

Response: _____

Sketch/Preliminary Plan:

3. Please see the attached redlines of both the Sketch/Preliminary Plan.

Complied: Yes No

Response: _____

4. Although requested by Patrick Mulready, the Town of Parker does not record Preliminary Plans and therefore all signatures, certificates and dedications which reference recording can be removed (see redlines for specific instructions).

Complied: Yes No

Response: _____

5. Please compile a list of potential internal street names, including for the private streets associated with PA5 and PA6. These should be submitted to Chris Boyd at the Douglas County Planning Department to confirm the names are not duplicates of names being used elsewhere in Douglas County. Once the County has confirmed the applicant's chosen names are not duplicates, these may be applied to the internal street network shown on the Sketch/Preliminary Plan exhibit with the revised submittal, and carried forward to the future Final Plat.

Complied: Yes No

Response: _____

6. The lots within Planning Area 41 and 47 are required to be a minimum of 0.67 acres in size. With the proposed Planned Development Guide Amendment the lots within these Planning Areas can be reduced in size if for an Age Targeted Development. Please understand that if these lots are not final platted and used for an age targeted development, they will not meet the minimum requirements of the development guide.

Complied: Yes No

Response: _____

Preliminary Landscape Plan:

7. Please see the attached redlines of both the Preliminary Landscape Plan.

Complied: Yes No

Response: _____

8. It is staff's understanding that the applicant is in discussions with the Town's Recreation Department about partnering on a design for the large 17-acre park within the development, and after construction of the agreed regional park amenities, the park would be dedicated to the Town for ownership and maintenance, minus and neighborhood pool facilities. Staff is unable to ascertain if the design shown on the Park Facilities master plan for this large park are consistent with the discussions the applicant has been having with representatives of our Recreation Department. We encourage the applicant to continue to work with our Recreation Department and provide staff with a summary of what design decisions have been made concerning how the park is to be programmed as a regional amenity to be owned by the Town as part of a resubmittal of the project.

Complied: Yes No

Response: _____

9. Please include a note as to how the development is going to mitigate for the trees and shrubs proposed to be removed. Based on Section 13.10.110 of the Parker Land Development Ordinance:

The requirements for replacement trees and shrubs may be satisfied by a fee in lieu of the value of the required replacement plant, paid to the Town, or by planting trees and shrubs of appropriate value.

Based on the submitted Preliminary Landscape Plan, the trees and shrubs proposed to be planted on site should meet this minimum.

Complied: Yes No

Response: _____

10. Based on Section 13.07.140 the following standard is required for fencing:

Where public parks or open space are bordered predominantly by private rear or side yards, only open fences (e.g., split rail fences) no higher than forty-eight (48) inches may be erected on the common boundaries with the park or open space. Opaque fences and walls (e.g., privacy fences) are prohibited in yards bordering the park or open space.

The open rail fence proposed will need to be reduced in height to 48 inches to meet the maximum height allowed.

Complied: Yes No

Response: _____

11. Please include images of the park equipment that will be provided within each park. It may be easier to break each park up on its own page and provide images of amenities that will be provided in each. Images should include any benches, shelters, trash receptacles, play equipment, pet stations, etc.

Complied: Yes No

Response: _____

Outside Referral Agency Comments:

12. Please address all outside referral agency comments with a written response.

Complied: Yes No

Response: _____

Applicant Acceptance:

Please sign below and acknowledge that all items referenced in this letter have been reviewed and complied with, or have been provided with an explanation concerning non-compliance.

Property Owner **Date**
Print Name: _____
Title: _____

Project Representative *(if different from Property Owner)* **Date**
Print Name: _____
Title: _____

Hess Ranch Development
Town of Parker, Colorado

PD DEVELOPMENT GUIDE -- FIRST AMENDMENT

November 11, 2016

Commented [NS1]: Please revise date to be consistent with hearing dates, once scheduled.

Owner:

E5X Management
7353 South Alton Way
Centennial, Colorado 80112
303.770.9111
Contact: Matt Janke/Chris Elliot

Planning Consultants:

PCS Group, Inc.
1001 16th Street, #3-B-180
Denver, Colorado 80265
720.259.8246
Contact: John Prestwich

Engineering Consultants:

CVL Consultants of Colorado, Inc.
10333 E. Dry Creek Road, Suite 240
Englewood, Colorado 80112
720.482.9526
Contact: Karl Knapp/Jim Jannicke

Traffic Consulting

David Evans & Associates, Inc.
1331171st Street, Suite 900
Denver, 720.946.0969.296.4300
Contact Anna Ericson
June 26, 2015

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I. GENERAL PROVISIONS

A. Application

The standards outlined in the Development Guide shall apply to all property contained within the "HESS RANCH DEVELOPMENT PLAN AND GUIDE" (the "Development Plan") except as provided herein. The standards outlined in the Development Plan may be divergent from the zoning regulations contained in Chapter 13.04 of the Parker Municipal Code, but not any other Chapter of the Parker Municipal Code. In the event there is a conflict between the standards contained in the Development Plan and the Parker Municipal Code (excluding Chapter 13.04) then the Parker Municipal Code shall control. The terms "DEVELOPMENT PLAN" and "MASTER PLAN" may be used interchangeably.

This Development Guide is only one of several documents that will help guide the Hess Ranch Planned Development. The Development Guide and the Development Plan are the planning documents for this development.

The Development Agreement is a third document that will help frame the overall development with specific language of agreements, triggers, responsibilities, etc. Please refer to this document to gain a full understanding of the Hess Ranch Planned Development.

B. Density Standards

The Dwelling Unit Density permitted in any residential Planning Area is an Average Density that shall apply to the entire residential Planning Area and shall not be specifically applicable to any portion thereof. The Average Density of any residential Planning Area shall be computed by dividing the total number of Dwelling Units in the residential Planning Area by the gross acres in the residential Planning Area.

C. Density Variation

In no event shall the total number of 3,379 residential Dwelling Units within all Planning Areas as set forth on the "HESS RANCH DEVELOPMENT PLAN AND GUIDE" be exceeded.

In general, residential Planning Areas may contain up to an additional twenty percent (20%) of the number of units allowed for each Planning Area, as set forth in the "HESS RANCH PD DEVELOPMENT PLAN AND GUIDE", as determined by the Developer. The total number of Dwelling Units actually developed in a Planning Area may be less than the number established on the Development Plan. Unbuilt or unused dwelling units resulting from the Final Plat of any Planning Area, may be transferred to other areas provided that the receiving Planning Area not exceed 20% of the original density provided for on the Hess Ranch Development Plan. The transfer of any unbuilt or unused dwelling units may occur at any time throughout the development process of Hess Ranch. Any increase or decrease of dwelling units within a Planning Area by more than 20% must be processed as a Major Amendment under Section 13.04.240 of the Parker Municipal Code.

D. Planning Area Boundaries

Wherever a Planning Area abuts a street as shown on the "HESS RANCH DEVELOPMENT PLAN", the Planning Area boundary is the edge of the abutting right-of-way of such street (except Crowfoot Valley Road). Wherever a Planning Area does not so abut a street, the Planning Area boundary shall be as shown on the "HESS RANCH DEVELOPMENT PLAN". Modifications in Planning Area boundaries and streets may be accomplished by the Developer by final road alignments or engineering refinements shown on a Site Plan or Plat, without any amendment to

the "HESS RANCH DEVELOPMENT PLAN" provided the Planning Area does not increase or decrease by more than twenty percent (20%) in size.

E. Underground Utility Requirements

All electrical and communications distribution lines shall be placed underground. All transmission lines shall be underground unless same cannot be accomplished by direct burial.

F. Homeowner Associations

Homeowner Associations composed of property owners in residential areas may be created for the following purposes: a) to provide for the continued development, improvement and maintenance of properties and facilities which it owns or administers, and b) to protect the investment, enhance the value, and control the use of property owned by its members.

Homeowner's Associations or special districts may be created in residential areas where common lands or facilities are to be owned and maintained by the Homeowner's Association or special district.

II. DEFINITIONS

A. Purposes: It is the purpose of this Article to define words, terms and phrases contained within this PD Development Guide. See the Town of Parker Land Development Code for other definitions not defined herein.

B. Word Usage: In the interpretation of this Guide, the provisions and rules of this section shall be observed and applied, except when the context requires otherwise.

1. The particular controls the general.
2. In the case of any difference of meaning or implication between the text of this Guide and any caption or table, the text shall control.
3. Words used or defined in one tense or form shall include other tenses and derivative forms.
4. Words in the singular number shall include the plural number and words in the plural number shall include the singular number.
5. The masculine gender shall include the feminine and the feminine gender shall include the masculine.
6. The word "shall" is mandatory.
7. The word "may" is permissive.

C. Definitions:

1. **Abut.** To have a common border with.
2. **Accessory Buildings.** Detached subordinate building(s) or Structure(s), the use of which is customarily incidental to that of the Principal Building or to the main use of the land and which is located on the same lot with the Main Building or use, including carriage house units located above detached and semi-detached garages, designated for and occupied by not more than one family, and with a maximum size of 600 square feet.
3. **Age Targeted Dwelling.** Housing designed to appeal to the lifestyle needs of buyers over 55 years of age.
4. **Age Restricted Dwelling.** Housing limited to buyers and occupants 55 years of age or older.

5. **Building, Principal or Main.** A building or buildings which may contain one or more Dwelling Unit(s) in which is conducted one or more of the permitted Principal Uses of the Lot or project in which it is situated and including areas such as garages, carports, storage sheds which are attached to or architecturally integrated with the principal building.
6. **Building Front.** That exterior wall of a Building which faces a Front Lot Line of a Lot.
7. **Building Ground Coverage.** The amount of land covered or permitted to be covered by a Building.
8. **Building Setback.** The distance between the Building and the adjacent street right-of-way, property line, exterior of the Private Street Easement, or external planning area boundary.
9. **Building Side.** That exterior wall of a Building which faces a Side Lot Line of a Lot.
10. **Building Rear.** That exterior wall of a Building which faces a Rear Lot Line of a Lot.
11. **Car Care Center.** An establishment providing sales of vehicle fuel and such services as lubrication, oil and tire changes, and minor repairs. This use does not include paint spraying or body repair.
12. **Density, Gross or Average.** A ratio of number of Dwelling Units per acre calculated by dividing the number of Dwelling Units within the boundary of one or more residential Planning Areas or portion thereof by the number of acres contained within the Planning Area(s) or portions thereof; including all land within said Planning Area(s) or portion thereof reserved or dedicated for Parks, Open Space, recreation, educational, community, or public use, and Public Street rights-of-way and Easements. For calculation purposes, the gross density excludes the 100-year floodplain as mapped by FEMA and slopes of 20% or greater.
13. **Density, Net.** A ratio of number of Dwelling units per acre calculated by dividing the number of Dwelling Units within the boundary of one or more residential Planning Areas or portion thereof by the number of acres contained within the Planning Area(s) or portion thereof; excluding all land within said Planning Area(s) or portion thereof reserved or dedicated for Roads, Parks, Open Space, recreations, educational, community or public use, and Public Street rights-of-ways and easements. For calculation purposes, the gross density excludes the 100-year floodplain as mapped by FEMA and slopes of 20% or greater
14. **Dwelling Unit, Atrium.** An alternative type of Single Family Detached or Attached Dwelling Unit in which the private Individual Open Space associated with each Dwelling Unit is consolidated into a private yard surrounded by buildings or walls forming an atria. This atria replaces the conventional front side and rear yards associated with traditional Single Family Detached Dwelling Units.
15. **Dwelling Unit, Clustered Single Family.** A type of Single Family Detached or Attached Dwelling Unit development that combines reduced lot size with compensating amounts of Open Space within the proposed development.
16. **Dwelling Unit, Patio.** An alternative type of Single Family Detached or Attached Dwelling Unit in which the private Individual Open Space associated with each Dwelling Unit is consolidated into a garden or patio area commonly located toward the side or rear of the Lot. This patio area replaces the conventional

- front, side and rear yards associated with traditional Single Family Detached Dwelling Units.
17. **Dwelling Unit, Single Family Attached.** A Building designated for and containing more than one Dwelling Unit and occupied by not more than 6 families within one Structure each which is separated from the others by one (1) or more un-pierced walls from ground to roof.
 18. **Dwelling Unit, Single Family Detached.** A type of Dwelling Unit designated for and occupied by not more than one family and having no roof, wall or floor in common with any other Dwelling Unit.
 19. **Dwelling Unit, Townhome.** A type of Single Family Attached or Multi-Family Dwelling Unit in which each single Dwelling Unit goes from ground to roof and is separated from other Townhome Dwelling Units by a common wall. Each Townhome Dwelling Unit has Individual outside access. Townhome Dwelling Units may have no side yards, or front and rear yards. May include duplex, triplex, fourplex, or more.
 20. **Dwelling Unit, Zero Lot Line.** An alternative type of Single Family Detached Dwelling Unit which is situated on a Lot so that one or more sides rest directly on the boundary line of the Lot.
 21. **Dwelling Unit, Live/Work.** An alternative type of Townhome Dwelling Unit in which a range of retail goods and services, consistent with the Mixed Use (MU) designation are permitted, in combination with residential use, and where residential setbacks apply.
 22. **Dwelling Unit, Condominium.** A type of Single Family Dwelling Unit. The unit is individually owned, each owner receives a recordable deed to the individual unit purchased, including the right to sell, mortgage, etc., that unit and sharing in joint ownership of any common grounds, passageways, etc.
 23. **Easement, Private Street.** An acquired right of use, interest or privilege in land owned by another containing a privately owned access way constructed to the specifications of the Town of Parker but not maintained by the Town of Parker. Town of Parker and Parker Fire Protection District approved fire access shall be provided in all cases.
 24. **Exterior Storage.** Outdoor storage of fuel, raw materials, products and equipment. In the case of lumberyards, exterior storage includes all impervious materials stored outdoors.
 25. **Garage, Parallel.** A garage, attached or detached, which is oriented so that the axis which corresponds with the garage opening is substantially parallel to the adjacent street from which the Lot derives access.
 26. **Garage, Perpendicular.** A garage, attached or detached, which is oriented so that the axis which corresponds with the garage opening is substantially perpendicular to the adjacent street from which the Lot derives access.
 27. **Group Care Facilities.** A facility where three or more persons are provided supervision and a planned treatment of counselling, therapy or other rehabilitative social services in a family environment. Such residence must be licensed by or operated by a federal, state, county or local judicial health/welfare agency or serve only referrals from such agencies. Examples of group care facilities are: group foster care, children's homes, halfway houses, rehabilitative centers, assisted living, maternity or senior citizen homes.
 28. **Land Use Category.** A set of permitted land use types which are aggregated to form a land use classification similar in nature to zoning districts. Each Land Use

Category is identified on the PD Master Plan and in Section III. Land Use Regulations of this PD Development Guide.

A. UNIFORM LAND USES

- 1) Single Family Detached Dwellings
 - 2) Duplex
 - 3) Single Family Attached Dwellings-these will include atrium clustered patio, live work, townhome, duplex, including duplex, triplex and fourplex dwelling units.
 - 4) Multifamily
 - 5) Live/Work Dwelling Units - shall be associated with all MU planning areas and shall be located above retail/commercial areas that are compatible with a live work community. Usually associated with commercial developments.
 - 6) Accessory Dwelling Units - shall include all structures described in the Parker Land Use Ordinance 13.04.170. May also include utility facility enclosures and well sites.
 - 7) Places of Religious Assembly
 - 8) Accessory Structure and Uses
 - 9) Open Space
 - 10) Parks
 - 11) Neighborhood Recreational Centers and Facilities
 - 12) Group Home - refer to Group Care Facilities definition
 - 13) Assisted Living Residence - a housing facility that provides assistance to disabled individuals. These individuals cannot perform all of the ADL's (activities of daily living) i.e. eating, bathing, feeding, etc. These facilitates do not provide 24 hour care.
 - 14) Long Term Care Facility/Nursing Home
29. **Nursery.** An enterprise which conducts the retail and wholesale sale of plants grown on the site, as well as accessory items (but not farm implements) directly related to their care and maintenance. The accessory items normally sold are clay pots, polling soil, fertilizers, insecticides, hanging baskets, rakes and shovels.
30. **Planning Areas.** Areas of land delineated on the PD Master Plan identified with a phrase or symbol which designates a specific set of permitted land use types according to the Land Use Categories provided in Section III. - Land Use Regulations of this PD Development Guide. Planning Area boundaries are as depicted on the PD Master Plan.
31. **Planning Commission.** The Planning Commission of the Town of Parker.
32. **Principal Use.** The specific primary purpose, activity or use for which land or any building thereon is designed, arranged or intended, or for which it is occupied or maintained.
33. **Recreational Vehicle.** A vehicle or a unit that is mounted on or drawn by another vehicle primarily designed for recreation or temporary living. Recreational vehicles include travel trailers, camping trailers, truck campers, mobile homes, boats, snowmobiles and other similar recreation equipment.
34. **Restaurant, Conventional.** An establishment whose principal business is the sale of food and/or beverages to customers whose principal method of

- operation includes one or both of the following characteristics: (1) customers, normally provided with an individual menu, are served their foods and beverages by a restaurant employee at the same table or counter at which food and beverages are consumed. And (2) cafeteria type operation where food and beverages generally are consumed within the restaurant building.
35. **Restaurant, Fast Food.** An establishment whose principal business is the sale of food and/or beverages in a "ready to consume" state: (1) within the restaurant building; (2) within a motor vehicle parked on the premises; or (3) off the premises as carry out orders and whose principal method of operation includes the following characteristics: food and/or beverages are usually served in edible containers or in paper, plastic or other disposable containers.
 36. **Restaurant, Fast Food With Drive Through Facilities.** Drive-in or drive-through means an accessory use to a building or facility that by design facilitates, encourages or allows customers to receive services or obtain goods while remaining in their motor vehicle, excluding reserved parking spaces for take-out goods where there is no menu board or communication facility.
 37. **Setback.** The distance between the building line and the adjacent street right-of-way line or Lot Boundary.
 38. **Structure.** Anything constructed or erected, which requires permanent location on the ground or is attached to something having a permanent location on the ground, but not including fences or walls less than six (6) feet, poles, lines, cables, or other transmission or distribution facilities or public utilities.
 39. **Town Council.** The Town Council for the Town of Parker.
 40. **Traditional Neighborhood Design (TND).** Traditional Neighborhood Design standards are intended to provide flexibility allowing land use patterns representative of those that were planned earlier in the 20th century. Traditional neighborhoods generally have a broad mix of uses including Single Family and Multi-Family land use patterns that help to create more pedestrian friendly streetscapes, in neighborhoods where homes and other uses orient toward the street.
 41. **Transit Oriented Design (TOD).** Transit Oriented Design neighborhoods contain a broad mix of uses including Single Family and Multi-Family residential combined with commercial and retail opportunities in land use patterns that help to create a pedestrian friendly environment, with convenient access to public transit.

III. LAND USE REGULATIONS

A. General

At the time of the Town Council's approval of this Development Plan and Guide, Planning Areas designated as SFe, SFf and SFg are within an area that is regulated by an Intergovernmental Agreement (IGA) between the Town of Parker and the City of Lone Tree. The number of dwelling units prescribed by the IGA is limited to 100 units for these Planning Areas. On September 5, 2015 the IGA expires. The day after, September 8, 2015, the cumulative number of dwelling units allowed for Planning Areas 27, 28, 29, 30, 31, 32 and 33 will be increased to a number greater than 100. This increase will not require a Major Amendment to the Development Plan and will be counted as part of the overall 3,379 dwelling units allowed by the Plan.

B. Residential (SFd)

1. Intent

Provide for residential Development allowing for a variety of Single Family Detached Dwelling Units, Zero Lot Line Dwelling Units, Single Family Attached, Semi-detached, Clustered Single Family Dwelling Units, Duplex, Triplex, and Fourplex Dwelling Units, Townhome Dwelling Units, Condominium Dwelling Units and Accessory Uses.

2. Uses Permitted by Right

- a. Single Family Detached Dwelling Units.
- b. Zero Lot Line Dwelling Units
- c. Duplex, Triplex, and Fourplex Dwelling Units.
- d. Townhome Dwelling Units including Single Family Attached, Semi-detached Dwelling Units and Live/Work Dwelling Units.
- e. Condominiums
- f. Age targeted housing (Not depicted on plan for this PD Submittal – Will be included in Site Plan/Subdivision Submittals)
- g. Age restricted senior housing. (Not depicted on plan for this PD Submittal – Will be included In Site Plan/Subdivision Submittals)
- h. Group Homes/Nursing Homes
- i. Clustered Single Family Dwelling Units, including but not limited to Zero Lot Line Dwelling Units, Patio Dwelling Units, Two, Three, and Four Family Dwelling Units and Atrium Dwelling Units.
- j. A temporary sales and marketing center function developed to showcase a variety of builders and housing types within a limited area.
- k. Attached or detached private garages (3 cars maximum).
- l. Commonly associated Accessory Uses, incidental to the Principal Use or Building, including but not limited to: carriage house units not for sale, storage sheds, private greenhouses, home occupations, radio or TV antenna, TV satellite dishes, private tennis courts, private swimming pools, and private facilities for the keeping of household pets according to the regulations and standards within the Parker Municipal Code.
- m. Public Open Space.
- n. Private recreational and park uses, country clubs, recreational facilities, including but not limited to: tennis courts, swimming pools and jogging, riding, hiking and biking trails.
- o. Public parks, playgrounds and other recreational areas.
- p. Places of religious assembly, religious schools.
- q. Any other uses consistent with the purposes of this Section and compatible with the uses set forth herein, as permitted by Section 13.04.220 of the Parker Municipal Code.
- r. Public and private schools and related administrative facilities for elementary and secondary education.

3. Uses Permitted by Special Review

- a. Buildings, garages and utility stations related to emergency services, such as ambulance, fire, police and rescue.
- b. Neighborhood public service, health and education facilities, such as community centers, libraries and museums.
- c. Child Care Centers.

4. **Accessory uses and building - Refer to Town of Parker Land Use Ordinance 13.04.170**

- a. Shall also include utility facilities and well sites.

5. **Development Standards**

- a. **Average Density.** The Average Density shall be up to four and five-tenths (4.5) Dwelling Units per acre for each SFd Planning Area. These Average Densities are set forth on the PD Development Plan, and reflect the number of units over the entire acreage for the Planning Area. Densities within portions of the Planning Areas will vary depending on product type.
- b. **Maximum Number of Dwelling Units.** The maximum number of Dwelling Units permitted within each SFd residential Planning Area shall not exceed 120% of the units shown on the PD Development Plan for each individual Planning Area.
- c. **Building Setback.** The minimum Building Setbacks in SFd residential Planning Area will vary depending upon the product type in any given portion of the Planning Area. The following setbacks will be associated with the different product types defined as a Use Permitted by Right.

Single Family Detached Unit

Building Front	10 feet (Principal Building) 12 feet (Garage perpendicular) 8 feet (Garage parallel)
Building Sides	10 feet from corner street
Building Sides	0 feet from other property lines
Building Rear	4 feet from alley
Building Rear	0 feet from other property lines

Zero Lot Line Dwelling Unit

Building Front	10 feet (Principal Building) 12 feet (Garage perpendicular) 8 feet (Garage parallel)
Building Sides	10 feet from corner street
Building Sides	0 feet from other property lines
Building Rear	4 feet from alley
Building Rear	0 feet from other property lines

Duplex Dwelling Unit

Building Front	10 feet (Principal Building) 12 feet (Garage perpendicular) 8 feet (Garage parallel)
Building Sides	10 feet from corner street
Building Sides	0 feet from other property lines
Building Rear	4 feet from alley
Building Rear	0 feet from other property lines

Townhome Dwelling Unit (Including Live/Work Townhomes and Condominiums)

Building Front	4 feet (Principal Building) 12 feet (Garage perpendicular) 8 feet (Garage parallel)
Building Sides	4 feet from corner street
Building Sides	0 feet from other property lines & lots with common walls
Building Rear	4 feet from alley
Building Rear	0 feet from other property lines

Patio Dwelling Unit

Building Front	8 feet (Principal Building) 10 feet (Garage perpendicular) 6 feet (Garage parallel)
Building Sides	8 feet from corner street
Building Sides	0 feet from other property lines
Building Rear	4 feet from alley
Building Rear	0 feet from other property lines

- d. **Building Separation.** The minimum building separation shall be the greater of:
 - (i) Seven and ½ (7.5) feet for Single Family Detached residential Buildings, fifteen (15) feet for Buildings containing Single Family Attached Dwelling Units and twenty (20) feet for other Principal Buildings located within SFd Land Use Planning Areas, or
 - ii) shall be governed by the applicable building code.
- e. **Building Height.** No residential Buildings within SFd Planning Areas shall exceed thirty-five (35) feet in height.
- f. **Minimum Lot Sizes.** The minimum lot sizes in SFd residential Planning Areas shall be thirty five hundred (3500) square feet.

C. Residential (SFe)

1. Intent

Provide for residential Development allowing for a variety of Single Family Detached Dwelling Units, Zero Lot Line Dwelling Units, Single Family Attached, Semi-detached, Clustered Single Family Dwelling Units, Duplex Dwelling Units, Triplex and Fourplex Dwelling Units, Townhome Dwelling Units, Condominium Dwelling Units and Accessory Uses.

2. Uses Permitted by Right

- a. Single Family Detached Dwelling Units.
- b. Zero Lot Line Dwelling Units
- c. Duplex, Triplex, and Fourplex Dwelling Units.
- d. Townhome Dwelling Units including Single Family Attached, Semi-detached Dwelling Units and Live/Work Dwelling Units.
- e. Condominiums
- f. Age targeted housing (Not depicted on plan for this PD Submittal - Will be included in Site Plan/Subdivision Submittals)
- g. Age restricted senior housing (Not depicted on plan for this PD Submittal - Will be included In Site Plan/Subdivision Submittals)

- h. Clustered Single Family Dwelling Units, including but not limited to Zero Lot Line Dwelling Units, Patio Dwelling Units, Two, Three, and Four Family Dwelling Units and Atrium Dwelling Units.
- i. Group Homes/Nursing Homes
- j. A temporary sales and marketing center function developed to showcase a variety of builders and housing types within a limited area.
- k. Attached or detached private garages (3 cars maximum).
- l. Commonly associated Accessory Uses, incidental to the Principal Use or Building, including but not limited to: carriage house units not for sale, storage sheds, private greenhouses, home occupations, radio or TV antenna, TV satellite dishes, private tennis courts, private swimming pools, and private facilities for the keeping of household pets according to the regulations and standards within the Parker Municipal Code.
- m. Public Open Space.
- n. Public and private schools and related administrative facilities for elementary and secondary education.
- o. Private recreational and park uses, country clubs, recreational facilities, including but not limited to: tennis courts, swimming pools and jogging, riding, hiking and biking trails.
- p. Public parks, playgrounds and other recreational areas.
- q. Places of religious assembly, religious schools.
- r. Any other uses consistent with the purposes of this Section and compatible with the uses set forth herein, as permitted by Section 13.04.220 of the Parker Municipal Code.

3. Uses Permitted by Special Review

- a. Buildings, garages and utility stations related to emergency services, such as ambulance, fire, police and rescue.
- b. Neighborhood public service, health and education facilities, such as community centers, libraries and museums.
- c. Child Care Centers.

4. Accessory uses and building - Refer to Town of Parker Land Use Ordinance 13.04.170

- a. Shall also include utility facilities and well sites.

5. Development Standards

- a. **Average Density.** The Average Density shall be up to six (6.0) Dwelling Units per acre for each SFe Planning Area, as set forth in the PO Development Plan, and reflect the number of units over the entire acreage for the Planning Area. Densities within portions of the Planning Area will vary depending on product type.
- b. **Maximum Number of Dwelling Units.** The maximum number of Dwelling Units permitted within each SFe residential Planning Area shall not exceed 120% of the units shown on the PD Development Plan for each individual Planning Area.
- c. **Building Setback:** The minimum Building Setbacks in SFe residential Planning Area will vary depending upon the product type in any given portion of the Planning Area. The following setbacks will be associated with the different product types defined as a Use Permitted by Right.

Single Family Detached Unit

Building Front 10 feet (Principal Building)
12 feet (Garage perpendicular)
8 feet (Garage parallel)
Building Sides 10 feet from corner street
Building Sides 0 feet from other property lines
Building Rear 4 feet from alley
Building Rear 0 feet from other property lines

Zero Lot Line Dwelling Unit

Building Front 10 feet (Principal Building)
12 feet (Garage perpendicular)
8 feet (Garage parallel)
Building Sides 10 feet from corner street
Building Sides 10 feet from other property lines
Building Rear 4 feet from alley
Building Rear 0 feet from other property lines

Duplex Dwelling Unit

Building Front 10 feet (Principal Building)
12 feet (Garage perpendicular)
8 feet (Garage parallel)
Building Sides 4 feet from corner street
Building Sides 0 feet from other property lines
Building Rear 4 feet from alley
Building Rear 0 feet from other property lines

Townhome Dwelling Unit (Including Live/Work Townhomes and Condominiums)

Building Front 4 feet (Principal Building)
12 feet (Garage perpendicular)
8 feet (Garage parallel)
Building Sides 10 feet from corner street
Building Sides 0 feet from other property lines & lots with common walls
Building Rear 4 feet from alley
Building Rear 0 feet from other property lines

Patio Dwelling Unit

Building Front 8 feet (Principal Building)
10 feet (Garage perpendicular)
6 feet (Garage parallel)
Building Sides 8 feet from corner street
Building Sides 0 feet from other property lines
Building Rear 4 feet from alley
Building Rear 0 feet from other property lines

d. **Building Separation.** The minimum building separation shall be the greater of:

- i) Seven and ½ (7.5) feet for Single Family Detached Dwelling Units, ten (10) feet for Buildings containing Single Family Attached Dwelling Units, and twenty (20) feet for other Principal Buildings located within each SFe Lands Use Planning Area, or
 - ii) shall be governed by the applicable building code.
- e. **Building Height.** No residential Buildings within SFe Planning Areas shall exceed thirty-five (35) feet in height except by special review.
 - f. **Minimum Lot Sizes.** The minimum lot sizes In SFe residential Planning Areas shall be thirty five hundred (3500) square feet.

D. Residential (SFf)

1. Intent

Provide for residential Development allowing for a variety of Single Family Detached Dwelling Units, Zero Lot Line Dwelling Units, Single Family Attached, Semi-detached, Clustered Single Family Dwelling Units, Duplex Dwelling Units, Triplex and Fourplex Dwelling Units, Townhome Dwelling Units, Condominium Dwelling Units and Accessory Uses.

2. Uses Permitted by Right

- a. Single Family Detached Dwelling Units.
- b. Zero Lot Line Dwelling Units.
- c. Duplex, Triplex, and Fourplex Dwelling Units.
- d. Townhome Dwelling Units including Single Family Attached, Semi-detached Dwelling Units and Live Work Dwelling Units.
- e. Age targeted dwellings. (Not depicted on plan for this PD Submittal - Will be included in Site Plan/Subdivision Submittals)
- f. Age restricted dwellings. (Not depicted on plan for this PD Submittal - Will be included in Site Plan/Subdivision Submittals)
- g. Group Homes/Nursing Homes
- h. Clustered Single Family Dwelling Units, including but not limited to Zero Lot Line Dwelling Units, Patio Dwelling Units, Two, Three, and Four Family Dwelling Units and Atrium Dwelling Units.
- i. A temporary sales and marketing center function developed to showcase a variety of builders and housing types within a limited area.
- j. Attached or detached private garages (3 cars maximum).
- k. Commonly associated Accessory Uses, incidental to the Principal Use or Building, including but not limited to: carriage house units not for sale, storage sheds, private greenhouses, home occupations, radio or TV antennas, TV satellite dishes, private tennis courts, private swimming pools, and private facilities for the keeping of common household pets according to the regulations and standards contained within the Parker Municipal Code.
- l. Public Open Space.
- m. Public and private schools and related administrative facilities for elementary and secondary education.
- n. Private recreational and park uses, country clubs, recreational facilities, including but not limited to: tennis courts, swimming pools and jogging, riding, hiking and biking trails.

- o. Public parks, playgrounds and other recreational areas.
- p. Places of religious assembly, religious schools.
- q. Any other uses consistent with the purposes of this Section and compatible with the uses set forth herein, as permitted by Section 13.04.220 of the Parker Municipal Code.

3. Uses Permitted by Special Review

- a. Buildings, garages and utility stations related to emergency services, such as ambulance, fire, police and rescue.
- b. Neighborhood public service, health and education facilities, such as community centers, libraries and museums.
- c. Child Care Centers.

4. Accessory uses and building · Refer to Town of Parker Land Use Ordinance 13.04.170

- a. Shall also include utility facilities and well sites.

5. Development Standards

- a. **Average Density.** The Average Density shall be up to three point two (3.2) Dwelling Units per acre for each Sff Planning Area, as set forth in the PD Development Plan, and reflect the number of units over the entire acreage for the Planning Area. Densities within portions of the Planning Area will vary depending on product type.
- b. **Maximum Number of Dwelling Units.** The maximum number of Dwelling Units permitted within each Sff residential Planning Area shall not exceed 120% of the units shown on the PD Development Plan for each individual Planning Area.
- c. **Building Setback.** The minimum Building Setbacks in Sff residential Planning Areas will vary depending upon the product type in any given portion of the Planning Area. The following setbacks will be associated with the different product types defined as a Use Permitted by Right.

Single Family Detached Unit

Building Front	10 feet (Principal Building)
	12 feet (Garage perpendicular)
	8 feet (Garage parallel)
Building Sides	10 feet from corner street
Building Sides	0 feet from other property lines
Building Rear	4 feet from alley
Building Rear	0 feet from other property lines

Zero Lot Line Dwelling Unit

Building Front	10 feet (Principal Building)
	12 feet (Garage perpendicular)
	8 feet (Garage parallel)
Building Sides	10 feet from corner street
Building Sides	0 feet from other property lines
Building Rear	4 feet from alley
Building Rear	0 feet from other property lines

Duplex Dwelling Unit

- Building Front 10 feet (Principal Building)
12 feet (Garage perpendicular)
8 feet (Garage parallel)
- Building Sides 10 feet from corner street
- Building Sides 0 feet from other property lines
- Building Rear 4 feet from alley
- Building Rear 0 feet from other property lines

Townhome Dwelling Unit (Including Live/Work Townhomes and Condominiums)

- Building Front 4 feet (Principal Building)
12 feet (Garage perpendicular)
8 feet (Garage parallel)
- Building Sides 4 feet from corner street
- Building Sides 0 feet from other property lines & lots with common walls
- Building Rear 4 feet from alley
- Building Rear 0 feet from other property lines

Patio Dwelling Unit

- Building Front 8 feet (Principal Building)
10 feet (Garage perpendicular)
6 feet (Garage parallel)
- Building Sides 8 feet from corner street
- Building Sides 0 feet from other property lines
- Building Rear 4 feet from alley
- Building Rear 0 feet from other property lines

- d. **Building Separation.** The minimum building separation shall be the greater of:
 - i) seven and ½ (7.5) feet for Single Family Detached Dwelling Units, ten (10) feet for Buildings containing Single Family Attached Dwelling Units, and twenty (20) feet for other Principal Buildings located within each Sff Lands Use Planning Area, or
 - ii) shall be governed by the applicable building code.
- e. **Building Height.** No residential Buildings within Sff Planning Areas shall exceed thirty-five (35) feet in height except by special review.
- f. **Minimum Lot Sizes.** The minimum lot sizes In Sff residential Planning Areas shall be thirty five hundred (3500) square feet.

E. Residential (SFg)

1. Intent

Provide for residential Development allowing for Estate Single Family Detached Dwelling Units and Accessory Uses.

2. Uses Permitted by Right

- a. Single Family Detached Dwelling Units.

- b. Attached or detached private garages.
- c. Commonly associated Accessory Uses, incidental to the Principal Use or Building, including but not limited to: carriage house units not for sale, storage sheds, private greenhouses, home occupations, radio or TV antennas, TV satellite dishes, private tennis courts, private swimming pools, and private facilities for the keeping of common household pets according to the regulations and standards contained within the Town of Parker Zoning Ordinance.
- d. Public parks, playgrounds and other recreational areas.
- e. Any other uses consistent with the purposes of this Section and compatible with the uses set forth herein, as permitted by Section 13.04.220 of the Parker Municipal Code.

3. Uses Permitted by Special Review

- a. Neighborhood public service, health and education facilities, community centers, libraries and museums.

4. Accessory uses and building - Refer to Town of Parker Land Use Ordinance 13.04.170

- a. Shall also include utility facilities and well sites.

5. Development Standards

- a. **Average Density.** The Average Density shall be up to one unit per one and one half acres (0.67 Dwelling Units per acre) for each SFg Planning Area. These Average Densities are set forth on the PD Development Plan, and reflect the number of units over the entire acreage for the Planning Area. Densities within portions of the Planning Area will vary depending on product type.
- b. **Maximum Number of Dwelling Units.** The maximum number of Dwelling Units permitted within each SFg residential Planning Area shall not exceed 120% of the units shown on the PD Development Plan for each individual Planning Area.
- c. **Building Setback:** The minimum Building Setbacks in SFg residential Planning Areas shall be:
 - Building front 20 feet
 - Building side 15 feet
 - Building rear 20 feet
- d. **Building Separation.** The minimum building separation shall be the greater of:
 - i) twenty (20) feet for Single Family Detached residential Buildings located within SFg Lands Use Planning Areas, or
 - ii) shall be governed by the applicable building code.
- e. **Building Height.** No residential Buildings within SFg Planning Areas shall exceed thirty-five (35) feet in height except by Special Review
- f. **Minimum Lot Sizes.** The minimum lot sizes in SFg residential Planning Areas shall be 0.67 acre.
- g. **Specific to PA-41 & 47, if these areas are developed for an ~~clustered~~ Age Targeted ~~specific use~~ development than the minimum lot size**

may be reduced to 80 number of units allowed in beyond the 19 units allowed in PA-PA-47; however, the gross density may du/ac. The site design for these areas to open space.

feet in width and 120 feet in depth. The each planning area may not increase in 41, and the 18 units allowed in increase to a maximum of 1.2 must include all homes backing to open space.

F. Residential (THd)

1. Intent

Provide for residential Development allowing for a variety of Single Family Detached Dwelling Units, Zero Lot Line Dwelling Units, Single Family Attached, Semi-Detached, Clustered Single Family Dwelling Units, Multi-family/Condominium Units, Duplex Dwelling Units, Townhome Dwelling Units and Accessory Uses.

2. Uses Permitted by Right

- a. Single Family Detached Dwelling Units.
- b. Zero Lot Line Dwelling Units.
- c. Duplex, Triplex, and Fourplex Dwelling Units.
- d. Townhome Dwelling Units including Single Family Attached, Semi-detached Dwelling Units and Live/Work Dwelling Units.
- e. Clustered Single Family Dwelling Units, including but not limited to Zero Lot Line Dwelling Units, Patio Dwelling Units, Two, Three, and Four Family Dwelling Units and Atrium Dwelling Units.
- f. Age targeted dwellings. (Not depicted on plan for this PD Submittal - Will be included in Site Plan/Subdivision Submittals)
- g. Group Homes
- h. Age restricted dwellings. (Not depicted on plan for this PD Submittal - Will be included in Site Plan/Subdivision Submittals)
- i. Independent and/or Assisted Living.
- j. A temporary sales and marketing center function developed to showcase a variety of builders and housing types within a limited area.
- k. Attached or detached private garages (3 cars maximum).
- l. Commonly associated Accessory Uses, incidental to the Principal Use or Building, including but not limited to: carriage house units not for sale, storage sheds, private greenhouses, home occupations, radio or TV antennas, TV satellite dishes, private tennis courts, private swimming pools, and private facilities for the keeping of common household pets according to the regulations and standards contained within the Parker Municipal Code.
- m. Public Open Space.
- n. Public and private schools and related administrative facilities for elementary and secondary education.
- o. Private recreational and park uses, country clubs, recreational facilities, including but not limited to: tennis courts, swimming pools and jogging, riding, hiking and biking trails.
- p. Public parks, playgrounds and other recreational areas.
- q. Places of religious assembly, religious schools.

- r. Any other uses consistent with the purposes of this Section and compatible with the uses set forth herein, as permitted by Section 13.04.220 of the Parker Municipal Code.

3. Uses Permitted by Special Review

- a. Common recreation vehicle storage area.
- b. Buildings, garages and utility stations related to emergency services, such as ambulance, fire, police and rescue.
- c. Neighborhood public service, health and education facilities, such as community centers, libraries and museums.
- d. Child Care Centers.

4. Accessory uses and building - Refer to Town of Parker Land Use Ordinance 13.04.170

- a. Shall also include utility facilities and well sites.

5. Development Standards

- a. **Average Density.** The Average Density shall be up to ten (10) Dwelling Units per acre for each THd Planning Area. These average densities are set forth on the PD Development Plan, and reflect the number of units over the entire acreage for the Planning Area. Densities within portions of the Planning Area will vary depending on product type.
- b. **Maximum Number of Dwelling Units.** The maximum number of Dwelling Units permitted within each THd residential Planning Area shall not exceed 120% of the units shown on the PD Development Plan for each individual Planning Area.
- c. **Building Setback:** The minimum Building Setbacks in THd residential Planning Areas will vary depending upon the product type in any given portion of the Planning Areas. The following setbacks will be associated with the different product types defined as a Use Permitted by Right.

Single Family Detached Unit

Building Front	10 feet (Principal Building)
	12 feet (Garage perpendicular)
	8 feet (Garage parallel)
Building Sides	10 feet from corner street
Building Sides	0 feet from other property lines
Building Rear	4 feet from alley
Building Rear	0 feet from other property lines

Zero Lot Line Dwelling Unit

Building Front	10 feet (Principal Building)
	12 feet (Garage perpendicular)
	8 feet (Garage parallel)
Building Sides	10 feet from corner street
Building Sides	0 feet from other property lines
Building Rear	4 feet from alley
Building Rear	0 feet from other property lines

Duplex Dwelling Unit

Building Front	10 feet (Principal Building)
	12 feet (Garage perpendicular)
	8 feet (Garage parallel)
Building Sides	10 feet from corner street
Building Sides	0 feet from other property lines
Building Rear	4 feet from alley
Building Rear	0 feet from other property lines

Townhome Dwelling Unit (Including Live/Work Townhomes)

Building Front	4 feet (Principal Building)
	12 feet (Garage perpendicular)
	8 feet (Garage parallel)
Building Sides	4 feet from corner street
Building Sides	0 feet from other property lines & lots with common walls
Building Rear	4 feet from alley
Building Rear	0 feet from other property lines

Patio Dwelling Unit

Building Front	8 feet (Principal Building)
	10 feet (Garage perpendicular)
	6 feet (Garage parallel)
Building Sides	8 feet from corner street
Building Sides	0 feet from other property lines
Building Rear	4 feet from alley

- d. **Building Separation.** The minimum building separation shall be the greater of:
 - i) Seven and ½ (7.5) feet for Single Family Detached residential Buildings, ten (10) feet for Buildings containing Single Family Attached Dwelling Units, and twenty (20) feet for other Principal Buildings located within each THd Planning Area, or
 - ii) shall be governed by the applicable building code.
- e. **Building Height.** No residential Buildings within THd Planning Areas shall exceed forty (40) feet in height except by special review.
- f. **Minimum Lot Sizes.** The minimum lot sizes In THd residential Planning Areas shall be thirty five hundred (3500) square feet.

G. Residential (THe)

- 1. **Intent**
Provide for residential Development allowing for a variety of Single Family Detached Dwelling Units, Zero Lot Line Dwelling Units, Single Family Attached, Semi-detached, Clustered Single Family Dwelling Units, Duplex Dwelling Units, Townhome Dwelling Units and Accessory Uses.
- 2. **Uses Permitted by Right**
 - a. All uses permitted by right within Residential (THd) Land Use Category. Development standards contained within the Residential (THd) Land Use Section shall apply, as required.

- b. Any other uses consistent with the purposes of this Section and compatible with the uses set forth herein, as determined by the Planning Director.

3. Uses Permitted by Special Review

- a. All Uses permitted by Special Review within the Residential (THd) Land Use Category.

4. Accessory uses and building - Refer to Town of Parker Land Use Ordinance 13.04.170

- a. Shall also include utility facilities and well sites.

5. Development Standards

- a. **Average Density.** The Average Density shall be up to fourteen (14) Dwelling Units per acre for each The Planning Area. These average densities are set forth on the PD Master Plan, and reflect the number of units over the entire acreage for the parcel. Densities within portions of the parcel will vary depending on product type.
- b. **Maximum Number of Dwelling Units.** The maximum number of Dwelling Units permitted within each The residential Planning Area shall not exceed the 1.2 times the maximum number set forth on the PD Master Plan for each individual Planning Area.
- c. **Building Setback.** The minimum Building Setbacks in The residential Planning Areas will vary depending upon the product type in any given portion of the Planning Area. The following setbacks will be associated with the different product types defined as a Use Permitted by Right.

Single Family Detached Unit

Building Front	10 feet (Principal Building)
	12 feet (Garage perpendicular)
	8 feet (Garage parallel)
Building Sides	10 feet from corner street
Building Sides	0 feet from other property lines
Building Rear	4 feet from alley
Building Rear	0 feet from other property lines

Zero Lot Line Dwelling Unit

Building Front	10 feet (Principal Building)
	12 feet (Garage perpendicular)
	8 feet (Garage parallel)
Building Sides	10 feet from corner street
Building Sides	0 feet from other property lines
Building Rear	4 feet from alley
Building Rear	0 feet from other property lines

Duplex Dwelling Unit

Building Front	10 feet (Principal Building)
	12 feet (Garage perpendicular)
	8 feet (Garage parallel)
Building Sides	10 feet from corner street
Building Sides	0 feet from other property lines
Building Rear	4 feet from alley
Building Rear	0 feet from other property lines

Townhome Dwelling Unit (Including Live/Work Townhomes)

Building Front	4 feet (Principal Building)
	12 feet (Garage perpendicular)
	8 feet (Garage parallel)
Building Sides	4 feet from corner street
Building Sides	0 feet from other property lines & lots with common walls
Building Rear	4 feet from alley
Building Rear	0 feet from other property lines

Patio Dwelling Unit

Building Front	8 feet (Principal Building)
	10 feet (Garage perpendicular)
	6 feet (Garage parallel)
Building Sides	8 feet from corner street
Building Sides	0 feet from other property lines
Building Rear	4 feet from alley

- d. **Building Separation.** The minimum building separation shall be the greater of:
 - i) Seven and ½ (7.5) feet for Single Family Detached residential Buildings, ten (10) feet for Buildings containing Single Family Attached Dwelling Units, and twenty (20) feet for other Principal Buildings located within each ~~The~~The Planning Area,
 - or
 - ii) shall be governed by the applicable building code.
- e. **Building Height.** No residential Buildings within ~~The~~The Planning Areas shall exceed forty (40) feet in height except by special review.
- f. **Minimum Lot Sizes.** The minimum lot sizes in ~~The~~The residential Planning Areas shall be thirty five hundred (3500) square feet.
(should those be ~~The~~The?)

H. Mixed Use (MU)

1. Intent

To provide for the integration, horizontally and vertically, of a broad range of retail goods and services, business and professional services with Duplex, Triplex, Fourplex, Townhome, Condominiums and/or Multi-family residential development.

There are two areas of the PD Plan that are designated as MU. These MU Planning areas are anticipated to develop as commercial/retail centers. Some of these commercial/retail centers will have a live work residential component built within these areas.

Should market conditions change, the developer may desire to build a residential project in lieu of these commercial/retail areas. By allowing both commercial and residential uses in the MU Planning areas, this affords the developer the opportunity to build what is appropriate for these areas based on market demand.

2. Uses Permitted by Right

- a. Retail
 - (1) Grocery store
 - (2) Convenience retail shopping facilities, including but not limited to:
 - a. drug stores
 - b. liquor stores
 - c. convenience grocery
 - (3) Specialty retail including but not limited to:
 - a. art gallery
 - b. antiques
 - c. artisan shops
 - d. gift shop
 - e. pet shops
 - f. florists
 - g. book store
 - h. stationery stores
 - i. retail food specialty shops which sell food products not intended to be consumed on the premises
 - j. butcher shops
 - k. candy stores
 - l. bakeries
 - m. doughnut shops
 - n. dairy product shops
 - o. toy and game stores
 - p. battery and accessory stores
 - q. bicycle stores
 - r. music stores
 - s. sporting goods store
 - (4) Hardware and building material stores
 - (5) General retail merchandise and apparel shops, including but not limited to:
 - a. junior department stores
 - b. craft and hobby stores
 - c. discount department stores
 - d. clothing stores

- e. shoe stores
 - f. furniture stores
 - g. household appliance stores
 - h. floor covering, drapery and upholstery stores
 - i. electronics stores
 - j. cosmetic store
- (6) Development Sales and Marketing Center
- Eating and Drinking Establishments
 - (1) restaurants
 - (2) fast food, drive-through or carryout restaurants
 - (3) ice cream parlors
 - (4) coffee shops
 - (5) delicatessens
 - (6) lounge, bar or microbrewery
 - Personal Services
 - (1) Convenience service establishments, including but not limited to:
 - a. barber shops and beauty salons
 - b. dry cleaners and laundries
 - c. photo studio
 - d. shoe repair shops
 - e. watch or jewelry repair
 - f. travel agency
 - (2) day care centers
 - (3) health clubs
 - Entertainment-Indoors
 - (1) indoor movie theaters
 - (2) performance arts
 - (3) bowling alleys
 - (4) skating rinks (both ice and roller)
 - (5) pool halls
 - (6) arcade amusement centers
 - General Office and Professional Services
 - (1) business and professional offices
 - (2) medical and dental offices and clinics
 - (3) banks and other financial service establishments, with or without drive-through facilities
- b. Commercial Convenience grocery.
- (1) Convenience retail shopping facilities, including but not limited to: drug stores, liquor stores, florists, book and stationery stores, hardware stores, auto supply stores, record and tape stores, and retail food specialty shops which sell food products not intended to be consumed on the premises, such as (but not limited to) butcher shops, candy stores, bakeries, doughnut

- shops, dairy product shops, ice cream parlors, coffee shops and delicatessens.
- (2) Convenience service establishments, including but not limited to: barber and beauty shops, cleaners, shoe repair shops, laundries, watch or jewelry repair, and travel service.
 - (3) Low intensity specialty goods and service establishments, including but not limited to: art gallery, antiques, artisan shops, photo studio, gift shop, plant store or nursery, pet shops, furniture store, home furnishings, newspaper office, apparel, and appliances.
 - (4) Conventional restaurants.
 - (5) Fast food, drive-in or carryout restaurants.
 - (6) Electronic funds transfer facilities.
 - (7) Photo service facilities.
 - (8) Medical and dental offices and clinics.
 - (9) Business and professional offices.
 - (10) Private recreational and park uses, country clubs, recreational facilities, including but not limited to: open space, tennis courts, swimming pools and jogging, riding, hiking and biking trails.
 - (11) Neighborhood public service, health and education facilities, such as community centers, libraries and museums, except for PA 3, 4, 12, 14, 35, 36, 43 and 44 which are retail uses only.
 - (12) Nursery schools and day/child care centers.
 - (13) Retail food and food service establishments, including but not limited to: groceries and supermarkets, and cafeterias.
 - (14) General retail merchandise and apparel shops, including but not limited to: junior department stores; variety stores; discount department stores; clothing stores; accessory and specialty stores; shoe stores; furriers and fur stores; furniture stores; home furnishing stores; household appliance stores; floor covering, drapery and upholstery stores; and radio, television, stereo and video stores.
 - (15) Personal service establishments.
 - (16) General retail business establishments, including but not limited to: card and gift stores; tobacco shops; cosmetic store; toy and game stores; automotive tire, battery and accessory stores, garden, plant and floral shops; and bicycle stores.
 - (17) Car care centers, gasoline service/stations, tire sales and service, car wash.
 - (18) Commercial entertainment businesses, including but not limited to: indoor movie theaters, performance arts, bowling alleys, skating rinks (both ice and roller), pool halls, and arcade amusement centers.
 - (19) Banks, savings and loan and other financial service establishments.
 - (20) Public utility administrative and business offices.
 - (21) Buildings, garages and utility stations related to emergency services, such as ambulance, fire, police and rescue.

- (22) Motels, Hotels, including detached guest units, restaurants, gift shops and other incidental accessory uses located within the principal building.
- (23) Transit facilities.
- (24) Universities, Colleges, or higher educational type uses.
- (25) Any other uses consistent with the purposes of this Section and compatible with the uses set forth herein, as determined by the Planning Director.
- (26) Sales Center - conversion to a recreation facility adjacent to open space.

c. Residential

- (1) Duplex, Triplex, and Fourplex Dwelling Units.
- (2) Townhome Dwelling Units including Single Family Attached, Semi-detached Dwelling Units and Live/Work Dwelling Units.
- (3) Condominiums
- (4) Independent and/or Assisted Living.
- (5) Group Homes
- (6) Clustered Single Family Dwelling Units, including but not limited to Zero Lot Line Dwelling Units, Patio Dwelling Units, Two, Three, and Four Family Dwelling Units and Atrium Dwelling Units.
- (7) A temporary sales and marketing center function developed to showcase a variety of builders and housing types within a limited area.
- (8) Attached or detached private garages (3 cars maximum).
- (9) Commonly associated Accessory Uses, incidental to the Principal Use or Building, including but not limited to: carriage house units not for sale, storage sheds, private greenhouses, home occupations, radio or TV antennas, TV satellite dishes, private tennis courts, private swimming pools, and private facilities for the keeping of common household pets according to the regulations and standards contained within the Parker Municipal Code.
- (10) Public Open Space.
- (11) Public and private schools and related administrative facilities for elementary and secondary education.
- (12) Private recreational and park uses, country clubs, recreational facilities, including but not limited to: tennis courts, swimming pools and jogging, riding, hiking and biking trails.
- (13) Public parks, playgrounds and other recreational areas.
- (14) Any other uses consistent with the purposes of this Section and compatible with the uses set forth herein, as permitted by Section 13.04.220 of the Parker Municipal Code.
- (15) All those uses permitted within the Parks, Open Space Land Use categories.

3. Uses Permitted by Special Review

- a. Common recreation vehicle storage area.

- b. Buildings, garages and utility stations related to emergency services, such as ambulance, fire, police and rescue.
- c. Neighborhood public service, health and education facilities, such as community centers, libraries and museums.
- d. Child Care Centers.
- e. Small animal veterinary clinics with no outside facilities.

4. **Accessory uses and building - Refer to Town of Parker Land Use Ordinance 13.04.170**

- a. Shall also include utility facilities and well sites.

5. **Development Standards**

- a. **Floor/Area Ratio.** The maximum floor-area ratio for each development tract within the Mixed Use Planning Area shall be six tenths (.60) to one (1).
- b. **Maximum Number of Dwelling Units.** The maximum density allowed for all Planning Areas designated as Mixed Use is 22 dwelling units per acre. Density adjustments and variations as described in Section I, Part C. cannot be used to increase the maximum allowed density within a Mixed Use District, unless the request is processed as a Major Amendment to the Development Plan and Guide.
- c. **Building Setback: Non-Residential.** The minimum building setback from any public street right-of-way shall be:
 - Building front 0 feet
 - Building side 0 feet
 - Building rear 0 feet
- d. **Building Setback: Residential.** For residential components within Mixed Use (MU) zoning, the building setback standards outlined in the Townhome/Patio Home (The) Land Use Category shall apply. For multi-family Dwelling Units the setbacks shall be:
 - Building front 0 feet
 - Building side 0 feet
 - Building rear 4 feet from alley
 - Building rear 0 feet
- e. **Building Separation.** The minimum building or structure separation shall be the greater of:
 - i) ten (10) feet or
 - ii) shall be governed by the applicable building code.
- f. **Building Height.** Buildings or structures in Mixed Use Planning Areas are permitted up to 45' in height without special review and up to 50' in height with Special Review. However, in Planning Areas 3, 4, 9, 12, 14, 35, 36, 43 and 44, buildings or structures are permitted up to 50' in height without Special Review and up to 60' in height with Special Review.

I. **Parks**

- 1. **Intent**
To provide for park uses which compliment residential neighborhoods. Parks to include pocket parks, neighborhood parks and regional parks.
- 2. **Park Designations**

- a. Pocket
 - b. Neighborhood
 - c. Community
 - d. Regional
- 3. Development Criteria for parks**
- a. Pocket Park
 - (1) Refer to the Town of Parker Land Development Ordinance, Section 13.07.140 Dedication for parks, trails, open space and schools, specifically Section 13.07.140(c)(9) Design criteria for parks, trails and open space.
 - (2) Size: ¼ to ½ acre
 - (3) Location/Orientation: Centrally located within the residential development and/or easily accessible by residents without the use of vehicles. A 5-10 minute walking distance
 - (4) Frontage: Required on one, preferred two or more local streets.
 - (5) Minimum development features and/or amenities: Turf and landscape plantings to provide shade over at least 15% of the area, benches in shade and sun, bike racks and trash receptacles. Optional features: a small shade structure, small playground and/or small scale tot-lot, picnic tables, minimal signage, security lighting.
 - b. Neighborhood Park
 - (1) Refer to Town of Parker Land Development Ordinance, Section 13.07.140 Dedication for parks, trails, open space and schools
 - (2) Size: Determined by Town Council, refer to the Town of Parker Land Development Ordinance, Section 13.07.140 Dedication for parks, trails, open space and schools, specifically Section 13.07.140(c)(2)(c). A minimum of 3 acres in size.
 - (3) Location/Orientation: Within an immediate neighborhood with a ¼ to ½ mile service radius. Neighborhood parks shall serve as an extension of the neighborhood around them. They shall be a social and recreation focal point. Interconnected to trails/sidewalks low-volume streets within walking/biking distance of most users.
 - (4) Frontage: High visibility to surrounding local streets. On street parking
 - (5) Minimum development features and/or amenities: 50%/50% split between active and passive recreational uses. Active recreational features may include: a children's playground, unobstructed open play areas for practice or pick-up games and low impact recreation options such as bocce ball and/or horseshoes. Other amenities should include picnic shelters, internal trails, benches, trash receptacles, bike racks, public art, signage and security lighting.
 - c. Community Park
 - (1) Refer to Town of Parker Land Development Ordinance, Section 13.07.140 Dedication for parks, trails, open space and schools
 - (2) Size: Determined by Town Council, refer the Town of Parker Land Development Ordinance, Section 13.07.140 Dedication for

- a. Shall also include utility facilities and well sites.

6. Development Standards

- a. **Building Setback: Street.** The minimum building setback from any public street right-of-way line shall be:
 - Building front 25 feet
 - Building side 20 feet
 - Building rear 25 feet
- b. **Building Separation.** The minimum building or structure separation shall be the greater of:
 - i) twenty (20) feet or
 - ii) shall be governed by the applicable building code.
- c. **Building Height.** No buildings or structures shall exceed thirty-five (35) feet in height, except by Special Review, in which case no Buildings or Structures shall exceed forty-five (45) feet

J. Open Space (OS)

1. Intent

To provide passive open space uses which will separate, define and protect the development planning areas contained within this Planned Development. Open Space does not include golf courses.

2. Uses Permitted by Right

- a. Passive recreation uses and open space.
- b. Jogging, hiking and/or bicycle trails.
- c. Dog Parks
- d. Community Gardens
- e. Drainage Facilities
- f. Picnic shelters.

3. Development Standards

- a. **Building Setback: Street.** The minimum building setback from any public street right-of-way line shall be:
 - Building front 25 feet
 - Building side 15 feet
 - Building rear 25 feet
- b. **Building Separation.** The minimum building or structure separation shall be the greater of:
 - i) twenty (20) feet or
 - ii) shall be governed by the applicable building code.
- c. **Building Height.** No buildings or structures shall exceed thirty-five (35) feet in height, except by Special Review, in which case no Buildings or Structures shall exceed forty five (45) feet.

K. Trails

The Development Plan depicts trail connections through open spaces and buffer areas and makes connections to off-site trails.

Trail connections through development parcels are anticipated. These trail connections shall be made in subsequent phases of the Town of Parker's entitlement process.

The Development Plan indicates the number of trail connections, but the exact locations will be determined in latter phases of the entitlement process. These trail connections include:

1. Three trail connections along the southern edge of the property (PA 22, 23, 24, 25 and 33).
2. One trail connection along the west property line.
3. Two trail connections from the east-west drainage in the center of the site through PA 29 and 31.
4. One trail connection from the Crowfoot Valley buffer to the MU Planning area through Planning Areas 37
5. Special Trail Requirements.
 - a. Future Builders of Planning Areas 22, 23, 24, 25 and 33 are advised that trail connections through these planning areas will be designed in conjunction with subdivision proposals upon these planning areas. These interconnections are intended to connect from the Southern Regional Trail along the Hess Ranch southerly boundary, internally through these filings, ultimately to the open space corridor located north of Planning Areas 16, 17, 18, 19, 20 and 32. These trail segments will be designed and constructed by the future buildings for Planning Areas 16, 17, 18, 19, 20 and 32 and secured as part of Subdivision Improvement Agreement for residential filings upon these specified Planning Areas.

Similarly, future builders of Planning Areas 16, 17, 18, 19, 20 and 32 are advised that each filing will be required to contribute a pro-rata share for the cost of constructing an internal trail within the open space corridor which abuts all these planning areas. This contribution will be determined at the time of Final Plat for each planning area and specified in the Subdivision Improvement Agreement for each planning area.

IV. ADDITIONAL PLANNING AREA REQUIREMENTS

A. General

As stated in Section III, Land Use Regulations, the maximum number of dwelling units permitted within each residential planning area shall not exceed 120% of the units shown on the Development Plan for each individual Planning Area. However, regardless of the unit count in each Planning Area, in no case will the total unit count of Planning Areas collectively exceed 3,379 units.

B. Lone Tree Intergovernmental Agreement

At the time of the Town Council's approval of this Development Plan and Guide, Planning Areas designated as SFe, SFF and SFG are within an area that is regulated by an Intergovernmental Agreement (IGA) between the Town of Parker and the City of Lone Tree. The number of dwelling units prescribed by the IGA is limited to 100 units for these Planning Areas. On September 5, 2015 the IGA expires. The day after, September 6, 2015 the cumulative number of dwelling units

allowed for Planning Areas 27, 28, 29, 30, 31, 32 and 33 will be increased to a number greater than 100. This increase will not require a Major Amendment to the Development Plan and will be counted as part of the overall 3,379 dwelling units allowed by the Plan.

C. Douglas County Intergovernmental Agreement

1. In the southern part of Anthology, now 'Hess Ranch' in an effort to preserve the rural roadside character of Crowfoot Valley Road, it will be necessary to maintain an average buffer area along Crowfoot Valley Road of 300', adjacent to Planning Areas 34 and 40, as represented on the Hess Ranch Development Plan. This buffer, whose intent is to screen and soften highly visible areas, should include enhanced landscape (greater density of planting as opposed to open space areas, palette of predominantly native plant materials) earth berming, and if necessary, open and transparent fencing, to visually minimize development impact.
2. The rural character of Crowfoot Valley Road shall be reflected in the development of this corridor, including:
 - a. The average 300' buffer between the adjacent residential development and Crowfoot shall be respected and the landscape in this buffer shall consist of earth berming, open and transparent fencing with a palette of plant materials that enhances and augments the existing and native landscape, as described in section 2, above.
 - b. Minimize the negative visual impact of parking areas through orientation parallel to and away from Crowfoot Valley Road, landscape screening and/or berming, and the presence of landscaped islands and planting strips within parking lots themselves to reduce the perceived sizes of the parking lot.
 - c. Screening of dumpster and service areas throughout the Mixed Use Center through landscape and/or architectural elements.
 - d. Architecture that is articulated or enhanced on those sides that face Crowfoot Valley Road.

V. ENFORCEMENT AND ADMINISTRATION

A. Incorporation of Planned Development Master Plan

The plan of development for HESS Ranch Development, including the location and boundaries of Planning Areas, the circulation elements, and the densities established by the HESS RANCH DEVELOPMENT PLAN AND GUIDE together with everything shown thereon and all amendments thereto.

B. Effect of Recorded Plan

The approval by Ordinance of the HESS RANCH DEVELOPMENT PLAN AND GUIDE by the Town Council and the recording of such Development Plan and Guide with the Douglas County Clerk and Recorder shall be deemed to be rezoning to a PD-Planned Development District under Section 13.04.150 of the Parker Municipal Code for the real property described in the Development Plan.

TRAILS AT CROWFOOT SUBDIVISION PRELIMINARY PLAT

A PART OF THE SECTIONS 4, 8 AND 9, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6th PRINCIPAL MERIDIAN,
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
SHEET 1 OF 22

~~HESS RANCH PLANNED DEVELOPMENT~~ - PLANNING AREAS 34 THROUGH 47 AND OPEN SPACE
TOTAL ACREAGE = 409.713 ACRES, 736 RESIDENTIAL LOTS, 35 TRACTS

DEDICATION STATEMENT:

THE UNDERSIGNED, BEING ALL THE OWNERS, MORTGAGEES, BENEFICIARIES OF DEEDS OF TRUST AND HOLDERS OF OTHER INTERESTS IN THE LANDS DESCRIBED HEREIN, HAVE LAID OUT, SUBDIVIDED AND PLATTED SAID LANDS INTO LOTS, TRACTS, BLOCKS, STREETS AND EASEMENTS AS SHOWN HEREON UNDER THE NAME AND SUBDIVISION OF THE TRAILS AT CROWFOOT. THE UTILITY EASEMENTS AS SHOWN HEREON ARE HEREBY DEDICATED FOR PUBLIC UTILITIES AND CABLE COMMUNICATION SYSTEMS AND OTHER PURPOSES AS SHOWN HEREON. THE ENTITIES ARE RESPONSIBLE FOR PROVIDING THE UTILITY SERVICES FOR WHICH THE EASEMENT ARE ESTABLISHED AND HEREBY GRANTED THE PERPETUAL RIGHT OF INGRESS AND EGRESS FROM AND TO ADJACENT PROPERTIES FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF UTILITY LINES AND RELATED FACILITIES. THE OWNERS OF THE LANDS DESCRIBED HEREIN ARE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF DRAINAGE EASEMENTS SHOWN HEREON AND RELATED FACILITIES, AS PROVIDED IN THE STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL, AS AMENDED. THE UNDERSIGNED GRANTS THE TOWN OF PARKER PERPETUAL RIGHT OF INGRESS AND EGRESS FROM AND TO ADJACENT PROPERTY TO MAINTAIN, OPERATE AND RECONSTRUCT THE DRAINAGE EASEMENTS AND RELATED FACILITIES COVERED BY CHAPTER 4.08 OF THE PARKER MUNICIPAL CODE, AS AMENDED; AND TO MAINTAIN, OPERATE AND RECONSTRUCT THE DRAINAGE EASEMENTS AND RELATED FACILITIES NOT COVERED BY CHAPTER 4.08 OF THE PARKER MUNICIPAL CODE AS AMENDED, WHEN THE OWNER(S) FAIL TO ADEQUATELY MAINTAIN SUCH DRAINAGE EASEMENTS AND RELATED FACILITIES, WHICH MAINTENANCE, OPERATION AND RECONSTRUCTION SHALL BE AT THE COST OF THE OWNER(S). ALL PUBLIC STREETS AND RIGHTS-OF-WAY SHOWN HEREON ARE DEDICATED AND CONVEYED HEREON ARE HEREBY DEDICATED TO THE TOWN. THE TOWN IS HEREBY GRANTED THE PERPETUAL RIGHT OF INGRESS AND EGRESS FROM AND TO THE ADJACENT PROPERTIES FOR CONSTRUCTION, REPAIR, MAINTENANCE, OPERATION AND REPLACEMENT OF STORM SEWERS AND DRAINAGE FACILITIES. THE UNDERSIGNED GRANTS TO THE TOWN A SIGHT EASEMENT(S) AS SHOWN HEREON WITHIN THE SUBDIVISION TO MAINTAIN ADEQUATE SIGHT DISTANCE AT ALL ROADWAY INTERSECTIONS AS PROVIDED AS BY THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AS AMENDED. THE TOWN IS HEREBY GRANTED THE PERPETUAL RIGHT OF INGRESS AND EGRESS ACROSS ALL LOTS AND TRACTS WITHIN THE SUBDIVISION TO REMOVE ANY OBSTRUCTION TO THE PROPER SITE DISTANCE, INCLUDING, BUT NOT LIMITED TO, ANY STRUCTURE, FENCE, UTILITY BOX, RAISED MEDIAN AND LANDSCAPING, AT THE SOLE COST AND EXPENSE OF THE OWNER OF THE LOT AND/OR TRACT UPON WHICH SUCH OBSTRUCTION IS SITUATED. THE OWNERS OR ADJACENT PROPERTY OWNERS OF THE LANDS ARE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SIGHT EASEMENTS SHOWN HEREON. WHEN THE OWNER(S) OR ADJACENT OWNERS FAIL TO ADEQUATELY MAINTAIN SUCH SIGHT EASEMENTS, THE MAINTENANCE, OPERATION AND RECONSTRUCTION SHALL BE AT THE COST OF THE OWNER(S). THE UNDERSIGNED HEREBY DEDICATES SIDEWALK EASEMENTS AS SHOWN FOR PUBLIC SIDEWALK PURPOSES. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL SIDEWALK ADJACENT TO THE PROPERTY IN GOOD CONDITION AND FREE FROM ANY HAZARD. THE UNDERSIGNED GRANTS THE TOWN THE PERPETUAL RIGHTS OF INGRESS AND EGRESS UPON THE PROPERTY FOR THE OPERATION, MAINTENANCE, AND RECONSTRUCTION OF THE PUBLIC SIDEWALK WHEN THE OWNERS FAIL TO MAINTAIN SUCH PUBLIC SIDEWALK, WHICH MAINTENANCE, OPERATION AND RECONSTRUCTION SHALL BE AT THE COST OF THE OWNER(S). THE TOWN SHALL ALSO HAVE THE RIGHT TO REMOVE AN OBSTRUCTION THAT WOULD ADVERSELY AFFECT THE OPERATION AND MAINTENANCE OF THE SIDEWALK, AS DETERMINED BY THE TOWN.

ACKNOWLEDGEMENT

THE UNDERSIGNED, BEING ALL THE OWNERS, MORTGAGEES, BENEFICIARIES OF DEEDS OF TRUST AND HOLDERS OF OTHER INTERESTS OF THE LANDS DESCRIBED HEREIN, HEREBY ACKNOWLEDGE THAT ANY SUBDIVISION APPROVAL OBTAINED BY THE TOWN OF PARKER DOES NOT OBLVATE SAID UNDERSIGNED'S NEED OR RESPONSIBILITY TO COMPLY WITH THE REQUIREMENTS OF THE ENDANGERED SPECIES ACT OF 1973, 16 U.C.S. 1.531, ET SEQ., AS AMENDED OR WITH ANY OTHER APPLICABLE FEDERAL, STATE OR LOCAL LAWS OR REGULATIONS.

OWNER (AS TO PARCEL 1)

HR935, LLC, A COLORADO LIMITED LIABILITY COMPANY

SIGNATURE _____

BY: _____

AS _____ OF HR935, LLC, A COLORADO LIMITED LIABILITY COMPANY

SUBSCRIBED AND SWORN BEFORE ME THIS _____ DAY OF _____, 2017. BY _____ AS _____ OF HR935, LLC, A COLORADO LIMITED LIABILITY COMPANY.

WITNESS MY HAND AND OFFICIAL SEAL

MY COMMISSION EXPIRES _____

NOTARY PUBLIC _____

DEED OF TRUST HOLDER (AS TO PARCEL 1)

TREZ CAPITAL (2015) CORPORATION, A BRITISH COLUMBIA CORPORATION

SIGNATURE _____

BY: _____

AS _____ OF TREZ CAPITAL (2015) CORPORATION, A BRITISH COLUMBIA CORPORATION

SUBSCRIBED AND SWORN BEFORE ME THIS _____ DAY OF _____, 2017. BY _____ AS _____ OF TREZ CAPITAL (2015) CORPORATION, A BRITISH COLUMBIA CORPORATION.

WITNESS MY HAND AND OFFICIAL SEAL

MY COMMISSION EXPIRES _____

NOTARY PUBLIC _____

OWNER (AS TO PARCEL 2)

STROH RANCH DEVELOPMENT, LLC.

SIGNATURE _____

BY: _____

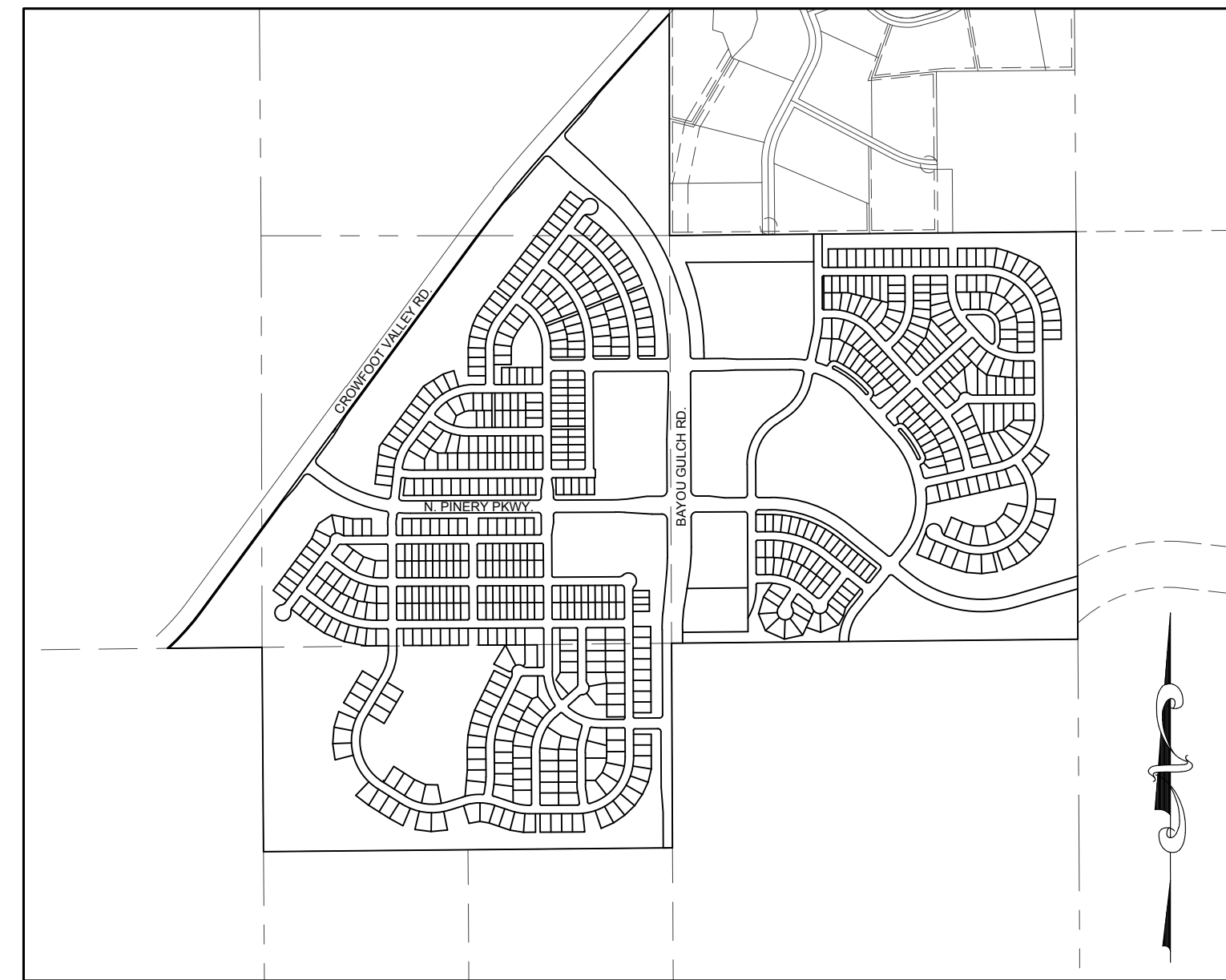
AS _____ OF STROH RANCH DEVELOPMENT, LLC.

SUBSCRIBED AND SWORN BEFORE ME THIS _____ DAY OF _____, 2017. BY _____ AS _____ OF STROH RANCH DEVELOPMENT, LLC.

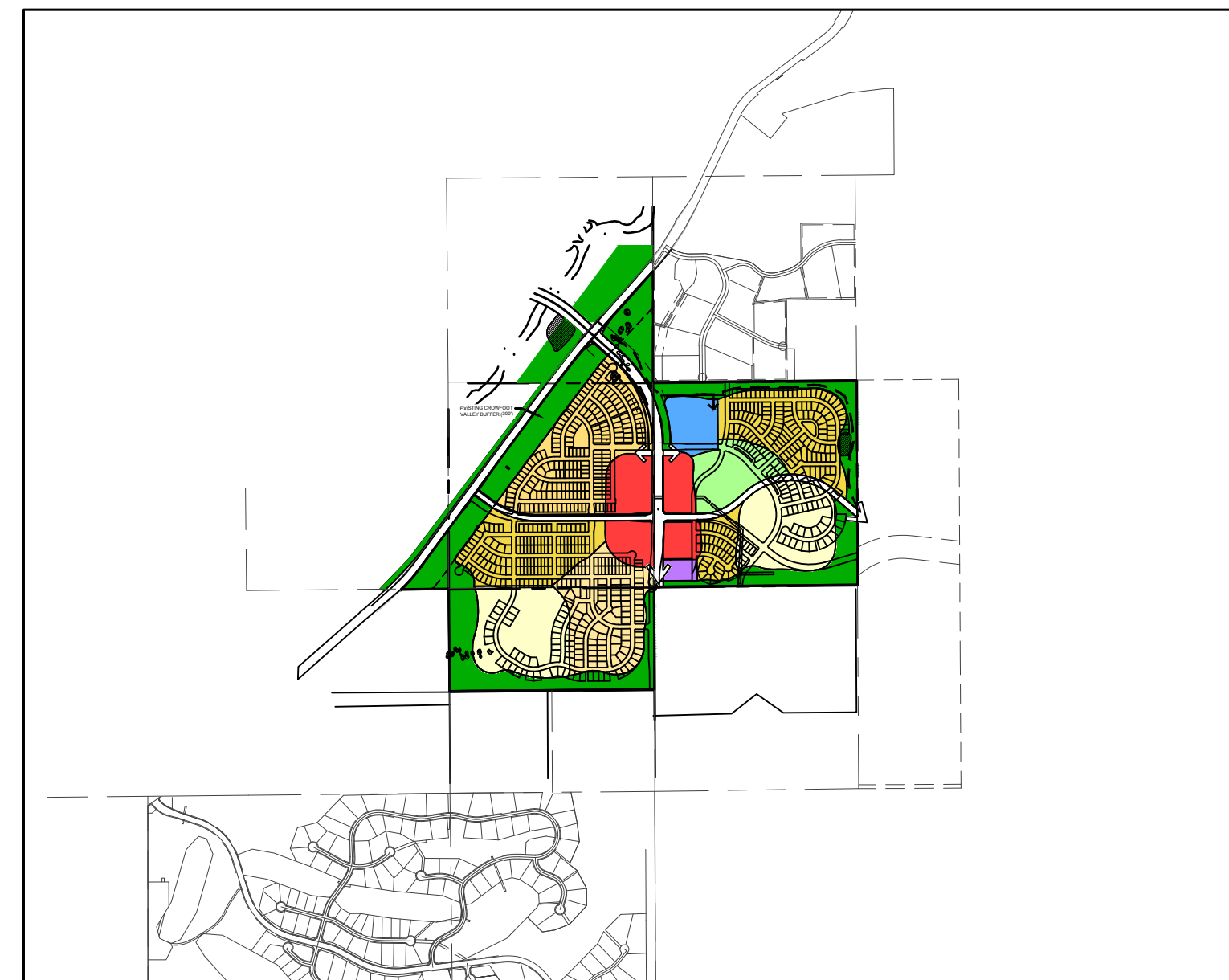
WITNESS MY HAND AND OFFICIAL SEAL

MY COMMISSION EXPIRES _____

NOTARY PUBLIC _____



VICINITY MAP
SCALE: 1" = 1000'



PLANNING AREA OVERLAY
SCALE: 1" = 2000'

LEGAL DESCRIPTION: (PARCEL 1)

A PARCEL OF LAND BEING A PART OF SECTIONS 4, 8 AND 9, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 9 AND CONSIDERING EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 9 BEING MONUMENTED AT THE NORTHEAST CORNER OF SAID SECTION 9 BY A 3-1/4" ALUMINUM CAP STAMPED LS 23053 AND AT THE EAST QUARTER CORNER OF SAID SECTION 9 BY A 2-1/2" ALUMINUM CAP STAMPED LS 6935 TO BEAR SOUTH 00°15'06" EAST, 2648.70 FEET WITH ALL BEARINGS CONTAINED HEREIN BEING RELATIVE THERETO;

THENCE SOUTH 00°15'06" EAST ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 9, A DISTANCE OF 2648.70 FEET TO THE EAST QUARTER CORNER OF SAID SECTION 9;

THENCE SOUTH 89°25'59" WEST ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 9, A DISTANCE OF 2640.85 FEET TO THE CENTER QUARTER CORNER OF SAID SECTION 9;

THENCE SOUTH 00°16'45" EAST ALONG THE EAST LINE OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SAID SECTION 9, A DISTANCE OF 1329.96 FEET TO THE CENTER SOUTH 1/16 CORNER OF SAID SECTION 9;

THENCE SOUTH 89°28'14" WEST ALONG THE SOUTH LINE OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SAID SECTION 9, A DISTANCE OF 2658.57 FEET TO THE SOUTH 1/16 CORNER OF SAID SECTION 9;

THENCE NORTH 00°23'37" WEST ALONG THE WEST LINE OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SAID SECTION 9, A DISTANCE OF 1328.03 FEET TO THE WEST QUARTER CORNER OF SAID SECTION 9;

THENCE SOUTH 89°22'24" WEST ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 8, A DISTANCE OF 616.01 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE CROWFOOT VALLEY ROAD AS DESCRIBED IN QUIT CLAIM DEED RECORDED SEPTEMBER 24, 2009 AT RECEPTION NUMBER 2009075004 IN THE RECORDS OF THE DOUGLAS COUNTY CLERK AND RECORDER, SAID POINT BEING A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF SAID CROWFOOT VALLEY ROAD, THE FOLLOWING SEVEN (7) COURSES:

1. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 1690.00 FEET, A CENTRAL ANGLE OF 11°07'42"; AN ARC LENGTH OF 328.25 FEET, THE CHORD OF WHICH BEARS NORTH 41°55'04" EAST, 327.73 FEET;
2. NORTH 36°21'12" EAST, A DISTANCE OF 2996.23 FEET;
3. NORTH 37°50'11" EAST, A DISTANCE OF 31.38 FEET;
4. NORTH 37°50'27" EAST, A DISTANCE OF 428.29 FEET TO A POINT OF CURVATURE;
5. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 7586.00 FEET, A CENTRAL ANGLE OF 02°11'42", AN ARC LENGTH OF 290.62 FEET, THE CHORD OF WHICH BEARS NORTH 40°39'52" EAST, 290.60 FEET;
6. NORTH 41°45'43" EAST, A DISTANCE OF 958.65 FEET;
7. NORTH 43°01'11" EAST, A DISTANCE OF 231.46 FEET TO A POINT ON THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 4;

THENCE SOUTH 00°03'18" EAST ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 4, A DISTANCE OF 1442.10 FEET TO THE SOUTH QUARTER CORNER OF SAID SECTION 4;

THENCE NORTH 89°26'53" EAST ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 4, A DISTANCE OF 2642.13 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINING A CALCULATED AREA OF 17,428,939 SQUARE FEET OR 400.113 ACRES, MORE OR LESS, AND 824 RESIDENTIAL LOTS.

LEGAL DESCRIPTION: (PARCEL 2)

A PARCEL OF LAND BEING A PART OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER CORNER OF SAID 4 AND CONSIDERING EAST LINE OF THE NORTHEAST QUARTER OF SECTION 9 TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN BEING MONUMENTED AT THE NORTHEAST CORNER OF SAID SECTION 9 BY A 3-1/4" ALUMINUM CAP STAMPED LS 23053 AND AT THE EAST QUARTER CORNER OF SAID SECTION 9 BY A 2-1/2" ALUMINUM CAP STAMPED LS 6935 TO BEAR SOUTH 00°15'06" EAST, 2648.70 FEET WITH ALL BEARINGS CONTAINED HEREIN BEING RELATIVE THERETO;

THENCE NORTH 55°44'54" WEST, A DISTANCE OF 1081.84 TO A POINT ON THE NORTHWESTERLY RIGHT OF WAY LINE OF CROWFOOT VALLEY ROAD AS DESCRIBED IN QUIT CLAIM DEED RECORDED AT RECEPTION NO. 2009075004 IN THE RECORDS OF THE DOUGLAS COUNTY CLERK AND RECORDER;

THENCE NORTH 47°39'52" WEST, A DISTANCE OF 257.10 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 1415.00 FEET, A CENTRAL ANGLE OF 16°39'18", AN ARC LENGTH OF 411.32 FEET, THE CHORD OF WHICH BEARS NORTH 55°59'31" WEST, 409.87 FEET;

THENCE NORTH 43°37'17" EAST, A DISTANCE OF 679.51 FEET;

THENCE SOUTH 49°28'59" EAST, A DISTANCE OF 641.27 FEET TO A POINT ON SAID NORTHWESTERLY RIGHT OF WAY LINE;

THENCE ALONG SAID NORTHWESTERLY RIGHT OF WAY LINE THE FOLLOWING TWO (2) COURSES:

1. SOUTH 41°45'43" WEST, A DISTANCE OF 611.70 FEET TO A POINT OF CURVATURE;
2. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 7692.00 FEET, A CENTRAL ANGLE OF 00°12'48", AN ARC LENGTH OF 28.65 FEET, THE CHORD OF WHICH BEARS SOUTH 41°40'26" WEST, 28.65 FEET TO THE POINT OF BEGINNING,

SAID PARCEL CONTAINING A CALCULATED AREA OF 418,173 SQUARE FEET OR 9.600 ACRES, MORE OR LESS.

PLANNING COMMISSION STATEMENT:

THE PRELIMINARY PLAN FOR THIS PLAT WAS REVIEWED BY THE PLANNING COMMISSION ON _____, 2017.

PLANNING DIRECTOR, ON BEHALF OF THE PLANNING COMMISSION _____ DATE _____

CLERK AND RECORDER'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAT WAS FILED IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY, COLORADO ON _____

THIS _____ DAY OF _____, 2017 AT _____ O'CLOCK _____ M. AT _____

RECEPTION NUMBER _____

COUNTY CLERK AND RECORDER

The dedication statement, acknowledgement, property owners signatures, Planning Commission statement and Clerk and Recorder's certificate can all be removed. The Preliminary Plan is not recorded

ENGINEER/SURVEYOR

CVL Consultants
of Colorado, Inc.
10333 E. Dry Creek Rd., Suite 240
Englewood, CO 80112
Tel: (720) 482-9526 / Fax: (720) 482-9546

TRAILS AT CROWFOOT SUBDIVISION PRELIMINARY PLAT

A PART OF THE SECTIONS 4, 8 AND 9, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6th PRINCIPAL MERIDIAN,
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
SHEET 2 OF 22

NOTES:

- NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE (3) YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN (10) YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACTS ANY PUBLIC LAND SURVEY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
- THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY CVL CONSULTANTS OF COLORADO, INC. TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS-OF-WAY AND TITLE OF RECORD, CVL CONSULTANTS OF COLORADO, INC. RELIED UPON COMMITMENT FOR TITLE INSURANCE, COMMITMENT NO. 5514-2556675, AMENDMENT NO. 11 ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY AND HAVING AN EFFECTIVE DATE OF APRIL 21, 2016 AT 5:00 P.M.
- BASIS OF BEARINGS: BASIS OF BEARINGS: THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 9 BEING MONUMENTED AT THE NORTHEAST CORNER OF SAID SECTION 9 BY A 3-1/4" ALUMINUM CAP STAMPED LS 23053 AND AT THE EAST QUARTER CORNER OF SAID SECTION 9 BY A 2-1/2" ALUMINUM CAP STAMPED LS 6935 BEING CONSIDERED TO BEAR SOUTH 00°15'06" EAST, 2648.70 FEET.
- BENCHMARK: DOUGLAS COUNTY CONTROL POINT KNOWN AS 1.060032, BEING A 3-1/4" ALUMINUM CAP, BEING LOCATED IN THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, HAVING A PUBLISHED ELEVATION OF 1799.2870 METERS (5903.13 FEET) NAVD '88 DATUM.
- WITHIN ALL SIGHT TRIANGLES, LIMITED LANDSCAPING SHALL BE ALLOWED BUT NOT SOLID STRUCTURES. SOLID STRUCTURES SHALL INCLUDE, BUT NOT BE LIMITED TO, FENCES AND UTILITY BOXES. LANDSCAPING WITHIN THE INTERSECTION SIGHT DISTANCE TRIANGLES WILL BE LIMITED TO SHRUBS AND PLANTING THAT AT MATURITY WILL BE NO TALLER THAN TWO (2) FEET. TREES PLANTED WITHIN THE SIGHT DISTANCE TRIANGLE WILL NOT BE ALLOWED. LANDSCAPING WITHIN THE SIGHT DISTANCE TRIANGLE AREA SHALL BE MAINTAINED BY THE PROPERTY OWNER OR APPROPRIATE ASSOCIATION.
- THOSE PORTIONS OF REAL PROPERTY WHICH ARE LABELED AS SIDEWALK & UTILITY EASEMENTS AND AS UTILITY EASEMENTS ON THIS PLAT ARE FOR THE INSTALLATION AND MAINTENANCE OF UTILITIES, INCLUDED, BUT NOT LIMITED TO, ELECTRIC LINES, GAS LINES, TELEPHONE LINES, TOGETHER WITH A PERPETUAL RIGHT OF INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES; SAID EASEMENTS AND RIGHT ARE TO BE UTILIZED IN A RESPONSIBLE AND PRUDENT MANNER.
- THE LINEAL UNIT USED IN THE PREPARATION OF THIS PLAT IS THE U.S. SURVEY FOOT AS DEFINED BY THE UNITED STATES DEPARTMENT OF COMMERCE, NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY.
- THERE ARE A TOTAL OF 736 LOTS AND 35 TRACTS IN THE TRAILS AT CROWFOOT SUBDIVISION.

UTILITY EASEMENT ACKNOWLEDGEMENT

THOSE PORTIONS OF REAL PROPERTY WHICH ARE LABELED AS UTILITY EASEMENTS ON THIS PLAT ARE FOR THE INSTALLATION AND MAINTENANCE OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, ELECTRIC LINES, GAS LINES, TELEPHONE LINES, TOGETHER WITH A PERPETUAL RIGHT OF INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE, AND REPLACEMENT OF SUCH LINES; SAID EASEMENTS AND RIGHTS ARE TO BE UTILIZED IN A RESPONSIBLE AND PRUDENT MANNER.

TITLE VERIFICATION:

WE, FIRST AMERICAN TITLE INSURANCE COMPANY, A QUALIFIED TITLE INSURANCE COMPANY, DO HEREBY CERTIFY THAT WE HAVE EXAMINED THE TITLE OF ALL LAND PLATTED HERON AND THAT TITLE TO SUCH LAND IS IN THE DEDICATION(S) FREE AND CLEAR OF ALL LIENS, TAXES AND ENCUMBRANCES.

SIGNATURE

BY: _____

AS: _____ OF FIRST AMERICAN TITLE INSURANCE COMPANY

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____, BY _____

AS _____ OF FIRST AMERICAN TITLE INSURANCE COMPANY.

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES _____

APPROVAL OF TOWN COUNCIL:

THIS PLAT WAS APPROVED BY TOWN COUNCIL AND/OR, WHERE APPLICABLE, THE PLANNING DIRECTOR AND DIRECTOR OF ENGINEERING OF THE TOWN OF PARKER, COLORADO, ON THE _____ DAY OF _____, 2017, FOR FILING. THE DEDICATIONS ARE HEREBY ACCEPTED.

ALL EXPENSES INCURRED WITH RESPECT TO IMPROVEMENTS FOR ALL UTILITY SERVICES, PAVING, GRADING, CURBS, GUTTER, SIDEWALKS, ROAD LIGHTING, ROAD SIGNS, FLOOD PROTECTION DEVICES, DRAINAGE STRUCTURES, AND ALL OTHER IMPROVEMENTS THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER AND NOT THE TOWN OF PARKER. THE TOWN SHALL ONLY ACCEPT MAINTENANCE OF THE ROADWAY IMPROVEMENTS AFTER CONSTRUCTION HAS BEEN COMPLETED, AND AFTER THE WARRANTY PERIOD, IN ACCORDANCE WITH TOWN REGULATIONS. THE RESPONSIBILITY FOR MAINTAINING THE PRIVATE ROADS, INCLUDING THE REMOVAL OF SNOW ACCUMULATIONS, SHALL BE WITH THE SUBDIVIDER OR HIS OR HER ASSIGNS IN PERPETUITY.

THIS ACCEPTANCE DOES NOT GUARANTEE THAT THE SOIL CONDITIONS, SUBSURFACE GEOLOGY, GROUNDWATER CONDITIONS OR FLOODING CONDITIONS OF ANY LOT SHOWN HEREON ARE SUCH THAT A BUILDING PERMIT WILL BE ISSUED.

MAYOR, TOWN OF PARKER

ATTEST: _____
TOWN CLERK

SURVEYOR'S CERTIFICATION:

I, WILLIAM F. HESSELBACH, JR., A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT TRULY AND CORRECTLY REPRESENTS THE RESULTS OF A SURVEY MADE ON JULY 19, 2016, BY ME OR UNDER MY DIRECT SUPERVISION AND THAT ALL MONUMENTS EXISTS AS SHOWN HEREON; THAT MATHEMATICAL CLOSURE ERRORS ARE LESS THAN 1:50,000 (SECOND ORDER); AND THAT SAID PLAT HAS BEEN PREPARED IN FULL COMPLIANCE WITH ALL APPLICABLE LAWS OF THE STATE OF COLORADO DEALING WITH MONUMENTS, SUBDIVISIONS OR SURVEYING OF LAND AND ALL PROVISIONS, WITHIN MY CONTROL, OF THE TOWN SUBDIVISION REGULATIONS.

I ATTEST THE ABOVE ON THIS _____ DAY OF _____, 2017.

WILLIAM F. HESSELBACH, JR., PLS NO. 25369
FOR AND ON BEHALF OF CVL CONSULTANTS OF COLORADO, INC.
10333 E. DRY CREEK ROAD, SUITE 240
ENGLEWOOD, CO 80112
(720)-249-3542

As stated on the first page, the Preliminary Plat is not recorded so the Title Verification and Town Council Approval can be removed. the Surveyors Certification can stay or be removed, it is up to the applicant.

Can the size in square feet also be added to these tables?

TRACT	AREA	USE	OWNERSHIP	MAINTENANCE
A	17.135 AC	OPEN SPACE / DRAINAGE / UTILITIES	METRO DIST	METRO DIST
B	21.736 AC	OPEN SPACE / DRAINAGE / UTILITIES	METRO DIST	METRO DIST
C	1.398 AC	PARK LAND / OPEN SPACE	METRO DIST	METRO DIST
D	0.103 AC	OPEN SPACE / UTILITIES	METRO DIST	METRO DIST
E	0.107 AC	OPEN SPACE / UTILITIES	METRO DIST	METRO DIST
F	0.097 AC	OPEN SPACE / UTILITIES	METRO DIST	METRO DIST
G	0.104 AC	OPEN SPACE / UTILITIES	METRO DIST	METRO DIST
H	0.103 AC	OPEN SPACE / UTILITIES	METRO DIST	METRO DIST
I	0.101 AC	OPEN SPACE / UTILITIES	METRO DIST	METRO DIST
J	9.325 AC	FUTURE MIXED USE LAND	OWNER/DEV.	OWNER/DEV.
K	9.391 AC	FUTURE MIXED USE LAND	OWNER/DEV.	OWNER/DEV.
L	0.452 AC	OPEN SPACE / UTILITIES	METRO DIST	METRO DIST
M	13.587 AC	OPEN SPACE / UTILITIES	METRO DIST	METRO DIST
N	4.212 AC	FUTURE MIXED USE LAND	OWNER/DEV.	OWNER/DEV.
O	2.710 AC	FIRE STATION SITE	PARKER FIRE	PARKER FIRE
P	2.204 AC	OPEN SPACE / UTILITIES	METRO DIST	METRO DIST
Q	0.290 AC	OPEN SPACE / UTILITIES	METRO DIST	METRO DIST
R	0.638 AC	PARK LAND / OPEN SPACE / UTILITIES	METRO DIST	METRO DIST
S	0.500 AC	OPEN SPACE / UTILITIES	METRO DIST	METRO DIST
T	0.518 AC	OPEN SPACE / UTILITIES	METRO DIST	METRO DIST
U	10.753 AC	SCHOOL SITE	SCHOOL DIST.	SCHOOL DIST.
V	0.904 AC	OPEN SPACE / UTILITIES	METRO DIST	METRO DIST
W	1.162 AC	OPEN SPACE / UTILITIES	METRO DIST	METRO DIST
X	40.952 AC	OPEN SPACE / DRAINAGE / UTILITIES	METRO DIST	METRO DIST
Y	0.477 AC	PARK LAND / OPEN SPACE	METRO DIST	METRO DIST
Z	9.359 AC	FUTURE MIXED USE LAND	OWNER/DEV.	OWNER/DEV.
AA	21.308 AC	OPEN SPACE / DRAINAGE / UTILITIES	METRO DIST	METRO DIST
BB	0.469 AC	PARK LAND / OPEN SPACE	METRO DIST	METRO DIST
CC	16.204 AC	PARK LAND / OPEN SPACE	PARKS & REC.	PARKS & REC.
DD	0.131 AC	OPEN SPACE / UTILITIES	METRO DIST	METRO DIST
EE	0.107 AC	OPEN SPACE / UTILITIES	METRO DIST	METRO DIST
FF	0.698 AC	OPEN SPACE / UTILITIES	METRO DIST	METRO DIST
GG	8.787 AC	OPEN SPACE / UTILITIES	METRO DIST	METRO DIST
HH	0.050 AC	OPEN SPACE / UTILITIES	METRO DIST	METRO DIST
II	9.600 AC	OPEN SPACE / DRAINAGE / UTILITIES	METRO DIST	METRO DIST

TYPE	AREA	% OF TOTAL AREA
FIRE STATION	2.710 AC.	0.66%
SCHOOL SITE	10.753 AC.	2.62%
SINGLE FAMILY RESIDENTIAL LOTS	123.064 AC.	30.04%
MIXED USE LAND	32.287 AC.	7.88%
PARK LAND	19.186 AC.	4.68%
OPEN SPACE AREAS	140.736 AC.	34.35%
ROAD RIGHTS OF WAY	80.977 AC.	19.77%
TOTAL	409.713 AC.	100%

ENGINEER/SURVEYOR

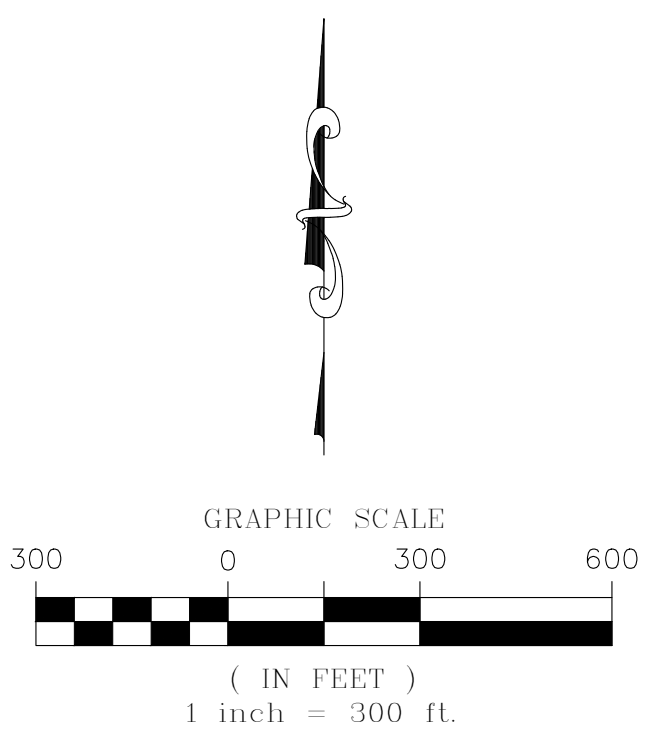
CVL Consultants
of Colorado, Inc.
10333 E. Dry Creek Rd., Suite 240
Englewood, CO 80112
Tel: (720) 482-9526 / Fax: (720) 482-9546

TRAILS AT CROWFOOT SUBDIVISION PRELIMINARY PLAT

A PART OF THE SECTIONS 4, 8 AND 9, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6th PRINCIPAL MERIDIAN,
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
SHEET 3 OF 22



Is there anyway that the tracts can be labeled on this map?

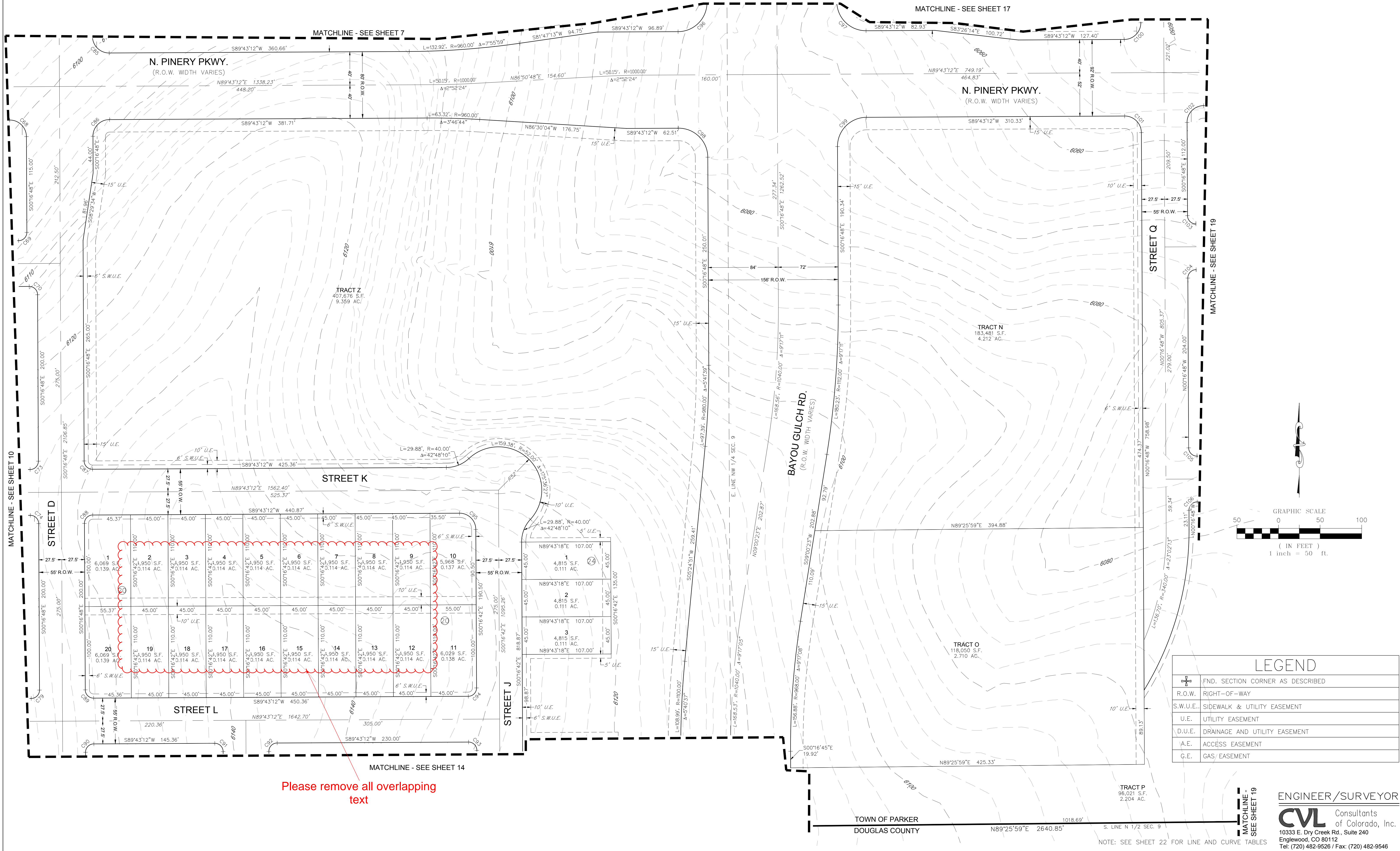


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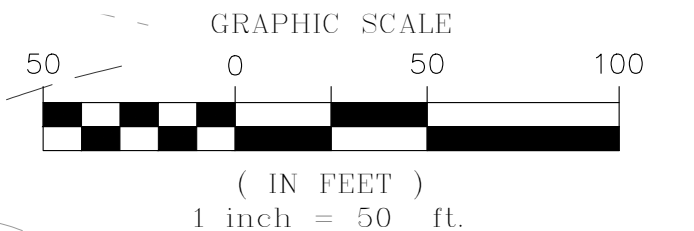
TRAILS AT CROWFOOT SUBDIVISION PRELIMINARY PLAT

A PART OF THE SECTIONS 4, 8 AND 9, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6th PRINCIPAL MERIDIAN,
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SHEET 11 OF 22



Please remove all overlapping text



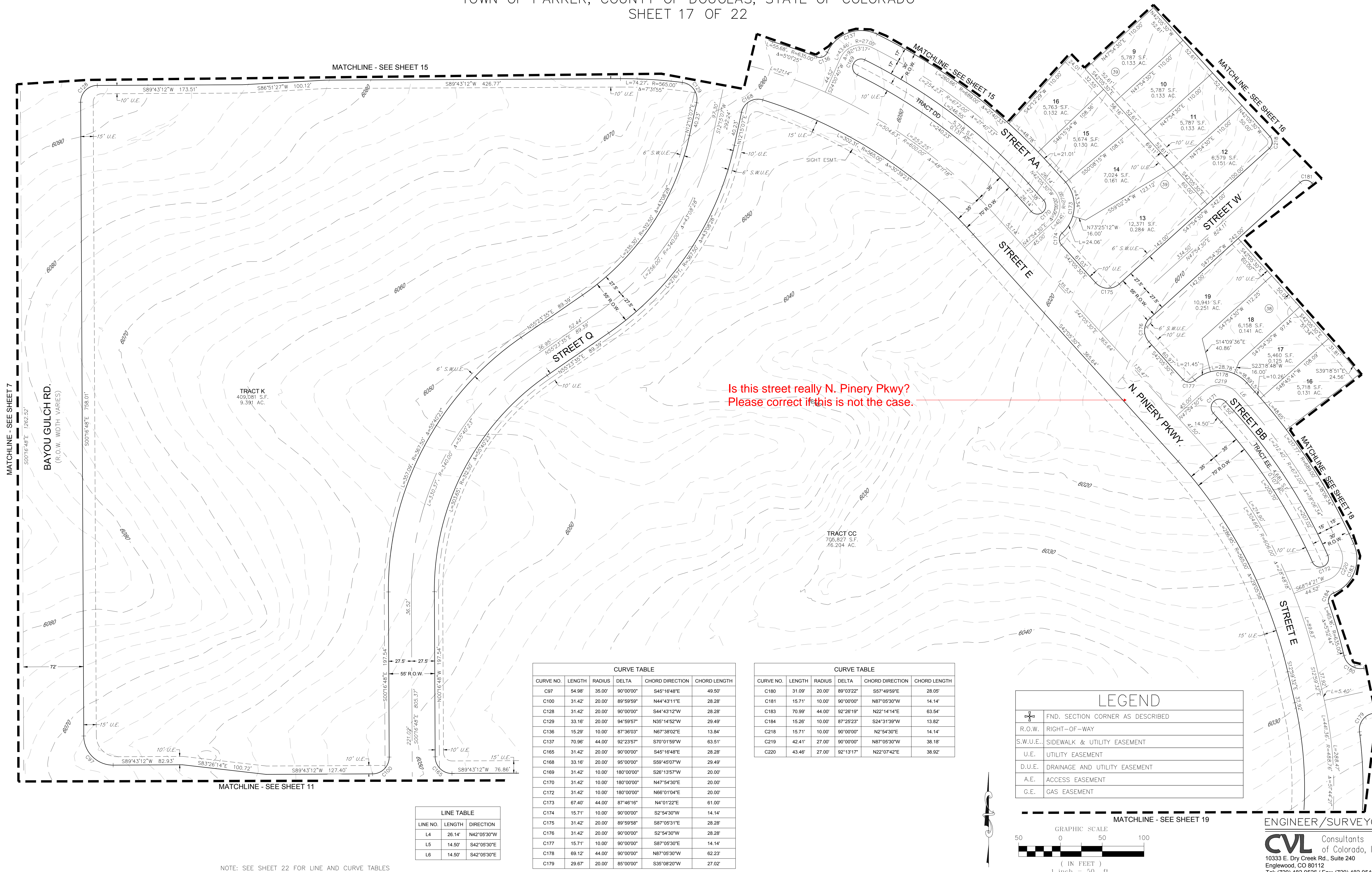
LEGEND	
	FND. SECTION CORNER AS DESCRIBED
	R.O.W. RIGHT-OF-WAY
	S.W.U.E. SIDEWALK & UTILITY EASEMENT
	U.E. UTILITY EASEMENT
	D.U.E. DRAINAGE AND UTILITY EASEMENT
	A.E. ACCESS EASEMENT
	G.E. GAS EASEMENT

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NOTE: SEE SHEET 22 FOR LINE AND CURVE TABLES

TRAILS AT CROWFOOT SUBDIVISION PRELIMINARY PLAT

A PART OF THE SECTIONS 4, 8 AND 9, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6th PRINCIPAL MERIDIAN,
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
SHEET 17 OF 22



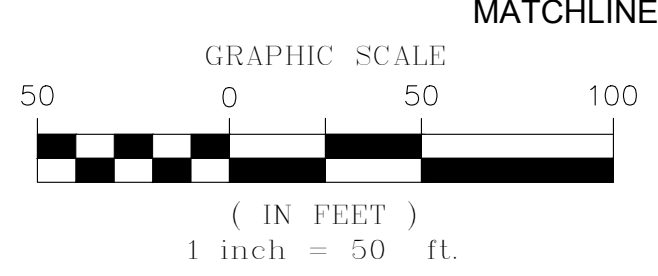
Is this street really N. Pinery Pkwy?
Please correct if this is not the case.

CURVE TABLE					
CURVE NO.	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C97	54.98'	35.00'	90°00'00"	S45°16'48"E	49.50'
C100	31.42'	20.00'	89°59'59"	N44°43'11"E	28.28'
C128	31.42'	20.00'	90°00'00"	S44°43'12"W	28.28'
C129	33.16'	20.00'	94°59'57"	N35°14'52"W	29.49'
C136	15.29'	10.00'	87°36'03"	N67°38'02"E	13.84'
C137	70.96'	44.00'	92°23'57"	S70°01'59"W	63.51'
C165	31.42'	20.00'	90°00'00"	S45°16'48"E	28.28'
C168	33.16'	20.00'	95°00'00"	S69°49'07"W	29.49'
C169	31.42'	10.00'	180°00'00"	S26°13'57"W	20.00'
C170	31.42'	10.00'	180°00'00"	N47°54'30"E	20.00'
C172	31.42'	10.00'	180°00'00"	N66°01'04"E	20.00'
C173	67.40'	44.00'	87°46'16"	N4°01'22"E	61.00'
C174	15.71'	10.00'	90°00'00"	S2°54'30"W	14.14'
C175	31.42'	20.00'	89°59'58"	S87°05'31"E	28.28'
C176	31.42'	20.00'	90°00'00"	S2°54'30"W	28.28'
C177	15.71'	10.00'	90°00'00"	S87°05'30"E	14.14'
C178	69.12'	44.00'	90°00'00"	N87°05'30"W	62.23'
C179	29.67'	20.00'	85°00'00"	S35°08'20"W	27.02'

CURVE TABLE					
CURVE NO.	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C180	31.09'	20.00'	89°03'22"	S57°49'59"E	28.05'
C181	15.71'	10.00'	90°00'00"	N87°05'30"W	14.14'
C183	70.99'	44.00'	92°26'19"	N22°14'14"E	63.54'
C184	15.26'	10.00'	87°25'23"	S24°31'39"W	13.82'
C218	15.71'	10.00'	90°00'00"	N2°54'30"E	14.14'
C219	42.41'	27.00'	90°00'00"	N87°05'30"W	38.18'
C220	43.46'	27.00'	92°13'17"	N22°07'42"E	38.92'

LINE TABLE		
LINE NO.	LENGTH	DIRECTION
L4	26.14'	N42°05'30"W
L5	14.50'	S42°05'30"E
L6	14.50'	S42°05'30"E

LEGEND	
	FND. SECTION CORNER AS DESCRIBED
	R.O.W. RIGHT-OF-WAY
	S.W.U.E. SIDEWALK & UTILITY EASEMENT
	U.E. UTILITY EASEMENT
	D.U.E. DRAINAGE AND UTILITY EASEMENT
	A.E. ACCESS EASEMENT
	G.E. GAS EASEMENT

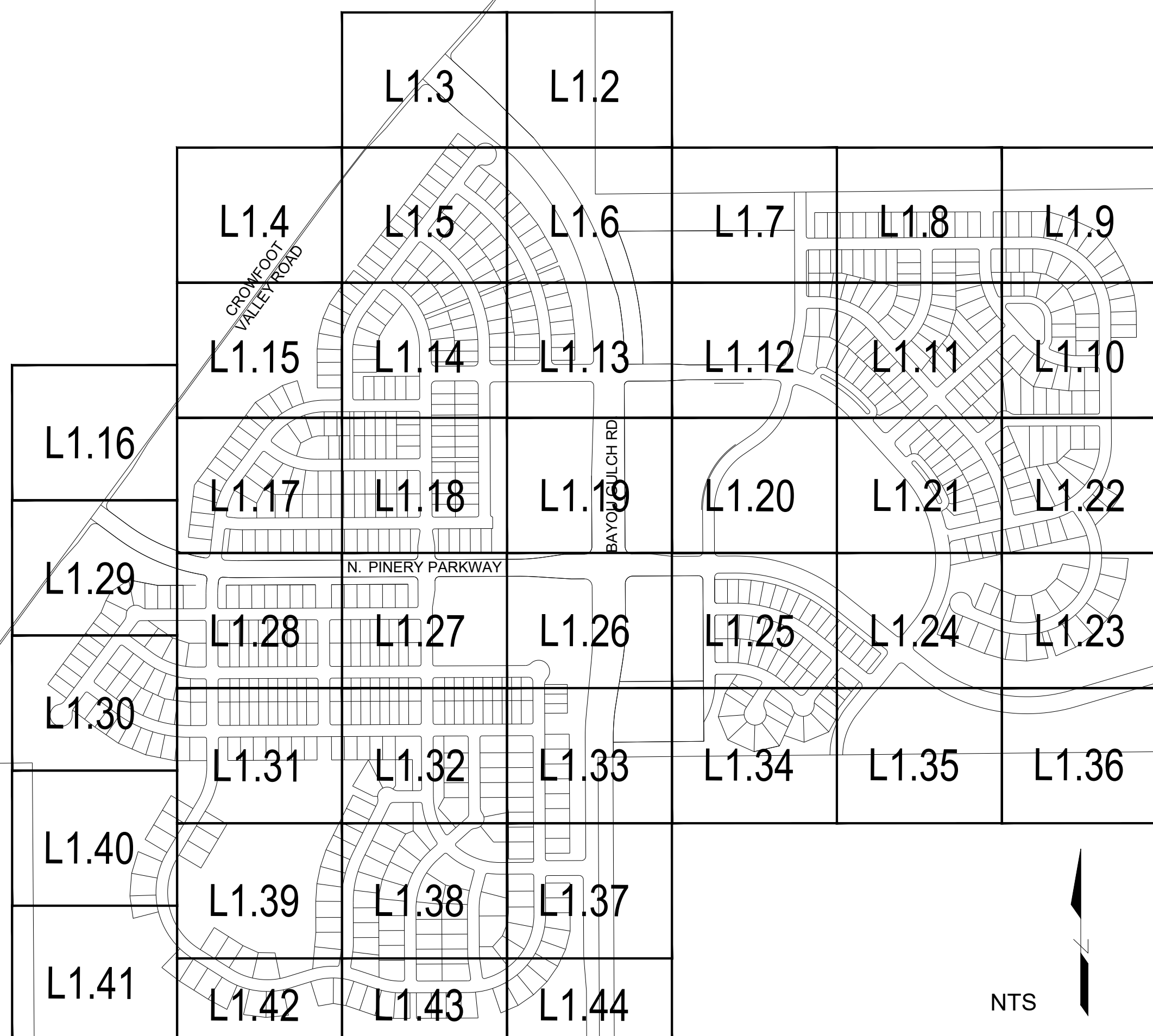


NOTE: SEE SHEET 22 FOR LINE AND CURVE TABLES

ENGINEER/SURVEYOR
CVL Consultants of Colorado, Inc.
10333 E. Dry Creek Rd., Suite 240
Englewood, CO 80112
Tel: (720) 482-9526 / Fax: (720) 482-9546

Please add a title which states:
Trails at Crowfoot
Preliminary Landscape Plan

SHEET KEY



GENERAL NOTES

- DRAWINGS ARE INTENDED TO BE PRINTED ON 24 X 36 PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
- VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.
- THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.
- IF A GEOTECHNICAL SOILS REPORT IS NOT AVAILABLE AT THE TIME OF CONSTRUCTION, PCS GROUP, INC. RECOMMENDS A REPORT BE AUTHORIZED BY THE OWNER AND THAT ALL RECOMMENDATIONS OF THE REPORT ARE FOLLOWED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID. IF THE OWNER ELECTS TO PROVIDE A GEOTECHNICAL REPORT, THE CONTRACTOR SHALL REVIEW THE REPORT AND SUBMIT AN APPROPRIATE CHANGE ORDER TO THE OWNER'S REPRESENTATIVE IF ADDITIONAL COSTS ARE REQUESTED.
- CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
- CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-CONFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES AND REGULATORY AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
- UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
- ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE WORK AREA LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
- SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS. NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
- COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEAN OUT AREAS WITH OWNER'S REPRESENTATIVE.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCKPILES CONCRETE IN THE STORM SEWER IS PROHIBITED.
- THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
- CONTRACTOR SHALL MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR AND OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
- THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.

Prepared For

ESX MANAGEMENT
 7353 SOUTH ALTON WAY
 CENTENNIAL, CO 80112

Land Planning

people creating spaces

pcs group inc. www.pcsgrouppco.com
 #3, 8-180 Independence plaza
 1007 14th street, denver, co 80265
 1.303.531.4905 f. 303.531.4908

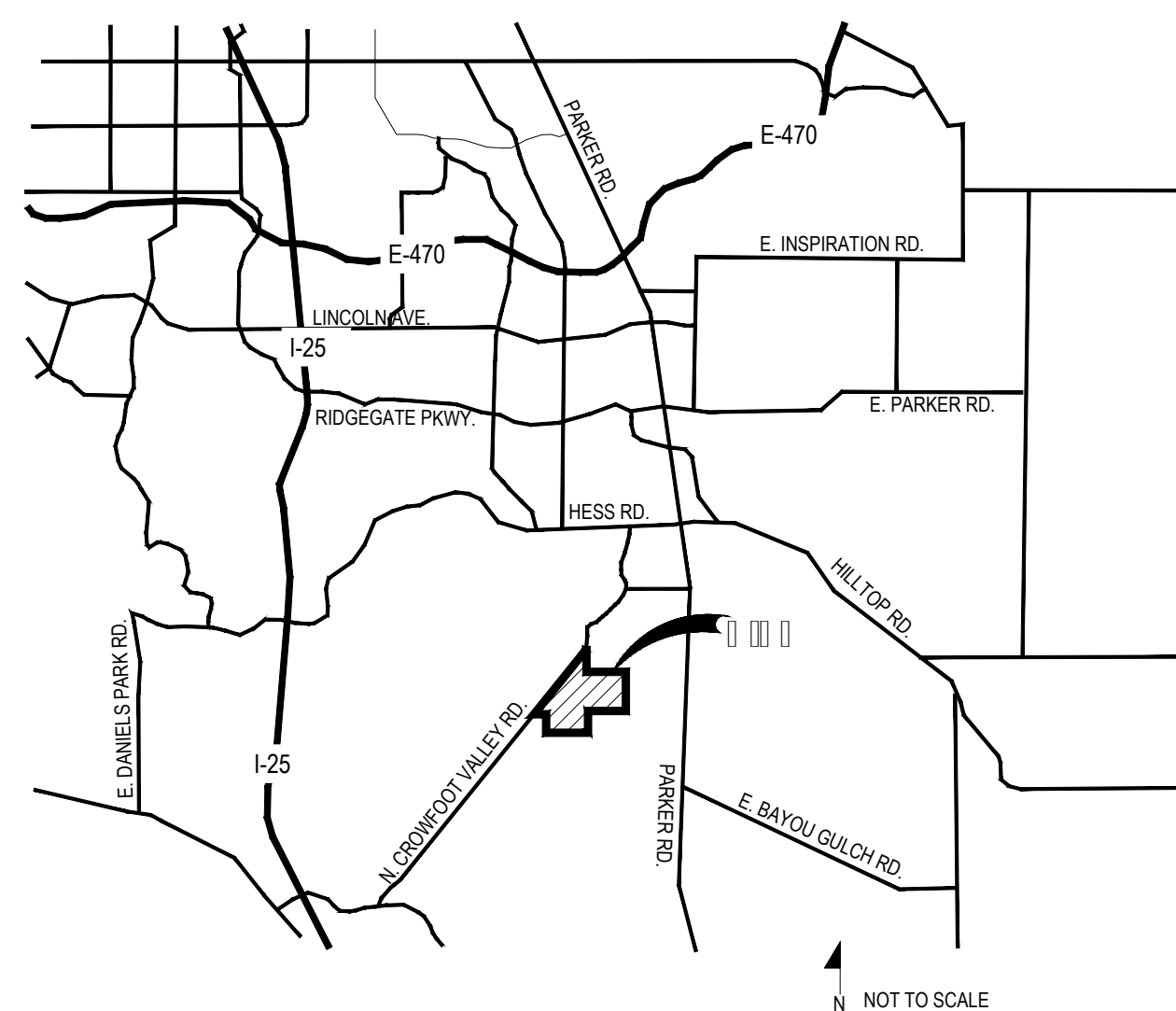
Engineering

CVL
 CONSULTANTS

10333 E. DRY CREEK RD. #240
 ENGLEWOOD, CO 80112
 720-482-9526

TRAILS AT CROWFOOT
 PARKER, COLORADO
PRELIMINARY LANDSCAPE PLAN
 (NOT FOR CONSTRUCTION)

VICINITY MAP

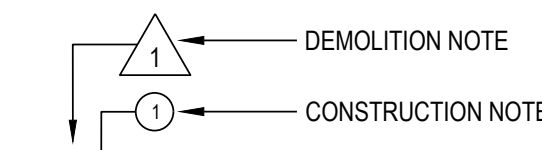


Sheet Number	Sheet Title
L0.0	LANDSCAPE COVER SHEET
L0.1	LANDSCAPE NOTES & TABULATIONS
L0.2	PLANT & SEED SCHEDULE
L0.3	EXISTING CONDITIONS
L0.4	TREE CONSERVATION PLAN
L0.5	TREE CONSERVATION PLAN
L0.6	TREE CONSERVATION PLAN
L0.7	TRAILS PLAN & DETAILS
L0.8	TRAILS PLAN & DETAILS
L1.0	FENCING PLAN & DETAILS
L1.1	OVERALL LANDSCAPE PLAN
L1.2-L1.44	LANDSCAPE PLANS
L2.0	SITE & LANDSCAPE DETAILS
L3.0-L3.2	MONUMENT SIGN DETAILS

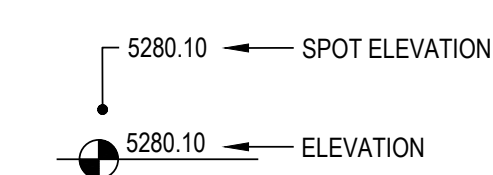
SYMBOLS & ABBREVIATIONS

- | | | |
|----------------------------|--------------------------|-----------------------------------|
| AC = ACRE | EXP = EXPANSION | O.C. = ON CENTER |
| APPROXIMATE = APPROX | E.W. = EACH WAY | O.D. = OUTSIDE DIAMETER |
| B&B = BALL AND BURLAP | F.F. = FINISH FLOOR | P.O.B. = POINT OF BEGINNING |
| BOC = BACK OF CURB | F.G. = FINISH GRADE | P.O.C. = POINT OF CONNECTION |
| B.M. = BENCH MARK | FIN. = FINISH | P.V.C. = POLYVINYL CHLORIDE |
| BDG. = BUILDING | F.H. = FIRE HYDRANT | PIPE |
| B.S. = BOTTOM OF STAIR | FL = FLOW LINE | PL = PROPERTY LINE |
| B.W. = BOTTOM OF WALL | FTG. = FOOTING | R = RADIUS |
| CAL. = CALIPER | FT. = FEET | R.C.P. = REINFORCED CONCRETE PIPE |
| C.B. = CATCH BASIN | GA. = GAUGE | R.O.W. = RIGHT OF WAY |
| CL CATCH BASIN CENTER LINE | GALV. = GALVANIZED | REQD. = REQUIRED |
| C.O. = CLEANOUT | H.W. = HEAD WALL | REINF. = REINFORCED |
| COL. = COLUMN | H.P. = HIGH POINT | SHT. = SHEET |
| CONC. = CONCRETE | HT. = HEIGHT | SPEC. = SPECIFICATIONS |
| CONT. = CONTINUOUS | HORIZ. = HORIZON | SQ. = SQUARE |
| CONTR. = CONTRACTOR | I.D. = INNER DIAMETER | S.F. = SQUARE FEET |
| C.F. = CUBIC FEET | IN. = INCH | S.Y. = SQUARE YARD |
| C.Y. = CUBIC YARD | IN.V. = INVERT | S.S. = STAINLESS STEEL |
| DET. = DETAIL | L.P. = LOW POINT | T.C. = TOP OF CURB |
| DIM. = DIMENSION | L.F. = LINEAR FEET | T.S. = TOP OF STAIR |
| DIA. = DIAMETER | MAX. = MAXIMUM | T.W. = TOP OF WALL |
| DWG. = DRAWING | M.H. = MAN HOLE | TYP. = TYPICAL |
| EA. = EACH | MIN. = MINIMUM | VERT. = VERTICAL |
| ELEV. = ELEVATION | MISC. = MISCELLANEOUS | W/O = WITH OUT |
| EXIST. = EXISTING | N.I.C. = NOT IN CONTRACT | W.W.M. = WOVEN WIRE MESH |
| E.P. = EDGE OF PAVING | N.T.S. = NOT TO SCALE | |

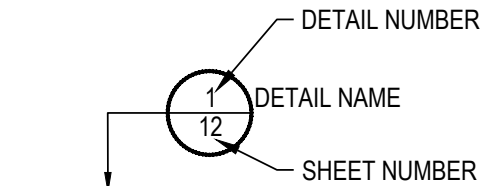
NOTE IDENTIFICATION



ELEVATION IDENTIFICATION



DETAIL IDENTIFICATION



The Town of Parker review constitutes general compliance with the Town's Standards and approved variances, subject to these plans being stamped, signed, and dated by the professional engineer of record. Review by the Town does not constitute approval of the plan design or accuracy and correctness of engineering calculations. Errors in the design or calculations remain the responsibility of the registered professional engineer whose stamp and signature are affixed to this document.

This review does not constitute approval of any private on-site improvements which may be shown. Construction cannot commence until all required drainage/traffic report(s), final development plan(s), special review(s), grading permit, and/or other permits are complete, approved and on file with the Town of Parker.

Town of Parker, Director of Engineering _____ Date _____

All fire hydrants shall be installed according to water utility standards. The number and locations of the fire hydrants as shown on the Overall Utility Plan are correct as specified by the Town of Parker, Community Development Department.

Fire Code Official or Designated Representative _____ Date _____

(NOTE - Underground Fire Line (UFL) submittal documents must meet the requirements of NFPA 24 when submitting for review.)

Y:\Hess_Ranch\LANDSCAPE ARCHITECTURE\CURRENT DWGS\Hess-LDSCP PLANS.DWG Wednesday, August 31, 2016

OWNER / DEVELOPER
ESX MANAGEMENT
 7353 SOUTH ALTON WAY
 CENTENNIAL, CO 80112

PLANNER / LANDSCAPE ARCHITECT
 people creating spaces
 pcs group inc. www.pcsgrouppco.com
 #3, 8-180 Independence plaza
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CIVIL ENGINEER
CVL
 CONSULTANTS
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 ENGLEWOOD, CO 80112
 720-482-9526

Drawn by: JWI, BEM, GG

Checked by: PCS STAFF

Submittal Date: 11.11.16
INITIAL SUBM.
02.08.17
2nd SUBM.

Call before you dig.

811

Sheet Name
LANDSCAPE COVER SHEET

Sheet Number
L0.0

LANDSCAPE NOTES

- SITE PREP**
- LANDSCAPE CONTRACTOR TO REFERENCE CIVIL ENGINEERING DRAWINGS REGARDING DRAINAGE AND EROSION CONTROL NOTES, DETAILS AND PROCEDURES.
 - ALL WORK SHALL CONFORM TO LOCAL MUNICIPAL CODES. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE LANDSCAPE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS. ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR USE OF MAINTENANCE EQUIPMENT ENTRY.
 - SEE CIVIL ENGINEER'S DRAWINGS FOR GRADING AND DRAINAGE, EROSION CONTROL, PAVING AND SLEEVES, UTILITIES, AND OTHER ENGINEERED DETAILS.
 - CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
 - A PRE-CONSTRUCTION MEETING MAY BE REQUIRED BETWEEN THE LANDSCAPE CONTRACTOR, PROPERTY OWNER AND LANDSCAPE ARCHITECT BEFORE START OF CONSTRUCTION.
 - CONTRACTOR SHALL MINIMIZE ALL DISTURBANCE TO NON-IMPACTED AREAS.
 - SITE MUST BE CLEAN AND FREE OF ALL CONSTRUCTION DEBRIS BEFORE FINAL ACCEPTANCE.
 - CONTRACTOR IS RESPONSIBLE FOR SETUP OF BARRICADES, WARNING SIGNAGE, OR OTHER PROTECTIVE DEVICES IF ANY EXCAVATIONS ARE LEFT EXPOSED AFTER ON-SITE WORK HOURS.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACQUIRE ALL NECESSARY PERMITS FOR CONSTRUCTION AWAY FROM THE LOCAL JURISDICTION. A SEPARATE LANDSCAPE CONSTRUCTION PERMIT IS REQUIRED AND USE AND SALES TAX WILL BE COLLECTED. WATER CONNECTION FEES ARE TO BE PAID PRIOR TO THE METER SETTING. A BACK FLOW PERMIT AND INSPECTION IS REQUIRED PRIOR TO THE METER BEING INSTALLED IN THE VAULT.
 - TOPSOIL IS TO BE STRIPPED & STOCKPILED ON-SITE FOR LATER USE.
 - CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY EXISTING OR NEW SITE IMPROVEMENTS DISTURBED OR DAMAGED DUE TO THEIR OPERATIONS. DAMAGED MATERIALS SHALL BE REPLACED/REPAIRED TO ITS PRIOR CONDITION.
 - LOCATE ALL UTILITIES PRIOR TO ANY DIGGING OR LANDSCAPE PLANTING. CONTRACTOR SHALL HAND DIG ALL PLANTING PITS ADJACENT TO UTILITIES. IF UTILITIES ARE DAMAGED, REPAIRS SHALL BE MADE AT THE CONTRACTOR'S EXPENSE.
 - PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED & AMENDED.
 - ALL LANDSCAPE AREAS SHALL RECEIVE SOIL AMENDMENT ROTOTILLED AT A MIN. 8" DEPTH AT A RATE OF 4 CUBIC YARDS PER 1,000 SF.
 - CONTRACTOR SHALL SUBMIT SOIL AMENDMENT SPECIFICATIONS FOR APPROVAL PRIOR TO INSTALLATION.
 - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECH REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%, MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY LANDSCAPE ARCHITECT.

TURF, PLANT & GROUND COVER MATERIAL

- ANY SUBSTITUTION OR ALTERATION OF PLANT OR LANDSCAPE MATERIALS IN LOCATION, SPECIES, TYPE, ETC. SHALL BE ALLOWED ONLY WITH APPROVAL OF THE LANDSCAPE ARCHITECT. OVERALL PLANT QUANTITY AND QUALITY TO BE CONSISTENT WITH APPROVED PLANS.
- ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH AAN SPECIFICATIONS FOR NUMBER ONE GRADE.
- PROPOSED TREE LOCATIONS SHALL HAVE A MINIMUM SEPARATION OF 4' BETWEEN WATER OR SEWER SERVICE LINES AND A MINIMUM SEPARATION OF 10' BETWEEN WATER OR SEWER MAIN LINES. PROPOSED TREE LOCATIONS SHALL HAVE A MINIMUM SEPARATION OF 4' BETWEEN GAS LINES.
- ALL PROPOSED IRRIGATED TURF AREAS SHALL BE SODDED WITH THE BLEND SPECIFIED IN THESE PLANS. SOD SHALL BE LAID ON A FIRM BED WITH TIGHT JOINTS AND WITHOUT Voids.
- TREE WRAP TO BE APPLIED IN LATE FALL AFTER INSTALLATION, AND REMOVED THE FOLLOWING SPRING. REMOVE ANY STRING OR WIRE AROUND TREE TRUNKS AT TIME OF INSTALLATION.
- CONTRACTOR SHALL REPORT ANY DISCREPANCY FOUND IN THE FIELD VERSUS THE LANDSCAPE DRAWINGS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, OWNER'S REPRESENTATIVE, AND/OR THE CITY/COUNTY PRIOR TO ANY CONSTRUCTION OR DEMOLITION ACTIVITY. FAILURE TO MAKE SUCH REPORTS SHALL BE THE CONTRACTOR'S LIABILITY TO RELOCATE AND REPAIR.
- MAINTAIN A MINIMUM THREE FOOT CLEARANCE AROUND FIRE HYDRANTS, FIRE DEPARTMENT CONNECTIONS OR OTHER FIRE SERVICE EQUIPMENT. NO TREES OR SHRUBS WILL BE ALLOWED WITHIN THIS AREA.
- TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, AREAS OR UTILITY EASEMENTS. CONTACT LANDSCAPE ARCHITECT FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
- THE CENTER OF EVERGREEN TREES SHALL NOT BE PLACED CLOSER THAN 8' AND THE CENTER OF ORNAMENTAL TREES CLOSER THAN 6' FROM A SIDEWALK, STREET OR DRIVE LANE. EVERGREEN TREES SHALL NOT BE LOCATED ANY CLOSER THAN 15' FROM IRRIGATION ROTOR HEADS. NOTIFY

FINE GRADING NOTES

- SLOPES NOT TO EXCEED 4:1 MAX. - 1% MIN.
- SATISFACTORY SOILS: ASTM D 2487 SOIL CLASSIFICATION GROUPS GW, GP, GM, SW, SP, AND SM, OR A COMBINATION OF THESE GROUP SYMBOLS. FREE OF ROCK OR GRAVEL LARGER THAN 3 INCHES (75 MM) IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATTER.
- STRIP TOPSOIL TO WHATEVER DEPTHS ARE ENCOUNTERED IN A MANNER TO PREVENT INTERMINGLING WITH UNDERLYING SUBSOIL OR OTHER WASTE MATERIALS.
- STRIP EXISTING SURFACES OF UNSUITABLE TOPSOIL, INCLUDING TRASH, DEBRIS, WEEDS, ROOTS, AND OTHER WASTE MATERIALS.
- STOCKPILE TOPSOIL MATERIALS ON-SITE WITHOUT INTERMINGLING WITH SUBSOIL.
- REMOVE EXISTING VEGETATION, DEBRIS, UNSATISFACTORY SOIL MATERIALS, OBSTRUCTIONS, AND DELETERIOUS MATERIALS FROM GROUND SURFACE BEFORE PLACING FILLS.
- FLOW, SCARIFY, BENCH, OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL SO FILL MATERIAL WILL BOND WITH EXISTING MATERIAL.
- PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED CROSS-SECTIONS, ELEVATIONS AND GRADES WITH SATISFACTORY SOIL MATERIAL.
- UNIFORMLY GRADE AREAS TO A SMOOTH SURFACE. FREE FROM IRREGULAR SURFACE CHANGES. COMPLY WITH COMPACTION REQUIREMENTS AND GRADE TO CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED.

SEEDING ESTABLISHMENT NOTES:

- SEED SHALL BE LABELED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF AGRICULTURE, RULES AND REGULATIONS AND FEDERAL SEED ACT. SEED SHALL BE EQUAL IN QUALITY TO THE STANDARDS FOR "CERTIFIED SEED" AND SHALL BE FURNISHED IN SEALED, UNOPENED, STANDARD CONTAINERS. SEED SHALL BE FRESH, CLEAN, PURE LIVE SEED WITH THE VARIETIES MIXED IN PROPORTIONS BY WEIGHT SHOWN AND MEETING THE MINIMUM PERCENTAGES OF PURITY AND GERMINATION SPECIFIED.
- SEED SHALL BE APPLIED AT A RATE SHOWN BY MIX. SEED SHALL PASS GOVERNMENT TEST OF GERMINATION OF EIGHTY PERCENT (80%) AND FOR PURITY OF NINETY PERCENT (90%). THE PURE LIVE SEED SHALL NOT BE LESS THAN SIXTY SEVEN ON ONE-HALF PERCENT (67.5%) FOR ANY ONE VARIETY, WITH THE AVERAGE OF THE MIXTURE, NO LESS THAN SEVENTY TWO PERCENT (72%). ALL SEED SHALL BE FREE OF POA ANNUA AND ALL NOXIOUS OBJECTIONABLE WEEDS WITH A MAXIMUM CROP OF ONE-TENTH PERCENT (0.1%) AND MAXIMUM WEED OF ONE TENTH PERCENT (0.1%). IF SEED AVAILABLE ON THE MARKET DOES NOT MEET THE MINIMUM PURITY AND GERMINATION PERCENTAGES SPECIFIED, THE CONTRACTOR MUST COMPENSATE BY FURNISHING SUFFICIENT ADDITIONAL SEED TO EQUAL THE SPECIFIED PRODUCT.
- SPREAD ORGANIC SOIL AMENDMENT MATERIALS, AT A RATE OF 3 C.Y. PER 1000 SQUARE FEET, EVENLY OVER ENTIRE DISTURBED AREA AND THOROUGHLY INCORPORATE, BY MIXING, ROTOTILLING OR FINELY DISKING (MAX. 1" SIZE), TO A DEPTH OF SIX INCHES. ALL STONES, STICKS AND DEBRIS BROUGHT TO THE SURFACE SHALL BE REMOVED FROM THE SITE PROPERLY DISPOSED OF BY THE CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNER. ALL SEED AREAS WILL THEN BE RAKED AND ROLLED TO THE DESIRED FINISHED GRADES WITH GENTLY SLOPING SURFACES TO ADEQUATELY DRAIN ALL SURFACE WATER RUNOFF. THE FINISHED SURFACE SHALL BE EVEN AND UNIFORM AND NO DIRT CLODS LARGER THAN ONE INCH (1") IN DIAMETER SHALL APPEAR ON THE SURFACE. THE SOIL SURFACE SHALL BE SMOOTH, LOOSE AND OF FINE TEXTURE, AND BE FLUSH WITH ALL PAVING EDGES.
- CONTRACTOR SHALL USE APPROPRIATE MECHANICAL POWER (BRILLION SEEDER OR EQUAL) TO DRILL THE SEED INTO THE SEEDBED WHEREVER POSSIBLE. SEED SHALL BE SOWN TO A DEPTH OF ONE-HALF INCH (1/2"). DRILLING SHALL BE DONE IN 2 SEPARATE APPLICATIONS CROSSING THE AREA AT RIGHT ANGLES TO ONE ANOTHER TO GUARANTEE PROPER COVERAGE. ON SLOPING LAND, SEEDING OPERATIONS SHALL FOLLOW THE GENERAL CONTOUR. AREAS TOO SMALL TO DRILL SEED MAY BE BROADCAST BY HAND AND APPLICATION RATES SHALL BE DOUBLED. SEEDING OF ANY KIND WILL NOT BE PERMITTED WHEN WIND VELOCITY IS SUCH AS TO PREVENT UNIFORM SEED DISTRIBUTION. NO APPLICATION SHALL TAKE PLACE WITH THE PRESENCE OF FREE SURFACE WATER OR WHEN GROUND IS FROZEN OR CANNOT BE TILLED. ADDITIONAL TOPICAL OVER SEEDING MAY BE APPLIED TO PREVIOUSLY SEEDED AREAS IN ORDER TO ACHIEVE ADEQUATE GROUND COVER AND EROSION RESISTANCE.
- SEEDED AREAS MAY REQUIRE TEMPORARY ABOVE GROUND SPRAY IRRIGATION UNTIL ESTABLISHMENT. IRRIGATION SHALL BE REMOVED UPON ACCEPTANCE BY THE CITY. WHERE STEEP SLOPES OCCUR, LANDSCAPE CONTRACTOR MAY REQUIRE VARIOUS METHODS OF TEMPORARY

- LANDSCAPE ARCHITECT IF TREE LOCATIONS CONFLICT WITH THESE STANDARDS FOR FURTHER DIRECTION.
- ALL EVERGREEN TREES SHALL BE FULLY BRANCHED TO THE GROUND AND SHALL NOT EXHIBIT SIGNS OF ACCELERATED GROWTH AS DETERMINED BY LANDSCAPE ARCHITECT.
 - NO PLANT MATERIAL SHALL BE PLANTED WITHIN 10' OF ANY EXISTING OR PROPOSED ELECTRICAL SWITCHGEARS, TRANSFORMERS OR OTHER ELECTRICAL UTILITY EQUIPMENT. PLANT MATERIAL MAY BE FIELD ADJUSTED TO PROVIDE THE 10' CLEAR SPACE AND ACCESSIBILITY REQUIRED BY THE UTILITIES' OWNER/OPERATOR.
 - ANY TREES INSTALLED ABOVE RETAINING WALLS UTILIZING GEO-GRID MUST BE DUG TO PROTECT GEO-GRID. IF GEO-GRID MUST BE CUT TO INSTALL TREES, APPROVAL MUST BE GIVEN BY LANDSCAPE ARCHITECT PRIOR TO DOING WORK.
 - PROPOSED PLANT SPECIES MAY BE SUBJECT TO CHANGE PENDING COMMERCIAL AVAILABILITY AT TIME OF CONSTRUCTION. ALL SPECIES SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. OVERALL PLANT QUANTITIES & SIZES SHALL REMAIN AS INDICATED ON THE PLANT SCHEDULE. CONTRACTOR SHALL VERIFY THAT ANY SUBSTITUTED PLANT SPECIES ARE ACCEPTABLE TO THE LOCAL MUNICIPALITY OR GOVERNING JURISDICTIONS.
 - IF SPECIFIED PLANTS ARE NOT COMMERCIALY AVAILABLE AT TIME OF CONSTRUCTION/INSTALLATION, CONTRACTOR SHALL COORDINATE WITH LANDSCAPE ARCHITECT FOR A SUBSTITUTION.

PLANTING BEDS

- ALL PROPOSED PLANTING BEDS SHALL CONTAIN THE SPECIFIED MULCH. ROCK MULCH BEDS SHALL INCLUDE MIRAFI WEED BARRIER FABRIC OR EQUAL SECURED WITH PINS. OVERLAP FABRIC MIN. 24" AT EDGES. NO FABRIC IS REQUIRED IN WOOD MULCH AREAS.
- ROCK MULCH AROUND VEGETATION SHALL CONTAIN 1 1/2" 2" DIA. ROUND RIVER COBBLE, TAN COLOR, 4" DEPTH.
- WOOD MULCH SHALL BE 'GORILLA HAIR' OR EQUAL SHREDDED CEDAR MULCH, 4" DEPTH.
- EDGING BETWEEN TURF AND PLANTING BEDS SHALL BE 12-GAUGE, GREEN COLOR, ROLLED-TOP, STEEL EDGING OR EQUIVALENT. ANY NO EDGING IS REQUIRED AGAINST HARDSCAPE/WALK AREAS OR AT TREE RING EDGES. EDGING SHALL BE INSTALLED TO AVOID IMPEDING DRAINAGE. RE: DETAILS FOR INSTALLATION IN LOW DRAINAGE AREAS.
- FOR TREES NOT IN PLANTING BEDS, ALLOW A 6'-0" DIAMETER BED (TREE RING) WITHOUT SOD AROUND ROOT COLLAR. APPLY SPECIFIED WOOD MULCH & DEPTH AROUND COLLAR FOLLOWING SOD INSTALLATION. NO FABRIC OR STEEL EDGER IS NECESSARY WITHIN TREE RINGS IN NATIVE AREAS. TREES IN PLANTING BEDS SHALL NOT HAVE WEED BARRIER INSTALLED WITHIN 6" OF THEIR TRUNKS.

HARDSCAPE

- REFER TO SITE PLANS & DETAILS FOR SPECIALTY CONCRETE LOCATIONS WHERE APPLICABLE.

IRRIGATION

- PERMANENT UNDERGROUND IRRIGATION IS REQUIRED IN ALL LANDSCAPE AREAS. 2) TURF AREAS ARE ZONED SEPARATELY FROM BED AREAS, 3) CONTROL TO INCLUDE RAIN SHUT-OFF 4) HYDROZONES WILL BE ON SEPARATE IRRIGATION ZONES ACCORDING TO WATER DEMAND.
- REFER TO IRRIGATION PLANS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM STANDARDS FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATIONS DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECH REPORT.
- TURF & IRRIGATED NATIVE AREAS (WHERE APPLICABLE) SHALL BE IRRIGATED BY AUTOMATIC POP-UP SPRAY SYSTEM. SHRUBS & PLANTING BEDS SHALL BE IRRIGATED WITH DRIP/BUBBLER SYSTEM.
- ALL TREES & SHRUBS OUTSIDE OF BEDS WITHIN NATIVE AREAS SHALL BE DRIP IRRIGATED. ALL IRRIGATION SHALL BE AN AUTOMATIC UNDERGROUND SYSTEM.
- REFER TO IRRIGATION PLANS FOR DETAILED INFORMATION.

MAINTENANCE

- CONTRACTOR IS TO MAINTAIN ALL PLANTINGS AND ASSOCIATED IRRIGATION SYSTEM INSTALLED UNDER THIS CONTRACT UNTIL FINAL ACCEPTANCE BY THE CITY AND TURNOVER TO OWNER. THIS MAINTENANCE SHALL INCLUDE PROPER WATERING OF ALL PLANTS, AND MOWING OF TURF/SEED AREAS IF NECESSARY.
- SITE MUST BE CLEAN AND FREE OF ALL CONSTRUCTION DEBRIS BEFORE FINAL ACCEPTANCE.
- ALL PLANT MATERIAL WILL BE COVERED BY A WARRANTY PERIOD. THE CONTRACTOR SHALL REPLACE DEAD, UNHEALTHY, OR OTHERWISE UNSATISFACTORY MATERIAL THROUGHOUT THIS PERIOD. THE WARRANTY SHALL BEGIN UPON FINAL ACCEPTANCE OF THE JOB.
- LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A LIVING CONDITION BY THE OWNER OR ASSIGNS OR OWNERS ASSOCIATION. TREES AND SHRUBS MUST HAVE A 100% ONGOING SURVIVAL RATE. ANY DEAD OR DAMAGED PLANT MATERIAL (AS DETERMINED BY THE LOCAL MUNICIPALITY) SHALL BE REPLACED. NON-LIVING GROUND COVERS, SUCH AS ROCK OR MULCH, MUST BE 100% INTACT AFTER ONE YEAR AND 100% INTACT THEREAFTER.
- LANDSCAPE AREAS WITHIN THE PROPERTY AND WITHIN THE ADJACENT RIGHT OF WAY SHALL BE MAINTAINED BY THE PROPERTY OWNER.

- PROVIDE A SMOOTH TRANSITION BETWEEN ADJACENT EXISTING GRADES AND NEW GRADES.
- CUT OUT SOFT SPOTS, FILL LOW SPOTS AND TRIM HIGH SPOTS TO COMPLY WITH REQUIRED SURFACE TOLERANCES.
- SITE GRADING: SLOPE GRADES TO DIRECT WATER AWAY FROM ADJACENT STRUCTURES AND TO PREVENT PONDING. FINISH SUBGRADES TO REQUIRED ELEVATIONS WITHIN THE FOLLOWING TOLERANCES:
 - A. AT LOCATIONS DESIGNATED FOR LAWN OR UNPAVED AREAS: PLUS OR MINUS 1 INCH (25 MM).
 - B. AT DESIGNATED PAVEMENT LOCATIONS: PLUS OR MINUS 1/2 INCH (13 MM).
- GRADING ON SLOPES: INSTALL EROSION STABILIZATION FABRIC PER MANUFACTURERS RECOMMENDATIONS ON SLOPED SURFACES EQUAL TO OR GREATER THAN A RATIO OF 1) VERTICAL FOOT TO 3) HORIZONTAL FEET.
- CONTRACTOR WILL ENGAGE A QUALIFIED INDEPENDENT GEOTECHNICAL ENGINEERING TESTING AGENCY TO PERFORM FIELD QUALITY-CONTROL TESTING.
- PROTECT NEWLY GRADED AREAS FROM TRAFFIC, FREEZING, AND EROSION. KEEP FREE OF TRASH AND DEBRIS.
- REPAIR AND REESTABLISH GRADES TO SPECIFIED TOLERANCES WHERE COMPLETED OR PARTIALLY COMPLETED SURFACES BECOME ERODED, RUTTED, SETTLED, OR WHERE THEY LOSE COMPACTION DUE TO SUBSEQUENT CONSTRUCTION OPERATIONS OR WEATHER CONDITIONS.
- WHERE SETTLING OCCURS BEFORE PROJECT CORRECTION PERIOD ELAPSES, REMOVE FINISHED SURFACE GRADING, BACKFILL WITH ADDITIONAL SOIL MATERIAL, COMPACT, AND RECONSTRUCT SURFACE GRADING.
- TRANSPORT SURPLUS SATISFACTORY SOIL TO DESIGNATED STORAGE AREAS ON OWNER'S PROPERTY. STOCKPILE OR SPREAD SOIL AS DIRECTED BY OWNER.

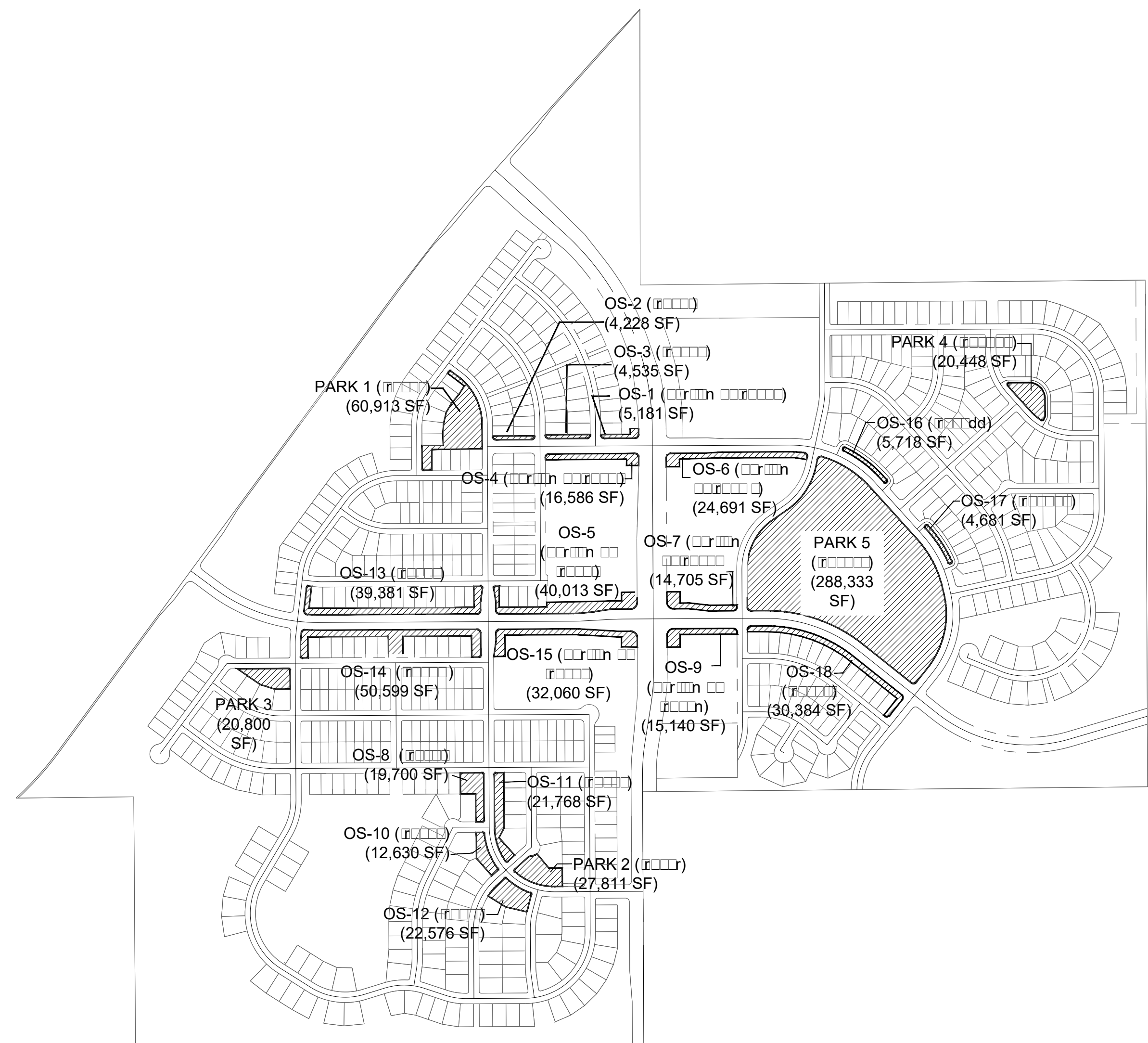
IRRIGATION TO ACHIEVE SEED ESTABLISHMENT. SUCH METHODS SHALL BE IN COMPLIANCE WITH THE PROJECT'S EROSION CONTROL METHODS, BMP'S AND ALL CITY CODES AND REQUIREMENTS.

- MULCH WILL BE HYDRO MULCH. HYDRO MULCH SHALL BE CONWED 200 AND TACKIFIER OR APPROVED SUBSTITUTE MEETING THE FOLLOWING REQUIREMENTS:
 - I. VIRGIN WOOD CELLULOSE FIBER: MAY NOT CONTAIN ANY SUBSTANCE OR FIBER THAT MAY INHIBIT GERMINATION OF GROWTH OF GRASS SEEDS AND PLANTS.
 - II. DYE TO APPROPRIATE COLOR TO ALLOW PROPER METERING OF APPLICATION.
 - III. FIBERS MUST HAVE ABILITY TO BECOME EVENLY DISPERSED AND SUSPENDED WHEN AGITATED IN WATER.
 - IV. WHEN SPRAYED UNIFORMLY ON SURFACE OF SOIL, FIBERS SHALL FORM BLOTTER - LIKE GROUND COVER THAT READILY ABSORBS WATER, AND ALLOWS INFILTRATION TO UNDERLYING SOIL.
 - V. WEIGHT SPECIFICATIONS SHALL REFER ONLY TO AIR DRY WEIGHT OF FIBERS WITH A STANDARD MOISTURE CONTENT OF TEN PERCENT (10%).
 - VI. MULCH MATERIAL SHALL BE SUPPLIED IN CONTAINERS NOT WEIGHING OVER ONE HUNDRED (100) LBS AND SHOWING AIR DRY WEIGHT OF FIBERS.
 - VII. ORGANIC TACKIFIER MAY BE SUPPLIED WITH HYDROMULCH FIBERS OR BE ADDED AT A LATER TIME.

WEED MANAGEMENT

BEFORE SEEDING, REMOVE EXISTING WEEDS BY PULLING, TILLING UNDER AND/OR, APPLYING A GLYPHOSATE HERBICIDE SUCH AS ROUNDUP®, OR BY A COMBINATION OF THESE METHODS. FOR ADDITIONAL WEED CONTROL AFTER SITE PREPARATION, A SOIL FUNGICIDE MAY BE USED, OR THE AREA MAY BE IRRIGATED TO ENCOURAGE WEED GROWTH AND THEN SPRAYED WITH A GENERAL HERBICIDE. IN VERY WEEDY AREAS, THE FOLLOWING METHOD IS SUGGESTED: (1) TILL SOIL OR SPRAY VEGETATION WITH ROUNDUP®, WHEN USING AN HERBICIDE, ALLOW VEGETATION TO DIE, THEN RAKE OUT THE DEAD DEBRIS. IF PERENNIAL WEEDS SUCH AS BINDWEED ARE PRESENT, USING AN HERBICIDE IS MORE EFFECTIVE THAN TILLING. (2) IRRIGATE TO ENCOURAGE GERMINATION OF WEED SEEDS NEAR THE SURFACE. MOST SEEDS WILL GERMINATE WITHIN TWO WEEKS IF CONSISTENT MOISTURE IS AVAILABLE. DO NOT TILL THE SOIL AGAIN BECAUSE THIS WILL BRING EVEN MORE WEED SEEDS UP TO THE SURFACE. (3) SPRAY ANY NEW GROWTH WITH ROUNDUP®, (4) AFTER RAKING OUT DEAD VEGETATION, ALLOW SOIL TO RECOVER FOR 4 WEEKS BEFORE PLANTING SEE. A RECOVERY PERIOD OF THIS DURATION IS ADVISABLE BECAUSE EXTENSIVE USE OF GLYPHOSATE HERBICIDES MAY CAUSE A DELAY IN GERMINATION AND IN THE VIGOROUS GROWTH OF SEEDLINGS. ONCE THE SEEDS HAVE GERMINATED, FURTHER WEED CONTROL IS USUALLY NECESSARY. IF PRACTICAL, PULL ALL WEEDS AS SOON AS THEY CAN BE IDENTIFIED. OTHER SUCCESSFUL TECHNIQUES ARE SPOT SPRAYING WITH A GENERAL HERBICIDE OR SELECTIVELY CUTTING WEEDS WITH A STRING TRIMMER. BE SURE TO REMOVE WEEDS BEFORE THEY RESEED. ONCE ESTABLISHED, NATIVE AREAS MAY BE MOWED TWICE A SEASON OR AS REQUIRED TO MINIMIZE WEED GROWTH. FURTHER MOWING ADJACENT TO ROADWAYS AND PARK AREAS MAY BE REQUIRED AS SEASONAL DROUGHT AND FIRE CONDITIONS MAY DICTATE.

LANDSCAPE AREAS



AREA	TYP E	AREA / LENGTH	UNI T	LANDSCAPE QUANTITIES				
				TREES REQUIRE	TREES PROVIDE	SHRUBS REQUIRED	SHRUBS PROVIDED	TREE EQUIVALENT
TOTAL R.O.W. TREES		34,272	LF	857	865			
R.O.W. Abutting Open Space		16,506	LF	413	387	N/A	N/A	
NORTH PINERY PARKWAY		9,766	LF	244	243	N/A	N/A	
BAYOU GULCH ROAD		8,000	LF	200	235	N/A	N/A	
TOTAL OPEN SPACE AREAS		364,576	SF	243	243	1,215	1,226	
OS-1 (PORTION OF TRACT B)		5,181	SF	3	4	17	30	
OS-2 (TRACT F)		4,228	SF	3	3	14	12	
OS-3 (TRACT G)		4,535	SF	3	3	15	15	
OS-4 (PORTION OF TRACT J)		16,586	SF	11	9	55	55	
OS-5 (PORTION OF TRACT J)		40,013	SF	27	29	133	147	
OS-6 (PORTION OF TRACT K)		24,691	SF	16	17	82	110	
OS-7 (PORTION OF TRACT K)		14,705	SF	10	6	49	55	
OS-8 (TRACT L)		19,700	SF	13	17	66	-	
OS-9 (PORTION OF TRACT N)		15,140	SF	10	12	50	62	
OS-10 (TRACT Q)		12,630	SF	8	7	42	42	
OS-11 (TRACT S)		21,768	SF	15	16	73	-	
OS-12 (TRACT T)		22,576	SF	15	10	75	92	
OS-13 (TRACT V)		39,381	SF	26	26	131	175	
OS-14 (TRACT W)		50,599	SF	34	34	169	169	
OS-15 (PORTION OF TRACT Z)		32,060	SF	21	21	107	107	
OS-16 (TRACT DD)		5,718	SF	4	4	19	19	
OS-17 (TRACT EE)		4,681	SF	3	3	16	16	
OS-18 (TRACT FF)		30,384	SF	20	22	101	120	
TOTAL PARK AREAS		547,466	SF	365	369	1,825	1,498	
PARK 1 (TRACT C)		60,913	SF	41	42	203	195	
PARK 2 (TRACT R)		27,811	SF	19	13	93	79	
PARK 3		20,800	SF	14	18	69	34	
PARK 4 (TRACT BB)		20,448	SF	14	19	68	126	
PARK 5 (TRACT CC)		417,494	SF	278	277	1,392	1,064	
TOTALS				1,465	1,477	3,040	2,724	

The Town of Parker Landscaping requirements for residential development only requires minimum landscape materials within Streetscapes. The Town recommends 1 tree and 5 shrubs per 1,500 square feet of landscaping within parks and open spaces. It is recommended that the trees and shrubs listed under required be left plant for the tracts

Prepared For

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Land Planning



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Engineering



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TRAILS AT CROWFOOT
PARKER, COLORADO
PRELIMINARY LANDSCAPE PLAN
(NOT FOR CONSTRUCTION)

Drawn by: JWI, BEM, GG
Checked by: PCS STAFF
Submitted: 11.11.16
Date: INITIAL SUBM. 02.08.17
2nd SUBM.
Know what's below. Call before you dig. 811

Sheet Name
LANDSCAPE NOTES & TABULATIONS

Sheet Number

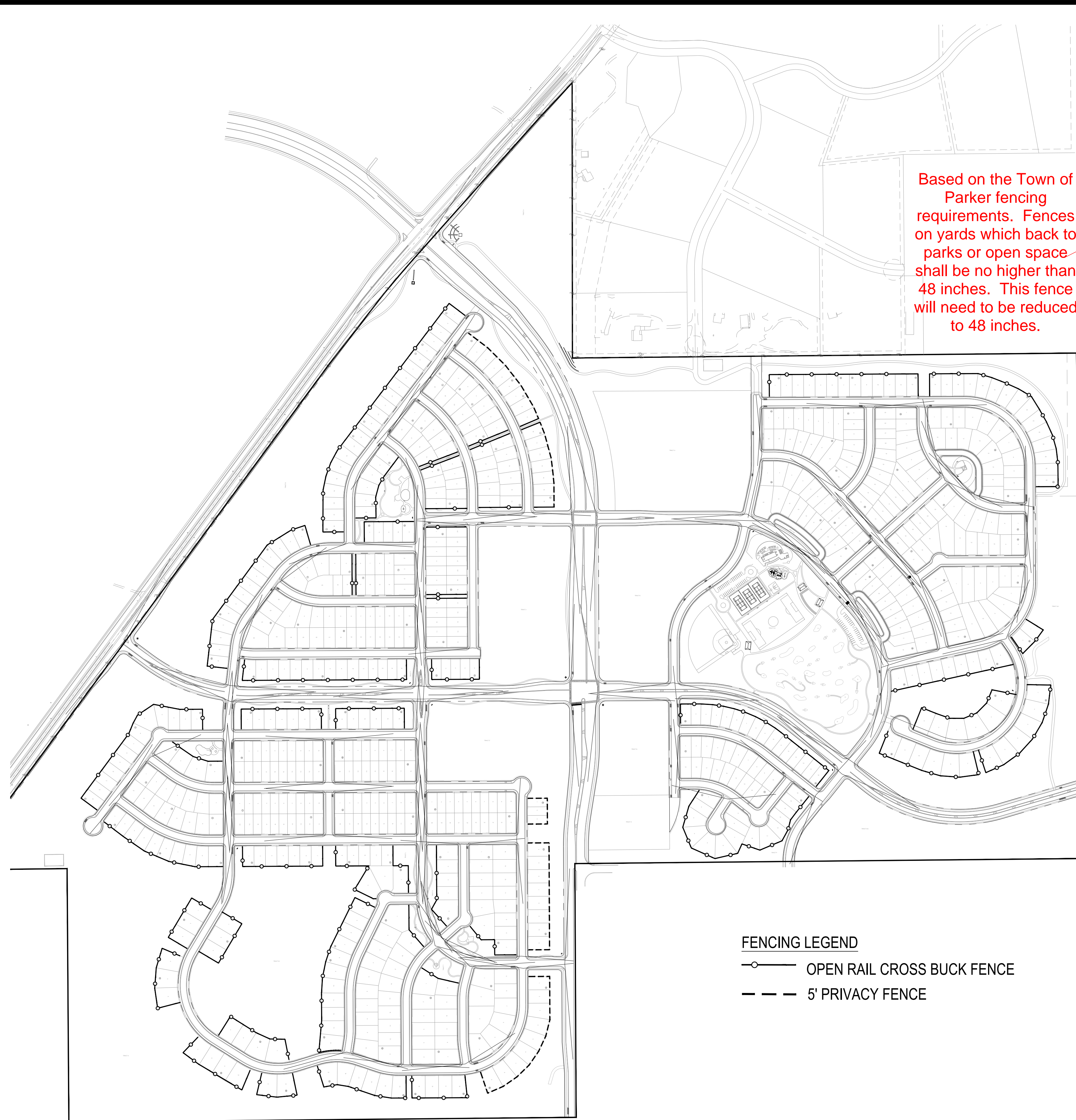
L0.1

* 10 shrubs per 1 tree substitution
** Final landscape plans to reflect required tree and shrubs quantities per Town of Parker Landscape Regulations (Section 13.06.070) which require 1 tree & 5 shrubs per each 1,500 square
*** Hardscape and non plantable areas are subtracted from open space area calculations

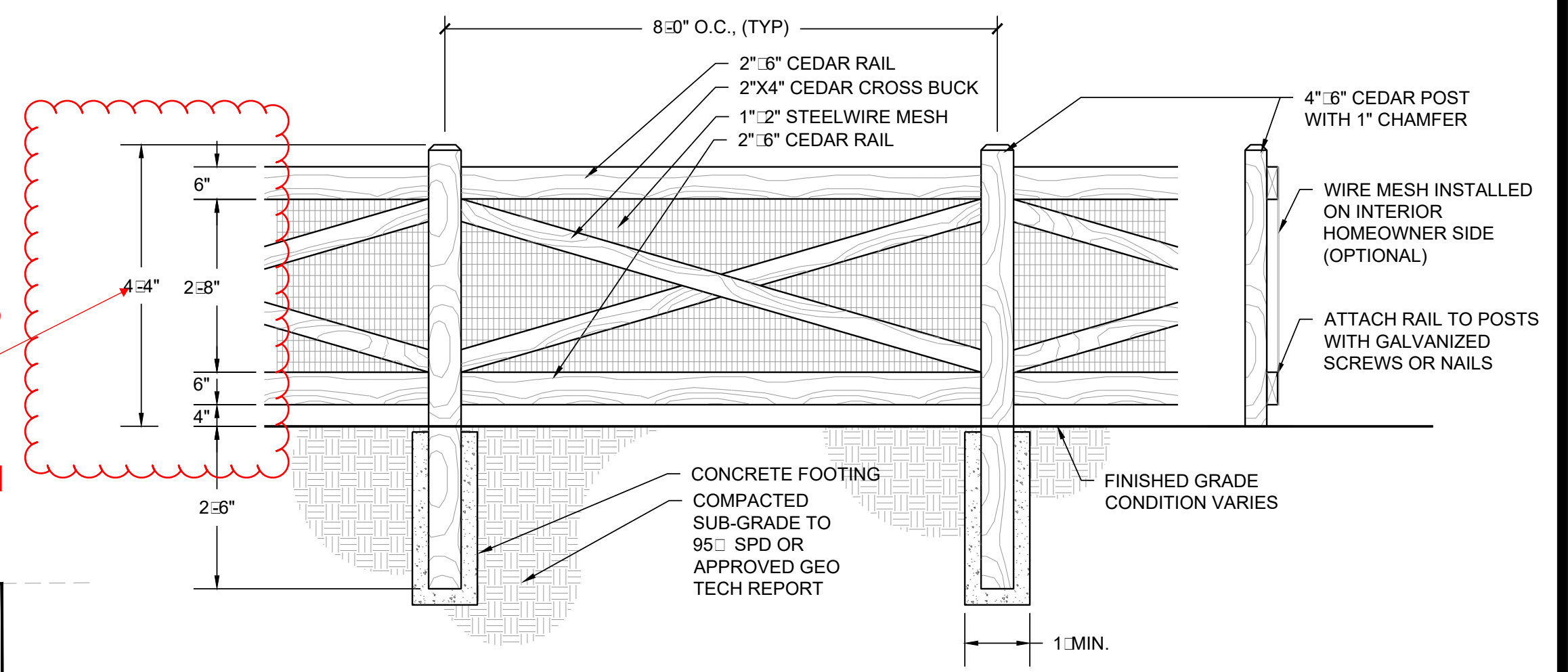
TREE #	SPECIES	DBH (Ave.)	HGT	AGE	Square feet	# Stems	SPEC %	LOC. %	COND. %	MITIGATION Inches/stem	Mitigation per clump	Mitigation Shrubs, Ft²	\$ VALUE per stem	\$ Value per clump	COMMENTS
PP1	PP	19.0	40	150			0.8	0.6	0.2	3.8			\$ 2,118	\$ 2,118	eroded roots, drought stress
PP2A	PP	12.0	30	120			0.8	0.6	0.2	2.4			\$ 463	\$ 463	eroded roots, drought stress
PP2B	PP	8.0	25	120			0.8	0.6	0.2	1.6			\$ 227	\$ 227	eroded roots, drought stress
PP3	PP	16.0	30	130			0.8	0.6	0.2	3.2			\$ 792	\$ 792	eroded roots, drought stress
PP4	PP	15.0	40	120			0.8	0.6	0.5	7.5			\$ 1,752	\$ 1,752	fair condition
CW1A	CW	19.0	45	50			0.65	0.6	0.1	1.9			\$ 453	\$ 453	severe decay
CW1B	CW	15.0	40	50			0.65	0.6	0.1	1.5			\$ 291	\$ 291	severe decay
201	GO	10.0				13	0.7	0.6	0.3	3.0	39.0		\$ 830	\$ 10,790	
202	GO	6.0				1	0.7	0.6	0.1	0.6	0.6		\$ 116	\$ 116	
203	GO	10.0				3	0.7	0.6	0.1	1.0	3.0		\$ 277	\$ 830	
205	GO	6				8	0.7	0.6	0.1	0.6	4.8		\$ 116	\$ 930	
206	GO	5				1	0.7	0.6	0.1	0.5	0.5		\$ 89	\$ 89	
207	GO	6				20	0.7	0.6	0.1	0.6	12.0		\$ 116	\$ 2,325	
208	GO	7				17	0.7	0.6	0.1	0.7	11.9		\$ 149	\$ 2,530	
209	GO	7				5	0.7	0.6	0.1	0.7	3.5		\$ 149	\$ 744	
210	GO	8				10	0.7	0.6	0.1	0.8	8.0		\$ 186	\$ 1,864	
211	GO	6				2	0.7	0.6	0.1	0.6	1.2		\$ 116	\$ 232	
212	GO	6				2	0.7	0.6	0.1	0.6	1.2		\$ 116	\$ 232	
SM-212	GO				300		0.7	0.6	0.3			90.0	\$ 78	\$ 284	
SM-1	GO				600		0.7	0.6	0.3			180.0	\$ 78	\$ 567	
SM-2	SUM				400		0.7	0.6	0.3			120.0	\$ 78	\$ 378	
SM-3	SUM				600		0.7	0.6	0.3			180.0	\$ 78	\$ 567	
4	SUM				800		0.7	0.6	0.3			240.0	\$ 78	\$ 756	
5	SUM				3000		0.7	0.6	0.3			900.0	\$ 78	\$ 2,835	
6	GO				400		0.7	0.6	0.3			120.0	\$ 78	\$ 378	
7	GO	7				10	0.7	0.6	0.1	0.7	7.0		\$ 149	\$ 1,488	
8	GO	7				14	0.7	0.6	0.1	0.7	9.8		\$ 149	\$ 2,083	
9	GO	7				9	0.7	0.6	0.1	0.7	6.3		\$ 149	\$ 1,339	
10	SUM				800		0.7	0.6	0.3			240.0	\$ 78	\$ 756	
11	SUM				600		0.7	0.6	0.3			180.0	\$ 78	\$ 567	
12	SUM				4800		0.7	0.6	0.3			1440.0	\$ 78	\$ 4,536	
13	SUM				2000		0.7	0.6	0.3			600.0	\$ 78	\$ 1,890	
14	GO				300		0.7	0.6	0.3			90.0	\$ 78	\$ 284	
15	SUM				12000		0.7	0.6	0.3			3600.0	\$ 78	\$ 11,340	
16	GO	8				1	0.7	0.6	0.1	0.8	0.8		\$ 186	\$ 186	
17	GO				1200		0.7	0.6	0.3			360.0	\$ 78	\$ 1,134	
18	GO				4000		0.7	0.6	0.3			1200.0	\$ 78	\$ 3,780	
19	GO	7				5	0.7	0.6	0.1	0.7	3.5		\$ 149	\$ 744	
20	SUM				400		0.7	0.6	0.1			40.0	\$ 26	\$ 126	
21	GO	7				12	0.7	0.6	0.1	0.7	8.4		\$ 149	\$ 1,786	
22	GO	6				6	0.7	0.6	0.1	0.6	3.6		\$ 116	\$ 697	
23	GO	11				2	0.7	0.6	0.1	1.1	2.2		\$ 329	\$ 659	
24	GO	6				7	0.7	0.6	0.1	0.6	4.2		\$ 116	\$ 814	
25	SUM				225		0.7	0.6	0.3			67.5	\$ 78	\$ 213	
26	SUM				450		0.7	0.6	0.3			135.0	\$ 78	\$ 425	
27	GO	6				1	0.7	0.6	0.1	0.6	0.6		\$ 116	\$ 116	
28	GO	6				1	0.7	0.6	0.1	0.6	0.6		\$ 116	\$ 116	
29	GO	6				1	0.7	0.6	0.1	0.6	0.6		\$ 116	\$ 116	
30	GO	7				11	0.7	0.6	0.1	0.7	7.7		\$ 149	\$ 1,637	
31	GO	7				1	0.7	0.6	0.1	0.7	0.7		\$ 149	\$ 149	
32	GO	8				1	0.7	0.6	0.1	0.8	0.8		\$ 186	\$ 186	
33	GO	6				1	0.7	0.6	0.1	0.6	0.6		\$ 116	\$ 116	
34	GO	8				1	0.7	0.6	0.1	0.8	0.8		\$ 186	\$ 186	
35	GO	10				5	0.7	0.6	0.1	1.0	5.0		\$ 277	\$ 1,383	
36	GO	8				4	0.7	0.6	0.1	0.8	3.2		\$ 186	\$ 746	
37	GO	6				8	0.7	0.6	0.1	0.6	4.8		\$ 116	\$ 930	
38	GO	7				3	0.7	0.6	0.1	0.7	2.1		\$ 149	\$ 446	
39	GO	7				2	0.7	0.6	0.1	0.7	1.4		\$ 149	\$ 298	
40	GO	6				2	0.7	0.6	0.1	0.6	1.2		\$ 116	\$ 232	
41	GO	11				2	0.7	0.6	0.1	1.1	2.2		\$ 329	\$ 659	
42	GO	6				1	0.7	0.6	0.1	0.6	0.6		\$ 116	\$ 116	
43	GO	6				3	0.7	0.6	0.1	0.6	1.8		\$ 116	\$ 349	
44	GO	6				4	0.7	0.6	0.1	0.6	2.4		\$ 116	\$ 465	
45	GO	6				4	0.7	0.6	0.1	0.6	2.4		\$ 116	\$ 465	
46	GO	8				9	0.7	0.6	0.1	0.8	7.2		\$ 186	\$ 1,678	
47	GO	7				6	0.7	0.6	0.1	0.7	4.2		\$ 149	\$ 893	
48	GO	8				2	0.7	0.6	0.1	0.8	1.6		\$ 186	\$ 373	
SUBTOTAL FOR MITIGATION INCHES													184.0	9782.5	\$ 79,047
													(Inches)	(Sq. Ft.)	\$ Value

TREE #	SPECIES	DBH (average)	HGT	AGE	Square feet	# Stems	SPEC %	LOC. %	COND. %	MITIGATION Inches/stem	Mitigation per clump	Mitigation Shrubs, Ft²	\$ VALUE per stem	\$ Value per clump	COMMENTS
49	GO	7.0				2	0.7	0.6	0.1	0.7	1.4		\$ 149	\$ 298	
50	GO	8.0				1	0.7	0.6	0.1	0.8	0.8		\$ 186	\$ 186	
51	SUM				450		0.7	0.6	0.3			135.0		\$ 425	
52	GO	7.0				4	0.7	0.6	0.1	0.7	2.8		\$ 149	\$ 595	
53	GO	8.0				1	0.7	0.6	0.1	0.8	0.8		\$ 186	\$ 186	
54	GO	8.0				2	0.7	0.6	0.1	0.8	1.6		\$ 186	\$ 373	
55	GO	8.0				1	0.7	0.6	0.1	0.8	0.8		\$ 186	\$ 186	
56	GO	8.0				4	0.7	0.6	0.1	0.8	3.2		\$ 186	\$ 746	
57	GO	8.0				1	0.7	0.6	0.1	0.8	0.8		\$ 186	\$ 186	
58	GO	7.0				8	0.7	0.6	0.1	0.7	5.6		\$ 149	\$ 1,191	
59	GO	6.0				9	0.7	0.6	0.1	0.6	5.4		\$ 116	\$ 1,046	
60	GO	6				3	0.7	0.6	0.1	0.6	1.8		\$ 116	\$ 349	
61	GO	7				27	0.7	0.6	0.1	0.7	18.9		\$ 149	\$ 4,018	
62	GO	6				3	0.7	0.6	0.1	0.6	1.8		\$ 116	\$ 349	
63	GO	7				1	0.7	0.6	0.1	0.7	0.7		\$ 149	\$ 149	
64	GO	7				4	0.7	0.6	0.1	0.7	2.8		\$ 149	\$ 595	
65	GO	6				4	0.7	0.6	0.1	0.6	2.4		\$ 116	\$ 465	
66	GO	6				5	0.7	0.6	0.1	0.6	3.0		\$ 116	\$ 581	
67	GO	6				1	0.7	0.6	0.1	0.6	0.6		\$ 116	\$ 116	
68	GO	7				3	0.7	0.6	0.1	0.7	2.1		\$ 149	\$ 446	
69	GO	6				5	0.7	0.6	0.1	0.6	3.0		\$ 116	\$ 581	
70	GO	7				13	0.7	0.6	0.1	0.7	9.1		\$ 149	\$ 1,935	
71	GO	6				30	0.7	0.6	0.1	0.6	18.0		\$ 116	\$ 3,487	
72	GO	5				11	0.7	0.6	0.1	0.5	5.5		\$ 89	\$ 975	
73	GO	7				3	0.7	0.6	0.1	0.7	2.1		\$ 149	\$ 446	
74	GO	7				8	0.7	0.6	0.1	0.7	5.6		\$ 149	\$ 1,191	
75	SUM				450		0.7	0.6	0.3			135.0		\$ 425	
76	GO				1250		0.7	0.6	0.3			375.0		\$ 1,181	
77	GO				100		0.7	0.6	0.3			30.0		\$ 95	
78	GO	7				20	0.7	0.6	0.1	0.7	14.0		\$ 149	\$ 2,976	
79	GO	7				4	0.7	0.6	0.1	0.7	2.8		\$ 149	\$ 595	
80	GO	12	25			2	0.7	0.6	0.1	1.2	2.4		\$ 387	\$ 774	
81	GO	6				12	0.7	0.6	0.1	0.6	7.2		\$ 116	\$ 1,395	
82	GO	5				14	0.7	0.6	0.1	0.5	7.0		\$ 89	\$ 1,241	
83	GO	6				5	0.7	0.6	0.1	0.6	3.0		\$ 116	\$ 581	
84	GO	7				8	0.7	0.6	0.1	0.7	5.6		\$ 149	\$ 1,191	
85	GO	9				2	0.7	0.6	0.1	0.9	1.8		\$ 229	\$ 458	
86	GO	8				6	0.7	0.6	0.1	0.8	4.8		\$ 186	\$ 1,119	
87	GO	10				5	0.7	0.6	0.1	0.7	3.5		\$ 277	\$ 1,383	
88	GO	7				4	0.7	0.6	0.1	0.7	2.8		\$ 149	\$ 595	
89	GO	5				13	0.7	0.6	0.1	0.5	6.5		\$ 89	\$ 1,152	
90	GO	7				10									

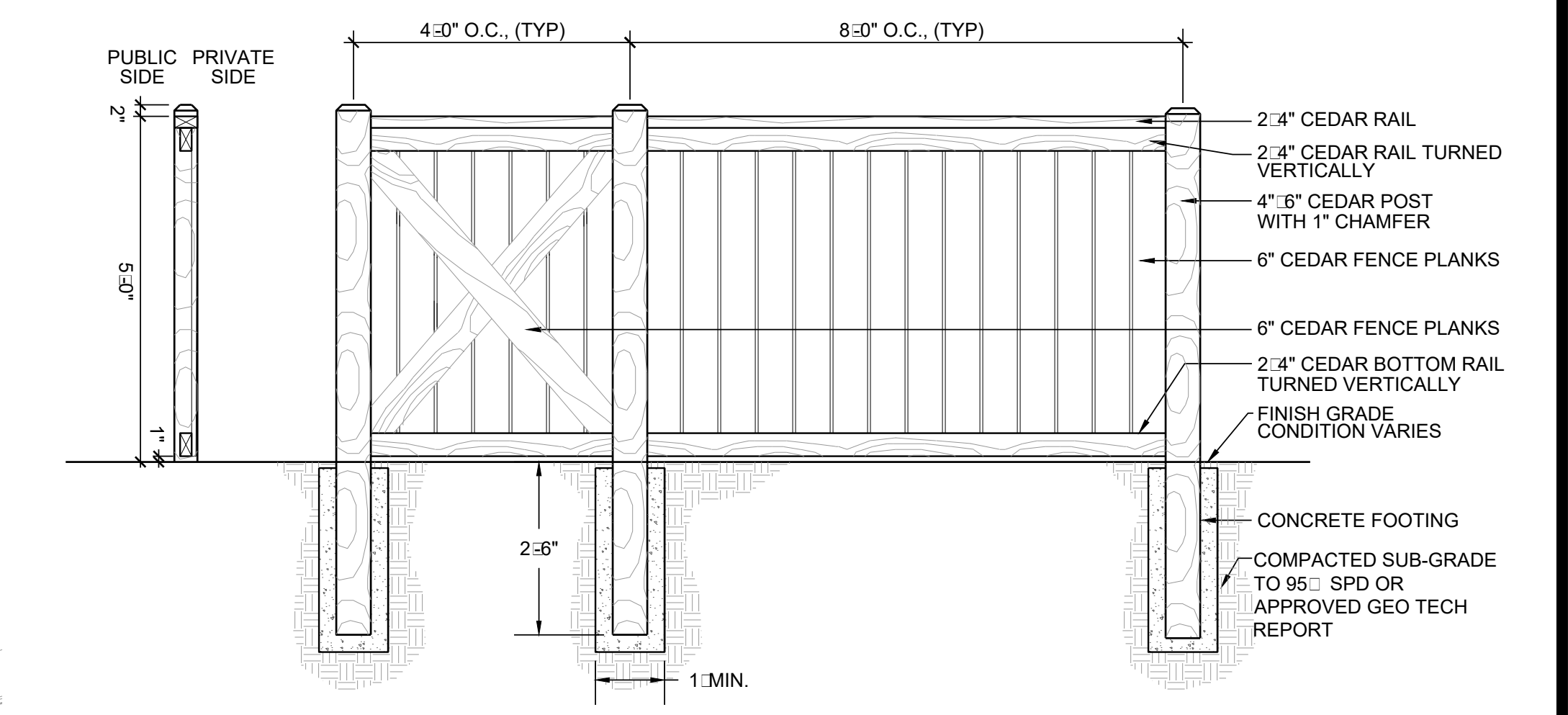
Y:\HESSE RANCH\LANDSCAPE ARCHITECTURE\CURRENT DWGS\HESSE-LDSCP PLANS.DWG
Wednesday, August 31, 2016



- NOTES:
1. ALL WOOD TO BE ROUGH SAWN CEDAR.
 2. WOOD TO BE WEATHER AND ROT RESISTANT
 3. WOOD TO BE TREATED WITH DIAMOND VOGEL GS201 SPICE BROWN STAIN.
 4. RAILS SHALL BE INSTALLED ON ONE SIDE OF POST ONLY.



2 OPEN RAIL CROSS BUCK FENCE
NOT TO SCALE



NOTES:

1. 4' PRIVACY FENCE PANEL TO BE BUILT AFTER EVERY THREE 8' PRIVACY FENCE PANEL SECTIONS.

3 5' PRIVACY FENCE
NOT TO SCALE

FENCING LEGEND

—○— OPEN RAIL CROSS BUCK FENCE

- - - 5' PRIVACY FENCE

1 FENCING PLAN
NOT TO SCALE

Prepared For
E5X MANAGEMENT
7353 SOUTH ALTON WAY
CENTENNIAL, CO 80112

Land Planning
people creating spaces

pcs group inc. www.pcsgruopco.com
#3, 8-180 Independence plaza
1007 16th street, denver, co 80265
1 303.531.4905, f 303.531.4908

Engineering
CVL
CONSULTANTS
10333 E. DRY CREEK RD. #240
ENGLEWOOD, CO 80112
720-482-9526

TRAILS AT CROWFOOT
PARKER, COLORADO
PRELIMINARY LANDSCAPE PLAN
(NOT FOR CONSTRUCTION)

Drawn by: JWI, BEM, GG
Checked by: PCS STAFF
Submittal Date: 11.11.16
INITIAL SUBM
02.08.17
2nd SUBM
Know what's below.
Call before you dig.
811

Sheet Name
FENCING PLAN & DETAILS

Sheet Number
L1.0