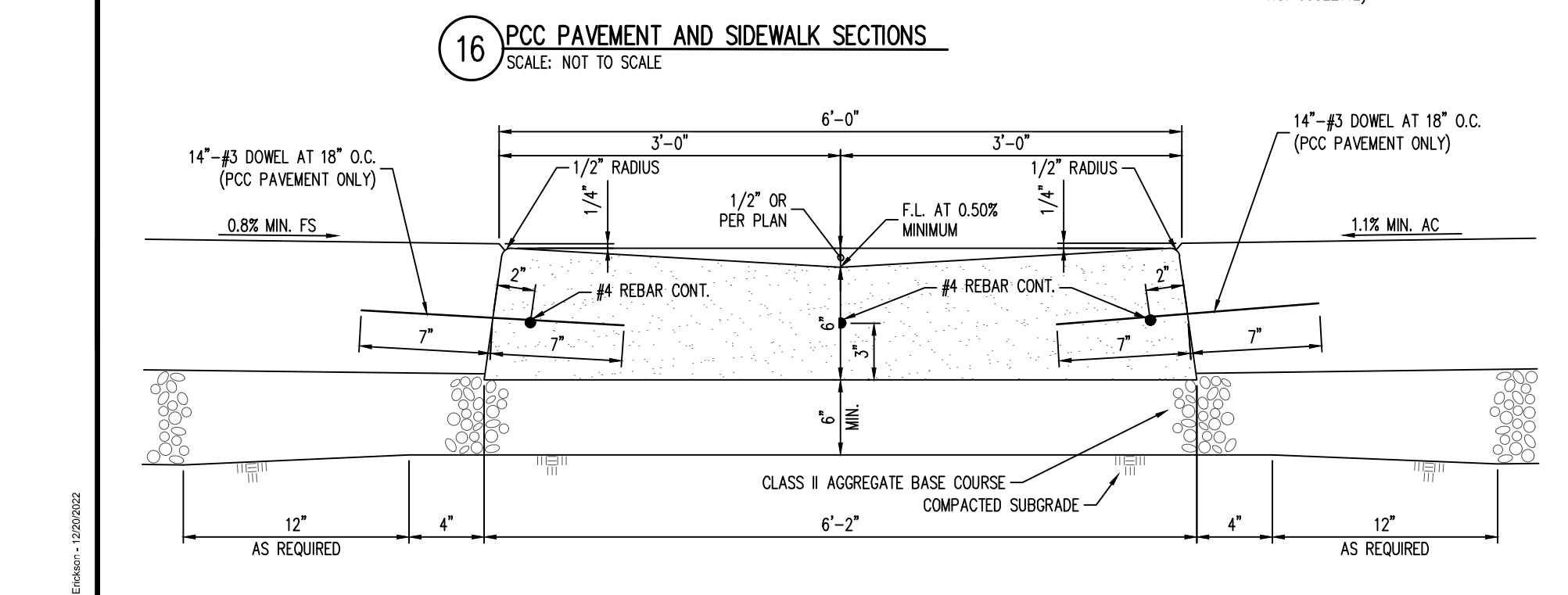
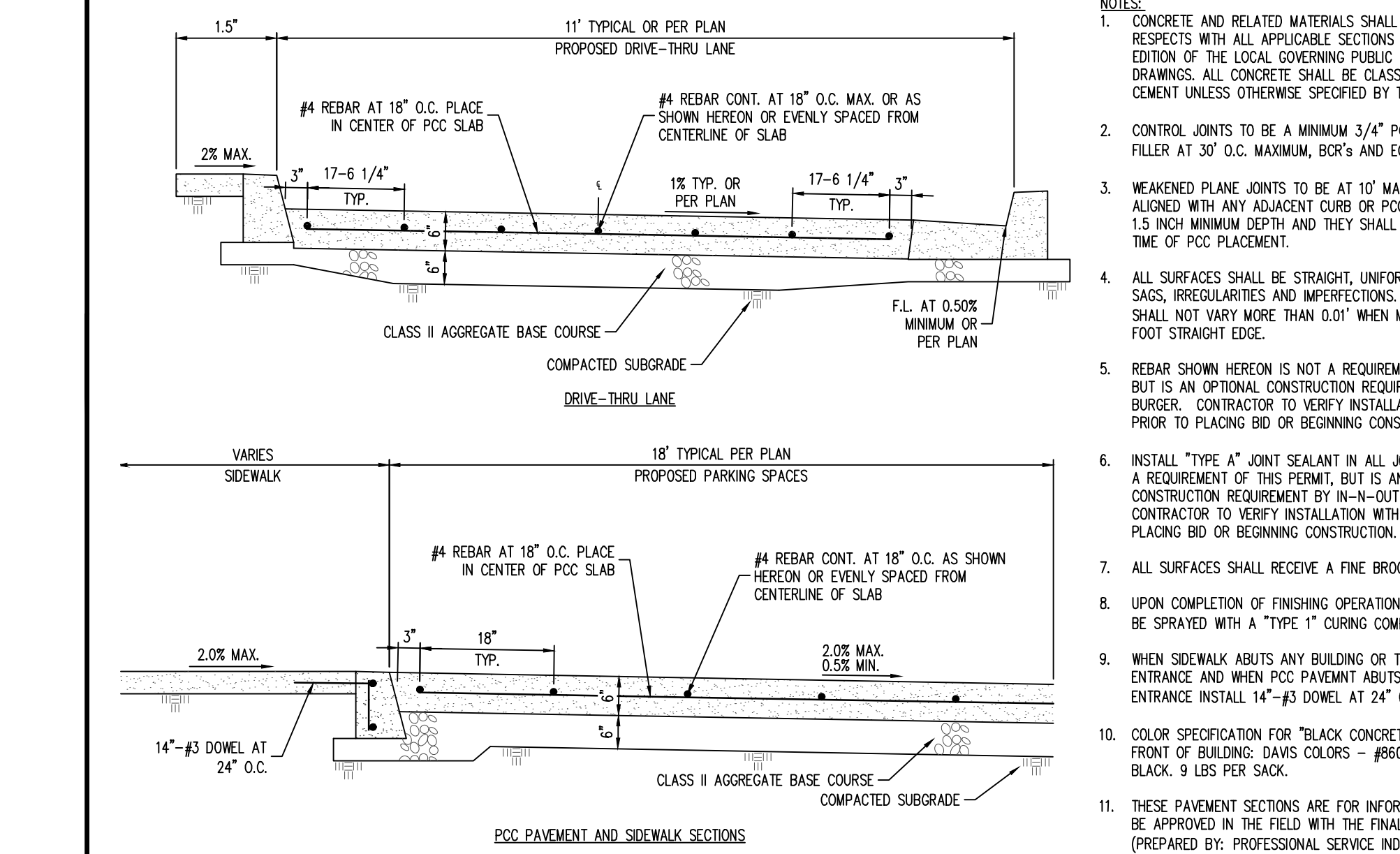
| (A) | (B) | (C) | (D) |
|-----|-----|-----|-----|
| 0"  | 6"  | 6"  | 8"  |
| 4"  | 6"  | 10" | 9"  |
| 6"  | 6"  | 12" | 10" |
| 8"  | 8"  | 16" | 11" |
| 12" | 12" | 24" | 12" |
| 18" | 18" | 36" | 12" |



- 18 CONCRETE AT FRONT ENTRY**  
SCALE: 1"=5'
- 19 CONCRETE AT SIDE ENTRY**  
SCALE: 1"=5'
- 20 6" CURB AND 18" GUTTER**  
SCALE: NOT TO SCALE
- 21 SAWCUT DETAIL**  
SCALE: NOT TO SCALE
- IN-N-OUT BURGER PROCESS FOR CONCRETE PLACEMENT**
- PRIOR TO PLACEMENT OF STEEL REINFORCEMENT, ANY ADDITIONAL MATERIALS ADDED FOR FINE GRADING MUST BE PLACED WITH THE PROPER MOISTURE CONTENT AND ROLLED/COMPACTED TO THE SATISFACTION OF THE TESTING LAB.
  - REDWOOD IS NOT ALLOWED IN THE CONCRETE. FIBER BOARD/VELT WITH A ZIP STRIP CAP SHALL BE USED AT ALL EXPANSION JOINTS. (THIS MEANS THAT THE CONCRETE MUST BE POURED IN SECTIONS BETWEEN EXPANSION JOINTS AND SET WITH FORMS, THEN THE SECTIONS BETWEEN THE POURED AREAS SHALL BE POURED (CHECKER BOARD PATTERN).)
  - ALL BROOMING (LIGHT FINISH) SHALL BE CONSISTENT IN APPEARANCE. ALL EFFORTS SHOULD BE MADE TO NOT HAVE OBVIOUS START/STOP POINTS.
  - ALL SAW CUTS CONTRACTION/CONTROL JOINTS SHALL BE CUT WITH A SOFT CUT (EARLY ENTRY) SAW AND SHALL BE 3/8" CUTS (WIDTH) AND THEN BEVELED WITH A 3/8" BEVEL.
  - AFTER CUTTING THE CONTRACTION/CONTROL JOINTS, ALL SAWDUST MUST BE SWEPT/CLEANED UP IN A TIMELY MANNER.
  - ALL HOLES FOR BOLLARDS MUST BE CORE DRILLED AND THE CONCRETE INFILL SHALL HAVE A SLIGHT DOME TO IT AND TOOLED AROUND THE EDGE.
  - TOOLING AND KEEPING THE CONCRETE EVEN WITH THE TOP OF CLEAN-OUTS, GREASE TRAP LIDS, ETC., SHALL BE PAID PARTICULAR ATTENTION.
  - IF CURING OR SEALING COMPOUND IS USED, IT SHALL BE CONSISTENT IN APPEARANCE. ALL EFFORTS SHOULD BE MADE TO NOT HAVE OBVIOUS START/STOP POINTS.
  - THE FOLLOWING JOINTS SHALL BE USED IN THE BLACK CONCRETE PARKING STALLS:
    - AN EXPANSION JOINT SHALL BE INSTALLED AT A PARKING STALL STRIPE EVERY 27' USING A 9'-0" STANDARD STALL WIDTH AT INTERVALS NOT TO EXCEED 30' ON CENTER.
    - A TOOLED JOINT SHALL BE INSTALLED AT EVERY PARKING STALL STRIPE NOT HAVING AN EXPANSION JOINT.
    - ACCESSIBLE LOADING ZONE STRIPING SHALL BE CLEAR OF ANY TOOLED OR EXPANSION JOINTS WITH THESE JOINTS BEING ON THE OUTSIDE EDGE OF THE PAINTED LINES TO ASSURE CLEARANCE.



- 15 TRUNCATED DOME DETAIL FOR PEDESTRIAN ACCESS DETECTABLE WARNING STRIP**  
SCALE: NOT TO SCALE
- NOTES:
- TRUNCATED DOMES DETECTABLE WARNING STRIP TO BE MANUFACTURED BY ACCESS PRODUCTS INC. "ACCESS TILE" (888) 679-4022, MODEL #ACC-R-3x5 REPLACEABLE CAST-IN-PLACE. PROVIDE INFORMATION FOR 5 YEAR MANUFACTURER WARRANTY.
  - NOTE: WHERE INSTALLED IN A RADIAL PATTERN, TRUNCATED DOMES SHALL HAVE A CENTER-TO-CENTER SPACING OF BETWEEN 1.6" AND 2.4".
  - NOTE: WHERE DECORATIVE BOLLARD OCCURS WITHIN TRUNCATED DOMES, APPLY TRUNCATED DOME SURFACE AND THEN CORE DRILL 12" DIAMETER HOLE THROUGH SURFACE.
  - NOTE: DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.



- 16 PCC PAVEMENT AND SIDEWALK SECTIONS**  
SCALE: NOT TO SCALE
- 17 6 FT WIDE CONCRETE CROSSPAN**  
SCALE: NOT TO SCALE
- NOTES:
- CONCRETE AND RELATED MATERIALS SHALL COMPLY IN ALL RESPECTS WITH ALL APPLICABLE SECTIONS OF THE CURRENT EDITION OF THE LOCAL GOVERNING PUBLIC AGENCY STANDARD DRAWINGS. ALL CONCRETE SHALL BE 4000 PSI, TYPE II CEMENT UNLESS OTHERWISE SPECIFIED BY THE ENGINEER.
  - CONTROL JOINTS TO BE A MINIMUM 3/8" JOINT FELT AT 30' O.C. MAXIMUM, BOR'S AND ECR'S.
  - WEAKENED PLANE JOINTS TO BE AT 10' MAX. INTERVALS AND ALIGNED WITH ANY ADJACENT CURB OR PCC PAVEMENT, HAVE A 1.5 INCH MINIMUM DEPTH AND MAY BE SAWCUT.
  - ALL SURFACES SHALL BE STRAIGHT, UNIFORM, FREE OF HUMPS, SAGS, IRREGULARITIES AND IMPERFECTIONS. UNIFORM SURFACES SHALL NOT VARY MORE THAN 0.01" WHEN MEASURED WITH A 10 FOOT STRAIGHT EDGE.
  - REBAR SHOWN HEREON IS NOT A REQUIREMENT OF THIS PERMIT, BUT IS AN OPTIONAL CONSTRUCTION REQUIREMENT BY IN-N-OUT BURGERS. CONTRACTOR TO VERIFY INSTALLATION WITH IN-N-OUT PRIOR TO PLACING BID OR BEGINNING CONSTRUCTION.
  - INSTALL "TYPE A" JOINT SEALANT IN ALL JOINTS. SEALANT IS NOT A REQUIREMENT OF THIS PERMIT, BUT IS AN OPTIONAL CONSTRUCTION REQUIREMENT BY IN-N-OUT BURGERS. CONTRACTOR TO VERIFY INSTALLATION WITH IN-N-OUT PRIOR TO PLACING BID OR BEGINNING CONSTRUCTION.
  - ALL SURFACES SHALL RECEIVE A FINE BROOM FINISH.
  - UPON COMPLETION OF FINISHING OPERATIONS ALL SURFACES SHALL BE SPRAYED WITH A "TYPE 1" CURING COMPOUND.

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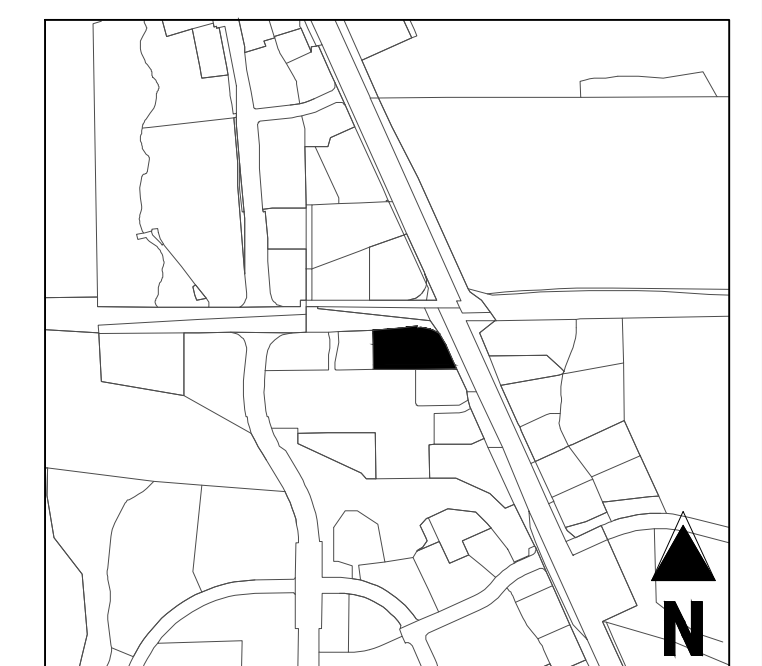
**IN-N-OUT BURGER**  
CONSTRUCTION DOCUMENTS  
PARKER & PINE FILING NO. 1, LOT 1  
PARKER, CO 80134

| # | Date       | Issue / Description | Init. |
|---|------------|---------------------|-------|
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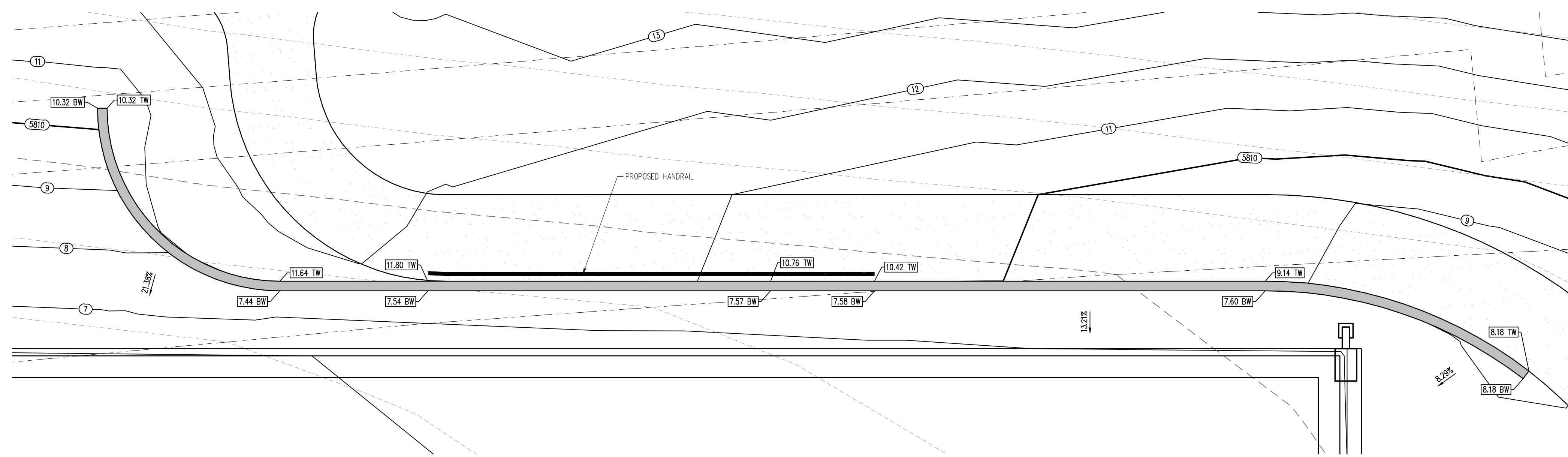
| Project No: | INC000014-20 |
|-------------|--------------|
| Drawn By:   | JNE          |
| Checked By: | PJD          |
| Date:       | 12/21/2022   |

RETAINING WALL DETAILS

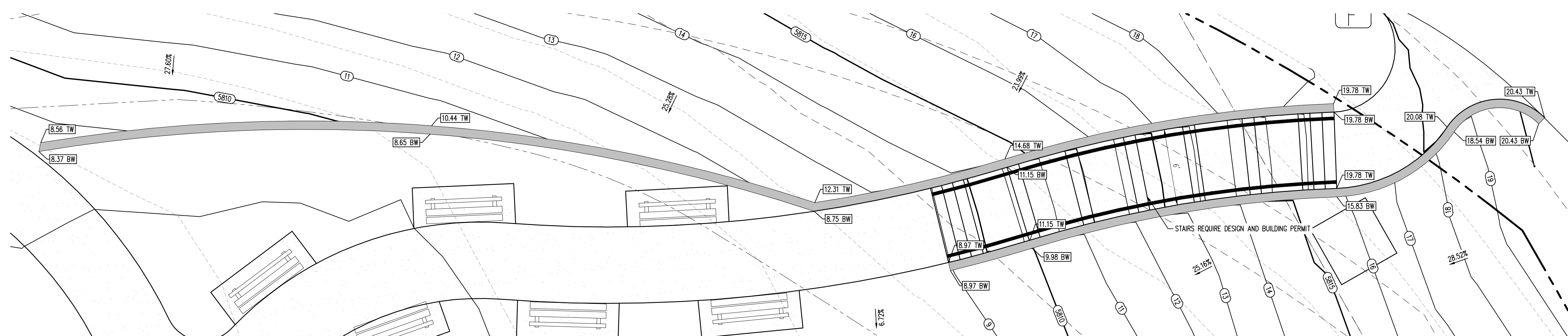
**C2.3**  
Sheet 12 of 28



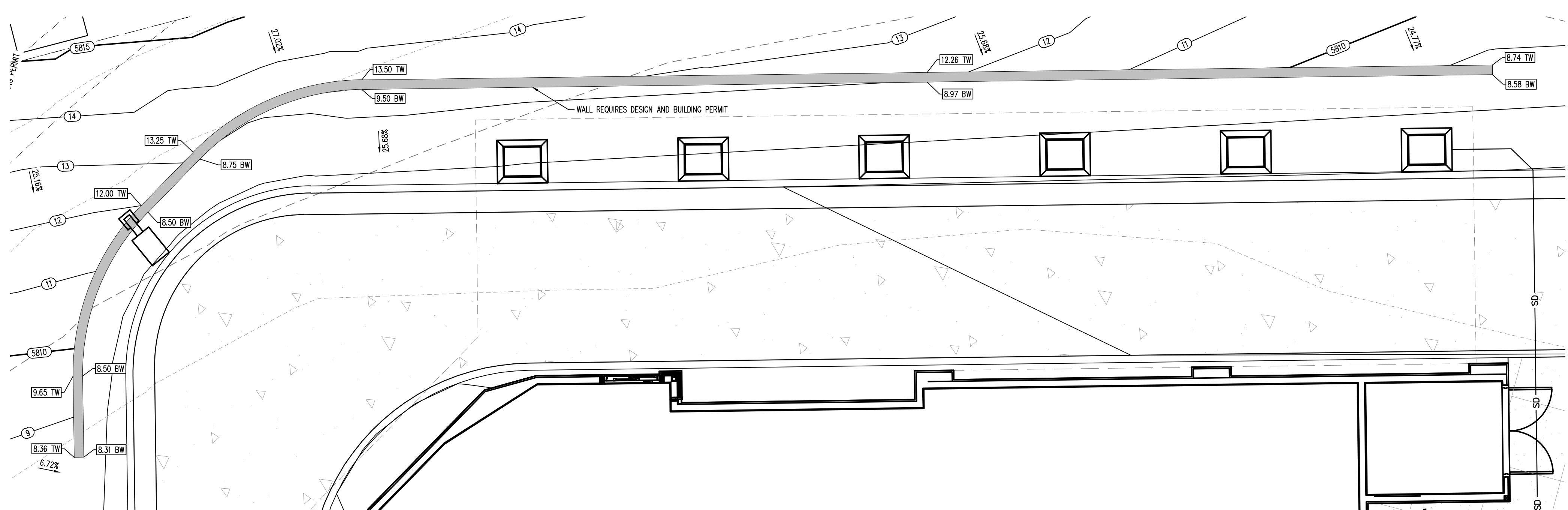
KEY MAP  
NOT TO SCALE



RETAINING WALL 1 DETAIL  
SCALE: 1"=5'



RETAINING WALL 2 AND 3 DETAIL  
SCALE: 1"=5'



RETAINING WALL 4 DETAIL  
SCALE: 1"=5'

**SOIL PREPARATION AND PAVEMENT DESIGN NOTE**  
SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS: GEOTECHNICAL ENGINEERING EXPLORATION AND ANALYSIS: PROPOSED IN-N-OUT BURGER SOUTH PARKER RD & PINE LANE.  
GEOTECHNICAL ENGINEER: \_\_\_\_\_ DATE: \_\_\_\_\_  
PROJECT NO: \_\_\_\_\_  
THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

**GRADING NOTES**

- ADD 5,800 TO ALL SPOT GRADE ELEVATIONS.
- REQUIREMENTS SHOWN ON SITE PLAN SHALL GOVERN DRAWINGS AND SPECIFICATIONS SHOWING OTHERWISE NOTWITHSTANDING. CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BID.
- CONTRACTOR MUST OBTAIN ALL STATE AND CITY STORM WATER DISCHARGE AND EROSION CONTROL PERMITS PRIOR TO ANY DISTURBANCE AND/OR GRADING ACTIVITY.
- ALL FILL IN OLD TANK AREAS, OLD BASEMENTS, CESSPOOLS, OTHER EXCAVATIONS AND INSIDE BUILDING TO BE APPROVED BY GEOTECHNICAL ENGINEER.
- FINAL GRADES ARE SUBJECT TO MINOR CHANGE BY COMPANY REPRESENTATIVE. NO GRADE CHANGES IN EXCESS OF 0.05' WITHOUT COMPANY APPROVAL.
- ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL DIRT APPROVED BY GEOTECHNICAL ENGINEER AND SHALL BE PLACED AND COMPACTED PER GEOTECHNICAL REPORT RECOMMENDATIONS.
- SET PROPERTY CORNER PINS IN CONCRETE. IF PROPERTY CORNERS ARE DESTROYED BY CONTRACTOR, THE CONTRACTOR SHALL BEAR THE EXPENSE OF RELOCATION CORNERS BY A REGISTERED SURVEYOR.
- THIS DESIGN IS BASED ON A GEOTECHNICAL INVESTIGATION. A COPY OF THIS REPORT IS AVAILABLE FOR INSPECTION BY THE CONTRACTORS.
- ALL SPOT GRADES ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ONSITE SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION.
- ALL LANDSCAPING AREAS SHALL BE GRADED TO WITHIN 0.10' WITH COMPANY APPROVED TOP SOIL TO A MINIMUM 6" DEPTH.
- GENERAL CONTRACTOR TO PROVIDE BARRICADE PROTECTION WITH FLASHING LIGHTS AROUND ALL FOOTINGS, EXCAVATIONS AND ALL OFFSITE WORK.
- PROPOSED FLOWLINE ELEVATION DOES NOT TAKE INTO ACCOUNT OUTER DEPRESSION AT INLET.
- THE GRADING SHOWN IS PRELIMINARY AND IS TO BE FINALIZED IN THE CONSTRUCTION DRAWINGS.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY OR CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.  
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TOWN OF PARKER, DIRECTOR OF ENGINEERING \_\_\_\_\_ DATE \_\_\_\_\_

**LEGAL DESCRIPTION**  
LOT 1, PARKER & PINE FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO

**BENCHMARK**  
PUBLISHED BENCHMARK: ELEVATIONS ARE BASED ON A DOUGLAS COUNTY CONTROL MONUMENT, STATION NAME: CRAIN, BEING A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN CULVERT, 25 FEET WEST OF THE EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.  
ELEVATION = 5734.25 FEET (NAVD 88) PUBLISHED BY DOUGLAS COUNTY

**BASIS OF BEARING**  
BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST BEARS N001°15'1"E, MONUMENTED BY THE SOUTHWEST CORNER OF SAID SECTION 10, BEING A 3-1/4 INCH ALUMINUM CAP STAMPED "LS 19003", AND MONUMENTED BY THE WEST QUARTER CORNER OF SAID SECTION 10, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 225617", AS SHOWN HEREON.

**CAUTION - NOTICE TO CONTRACTOR**  
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2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



DATE PLOTTED: 12/21/2022 10:00 AM PROJECT: PARKER & PINE FILING NO. 1, LOT 1, COUNTY OF DOUGLAS, STATE OF COLORADO SHEET: C2.3

**PRELIMINARY**  
NOT FOR BIDDING  
NOT FOR CONSTRUCTION

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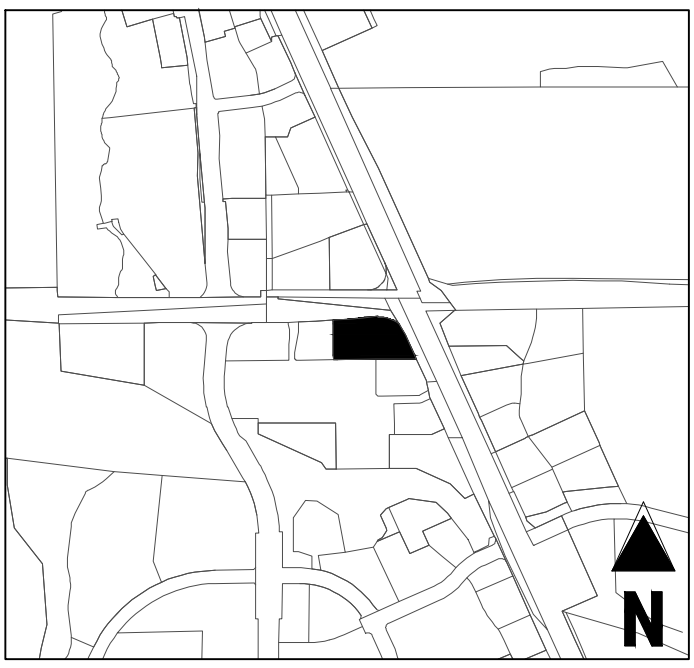
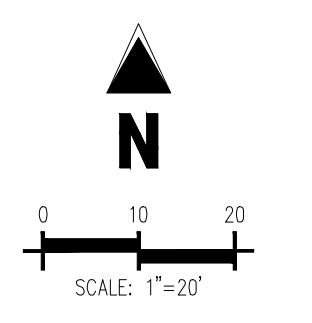
**IN-N-OUT BURGER**  
CONSTRUCTION DOCUMENTS  
PARKER & PINE FILING NO. 1, LOT 1  
PARKER, CO 80134

| # | Date       | Issue / Description | Init. |
|---|------------|---------------------|-------|
|   | 12/21/2022 | 1ST CD SUBMITTAL    | PJD   |

TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

Project No: INC000014-20  
Drawn By: JINE  
Checked By: PJD  
Date: 12/21/2022

CBMP PLAN INITIAL



**GRADING LEGEND**

|        |   |
|--------|---|
| ---    | PROPERTY LINE   |
| ---    | EXISTING LOT LINE                                       |
| ---    | PROPOSED LOT LINE                                       |
| ---    | EXISTING EASEMENT                                       |
| ---    | PROPOSED SAWCUT LINE                                    |
| ---    | PROPOSED MAJOR CONTOUR                                  |
| ---    | PROPOSED MINOR CONTOUR                                  |
| ---    | EXISTING MAJOR CONTOUR                                  |
| ---    | EXISTING MINOR CONTOUR                                  |
| ---    | EXISTING CURB AND GUTTER                                |
| ---    | EXISTING STORM SEWER                                    |
| ---    | LOD - LIMITS OF DISTURBANCE / LIMIT OF CONSTRUCTION     |
| (LOD)  | VEHICLE TRACKING CONTROL CONST. ENTRANCE                |
| (VTC)  | CONTRACTOR STAGING AREA (APPROXIMATE)                   |
| (SSA)  | INLET PROTECTION, CURB ON-GRADE, TYPE R INLET           |
| (PCOG) | CONCRETE WASHOUT AREA                                   |
| (CWA)  | CF - CONSTRUCTION FENCE                                 |
| (CF)   | PTP - PORTABLE TOILET                                   |
| (PTP)  | SF - SILT FENCE   |
| (SF)   | POST - SITE (CONTACTS AND PERMITS) AND CWA POSTING      |
| (POST) | DTC - DEBRIS AND TRASH CONTROL                          |
| (DTC)  | FLOW ARROW  |
| (FA)   | LANDSCAPE AREA (REFERENCE LANDSCAPING PLANS FOR DETAIL) |
| (SMC)  |   |

**DISTURBED AREA TABLE**

| LIMITS                 | AREA (S.F.) | AREA (AC) |
|------------------------|-------------|-----------|
| LIMITS OF CONSTRUCTION | 72,825      | 1.6700    |

**CUT/FILL SUMMARY**

| AREA (S.F.) | CUT (C.Y.) | FILL (C.Y.) | NET CUT (C.Y.) |
|-------------|------------|-------------|----------------|
| 72,825.55   | 6,503.85   | 70.23       | 6,433.62       |

\*RAW CUT AND FILL VALUES, DOES NOT ACCOUNT FOR SOIL COMPACTION OR EXPANSION AND DOES NOT INCLUDE MATERIAL DEPTHS FOR CONCRETE, PAVEMENT, BUILDING FOUNDATION, ETC.

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**LEGAL DESCRIPTION**

LOT 1, PARKER & PINE FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO

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**STORMWATER MANAGEMENT PLAN NOTES**

- THE CONTRACTOR AND/OR AUTHORIZED AGENTS SHALL REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATE IN, THE FLOW LINES AND PUBLIC RIGHTS OF WAYS OF THE TOWN AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SAID REMOVAL SHALL BE CONDUCTED IN A TIMELY MANNER.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT FUNCTION AS INTENDED. THE REQUIREMENTS OF THIS PLAN SHALL BE THE OBLIGATION OF THE PERMIT HOLDER UNTIL SUCH TIME AS THE PLAN IS PROPERLY COMPLETED AND THE PERMIT IS RELEASED.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION, EXCAVATION, TRENCHING, BORING, GRADING OR OTHER CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, ETC., RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
- THE CONTRACTOR SHALL LOCATE, INSTALL, AND MAINTAIN ALL WATER QUALITY EROSION CONTROL MEASURES AND AS INDICATED IN THE APPROVED STORMWATER MANAGEMENT PLAN.
- ROUGH-CUT STREETS SHALL BE MULCHED WITHIN 14 DAYS OF THE COMPLETION OF OVERLIT GRADING UNLESS A LAYER OF AGGREGATE ROAD BASE OR ASPHALT PAVING IS TO BE APPLIED TO SAID ROUGH-CUT STREETS WITHIN 14 DAYS.
- THE DEVELOPER, GENERAL CONTRACTOR, GRADING CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL ENSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THIS SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC RIGHTS OF WAY.
- SOILS THAT WILL BE STOCKPILED FOR MORE THAN 30 DAYS SHALL BE PROTECTED FROM WIND AND WATER EROSION WITHIN 14 DAYS OF STOCKPILE CONSTRUCTION. IF STOCKPILES ARE LOCATED WITHIN 100 FEET OF A DRAINAGEWAY, ADDITIONAL SEDIMENT CONTROLS SUCH AS TEMPORARY DIKES OR SILT FENCE SHALL BE REQUIRED.
- APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR OF THE DURATION OF THIS PROJECT. ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM A CONTROL MEASURE WHEN THE SEDIMENT OR DEBRIS ADVERSELY IMPACTS THE FUNCTIONING OF THE CONTROL MEASURE.
- CONSTRUCTION SEQUENCING MAY NECESSITATE RELOCATION OR TEMPORARY REMOVAL OF THE CONTROL MEASURES SHOWN HEREON. THE CONTRACTOR MAY RELOCATE CONTROL MEASURES INCLUDING VTC, SSA AND CONSTRUCTION TRAILERS AT THEIR DISCRETION. THE CONTROL MEASURES SHALL BE RESTORED AT SUCH A TIME AS THEY WILL NO LONGER IMPACT THE WORK. THE SITE COPY OF THE DRAWINGS SHALL BE MARKED UP ACCORDINGLY, AND A RECORD OF CONTROL MEASURE MODIFICATIONS KEPT IN THE SITE INSPECTION LOG.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THE SWMP MUST BE MAINTAINED IN EFFECTIVE OPERATION CONDITION. PROPER SELECTION AND INSTALLATION OF CONTROL MEASURES AND IMPLEMENTATION OF COMPREHENSIVE INSPECTION AND MAINTENANCE PROCEDURES IN ACCORDANCE WITH THE SWMP SHOULD BE ADEQUATE TO MEET THIS CONDITION. CONTROL MEASURES THAT ARE NOT ADEQUATELY MAINTAINED IN ACCORDANCE WITH GOOD ENGINEER, HYDROLOGIC, AND POLLUTION CONTROL PRACTICES, INCLUDING REMOVAL OF COLLECTED SEDIMENT OUTSIDE THE ACCEPTABLE TOLERANCES OF THE CONTROL MEASURES ARE CONSIDERED TO BE NO LONGER OPERATING EFFECTIVELY AND MUST BE ADDRESSED.

**INITIAL EROSION CONTROL NOTES**

- INSTALL THE SWPPP INFORMATION SIGN AND POST REQUIRED DOCUMENTS NEAR THE PLANNED CONSTRUCTION EXIT, AND WITHIN EASY ACCESS TO THE GENERAL PUBLIC WITHOUT ENTERING THE SITE.
- STAKE/FLAG/PAIN THE LOD (WHERE STAKING IS NOT POSSIBLE/PRACTICAL, THE LOD MUST BE CONSPICUOUSLY, AND PROMINENTLY, MARKED TO DENOTE THE BOUNDARY). LOD MUST REMAIN CONSPICUOUSLY MARKED THROUGHOUT THE ENTIRE CONSTRUCTION PROJECT.
- INSTALL INLET PROTECTION ON EXISTING INLETS WITHIN LOD.
- INSTALL TEMPORARY ROCK SOCK DOWN GRADIENT FROM TEMPORARY STRIPING ACTIVITIES.
- BLACK OUT STRIPING THAT CONFLICTS WITH TEMPORARY STRIPING, PAINT TEMPORARY STRIPING AND INSTALL CONSTRUCTION FENCE AND JERSEY BARRIERS.
- INSTALL PERIMETER SEDIMENT CONTROL MEASURES IN THE VICINITY OF, AND DOWN GRADIENT FROM, THE LOCATION OF THE PLANNED CONSTRUCTION EXIT, CONSTRUCTION OFFICE TRAILER, AND TEMPORARY PARKING AND STORAGE AREAS. CLEAR ONLY THE MINIMUM AREA ABSOLUTELY NECESSARY TO INSTALL THESE PERIMETER CONTROL MEASURES.
- INSTALL STABILIZED CONSTRUCTION EXIT WITH SEDIMENT TRAP AND SET THE PROJECT OFFICE TRAILER.
- INSTALL REMAINING PERIMETER SEDIMENT CONTROL MEASURES AS SHOWN ON THE SITE MAPS. CLEAR ONLY THE MINIMUM AREA NECESSARY TO INSTALL PERIMETER CONTROL MEASURES.
- PREPARE TEMPORARY PARKING AND STORAGE AREA.
- STABILIZE SIDE SLOPES, BOTTOM AND ALL SIDES OF EMBANKMENTS OR SLOPES OF SEDIMENT TRAPS IMMEDIATELY UPON COMPLETION OF EACH, AS SPECIFIED IN THE SWPPP AND SEDIMENT TRAP DETAIL.

**SANITARY AND SEPTIC WASTE NOTES**

- PROVIDE CONVENIENT, WELL-MAINTAINED, AND PROPERLY LOCATED TOILET FACILITIES ON-SITE.
- LOCATE TOILET FACILITIES AWAY FROM STORM DRAIN INLETS AND WATERWAYS TO PREVENT ACCIDENTAL SPILLS AND CONTAMINATION OF STORMWATER.
- MAINTAIN CLEAN RESTROOM FACILITIES AND EMPTY PORTABLE TOILETS REGULARLY.
- WHERE POSSIBLE, PROVIDE SECONDARY CONTAINMENT PANS UNDER PORTABLE TOILETS.
- PROVIDE TIE-DOWNS AND STAKE-DOWNS FOR PORTABLE TOILETS.
- EDUCATE EMPLOYEES, SUBCONTRACTORS, AND SUPPLIERS ON LOCATIONS OF FACILITIES.
- TREAT OR DISPOSE OF SANITARY AND SEPTIC WASTE IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. DO NOT DISCHARGE OR BURY WASTEWATER AT THE CONSTRUCTION SITE.
- INSPECT FACILITIES FOR LEAKS. IF FOUND, REPAIR OR REPLACE IMMEDIATELY.
- SPECIAL CARE IS NECESSARY DURING MAINTENANCE (PUMP OUT) TO ENSURE THAT WASTE AND/OR BIOCODE ARE NOT SPILLED ON THE GROUND.

**EROSION CONTROL COST ESTIMATE:**

| Description                   | Quantity | Unit | Unit Cost  | Amount      |
|-------------------------------|----------|------|------------|-------------|
| SILT FENCE                    | 1900     | LF   | \$6.00     | \$11,400.00 |
| INLET PROTECTION              | 4        | EA   | \$350.00   | \$1,400.00  |
| VEHICLE TRACK CTL             | 1        | EA   | \$3,075.00 | \$3,075.00  |
| TEMPORARY SEEDING             | 23700    | SY   | \$1.10     | \$26,070.00 |
| CONC WASH OUT                 | 1        | EA   | \$760.00   | \$760.00    |
| STABILIZED STAGING AREA       | 1        | EA   | \$855.00   | \$855.00    |
| SUBTOTAL                      |          |      |            | \$43,560.00 |
| 40% MAINT FEE AND REPLACEMENT |          |      |            | \$17,424.00 |
| TOTAL                         |          |      |            | \$60,984.00 |

GALLOWAY & COMPANY DOES NOT GUARANTEE THAT THE COST WILL NOT VARY FROM THESE OPINIONS OF PROBABLE COSTS.

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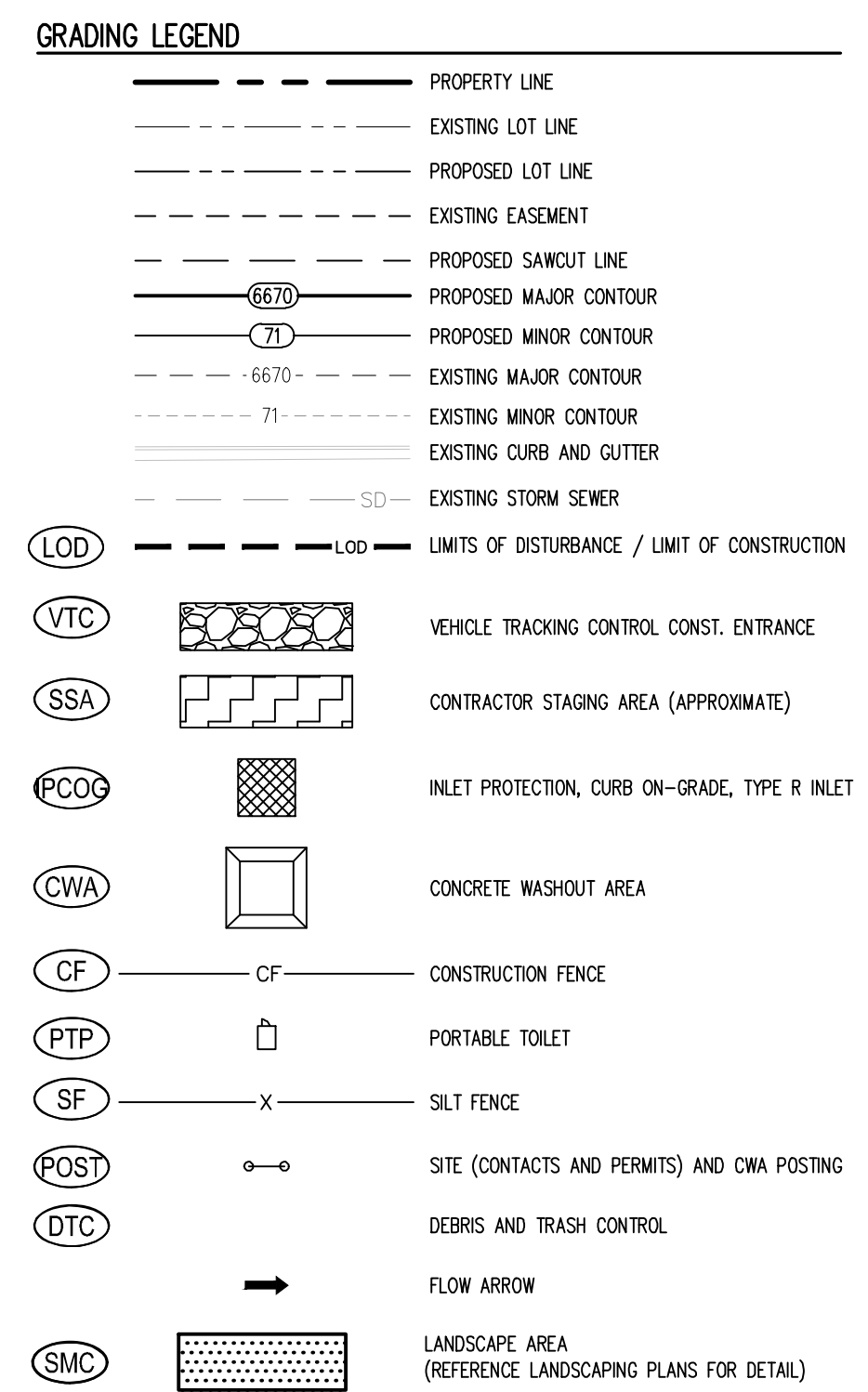
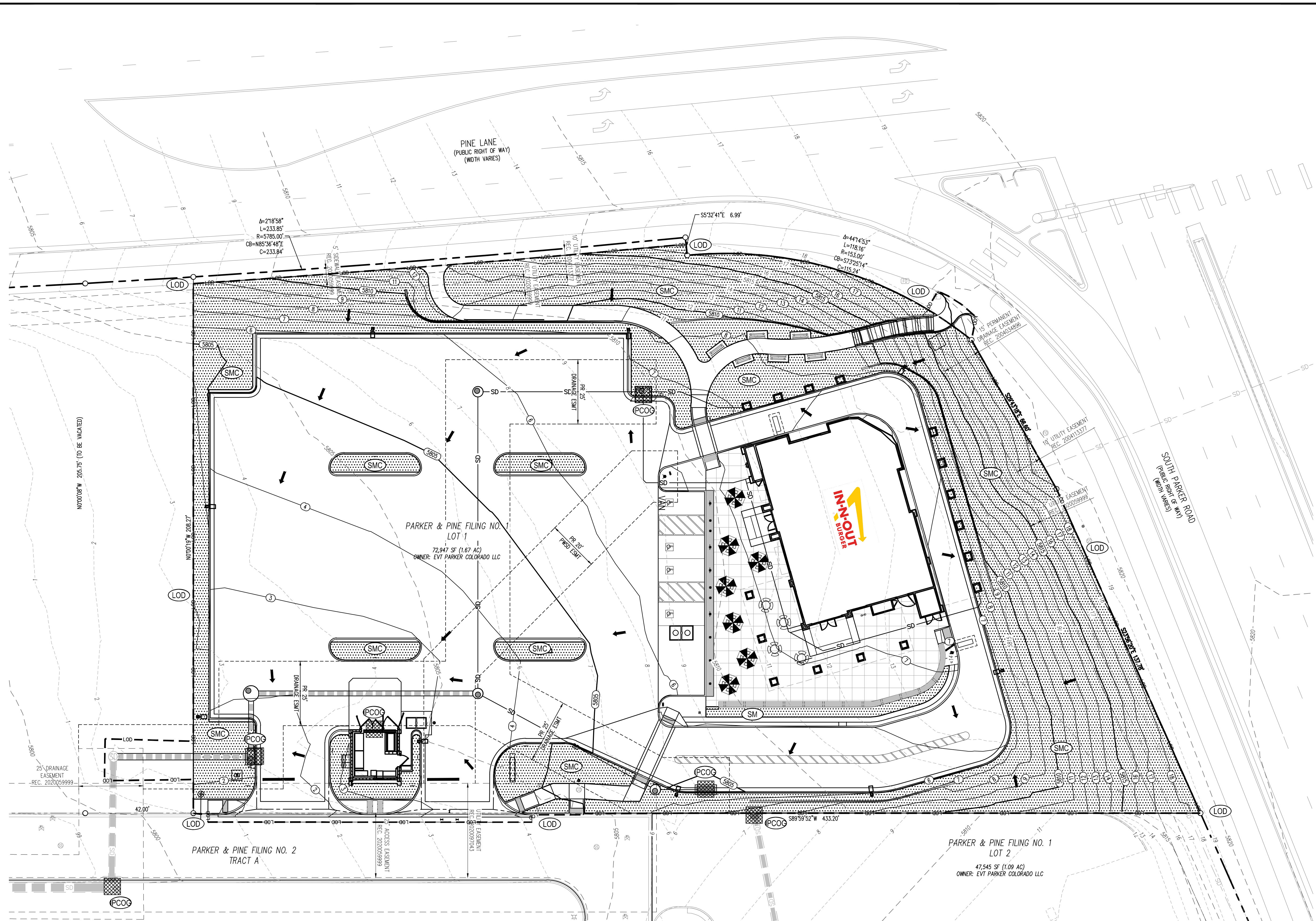
**IN-N-OUT BURGER**  
CONSTRUCTION DOCUMENTS  
PARKER & PINE FILING NO. 1, LOT 1  
PARKER, CO 80134

| # | Date       | Issue / Description | Init. |
|---|------------|---------------------|-------|
| 1 | 12/21/2022 | 1ST CD SUBMITTAL    | PJD   |

Project No: INC000014-20  
Drawn By: JINE  
Checked By: PJD  
Date: 12/21/2022

**CBMP PLAN INTERIM AND FINAL**

**C2.5**  
Sheet 14 of 28



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TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

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LOT 1, PARKER & PINE FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO

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- ROUGH-CUT STREETS SHALL BE MULCHED WITHIN 14 DAYS OF THE COMPLETION OF OVERLIT GRADING UNLESS A LAYER OF AGGREGATE ROAD BASE OR ASPHALT PAVING IS TO BE APPLIED TO SAID ROUGH-CUT STREETS WITHIN 14 DAYS.
- THE DEVELOPER, GENERAL CONTRACTOR, GRADING CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL ENSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THIS SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC RIGHTS OF WAY.
- SOILS THAT WILL BE STOCKPILED FOR MORE THAN 30 DAYS SHALL BE PROTECTED FROM WIND AND WATER EROSION WITHIN 14 DAYS OF STOCKPILE CONSTRUCTION. IF STOCKPILES ARE LOCATED WITHIN 100 FEET OF A DRAINAGEWAY, ADDITIONAL SEDIMENT CONTROLS SUCH AS TEMPORARY DIKES OR SILT FENCE SHALL BE REQUIRED.
- APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR OF THE DURATION OF THIS PROJECT. ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM A CONTROL MEASURE WHEN THE SEDIMENT OR DEBRIS ADVERSELY IMPACTS THE FUNCTIONING OF THE CONTROL MEASURE.
- CONSTRUCTION SEQUENCING MAY NECESSITATE RELOCATION OR TEMPORARY REMOVAL OF THE CONTROL MEASURES SHOWN HEREON. THE CONTRACTOR MAY RELOCATE CONTROL MEASURES INCLUDING VTC, SSA AND CONSTRUCTION TRAILERS AT THEIR DISCRETION. THE CONTROL MEASURES SHALL BE RESTORED AT SUCH A TIME AS THEY WILL NO LONGER IMPACT THE WORK. THE SITE COPY OF THE DRAWINGS SHALL BE MARKED UP ACCORDINGLY, AND A RECORD OF CONTROL MEASURE MODIFICATIONS KEPT IN THE SITE INSPECTION LOG.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THE SWMP MUST BE MAINTAINED IN EFFECTIVE OPERATION CONDITION. PROPER SELECTION AND INSTALLATION OF CONTROL MEASURES AND IMPLEMENTATION OF COMPREHENSIVE INSPECTION AND MAINTENANCE PROCEDURES IN ACCORDANCE WITH THE SWMP SHOULD BE ADEQUATE TO MEET THIS CONDITION. CONTROL MEASURES THAT ARE NOT ADEQUATELY MAINTAINED IN ACCORDANCE WITH GOOD ENGINEER, HYDROLOGIC, AND POLLUTION CONTROL PRACTICES, INCLUDING REMOVAL OF COLLECTED SEDIMENT OUTSIDE THE ACCEPTABLE TOLERANCES OF THE CONTROL MEASURES ARE CONSIDERED TO BE NO LONGER OPERATING EFFECTIVELY AND MUST BE ADDRESSED.

**INTERIM EROSION CONTROL NOTES**

- BEGIN EXCAVATION AND INSTALLATION OF SANITARY SEWER LINE AND STUB WITHIN CONSTRUCTION FENCE.
- PAVE DISTURBED AREA TO PRE-CONSTRUCTION CONDITION. REMOVE JERSEY BARRIERS, AND PAINT EXISTING STRIPING TO PRE-CONSTRUCTION CONDITION.
- BEGIN DEMOLITION OF ASPHALT. (PHASE DEMOLITION TO THE EXTENT PRACTICAL TO MINIMIZE THE AMOUNT OF AREA DISTURBED AT ANY POINT IN TIME)
- EXCAVATE AND SET TANKS AND USE SPOILS TO BUILD KIOSK PAD.
- BEGIN GRADING THE SITE. START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
- TEMPORARILY STABILIZE, THROUGHOUT CONSTRUCTION IMMEDIATELY FOLLOWING THE COMPLETION OF THE MOST RECENT LAND DISTURBING/GRADING ACTIVITY. ANY DISTURBED AREAS, INCLUDING MATERIAL STOCKPILES THAT ARE SCHEDULED OR LIKELY TO REMAIN INACTIVE FOR 14 DAYS OR MORE.
- INSTALL UTILITIES, STORM SEWERS, CURBS AND GUTTERS.
- INSTALL CONTROL MEASURES WITHIN OFF-SITE WORK AREAS PRIOR TO BEGINNING WORK IN THESE AREAS.
- IMMEDIATELY PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO GRADE.
- PREPARE SUBGRADE AS NECESSARY.
- PREPARE SITE FOR PAVING.
- PAVE SITE.
- MAINTAIN APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES, PER BMP DETAILS.
- COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
- REMOVE TEMPORARY STRIPING AND PAINT PERMANENT STRIPING.
- OBTAIN CONCURRENCE FROM CONSTRUCTION MANAGER (CM) AND THAT THE SITE HAS BEEN FULLY STABILIZED AND ALL CONSTRUCTION HAS BEEN COMPLETED.

**FINAL EROSION CONTROL NOTES**

- REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (CONTROL MEASURES).
- STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF TEMPORARY CONTROL MEASURES.
- INSTALL PERMANENT SEED AND LANDSCAPING.
- CONTINUE DAILY INSPECTIONS AND REPORTS UNTIL THE CM FINAL DAILY INSPECTION REPORT, MARKED "READY TO TERMINATE PERMIT", IS SIGNED BY THE CONSTRUCTION MANAGER AND SUBMITTED SWPPP PLACED IN THE JOB SITE BINDER.
- PROVIDE OWNER WITH COMPLETE COPY OF JOBSITE BINDER.

**EROSION CONTROL COST ESTIMATE:**

| Description                  | Quantity | Unit | Unit Cost  | Amount      |
|------------------------------|----------|------|------------|-------------|
| SILT FENCE                   | 1900     | LF   | \$6.00     | \$11,400.00 |
| INLET PROTECTION             | 4        | EA   | \$350.00   | \$1,400.00  |
| VEHICLE TRACK CTL            | 1        | EA   | \$3,075.00 | \$3,075.00  |
| TEMPORARY SEEDING            | 23700    | SY   | \$1.10     | \$26,070.00 |
| CONC WASH OUT                | 1        | EA   | \$760.00   | \$760.00    |
| STABILIZED STAGING AREA      | 1        | EA   | \$855.00   | \$855.00    |
| SUBTOTAL                     |          |      |            | \$43,560.00 |
| 40% MANT FEE AND REPLACEMENT |          |      |            | \$17,424.00 |
| TOTAL                        |          |      |            | \$60,984.00 |

GALLOWAY & COMPANY DOES NOT GUARANTEE THAT THE COST WILL NOT VARY FROM THESE OPINIONS OF PROBABLE COSTS.



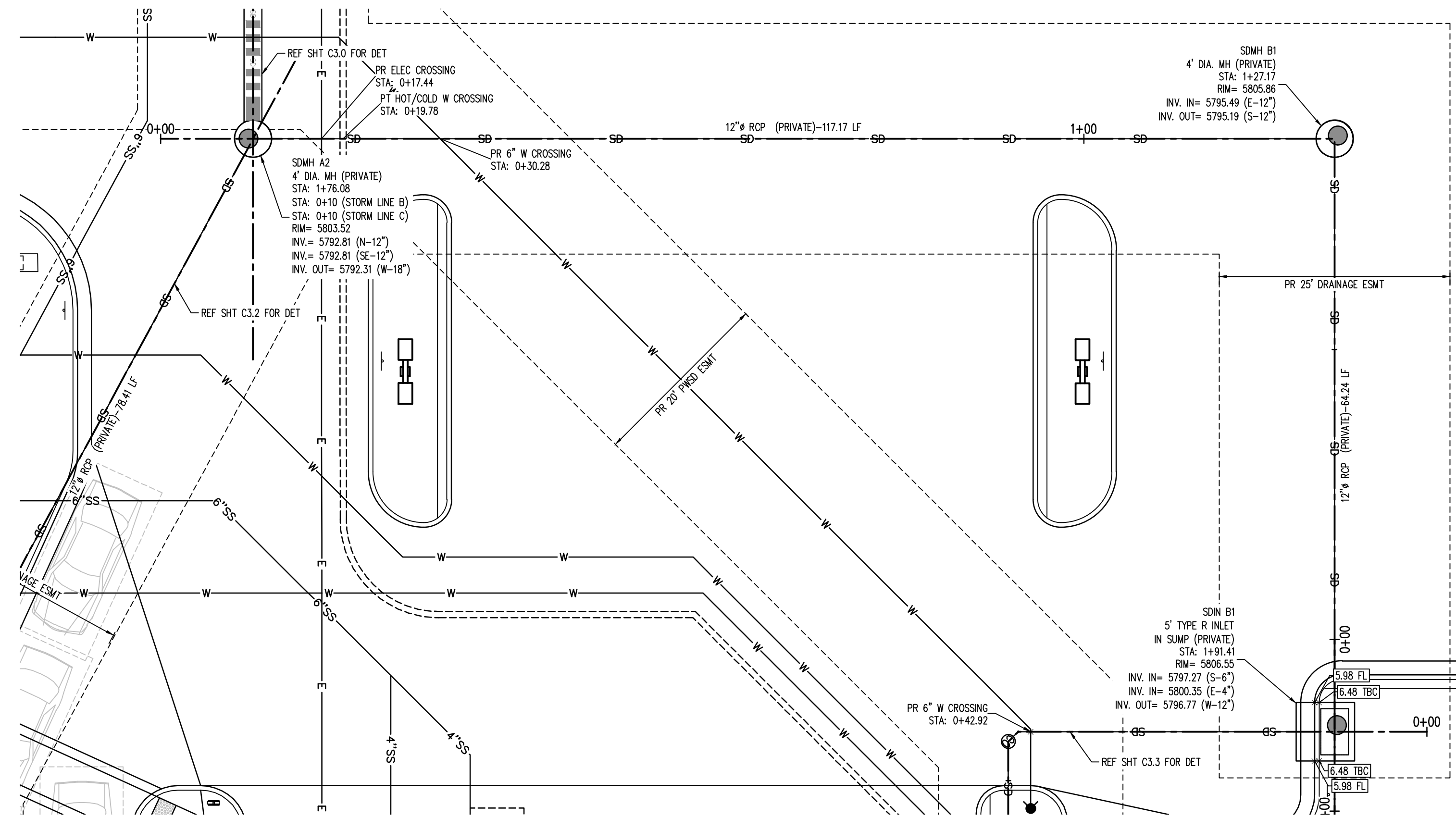




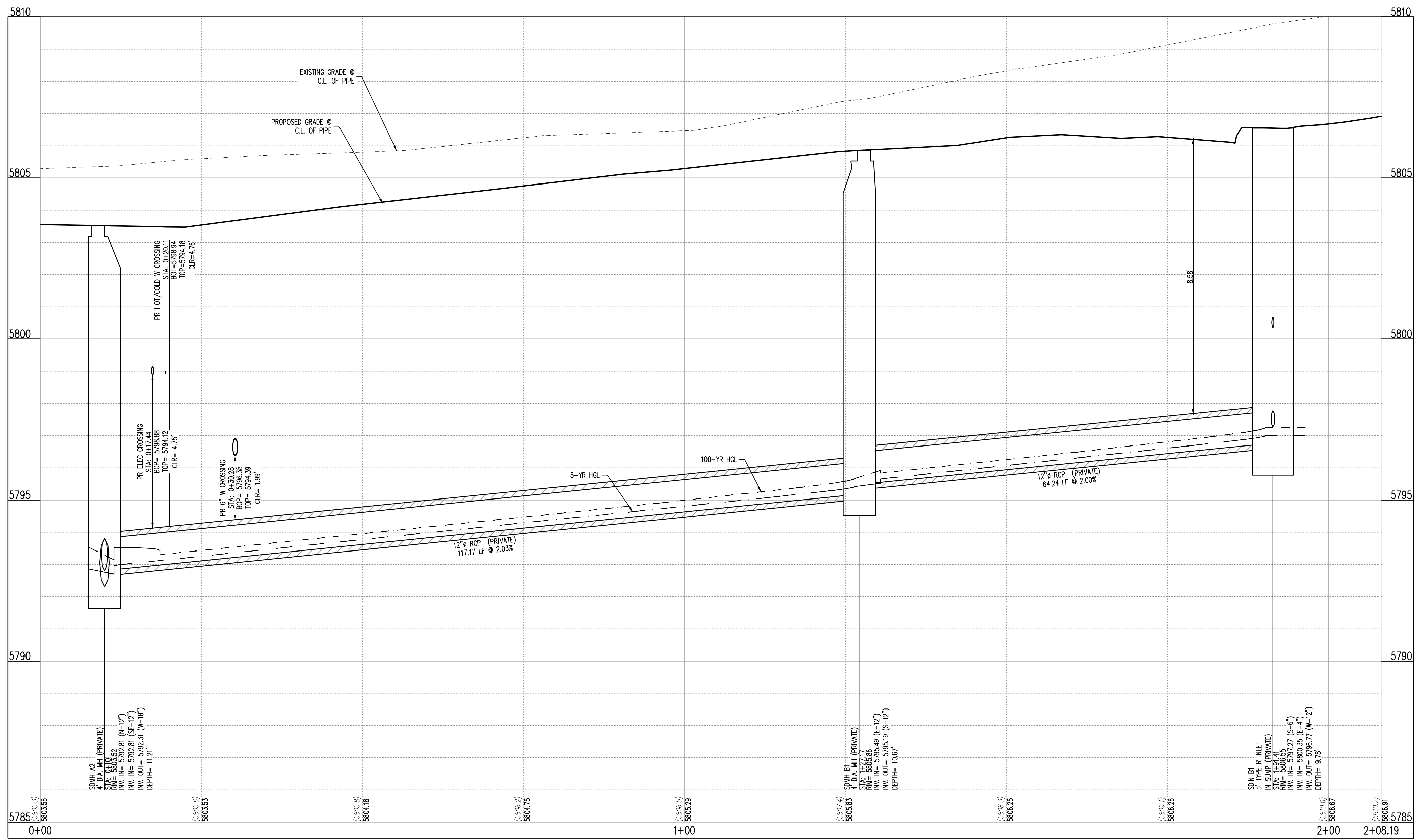








STORM LINE B - PLAN: STA 0+00 TO 2+00  
SCALE: 1"=10'



STORM LINE B - PROFILE: STA 0+00 TO 2+00  
SCALE: 1"=10' HORIZONTAL AND 1"=2' VERTICAL



KEY MAP  
NOT TO SCALE

**STORM LEGEND**

- PROPERTY BOUNDARY LINE
- EXISTING LOT LINE
- - - PROPOSED LOT LINE
- - - EXISTING EASEMENT
- - - PROPOSED SAWCUT LINE
- - - EXISTING TO REMAIN
- - - PROPOSED NEW
- EXISTING ELECTRICAL PULL BOX
- EXISTING PAD MOUNTED TRANSFORMER
- EXISTING LIGHT POLE
- PROPOSED SITE LIGHTING
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM SEWER MANHOLE
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EXISTING STORM DRAIN
- W — EXISTING WATER LINE
- SS — EXISTING SANITARY SEWER
- PROPOSED STORM DRAIN (GREATER THAN 12" DIAMETER)
- SD — PROPOSED STORM DRAIN (LESS THAN 12" DIAMETER)
- SS — PROPOSED SANITARY SEWER (SIZE INDICATED ON PLAN)
- W — PROPOSED WATER LINE (SIZE INDICATED ON PLAN)
- E — PROPOSED ELECTRIC LINE

**NOTES:**

1. ALL RCP STORM SEWER PIPE SHALL BE CLASS III.
2. ALL PROPOSED STORM SEWER IS PRIVATE.
3. STORM SEWER HORIZONTAL ALIGNMENT IS APPROXIMATE. STORM SEWER SHOWN ON PLANS IS CENTER OF STRUCTURE TO CENTER OF STRUCTURE. CONTRACTOR TO ADJUST STORM SEWER ALIGNMENT TO MIDPOINT OF INSIDE FACE OF BOX.
4. CONTRACTOR SHALL VERIFY LOCATION AND INVERTS OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF CONFLICTS.
5. DRY UTILITY ELEVATIONS ARE APPROXIMATE AND NEED TO BE VERIFIED BY THE CONTRACTOR.
6. PROPOSED FLOWLINE ELEVATION DOES NOT TAKE INTO ACCOUNT GUTTER DEPRESSION AT INLETS. REF. TBC ELEVATIONS AT CURB INLETS.
7. TBC ELEVATIONS OF INLET STRUCTURES IN PROFILE VIEW ARE AT CL OF ALIGNMENT. REF. TBC PLAN ELEVATIONS.
8. ALL STORM SEWER CONNECTIONS TO PREFABRICATED INLETS OR MANHOLES MUST USE A REINFORCED CONCRETE COLLAR.
9. STRUCTURE STATION AND RM ELEVATIONS ARE AT THE CENTER OF THE STRUCTURE. REFERENCE PLAN ELEVATIONS AND RM GRADE LABELS.
10. DRY UTILITY CROSSING LOCATIONS & DEPTHS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF CONFLICTS. EXISTING UTILITY RELOCATIONS SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING \_\_\_\_\_ DATE \_\_\_\_\_

**LEGAL DESCRIPTION**

LOT 1, PARKER & PINE FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO

**BENCHMARK**

PUBLISHED BENCHMARK: ELEVATIONS ARE BASED ON A DOUGLAS COUNTY CONTROL MONUMENT, STATION NAME: CRAIN, BEING A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 INCH CULVERT, 25 FEET WEST OF THE EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.

ELEVATION = 5734.25 FEET (NAVD 88) PUBLISHED BY DOUGLAS COUNTY

**BASIS OF BEARING**

BASES OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST BEARS N001°17'51"E, MONUMENTED BY THE SOUTHWEST CORNER OF SAID SECTION 10, BEING A 3-1/4 INCH ALUMINUM CAP STAMPED "LS 19003", AND MONUMENTED BY THE WEST QUARTER CORNER OF SAID SECTION 10, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 22561", AS SHOWN HEREON.

**CAUTION - NOTICE TO CONTRACTOR**

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



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IN-N-OUT BURGER  
CONSTRUCTION DOCUMENTS  
PARKER & PINE FILING NO. 1, LOT 1  
PARKER, CO 80134

| # | Date       | Issue / Description | Init. |
|---|------------|---------------------|-------|
| 1 | 12/21/2022 | 1ST CD SUBMITTAL    | PJD   |

Project No: INC000014-20  
Drawn By: JNE  
Checked By: PJD  
Date: 12/21/2022

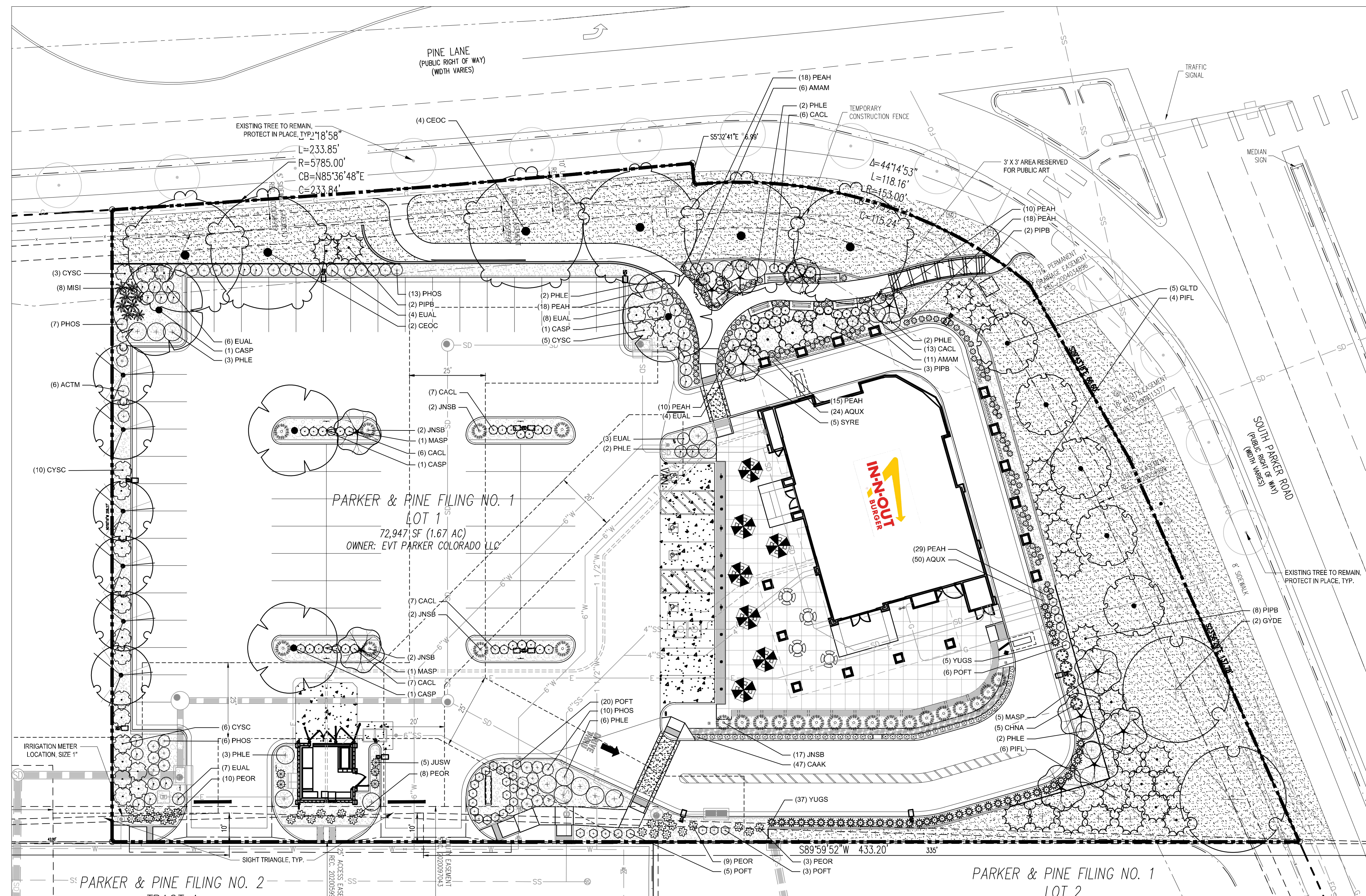
**STORM PLAN & PROFILE**











**PLANT SCHEDULE**

| DECIDUOUS TREES    | CODE   | QTY       | COMMON NAME                      | BOTANICAL NAME                             |
|--------------------|--------|-----------|----------------------------------|--|
|                    | CASP   | 4         | NORTHERN CATALPA                 | CATALPA SPECIOSA                           |
|                    | CEOC   | 6         | COMMON HACKBERRY                 | CELTIS OCCIDENTALIS                        |
|                    | GLTD   | 5         | STREET KEEPER HONEY LOCUST       | GLEDITSIA TRIACANTHOS INERMIS 'DRAVES' TM  |
|                    | GYDE   | 2         | KENTUCKY COFFEETREE 'ESPRESSO'   | GYMNOCLAUDUS DIOICA 'ESPRESSO'             |
| EVERGREEN TREES    | CODE   | QTY       | COMMON NAME                      | BOTANICAL NAME                             |
|                    | PIPB   | 15        | BAKER COLORADO SPRUCE            | PICEA PUNGENS 'BAKER'                      |
|                    | PIFL   | 10        | VANDERWOLF'S PYRAMID LIMBER PINE | PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'      |
| ORNAMENTAL TREES   | CODE   | QTY       | COMMON NAME                      | BOTANICAL NAME                             |
|                    | ACTM   | 6         | HOT WINGS TATARIAN MAPLE         | ACER TATARICUM 'GARANN' TM                 |
|                    | MASP   | 7         | SPRING SNOW CRABAPPLE            | MALUS X 'SPRING SNOW'                      |
|                    | SYRE   | 5         | JAPANESE TREE LILAC              | SYRINGA RETICULATA                         |
| UPRIGHT JUNIPERS   | CODE   | QTY       | COMMON NAME                      | BOTANICAL NAME                             |
|                    | JUSW   | 5         | WOODWARD JUNIPER                 | JUNIPERUS SCOPULORUM 'WOODWARD'            |
| DECIDUOUS SHRUBS   | CODE   | QTY       | COMMON NAME                      | BOTANICAL NAME                             |
|                    | CACL   | 46        | BLUE MIST SPIREA                 | CARYOPTERIS X CLANDONENSIS 'BLUE MIST'     |
|                    | CHNA   | 5         | RABBITBRUSH                      | CHRYSOETHAMNUS NAUSEOSUS                   |
|                    | EUAL   | 32        | COMPACT BURNING BUSH             | EUKOBYMUS ALATUS 'COMPACTUS'               |
|                    | AMAM   | 17        | WAXFLOWER                        | JAMESIA AMERICANA                          |
|                    | PHLE   | 22        | CHEYENNE MOCKORANGE              | PHILADELPHUS LEWISII 'PWY01S' TM           |
|                    | PHOS   | 36        | SUMMER WINE NINEBARK             | PHYSOCARPUS OPULIFOLIUS 'SEWARD' TM        |
|                    | POFT   | 21        | TANGERINE POTENTILLA             | POTENTILLA FRUTICOSA 'TANGERINE'           |
| EVERGREEN SHRUBS   | CODE   | QTY       | COMMON NAME                      | BOTANICAL NAME                             |
|                    | CYSI   | 24        | MOONLIGHT BROOM                  | CYTISUS SCOPARIUS 'MOONLIGHT'              |
|                    | JNSB   | 25        | BROADMOOR JUNIPER                | JUNIPERUS SABINA 'BROADMOOR'               |
|                    | YUGS   | 42        | GOLDEN SWORD ADAM'S NEEDLE       | YUCCA FILAMENTOSA 'GOLDEN SWORD'           |
| ORNAMENTAL GRASSES | CODE   | QTY       | COMMON NAME                      | BOTANICAL NAME                             |
|                    | CAAK   | 47        | KARL FOERSTER FEATHER REED GRASS | CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' |
|                    | MISI   | 8         | MAIDEN GRASS                     | MISCANTHUS SINENSIS 'GRACILIMUS'           |
|                    | PEAH   | 118       | HAMELN FOUNTAIN GRASS            | PENNISETUM ALOPECUROIDES 'HAMELN'          |
|                    | PEOR   | 30        | KARLEY ROSE FOUNTAIN GRASS       | PENNISETUM ORIENTALE 'KARLEY ROSE'         |
| PERENNIALS         | CODE   | QTY       | COMMON NAME                      | BOTANICAL NAME                             |
|                    | AQUX   | 74        | HYBRID COLUMBINE                 | AQUILEGIA X                                |
| MULCH              | CODE   | QTY       | COMMON NAME                      | BOTANICAL NAME                             |
|                    | RMULCH | 9,206 SF  | 2"-4" ROCK COBBLE MULCH          | 2"-4" ROCK COBBLE MULCH                    |
| SOD/SEED           | CODE   | QTY       | COMMON NAME                      | BOTANICAL NAME                             |
|                    | SOD    | 17,654 SF | COLORADO BLUE BUFFALO SOD        | COLORADO BLUE BUFFALO SOD                  |

SEE SHEET 4 FOR FULL PLANTING SCHEDULE.

**PLAN PREPARED BY:**

GALLOWAY & COMPANY, INC.  
 610 S. WILLOW DRIVE, SUITE 320  
 GREENWOOD VILLAGE, CO 80111  
 TEL: (303) 770-8884  
 FAX: (303) 770-3636

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TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

**CAUTION**  
 UTILITIES EXIST WITHIN CONSTRUCTION LIMITS. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THEIR LOCATION PRIOR TO CONSTRUCTION.

**CAUTION**  
 UTILITIES EXIST WITHIN CONSTRUCTION LIMITS. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THEIR LOCATION PRIOR TO CONSTRUCTION.

**UTILITY NOTES**

1. THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
2. THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
3. THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HERE IN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

**SIGHT DISTANCE CERTIFICATION**

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED SUBDIVISION, PARKER & PINE FILING NO. 1, LOT 1, IS DESIGNED IN ACCORDANCE WITH THE TOWN OF PARKER SIGHT DISTANCE CRITERIA AND WITH AASHTO POLICY ON GEOMETRIC DESIGN OF HIGHWAY AND STREETS.

ANY WORK ACCOMPLISHED WITHOUT THE APPROVAL OF THE INSPECTOR WILL BE SUBJECT TO REJECTION.  
 REVIEWED FOR CONFORMANCE TO PARKER WATER AND SANITATION DISTRICT STANDARDS.  
 BY: \_\_\_\_\_  
 (DISTRICT REPRESENTATIVE)  
 DATE: \_\_\_\_\_  
 APPROVED FOR CONSTRUCTION:  
 PARKER WATER AND SANITATION DISTRICT  
 BY: \_\_\_\_\_  
 (DISTRICT ENGINEER)  
 DATE: \_\_\_\_\_  
 (REGISTERED PROFESSIONAL ENGINEER) (LICENSE NO.) (DATE)

THE DISTRICT INSPECTOR MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION. CALL PARKER WATER AND SANITATION DISTRICT AT 303-841-4627. THE DISTRICT WILL PROVIDE PERIODIC INSPECTIONS OF THE WORK. 24 HOUR NOTICE TO THE INSPECTOR IS REQUIRED FOR SCHEDULING INSPECTIONS.

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IN-N-OUT BURGER  
 SITE PLAN  
 PARKER & PINE FILING NO. 1, LOT 1  
 PARKER, CO 80134

| # | Date       | Issue / Description | Init. |
|---|------------|---------------------|-------|
| 1 | 12/21/2022 | 1ST CD SUBMITTAL    | PJD   |

| Project No. | IN000014.20 |
|-------------|-------------|
| Drawn By:   | KES         |
| Checked By: | JW          |
| Date:       | 12/23/2022  |

**LANDSCAPE PLAN**

**L1.0**  
 Sheet 26 of 28



